

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number

PA2024217

Assess No:

A4794

PID No:

9398423

Applicant Name:	BVZ Designs					
Postal Address:						
Contact Phone:	Home		Work		Mobile	
Email Address:						

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☐
2. A completed application form including a detailed description of the proposal ☐
3. A complete plan set: ☐
 - a) Floor plans ☐
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☐
 - c) Site Plan showing: ☐
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

If submitting plans in over the counter please ensure they are A3.

All plans must be to scale.

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: Bradley van Zetten

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) ROSSITER HOMES & DEVELOPMENT PTY LTD

Location / Address: FUTURE LOT 5 OFF UNIT 7 - 176 FRESHWATER POINT ROAD

Title Reference: 183722/7

Zone(s): GEN RES

Existing Development/Use: VACANT LAND

Existing Developed Area: Area 1.47 HA / 1018 SQ/M

DEVELOPMENT APPLICATION DETAILS

Proposed Use: Residential: ☒ Visitor Accommodation: ☐ Commercial: ☐ Other: ☐
Description of Use: RESIDENTIAL UNITS

Development Type: Building work: ☒ Demolition: ☐ Subdivision: ☐ Other: ☐
Description of development: LL

New or Additional Area: Area U1, U2 - 137 SQ/M U3 - 155

Estimated construction cost of the proposed development: \$ 750 K

Building Materials: Wall Type: BRICK/CLAD Colour: Neutrals/ grays
Roof Type: COLORBOND Colour: Neutrals/ grays

WEST TAMAR COUNCIL



Application Number: «Application Number»

SUBDIVISION

☐ N/A

Subdivision creating additional lots ☐

Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

☐ N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	
Existing Car Parking:				
Proposed Car Parking:				
Number of Employees: (Existing)				
Number of Employees: (Proposed)				
Type of Machinery installed:				
Details of trade waste and method of disposal:				

Application Number: «Application Number»

APPLICANT DECLARATION

Owner:

As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant:
(if not the owner)

As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**General
Manager**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

CITY/TOWN LEGANA	STRATA PLAN		Registered Number 183722
SUBURB/LOCALITY LEGANA	SHEET 1 OF 5 SHEETS		
FOLIO REFERENCE F.R 111574-1			
SITE COMPRISES THE WHOLE OF LOT 1 ON PLAN No. 111574.	NAME OF STRATA SCHEME 176 FRESHWATER POINT ROAD, LEGANA		STRATA TITLES ACT 1998 REGISTERED 19 AUG 2022 <i>Renn</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 129	LAST UPI No.	SCALE 1: 1200	LENGTHS IN METRES

SITE PLAN

NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1.
(ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1.

STAGED/COMMUNITY DEVELOPMENT. SCHEME No. (IF APPLICABLE) <div style="font-size: 1.2em; font-weight: bold;">(SDS - M984949)</div>	 Council Delegate	19 JUL 22 Date	 Registered Land Surveyor	14 JUN 22 Date
	LODGED BY RAE & PARTNERS (L)			

<p style="text-align: center; font-weight: bold;">STRATA PLAN</p> <p style="text-align: center;">SHEET 2 OF 5 SHEETS</p>	<p style="text-align: center; font-size: small;">STRATA TITLES ACT 1998</p> <div style="border: 1px solid black; padding: 2px; text-align: center;"> <div style="display: flex; justify-content: space-between; font-size: x-small;"> Council Delegate Date </div> </div>	<p style="text-align: center; font-size: small;">Registered Number</p> <p style="text-align: center; font-size: large; font-weight: bold;">183722</p>
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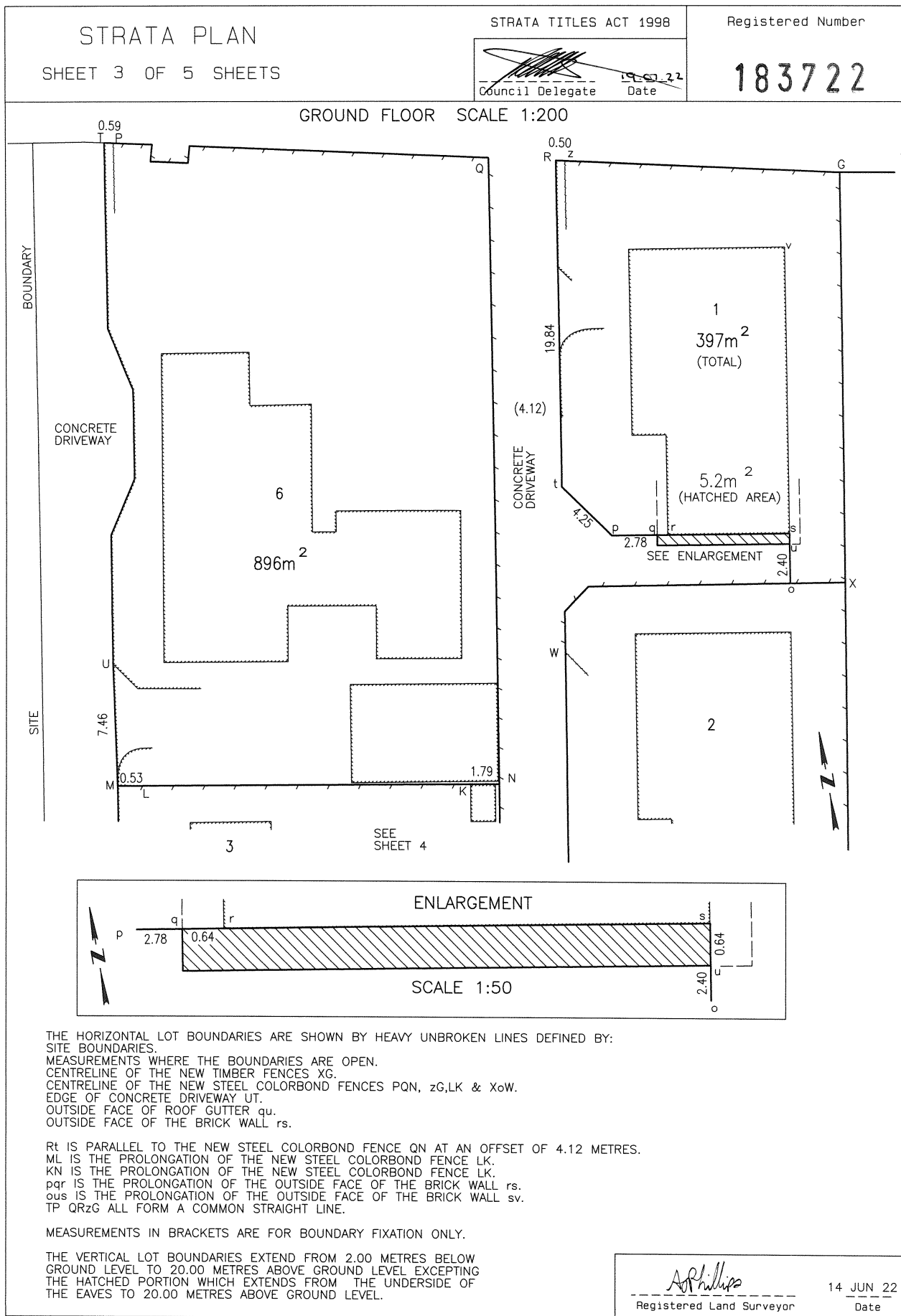
GROUND FLOOR
SCALE 1:1000

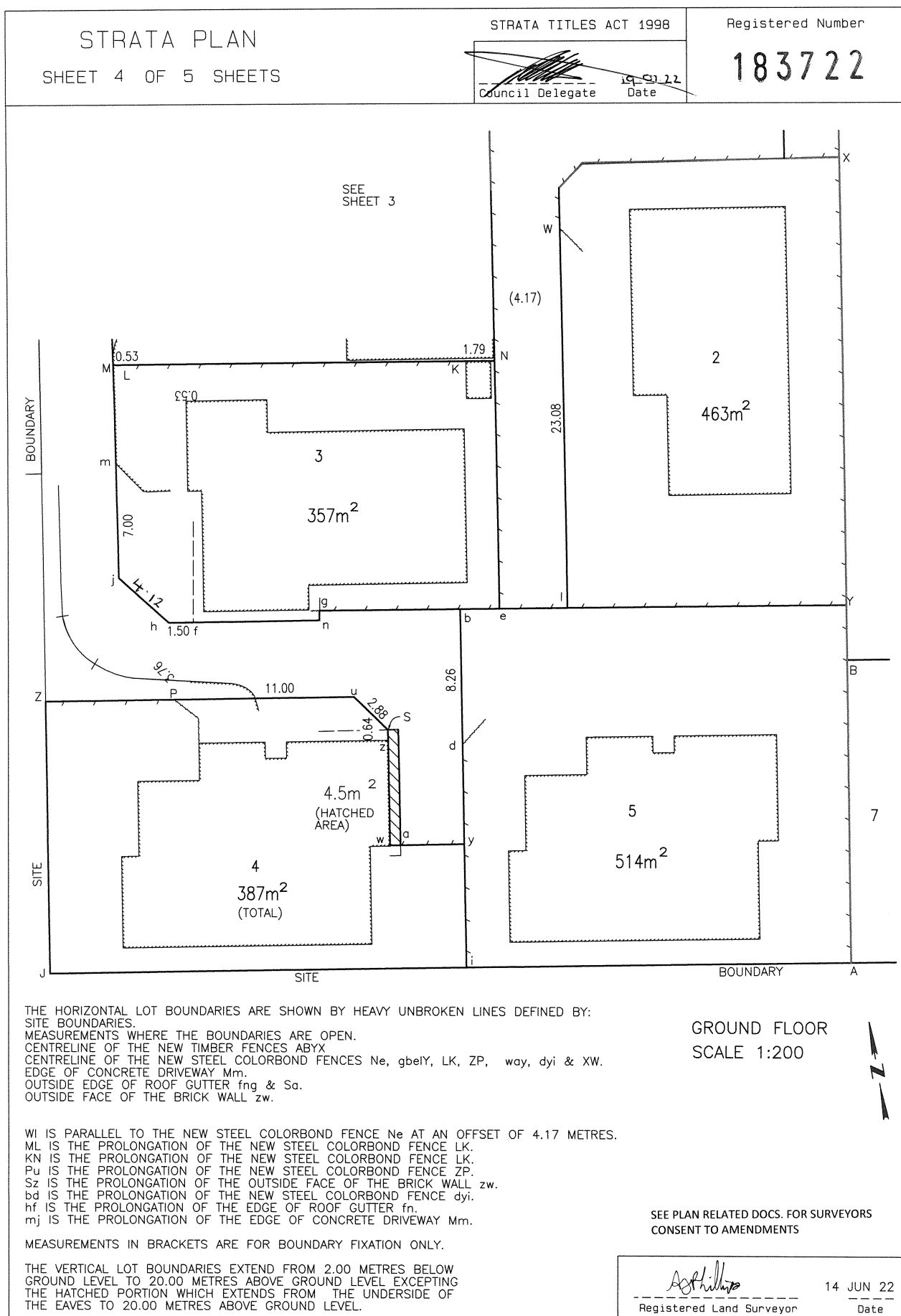
THE HORIZONTAL LOT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES DEFINED BY:
 SITE BOUNDARIES.
 MEASUREMENTS WHERE THE BOUNDARIES ARE OPEN.
 CENTRELINE OF THE NEW TIMBER FENCES ABYXG.
 BC IS PARALLEL TO THE SITE BOUNDARY AH AT AN OFFSET OF 18.42 METRES.
 CD IS PARALLEL TO THE NEW TIMBER FENCE ABYXG AT AN OFFSET OF 9.50 METRES.
 DE IS PARALLEL TO THE SITE BOUNDARY AH AT AN OFFSET OF 55.26 METRES.
 EF IS PARALLEL TO THE NEW TIMBER FENCE ABYXG AT AN OFFSET OF 49.04 METRES.
 MEASUREMENTS IN BRACKETS ARE FOR BOUNDARY FIXATION ONLY.
 THE VERTICAL LOT BOUNDARIES EXTEND FROM 2.00 METRES BELOW GROUND LEVEL
 TO 20.00 METRES ABOVE GROUND LEVEL.

Registered Land Surveyor

14 JUN 22

Date





STRATA PLAN

SHEET 5 OF 5 SHEETS

STRATA TITLES ACT 1998

Registered Number
183722

NAME OF BODY CORPORATE: STRATA CORPORATION NO. 183722 ,176 FRESHWATER POINT ROAD, LEGANA

ADDRESS FOR THE SERVICE OF NOTICES: 176 FRESHWATER POINT ROAD, LEGANA, 7277

SURVEYORS CERTIFICATE

I, ANTHONY JOHN PHILLIPS of Legana
a surveyor registered under the Surveyors Act 2002 certify that
the building or buildings erected on the site and drawn on sheet 1 of
this plan are within the site boundaries of the folio stated on sheet 1
and any encroachment beyond those boundaries is properly authorised
according to law.

Registered Land Surveyor

14 JUN 2022

Date

6026 86

Ref No.

COUNCIL CERTIFICATE

I certify that theWest Tamar..... Council has:
(a) approved the lots shown in this plan and
(b) issued this certificate of approval in accordance
with section 31 of the Strata Titles Act 1998

Council Delegate

19.07.22

Date

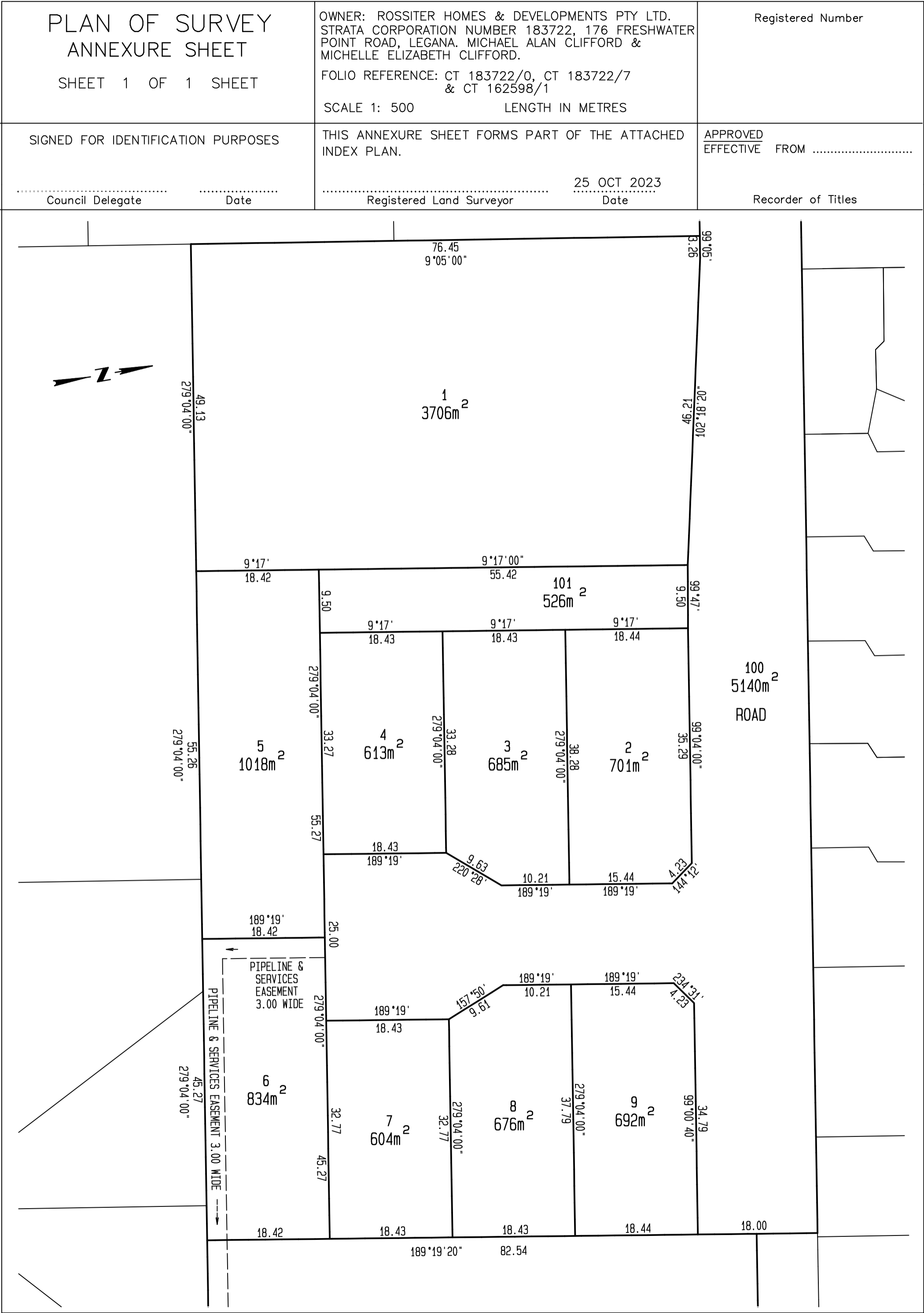
2022116

Ref No.

GENERAL UNIT ENTITLEMENTS

LOT	UNIT ENTITLEMENT
1	10
2	10
3	10
4	10
5	10
6	10
7	160
TOTAL	220

PRIORITY FINAL PLAN



LEGEND

PAGE 1# COVER PAGE

PAGE 2# LOCALITY PLAN

PAGE 3# SURVEY PLAN OF SUBDIVISION

PAGE 4# EXISTING SITE SURVEY PLAN

PAGE 5# SITE PLAN

PAGE 6# LANDSCAPING PLAN

PAGE 7# STRATA PLAN

PAGE 8# SITE PLUMBING PLAN

PAGE 9# CAR PARKING PLAN

PAGE 10# SOIL AND WATER MANAGEMENT PLAN

PAGE 11# UNIT 1 – FLOOR PLAN

PAGE 12# UNIT 1 – FLOOR PLAN WITH DIMENSIONS

PAGE 13# UNIT 1 – ROOF PLAN

PAGE 14# UNIT 2 – FLOOR PLAN

PAGE 15# UNIT 2 – FLOOR PLAN WITH DIMENSIONS

PAGE 16# UNIT 2 – ROOF PLAN

PAGE 17# UNIT 3 – FLOOR PLAN

PAGE 18# UNIT 3 – FLOOR PLAN WITH DIMENSIONS

PAGE 19# UNIT 3 – ROOF PLAN

PAGE 20# ELEVATIONS

COUNCIL – WEST TAMAR COUNCIL

ZONE – GENERAL RESIDENTIAL

CODE – BUSHFIRE PRONE AREA

LANDSLIDE BAND – NIL

TITLE REF. = 188090/5

**PROPOSED UNIT
DEVELOPMENT FOR
BM PROPERTY
DEVELOPMENT PTY LTD
AT LOT 5 IMOGEN COURT
OFF
UNIT 7 - 176 FRESHWATER
POINT ROAD LEGANA 7277**

ALPINE AREA – N/A LESS THAN 900m AHD

OTHER HAZARDS – N/A

ALL DIMENSIONS SHOWN ARE TO OUTSIDE OF
BRICKWORK CLADDING OR TIMBER FRAMING ON CLAD
HOUSES UNLESS NOTED OTHERWISE

CONFIRM ALL DIMENSIONS AND SERVICES ON SITE
PRIOR TO COMMENCEMENT OF WORKS

IF IN ANY DOUBT ABOUT BEARING AND BOUNDARIES
THEN THESE MUST BE CONFIRMED ONSITE BY A
SURVEYOR PRIOR TO SETOUT

ENSURE DRAWINGS USED ONSITE ARE STAMPED
'APPROVED' PLANS BY BUILDING SURVEYOR AND
PERMIT AUTHORITY

H4D9 CONDENSATION MANAGEMENT TO BE
COMPLIANT WITH NCC PART 10.8 CONDENSATION
MANAGEMENT.

NOTES
(1)REFER TO THE GUIDANCE IN THE "CONDENSATION IN
BUILDINGS TASMANIAN DESIGNERS' GUIDE" – CURRENT VERSION
AVAILABLE AT WWW.CBOS.TAS.GOV.AU. THIS GUIDE MUST BE
READ IN CONJUNCTION WITH THE NCC.

IF ANY DISCREPANCIES, APPARENT ERROR,
ANOMALY OR AMBIGUITY WITHIN THE
DOCUMENTATION IS FOUND. THE DESIGNER IS TO BE
CONTACTED PRIOR TO ANY MORE CONSTRUCTION
CONTINUING.

ENSURE THAT DRAWINGS ARE NOT SCALED AND
THAT THE NOTED DIMENSIONS ARE USED FOR
ACCURACY. IF IN ANY DOUBT CONTACT DESIGNER

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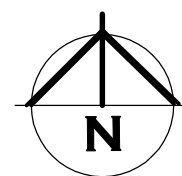
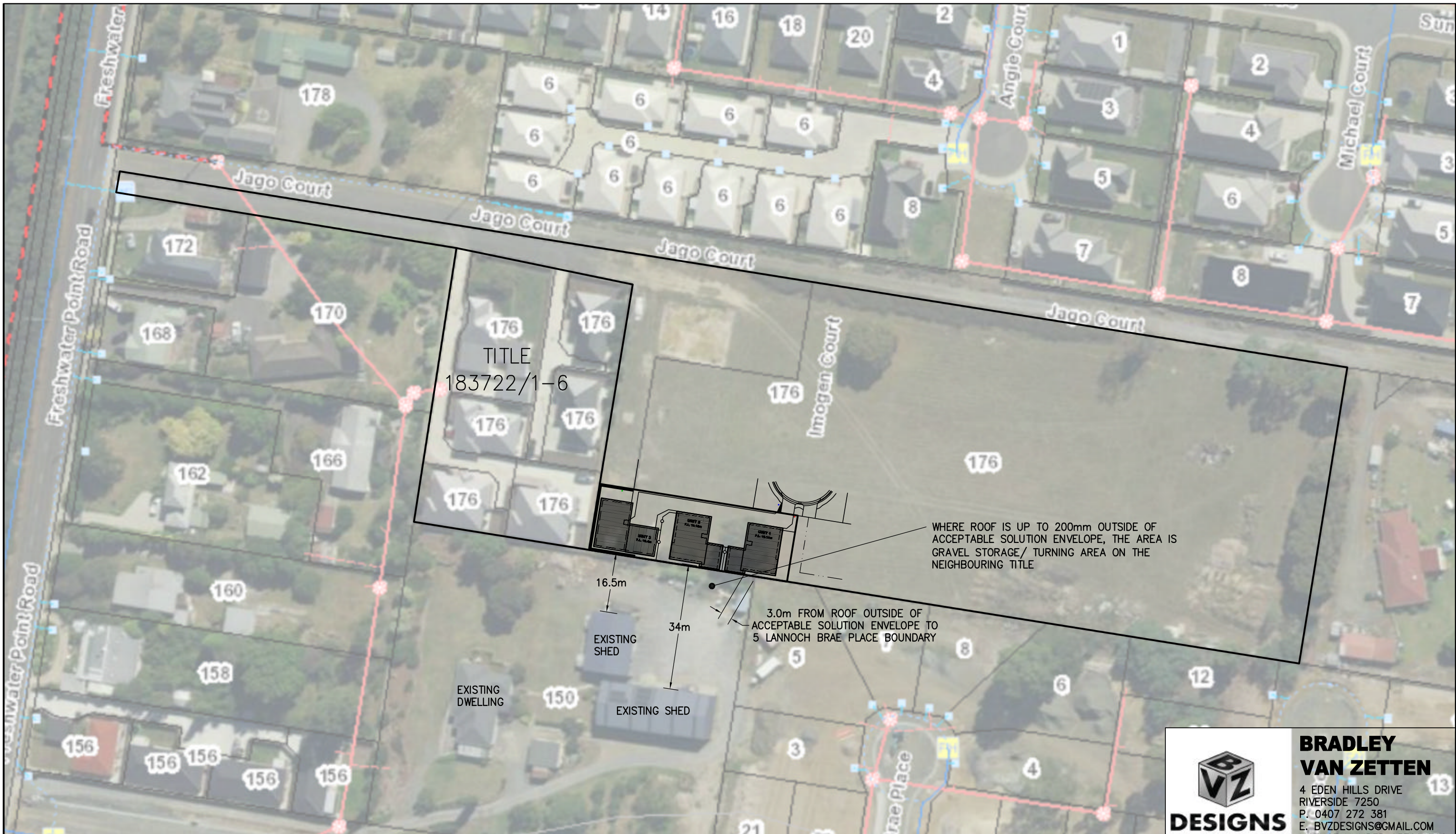
(C) BRADLEY VAN ZETTEN 2024

THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN
ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY
OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.




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4 EDEN HILLS DRIVE
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LOCALITY PLAN

BASE IMAGE OBTAINED FROM WWW.THELIST.TAS.GOV.AU
©STATE OF TASMANIA
"THE LIST" (LAND INFORMATION SYSTEM TASMANIA)
COPYRIGHT TO LAND TASMANIA AS THE CREATOR

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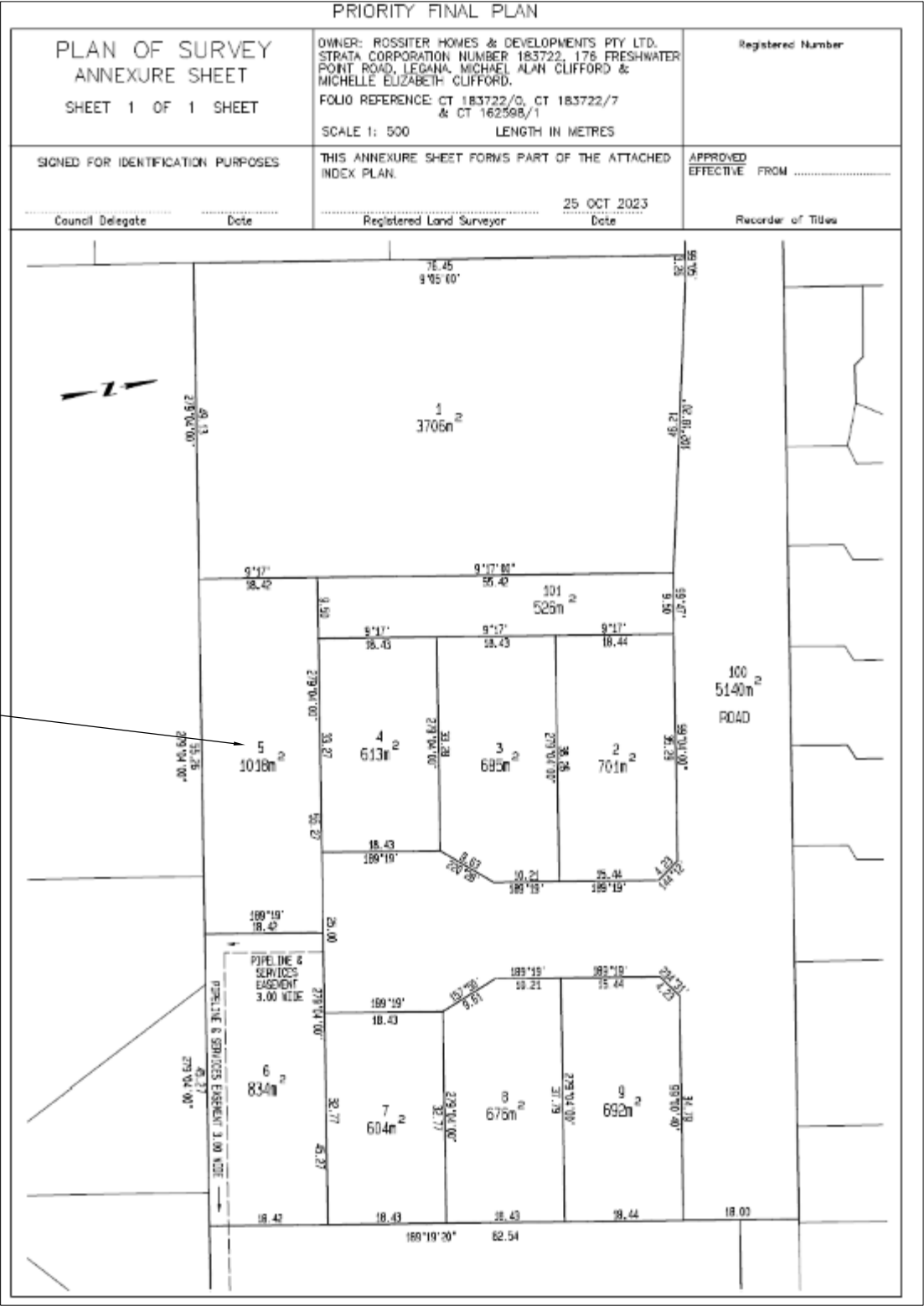
PROJECT: PROPOSED UNIT DEVELOPMENT FOR
BM PROPERTY DEVELOPMENT PTY LTD
AT LOT 5 IMOGEN COURT OFF
UNIT 7 – 176 FRESHWATER POINT ROAD LEGANA 7277

DRAWING: LOCALITY PLAN

DESIGNED: B. v. Z. APPROVED.
DRAWN: B. v. Z. DATE: 15 / 07 / 25

SCALE: 1:1000. DRAWING No.:
A3. BM0824 – 2/20

REVISION NUMBER	DATE
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REVISION 2	01 / 08 / 2024
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PROPOSED UNIT
DEVELOPMENT ON LOT 5

SURVEY PLAN OF SUBDIVISION



BRADLEY VAN ZETTEN 2024

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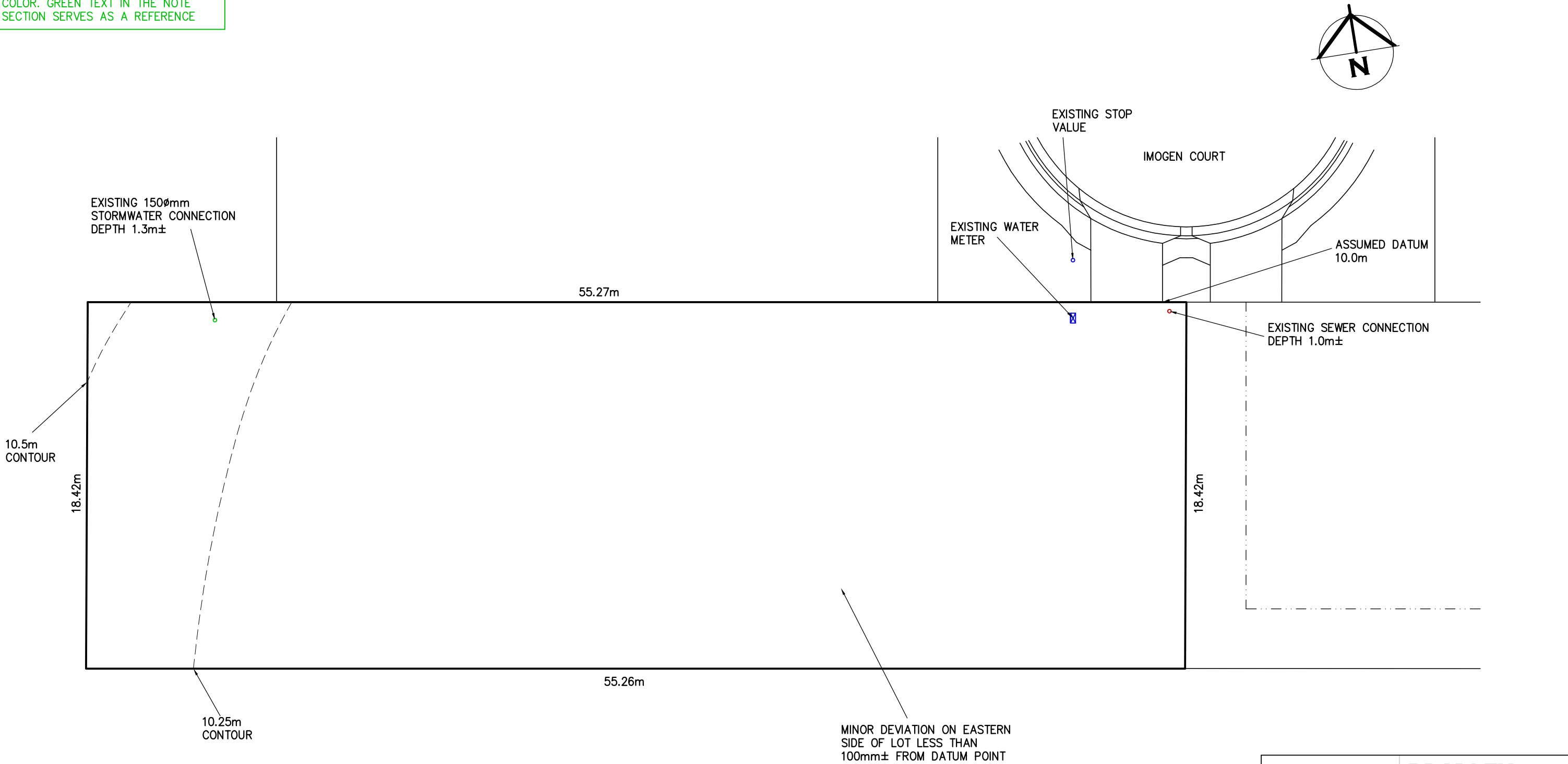
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DRAWING No.:
BM0824 – 3/20


A3.

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COLOR. GREEN TEXT IN THE NOTE
SECTION SERVES AS A REFERENCE



EXISTING SITE SURVEY PLAN



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DRAWING: EXISTING SITE SURVEY PLAN

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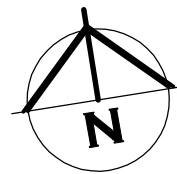
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DATE: 15 / 07 / 25

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A3.

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EXTERNAL PARKING SPACES TO BE CLEARLY DELINEATED.

INDIVIDUAL UNITS, EXTERNAL PARKING TO HAVE SIGNAGE OF WHICH UNIT IT IS ASSOCIATED WITH.

VISITOR PARKING, TO HAVE SIGNAGE TO INDICATE IT IS A COMMUNAL VISITOR PARKING SPACE.

VISITOR PARKING
SPACE \

TASMAN WALL UP TO 600mm.
300mm FROM BOUNDARY TO
BACK OF WALL

10.5m
CONTOUR

0.2-1.0m WIDENING OF EXISTING
CROSS OVER TO MATCH WIDTH OF
TRANSITION WING KERB. 150mm
THICK WITH SL72 MESH 40mm TOP
COVER

ASSUMED DATUM
10.0m

SPECIFIC REQUIREMENTS FOR ADDITIONAL CONCRETE PANELS PLACED ADJACENT THE EXISTING CONCRETE

apron: 1 METRE WIDE ARE:

a. THE ADDITIONAL CONCRETE PANEL SHALL BE 150MM CONCRETE WITH S72 MESH CENTRALLY LOCATED ON 100MM THICK COMPACTED BASE AND SHALL BE DOWELLED INTO THE EXISTING CONCRETE APRON USING 300MM LONG R10 DOWELS AT 500MM CENTRES.

b. ALL EXISTING PIPELINE AND SERVICE TRENCHES OVER WHICH THE NEW DRIVEWAY AND THE WIDENED DRIVEWAY APRONS ARE TO BE CONSTRUCTED ARE TO BE EXCAVATED AND BACKFILLED TO THE TRAFFICABLE STANDARD SPECIFIED IN LGAT-IPWEA STANDARD DRAWING TSD-G01.

THE WORK MUST INCLUDE ALL NECESSARY ALTERATIONS TO OTHER SERVICES INCLUDING LOWERING/RAISING PIT LEVELS, UPGRADING TRENCHES NON TRAFFICABLE TRENCHES TO TRAFFICABLE STANDARD AND AND/OR RELOCATION OF SERVICES. PERMISSION TO ALTER SUCH SERVICES MUST BE OBTAINED FROM THE RELEVANT AUTHORITY (EG TASWATER, TELSTRA, AND TASNETWORKS ETC).

THE CONSTRUCTION OF THE NEW CROSSOVER AND DRIVEWAY AND REMOVAL OF THE UNUSED CROSSOVER AND DRIVEWAY WILL BE AT THE APPLICANT'S EXPENSE.

SITE PLAN

SEALED DRIVEWAY TO FALL TO PITS. ASPHALT OR CONCRETE
GRADE TRANSITION OF 2.0m IN LENGTH TO BE PROVIDED AT GRADE CHANGES UP TO 18%. TRANSITION GRADE TO BE HALF THE SUM OF THE TWO ADJACENT GRADES.

CUT/FILL BATTER MAX GRADE OF 1:10 IN
PRIVATE OPEN SPACE
1:10 DRIVEWAY TURNING AREA
1:4 DRIVEWAY NON-TURNING AREA

SITE AREA TABLE		
	SQUARE METER	PERCENTAGE OF LOT
SITE AREA	1018	
BUILDING AREA EXCLUDING EAVES UP TO 0.6m WIDE (AS PER PLANNING SCHEME)	420	41.3
SEALED GROUND AREA (INCLUDING UNDER EAVES, EXCLUDING AREA INCLUDED IN CELL ABOVE)	355	34.9
AREA FREE FROM IMPERVIOUS SURFACES	243	23.9

UN-RETAINED BULK EARTHWORKS – SITE CUT AND FILL PART 3.2.1

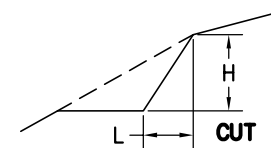


TABLE 3.2.1: SOIL TYPE		EMBANKMENT SLOPES H:L	
		COMPACTED FILL	CUT
STABLE ROCK		3:3	8:1
SAND		1:2	1:2
CLAY	FIRM CLAY	1:2	1:1
	SOFT CLAY	NOT SUITABLE	2:3
SOFT SOILS		NOT SUITABLE	NOT SUITABLE

EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT THE END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR TO PREVENT SOIL EROSION

(1) A SITE CUT USING AN UN-RETAINED EMBANKMENT MUST BE--

(A) WITHIN THE ALLOTMENT; AND

(B) NOT WITHIN THE ZONE OF INFLUENCE OF ANY EXISTING STRUCTURE ON THE PROPERTY, OR THE ALLOTMENT BOUNDARY AS DEFINED IN TABLE 3.2.1 AND FIGURE 3.2.1A; AND

(C) NOT DEEPER THAN 2 M FROM THE NATURAL GROUND LEVEL AT ANY POINT.

(2) FILL, USING AN UN-RETAINED EMBANKMENT MUST--

(A) BE PLACED WITHIN THE ALLOTMENT; AND

(B) BE PLACED AT A GRADIENT WHICH COMPLIES WITH TABLE 3.2.1 AND FIGURE 3.2.1B;
AND

AND
(C)B

(D) BE NOT MORE THAN 2 M IN HEIGHT FROM THE NATURAL GROUND LEVEL AT ANY POINT; AND

(E) WHERE USED TO SUPPORT FOOTINGS OR SLABS, BE PLACED AND COMPACTED IN ACCORDANCE WITH PART 4.2: AND

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DRAWING: SITE PLAN


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 BORONIA ANEMONIFOLIA
STICKY BORONIA
MATURE HEIGHT APPROX. 1.5m

 LEUCOPYHTA BROWNII
CUSHION BUSH
MATURE HEIGHT APPROX. 1.0m

 SEDUM SPECTABILE
ICE PLANT
MATURE HEIGHT APPROX. 0.7m


 DIANELLA TASMANICA
(TASMANIAN FLAX LILY)
MATURE HEIGHT APPROX. 1.0m

PLANS SHOWN INDICATE TYPE AND HEIGHT
TO BE PLANTED SIMILAR VARIATIONS MAY
BE INSTALLED AT TIME OF PLANING

 SIR WALTER BUFFALO OR
SIMILAR GRASS

 15mm–20mm 'NO FINES'
DECORATIVE STONE OR MULCH
TO ALL GARDEN BEDS.


 SEALED DRIVEWAY TO FALL
TO PITS


 PRIVATE OPEN SPACE
6x4m OR 5x5m
MAX GRADE 1:10

 CLOTHES LINE
CRUSHED GRAVEL PATH OR STEPPING
STONE PAVERS TO CLOTHES LINE

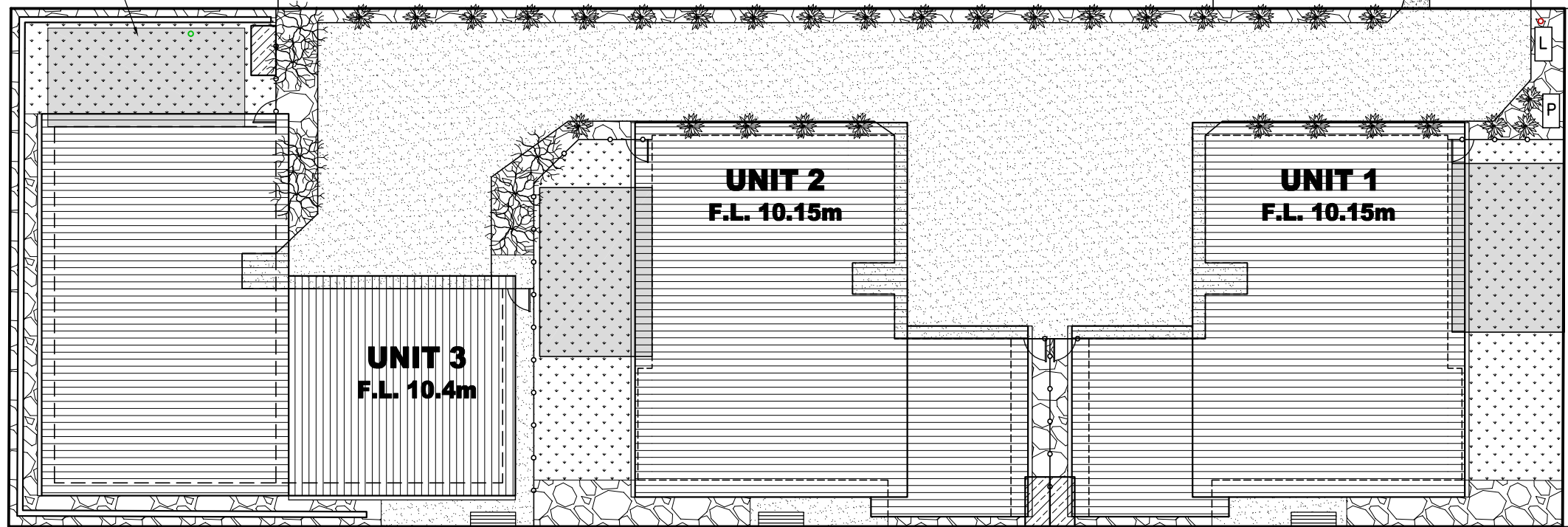
 1.7x0.9m
WHEELIE BIN STORAGE
MINIMUM 1.5m²

 LETTERBOX

 MAIN POWER BOARD
LOCATED WITHIN
COMMON GROUND

 1800mm HIGH LAPPED PAILING FENCE OR
SOLID COLORBOND FENCE.
ALL BOUNDARY FENCES TO TITLE BOUNDARY
THAT ARE PART OF THE PRIVATE YARD OF
THE UNITS TO BE SOLID 1800mm HIGH
MINIMUM. EXISTING FENCES UPGRADED AS
REQUIRED.

PRIVATE OPEN SPACE
FOR UNIT 3 – 3.5x7m



LANDSCAPING PLAN

PRIVATE YARD AREA UNIT 1 = 76 sq/m
PRIVATE YARD AREA UNIT 2 = 76 sq/m
PRIVATE YARD AREA UNIT 3 = 96 sq/m

NOT INCLUDING BUILDING AREA
PLANTING INSIDE PRIVATE YARD BY OWNER

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DESIGNS

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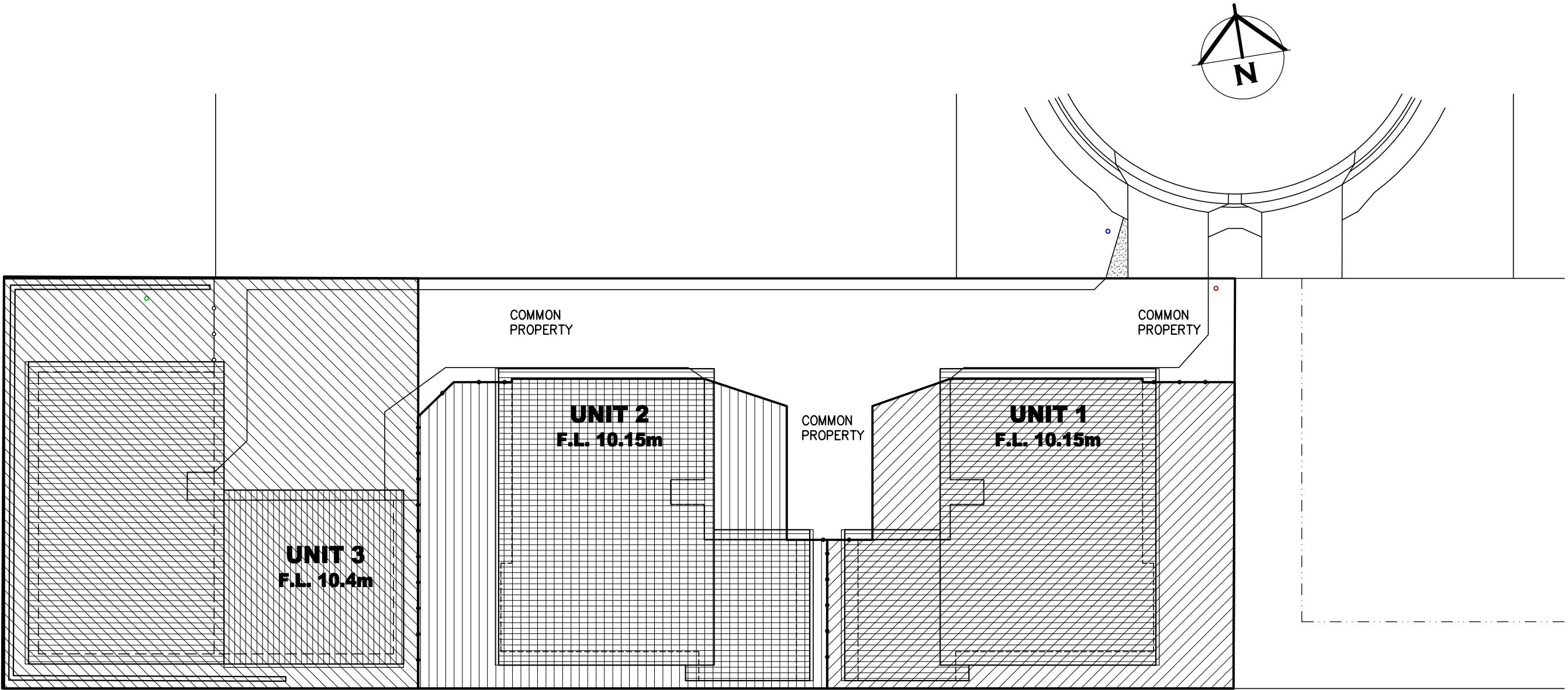
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
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STRATA/ STAGE PLAN

EXACT STRATA BOUNDARY TO BE
CONFIRMED ONCE CONSTRUCTION IS
COMPLETED AND STRATA PLAN IS
COMPLETED BY LAND SURVEYOR

COMMON
PROPERTY

-  UNIT 1 STRATA TITLE
-  UNIT 2 STRATA TITLE
-  UNIT 3 STRATA TITLE

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BM PROPERTY DEVELOPMENT PTY LTD
AT LOT 5 IMOGEN COURT OFF
UNIT 7 – 176 FRESHWATER POINT ROAD LEGANA 7277

DRAWING: STRATA PLAN

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

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THIS PAGE FEATURES COLORED LINES
AND SHOULD ONLY BE PRINTED IN
COLOR. GREEN TEXT IN THE NOTE
SECTION SERVES AS A REFERENCE

INTERNAL PLUMBING DETAIL WILL BE
INCLUDED IN PLANS FOR PLUMBING PERMIT.
DETAILS INCLUDED FOR PLANNING STAGE FOR
TASWATER SPAN APPROVAL ONLY

EXISTING 150mm
STORMWATER CONNECTION
DEPTH 1.3m±

UPGRADE EXISTING DN25(ID20MM) PROPERTY WATER CONNECTION TO
DN32(ID25MM) HDPE PN16 SDR11 PROPERTY WATER CONNECTION WITH

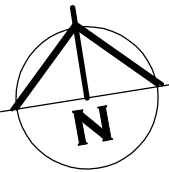
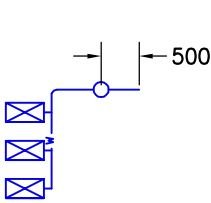
3/TRAFFICABLE WATER METER BOXES AS PER TASWATER TWS-W-0002
SHEET 5

3/ID20MM SENSUS IPERL WATER METERS ON A MANIFOLD PER
TASWATER ENDORSED STANDARD PLANS, BELOW GROUND LOW
HAZARD IN ACCORDANCE WITH
WATER SUPPLY CODE OF AUSTRALIA WSA 03 -2011-3.1 VERSION 3.1
MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE
RETAIL WATER AGENCIES CODE WSA 02--2014-3.1 MRWA VERSION 2
AND TASWATER'S SUPPLEMENTS TO THESE CODES

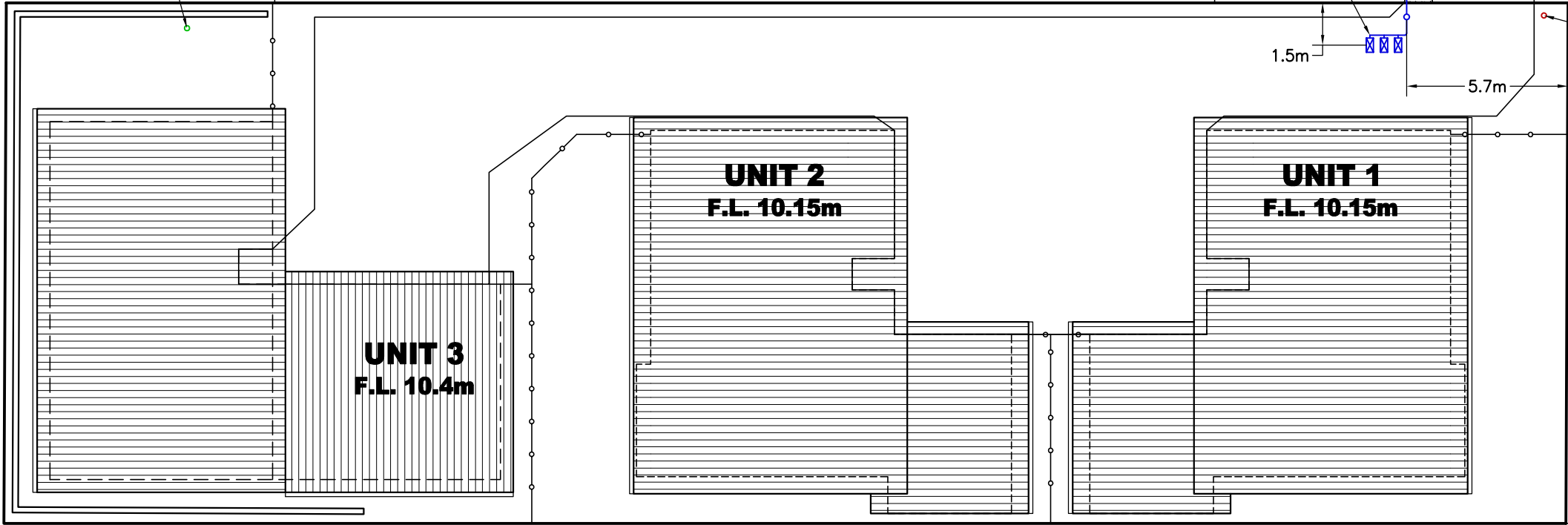
INSTALLED AS PER TWS-W-0002 SHEET 9

ALL WORKS BY TAS WATER AT DEVELOPERS COST.

METERS AND GATE VALVE TO BE LOCATED WITHIN COMMON SPACE.



EXISTING SEWER CONNECTION
DEPTH 1.0m±




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SITE PLUMBING PLAN

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DRAWING: SITE PLUMBING PLAN

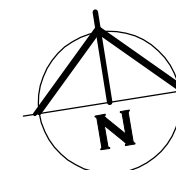
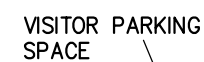
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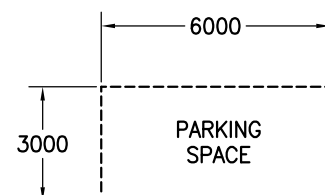


VISITOR PARKING, TO HAVE SIGNAGE TO INDICATE IT IS A COMMUNAL VISITOR PARKING SPACE.

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DRAWING: CAR PARKING PLAN

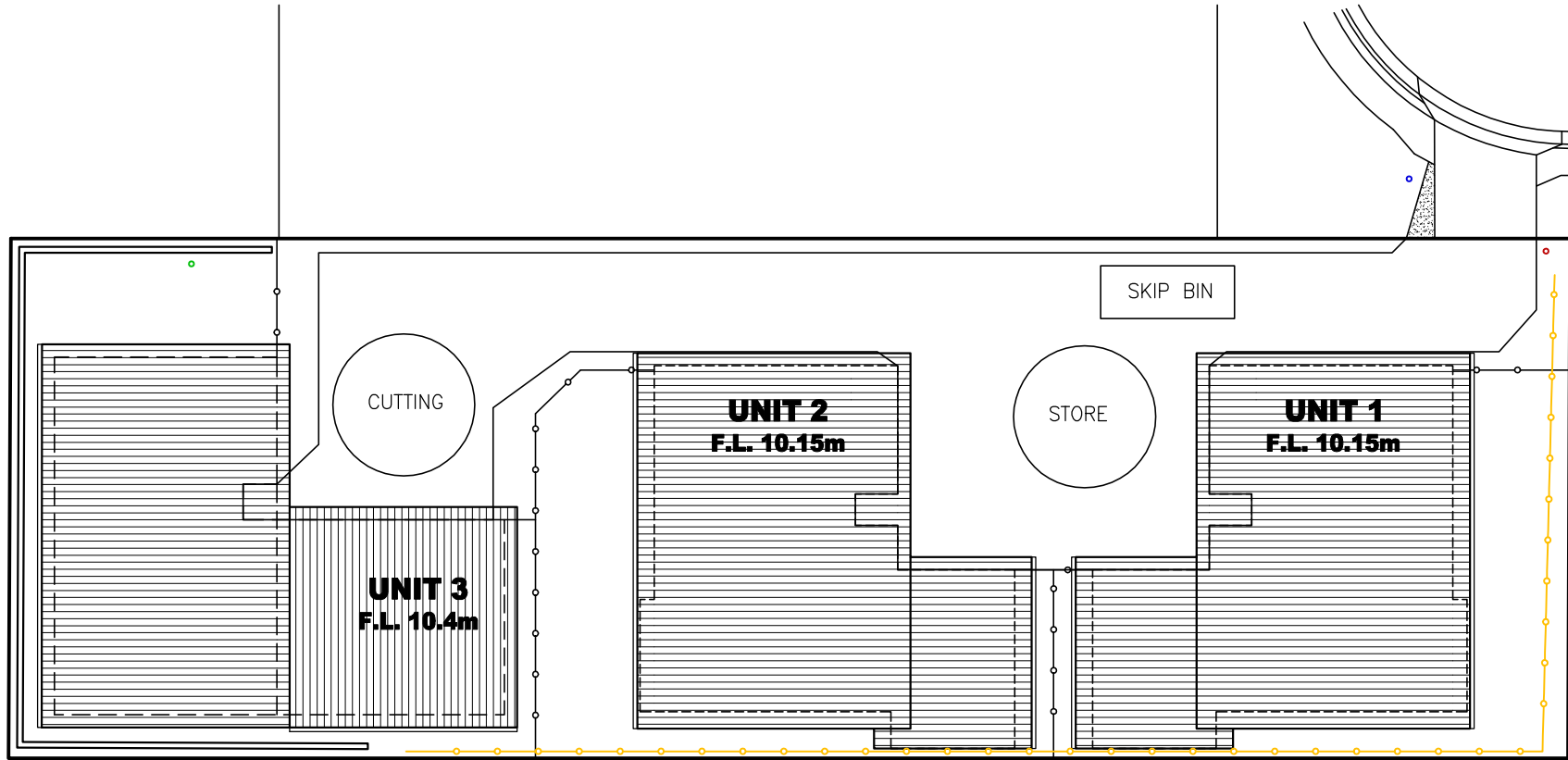
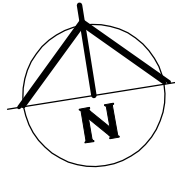
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BUILDING SITE DURING CONSTRUCTION TO COMPLY WITH EPA TASMANIA, SOIL AND WATER MANAGEMENT ON BUILDING SITES WHERE POSSIBLE. REFER TO FACT SHEETS 1-19
EPA.TAS.GOV.AU/ENVIRONMENT/WATER/STORMWATER/SOIL-AND-WATER-MANAGEMENT-ON-BUILDING-SITES

FACT SHEET 3 – SOIL AND WATER MANAGEMENT.
PLAN TO BE KEPT ONSITE AND ALL TIMES AND ALL WORKERS UNDERSTAND THE SWMP

FACT SHEET 4 – DISPERSIVE SOILS, NOT APPLICABLE.

FACT SHEET 5 – MINIMISE SOIL DISTURBANCE.
DO TRACK MACHINERY UP AND DOWN THE SLOPE TO CREATE GROOVES FROM THE WHEELS/ OR TRACKS THAT WILL CATCH RAINFALL. THE GROOVES WILL ROUGHEN THE SURFACE IN A WAY THAT WILL SLOW RUNOFF. AS PER FACT SHEET CLEARING FOR WORKS TO BE LIMITED TO WITHIN 5 METRES FROM THE EDGE OF ANY ESSENTIAL CONSTRUCTION ACTIVITY. NO TOPSOIL SHALL BE REMOVED FROM LAND OUTSIDE THE AREAS OF GROUND DISTURBANCE SHOWN. ALL AREAS OF GROUND DISTURBANCE MUST BE DRESSED WITH TOP SOIL AND WHERE APPROPRIATE REVEGETATED AND STABILISED TO PREVENT FUTURE EROSION OR SILTATION.

FACT SHEET 6 – PRESERVE VEGETATION.
WHERE EXISTING TREES ARE TO REMAIN ON THE SITE, ESTABLISH NO GO AREA AROUND TREES OF BRIGHT TAPE ON STAR PICKETS MINIMUM 1m AWAY FROM BASE OF TREE
EXISTING GROUND VEGETATION TO BE RETAINED WHEN EVER POSSIBLE. MINIMUM 400mm WIDE GRASS STRIPS TO BE RETAINED ON BACK OF KERB FOR FILTERING RUNOFF. INSTALLED AS PER FACT SHEET

FACT SHEET 7 – DIVERT UP-SLOPE WATER
DIVERSION CHANNEL TO BE CONSTRUCTED ON HIGHSIDE OF SITE MINIMUM 150MM DEEP WITH 10% MAX FALL WITH A CURVED SHAPE WITH EXCAVATED SOIL FROM THE CHANNEL ON THE DOWN-SLOPE SIDE TO INCREASE DIVERSION CHANNEL CAPACITY. LEVEL SPREADER TO END OF DIVERSION CHANNEL TO ENSURE WATER DISCHARGE IS SLOW MOVING MINIMUM 4M WIDE. INSTALLED AS PER FACT SHEET

FACT SHEET 8 – EROSION CONTROL MATS AND BLANKETS
WHERE FINISHED BATTERS ARE PROPOSED TO BE STEEPER THAN 1:3 EROSION CONTROL BLANKETS TO BE INSTALLED ON BATTER FOR SITE REHABILITATION. INSTALLED AS PER FACT SHEET

FACT SHEET 9 – PROTECT SERVICES TRENCHES AND STOCKPILES
ALL STOCKPILES TO BE POSITIONED CLEAR OF WATER COURSES AND TO ENSURE THAT NO SILT RUNOFF CAN ENTER A WATER COURSE.
TOP SOIL TO BE STOCKPILED SEPARATELY AND SPREAD OVER BACKFILLED AREAS. SPOIL TO BE STOCKPILED IN A NARROW CORRIDOR ON THE UPSTREAM SIDE OF ALL EXCAVATION. TEMPORARY CATCH DRAINS TO BE CONSTRUCTED ON THE UPSTREAM SIDE OF STOCKPILES AND EXCAVATED AREAS, DIRECTING RUNOFF TO EXISTING STORMWATER SYSTEM.
SERVICE TRENCHES TO HAVE SOIL PLACED ON TOPSIDE OF TRENCH TO DIVERT WATER FLOW AWAY FROM THE TRENCH LINE.

FACT SHEET 10 – EARLY ROOF DRAINAGE CONNECTION
DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED.
TEMPORARY DOWNPIPES TO DIRECT WATER TO TUFTED AREAS.

FACT SHEET 11 – SCOUR PROTECTION
NOT APPLICABLE AS NO NEW DAMS/ CULVERTS

FACT SHEET 12 – STABILISED SITE ACCESS
DIVERSION HUMP INSTALLED ON ROAD ACCESS WITH WATER DIRECTED TO SEPARATE SILT FENCE.
INSTALLED AS PER FACT SHEET

FACT SHEET 13 – WHEEL WASH
EVERY EFFORT TO BE MADE TO MINIMISE SPREADING SEDIMENT ON TO SEALED AREAS WHEN VEHICLES LEAVE THE SITE, INCLUDING THE WASHING DOWN OF TYRES.

FACT SHEET 14 – SEDIMENT FENCES
SEDIMENT FENCE INSTALLED AS PER DETAIL AND FACT SHEET

FACT SHEET 15 – PROTECTION OF STORMWATER PITS
PITS INSTALLED ONSITE TO BE CONSTRUCTED WITH DRIVEWAY AT END OF JOB AFTER FINISHED CONSTRUCTION OF BUILDING. THEREFORE NO REQUIREMENTS FOR PITS.

FACT SHEET 16 – PROTECTED CONCRETE, BRICK AND TILE CUTTING
ALL CUTTING TO BE INSIDE NOMINATED AREA AS PER SWMP WITH FILTER SOCKS INSTALLED ON LOW SIDE. SLURRY TO BE DISPOSED OFF IN GEOTEXTILE LINED DITCH OR DRUMS

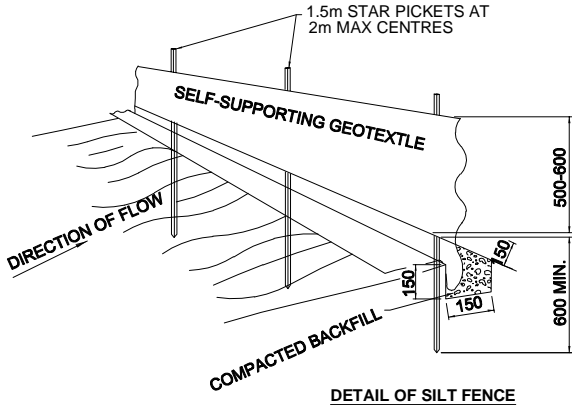
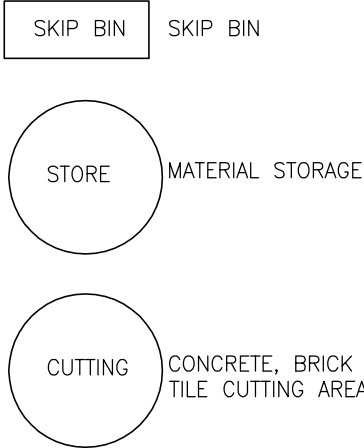
FACT SHEET 17 – SEDIMENT BASINS
NOT REQUIRED DUE TO SCALE OF WORKS.

FACT SHEET 18 – DUST CONTROL
DURING EXTENDED PERIODS OF DRY WEATHER, DAMPEN THE SITE SLIGHTLY WITH A LIGHT APPLICATION OF WATER DURING EXCAVATION OR WHEN DUST IS BEING RAISED

FACT SHEET 19 – SITE REVEGETATION
ALL OF SITE THAT IS NOT FINISHED IN HARD SURFACES TO BE REVEGETATION WITH GRASS OR MULCH AS PER LANDSCAPING PLAN OR TO OWNERS DETAILS

SOIL AND WATER MANAGEMENT PLAN

 SILT FENCE AS PER DETAIL



SEDIMENT FENCE NOTES:
1. SURVEY AND MARK OUT LOCATION OF SEDIMENT FENCE, ENSURE IT IS PARALLEL TO THE CONTOURS OF THE SITE AND TO DRAIN IN THE CORRECT DIRECTION
2. DIG A 150 MM TRENCH IMMEDIATELY ABOVE THE PROPOSED FENCE LINE.
3. PLACE THE BOTTOM OF THE FABRIC TO THE BASE OF THE TRENCH AND RUN FABRIC UP THE DOWN-SLOPE SIDE OF THE TRENCH.
4. BACKFILL THE TRENCH AND COMPACT TO SECURE ANCHORAGE OF THE FABRIC.
5. DRIVE 1.5 M STAR PICKETS INTO GROUND, 2 M APART TO SUPPORT THE SEDIMENT FENCE FABRIC. TENSION AND FASTEN FABRIC TO PICKETS USING UV STABILISED ZIP TIES OR WIRE TIES.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 2 M OVERLAP.
7. ANGLE THE ENDS OF THE SEDIMENT FENCE UPSLOPE TO REDUCE SCOURING

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DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED

INSTALL AG DRAIN (IF SHOWN) PRIOR TO FOOTING EXCAVATION

EXCAVATED MATERIAL PLACED UP SLOPE OF CUT OFF DRAIN. TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE AND USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL



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


DRAWING: SOIL AND WATER MANAGEMENT PLAN

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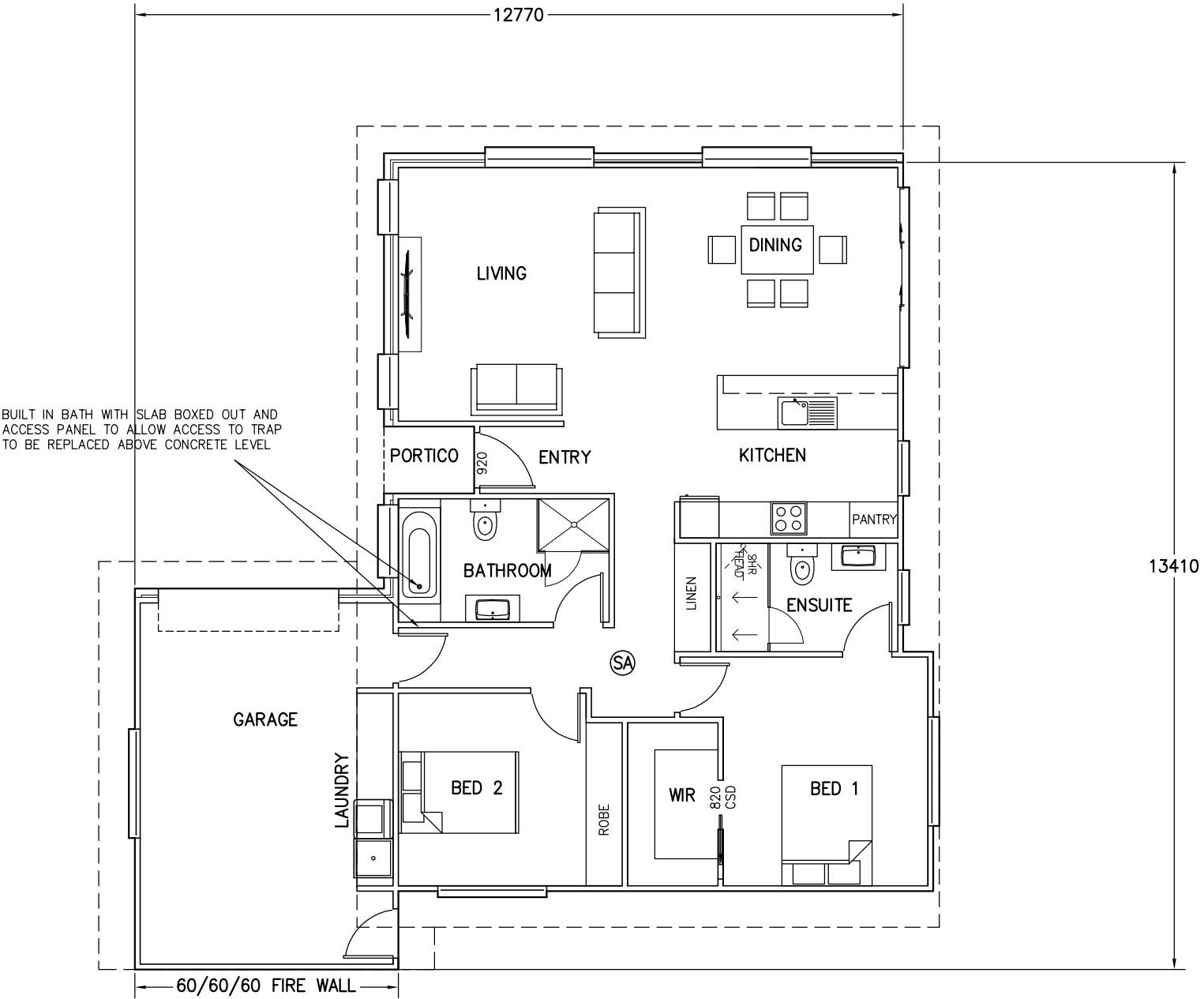
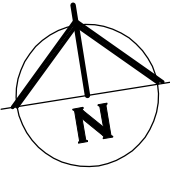
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BRICK VENEER WALL

90mm TIMBER FRAMED WALL WITH CEMENT SHEET CLADDING

90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)



60/60/60 FIRE RATED WALL TO BOUNDARY SIDE. AS PER DETAILS PAGE.

ENTIRE WALL SYSTEM AS PER "DESIGN GUIDE HARDIES SMART BOUNDARY WALL SYSTEM CLASS 1 & 10A TIMBER FRAME BUILDING".

SA – 240V HARD WIRED SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC9.5 TO COMPLY WITH AS3786, BE CONNECTED TO MAINS POWER AND INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM



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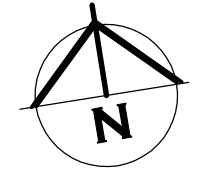
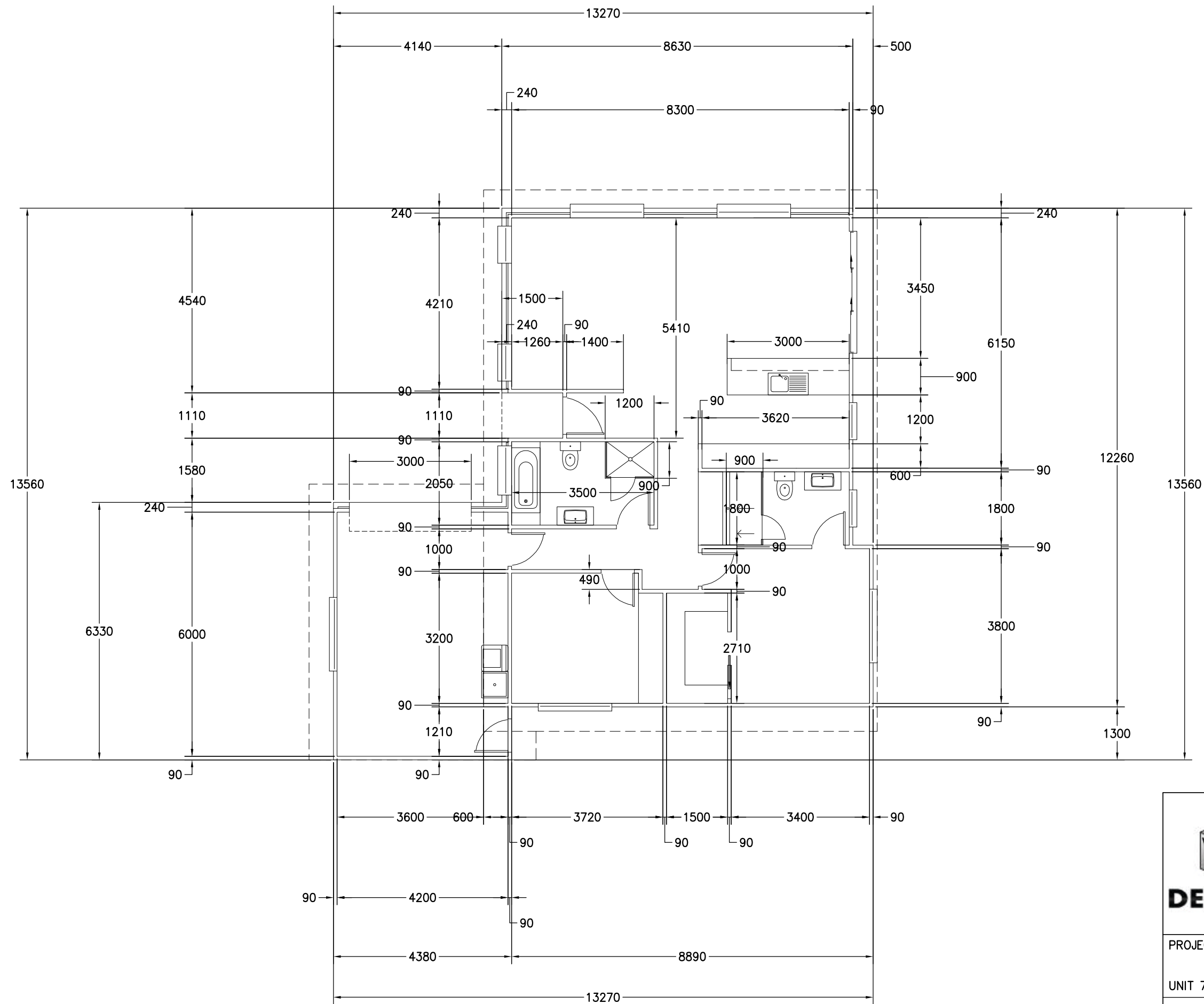
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AREA TABLE		
	SQUARE METER	BUILDING SQUARES
FLOOR AREA	132.6	14.3
PORTICO AREA	1.7	0.2
TOTAL AREA	134.3	14.5

FLOOR PLAN UNIT 1


BRICK VENEER – DIMENSIONS AND AREA TO OUTSIDE CLADDING
CLAD FRAME – DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING. CLADDING IN ADDITION TO DIMENSIONS
ALL INTERNAL DOORS ARE 820mm UNLESS OTHERWISE NOTED

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FLOOR PLAN WITH DIMENSIONS UNIT 1

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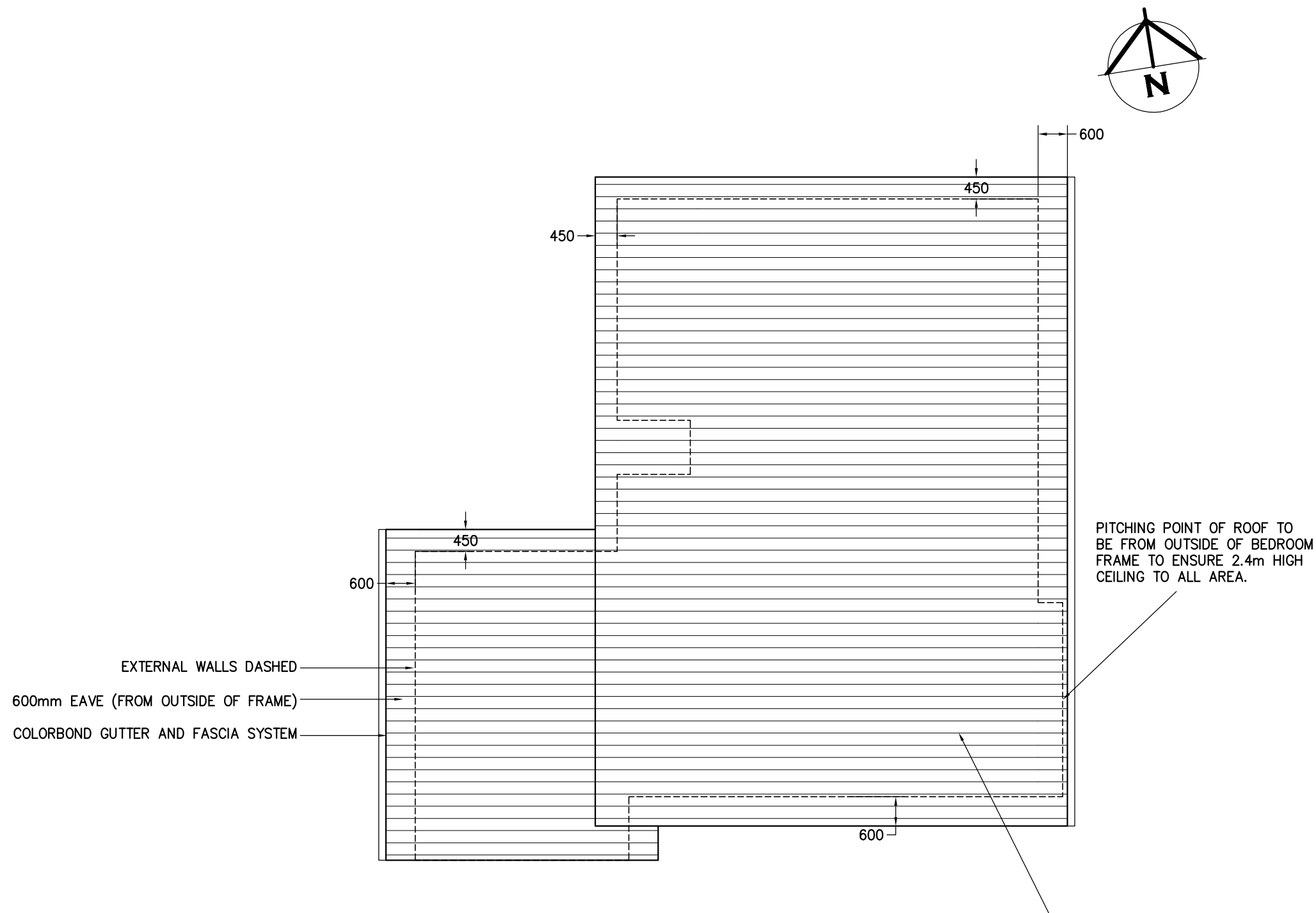
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ROOF PLAN UNIT 1

SHEET ROOF
75x38mm HARD WOOD OR 70x35mm MGP12
BATTENS AT 900mm MAX 900mm CRS AND SPAN.

RANGEHOOD AND BATHROOM EXTRACTION FANS
DUCTED TO EAVE/WALL VENT

COLORBOND CUSTOM ORB ROOF SHEETING
AT 5.0°. ONE AND A HALF CORRUGATION
SIDE LAP (TYPICAL). FIXED AT SIDE LAPS.
3 FIXINGS FOR INTERNAL SPANS AND
5 FOR END SPANS. FIXED WITH ROOFZIPS
M6-11x50mm FOR SOFTWOOD AND STEEL
0.55-1.0mm BMT BATTENS
12-14x35 METAL TEK 1.0-3.0mm BMT
STEEL BATTENS
12-11x50mm FOR HARDWOOD

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ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4

- GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN
- 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS

WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW MEASURERS OR THE LIKE

DOWNPIPES MUST--

(A)NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH DOWNPIPE; AND

(B)BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS; AND

(C)BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B AND TABLE 7.4.3C.

FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPIPE MEDIUM RECTANGULAR GUTTERS OR 115MM 'D' GUTTERS MAY BE USED WITH 90ØMM DOWNPIPES

EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR 1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

(1) FOR A FRONT FACE SLOTTED GUTTER WITH--
A MINIMUM SLOT OPENING AREA OF 1200 MM2 (A) PER METRE OF GUTTER; AND

(a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25 MM BELOW THE TOP OF THE FASCIA,
THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M,
CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.

(2) FOR A CONTROLLED BACK GAP WITH--


(a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE GUTTER BACK AND THE FASCIA; AND

(b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN 50 MM WIDE; AND

(c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM BELOW THE TOP OF THE FASCIA,

THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M,
CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.

(3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED OFFSET OF
THE GUTTER FROM THE FASCIA.



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


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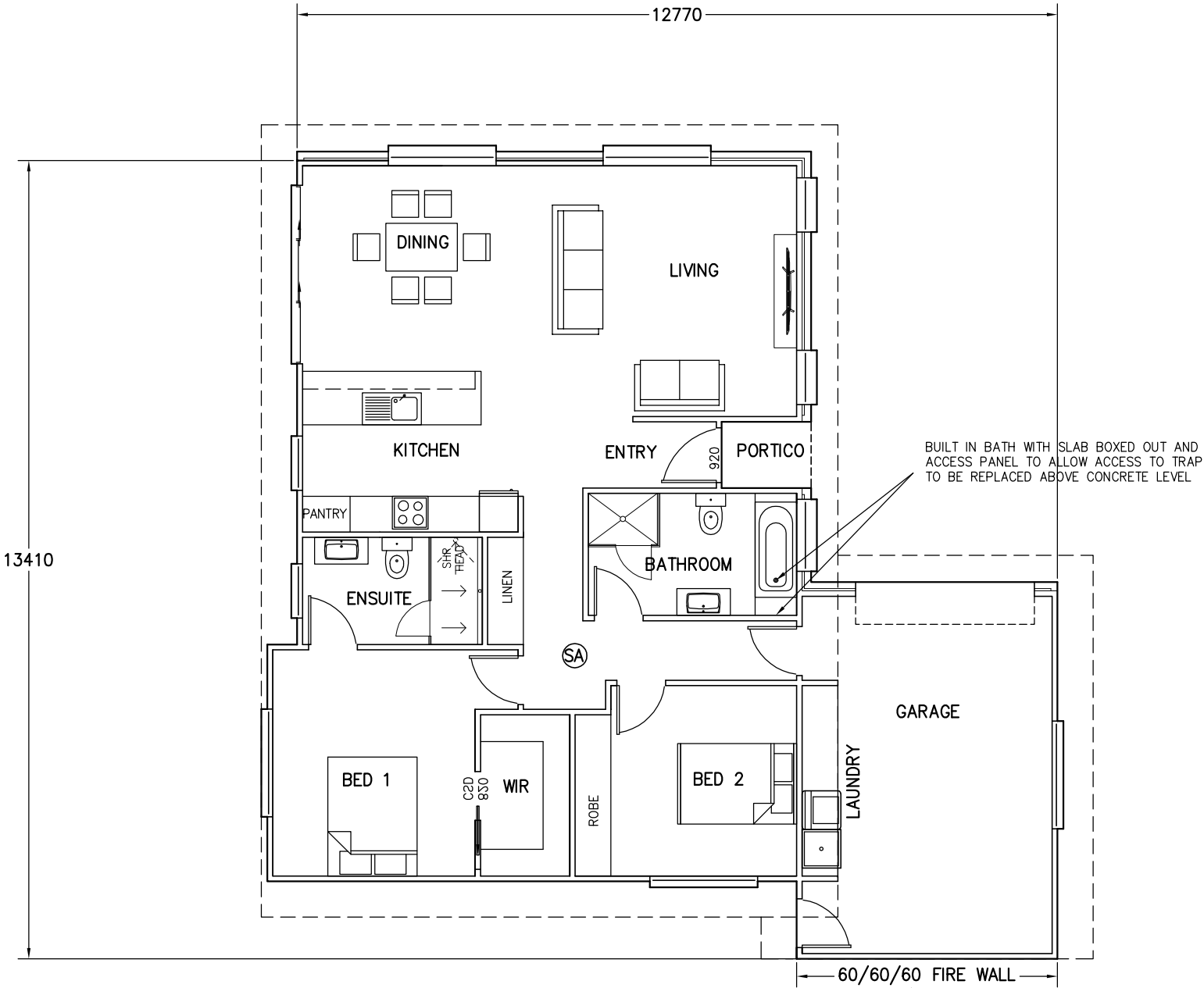
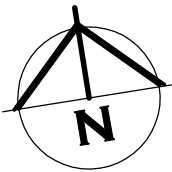
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-  90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)



ⓈA – 240V HARD WIRED SMOKE ALARMS
INSTALLED IN ACCORDANCE WITH NCC9.5 TO
COMPLY WITH AS3786, BE CONNECTED TO MAINS
POWER AND INTERCONNECTED WHERE THERE IS
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A3. BM0824 – 14/20

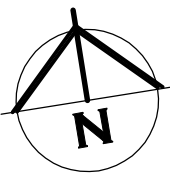
AREA TABLE

	SQUARE METER	BUILDING SQUARES
FLOOR AREA	132.6	14.3
PORTICO AREA	1.7	0.2
TOTAL AREA	134.3	14.5


FLOOR PLAN UNIT 2

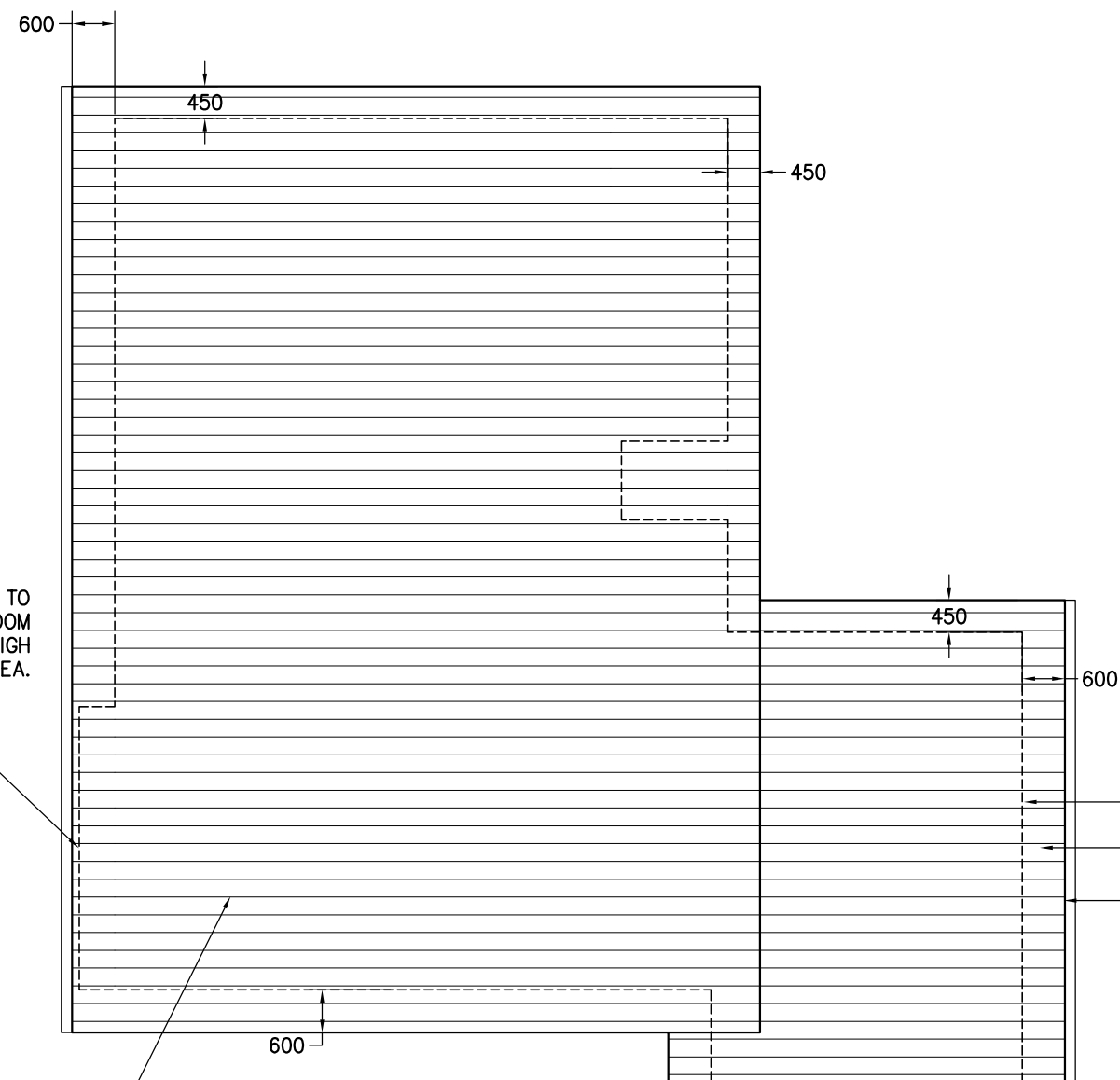
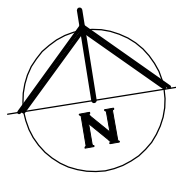
BRICK VENEER – DIMENSIONS AND AREA TO OUTSIDE CLADDING
CLAD FRAME – DIMENSIONS AND AREA TO OUTSIDE OF TIMBER
FRAMING. CLADDING IN ADDITION TO DIMENSIONS
ALL INTERNAL DOORS ARE 820mm UNLESS OTHERWISE NOTED

REVISION NUMBER	DATE
REVISION 1	12 / 05 / 2024
REVISION 2	01 / 08 / 2024
REVISION 3	03 / 08 / 2024
REVISION 4	05 / 08 / 2024
REVISION 5	10 / 07 / 2025
REVISION 6	15 / 07 / 2025



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REVISION 6		15 / 07 / 2025

	<h1>BRADLEY VAN ZETTEN</h1> <p>4 EDEN HILLS DRIVE RIVERSIDE 7250 P. 0407 272 381 E. BVZDESIGNS@GMAIL.COM LICENCE NUMBER 957699796</p>
<p>PROJECT: PROPOSED UNIT DEVELOPMENT FOR BM PROPERTY DEVELOPMENT PTY LTD AT LOT 5 IMOGEN COURT OFF UNIT 7 – 176 FRESHWATER POINT ROAD LEGANA 7277</p>	
<p>DRAWING: FLOOR PLAN WITH DIMENSIONS UNIT 2</p>	
<p>DESIGNED: B. v. Z. DRAWN: B. v. Z.</p>	<p>APPROVED. DATE: 15 / 07 / 25</p>
<p>SCALE: 1:100.</p>	<p>DRAWING No.: BM0824 – 15/20</p>
	<p>A3.</p>



PITCHING POINT OF ROOF TO BE FROM OUTSIDE OF BEDROOM FRAME TO ENSURE 2.4m HIGH CEILING TO ALL AREA.

EXTERNAL WALLS DASHED

600mm EAVE (FROM OUTSIDE OF FRAME)

COLORBOND GUTTER AND FASCIA SYSTEM

COLORBOND CUSTOM ORB ROOF SHEETING AT 5.0°. ONE AND A HALF CORRUGATION SIDE LAP (TYPICAL). FIXED AT SIDE LAPS. 3 FIXINGS FOR INTERNAL SPANS AND 5 FOR END SPANS. FIXED WITH ROOFZIPS M6-11x50mm FOR SOFTWOOD AND STEEL 0.55-1.0mm BMT BATTENS 12-14x35 METAL TEK 1.0-3.0mm BMT STEEL BATTENS 12-11x50mm FOR HARDWOOD

ROOF PLAN UNIT 2

SHEET ROOF
75x38mm HARD WOOD OR 70x35mm MGP12
BATTENS AT 900mm MAX 900mm CRS AND SPAN.

RANGEHOOD AND BATHROOM EXTRACTION FANS
DUCTED TO EAVE/WALL VENT

ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4

GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN

- 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS

WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW MEASURERS OR THE LIKE

DOWNPIPES MUST--

(A)NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH DOWNPIPE; AND

(B)BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS; AND

(C)BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B AND TABLE 7.4.3C.

FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPIPE MEDIUM RECTANGULAR GUTTERS OR 115MM 'D' GUTTERS MAY BE USED WITH 90ØMM DOWNPIPES

EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR 1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

(1) FOR A FRONT FACE SLOTTED GUTTER WITH--

A MINIMUM SLOT OPENING AREA OF 1200 MM² (A) PER METRE OF GUTTER; AND

(a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25 MM BELOW THE TOP OF THE FASCIA,

THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.

(2) FOR A CONTROLLED BACK GAP WITH--

(a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE GUTTER BACK AND THE FASCIA; AND

(b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN 50 MM WIDE; AND

(c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM BELOW THE TOP OF THE FASCIA,

THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.

(3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED OFFSET OF

THE GUTTER FROM THE FASCIA.



DESIGNS

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PROJECT: PROPOSED UNIT DEVELOPMENT FOR
BM PROPERTY DEVELOPMENT PTY LTD
AT LOT 5 IMOGEN COURT OFF
UNIT 7 - 176 FRESHWATER POINT ROAD LEGANA 7277

DRAWING: ROOF PLAN UNIT 2




DESIGNED: B. v. Z.
DRAWN: B. v. Z.

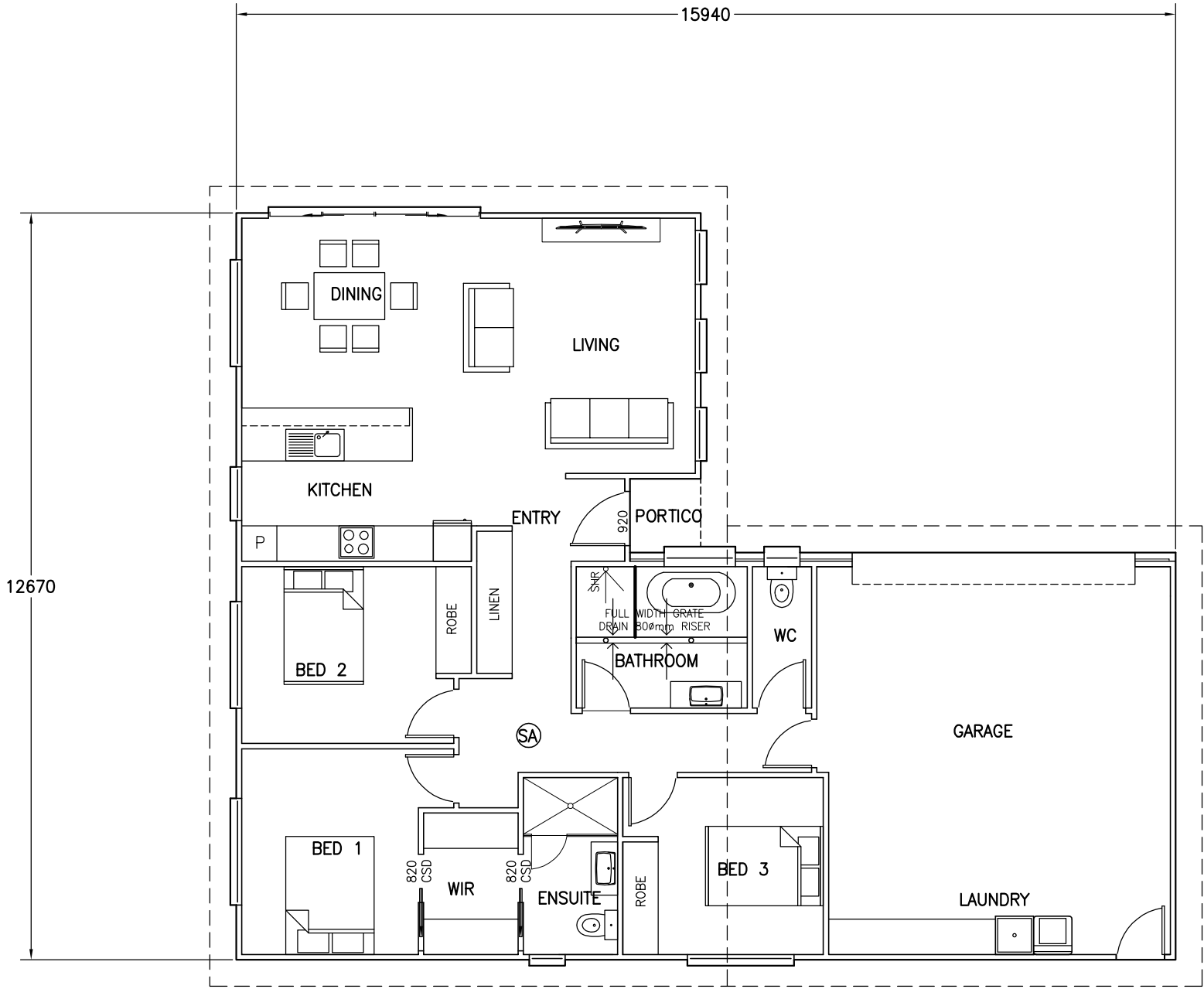
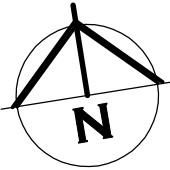
APPROVED.
DATE: 15 / 07 / 25

SCALE: 1:100.

DRAWING No.:
BM0824 - 16/20

REVISION NUMBER	DATE
REVISION 1	12 / 05 / 2024
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-  BRICK VENEER WALL
-  90mm TIMBER FRAMED WALL WITH CEMENT SHEET CLADDING
-  90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)



SA – 240V HARD WIRED SMOKE ALARMS
INSTALLED IN ACCORDANCE WITH NCC9.5 TO
COMPLY WITH AS3786, BE CONNECTED TO MAINS
POWER AND INTERCONNECTED WHERE THERE IS
MORE THAN ONE ALARM



DESIGNS

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LICENCE NUMBER 957699796

PROJECT: PROPOSED UNIT DEVELOPMENT FOR
BM PROPERTY DEVELOPMENT PTY LTD
AT LOT 5 IMOGEN COURT OFF
UNIT 7 – 176 FRESHWATER POINT ROAD LEGANA 7277

DRAWING: FLOOR PLAN UNIT 3

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 15 / 07 / 25

SCALE: 1:100.

DRAWING No.:
A3. BM0824 – 17/20

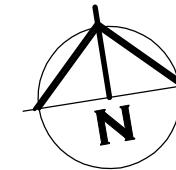
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REVISION 4	05 / 08 / 2024
REVISION 5	10 / 07 / 2025
REVISION 6	15 / 07 / 2025

AREA TABLE

	SQUARE METER	BUILDING SQUARES
FLOOR AREA	154.0	16.6
PORTICO AREA	1.5	0.2
TOTAL AREA	155.5	16.7

FLOOR PLAN UNIT 3

BRICK VENEER – DIMENSIONS AND AREA TO OUTSIDE CLADDING
CLAD FRAME – DIMENSIONS AND AREA TO OUTSIDE OF TIMBER
FRAMING. CLADDING IN ADDITION TO DIMENSIONS
ALL INTERNAL DOORS ARE 820mm UNLESS OTHERWISE NOTED



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BM PROPERTY DEVELOPMENT PTY LTD
AT LOT 5 IMOGEN COURT OFF
UNIT 7 - 176 FRESHWATER POINT ROAD LEGANA 7277

DRAWING: FLOOR PLAN WITH DIMENSIONS UNIT 3

DESIGNED:	B. v. Z.
DRAWN:	B. v. Z.

APPROVED.
DATE: 15 / 07 / 25

SCALE: 1:100.

3. DRAWING No.: BM0824 - 18/20

ROOF CLADDING TO COMPLY WITH NCC PART 7.1–7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4

- GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN
- 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS

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EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR 1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

(1) FOR A FRONT FACE SLOTTED GUTTER WITH—
A MINIMUM SLOT OPENING AREA OF 1200 MM2 (A) PER METRE OF GUTTER; AND

(a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25 MM BELOW THE TOP OF THE FASCIA,
THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M,
CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.


(2) FOR A CONTROLLED BACK GAP WITH—

(a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE GUTTER BACK AND THE FASCIA; AND

(b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN 50 MM WIDE; AND

(c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM BELOW THE TOP OF THE FASCIA,
THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M,
CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.

(3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED OFFSET OF
THE GUTTER FROM THE FASCIA.



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LICENCE NUMBER 957699796

PROJECT: PROPOSED UNIT DEVELOPMENT FOR
BM PROPERTY DEVELOPMENT PTY LTD
AT LOT 5 IMOGEN COURT OFF
UNIT 7 – 176 FRESHWATER POINT ROAD LEGANA 7277

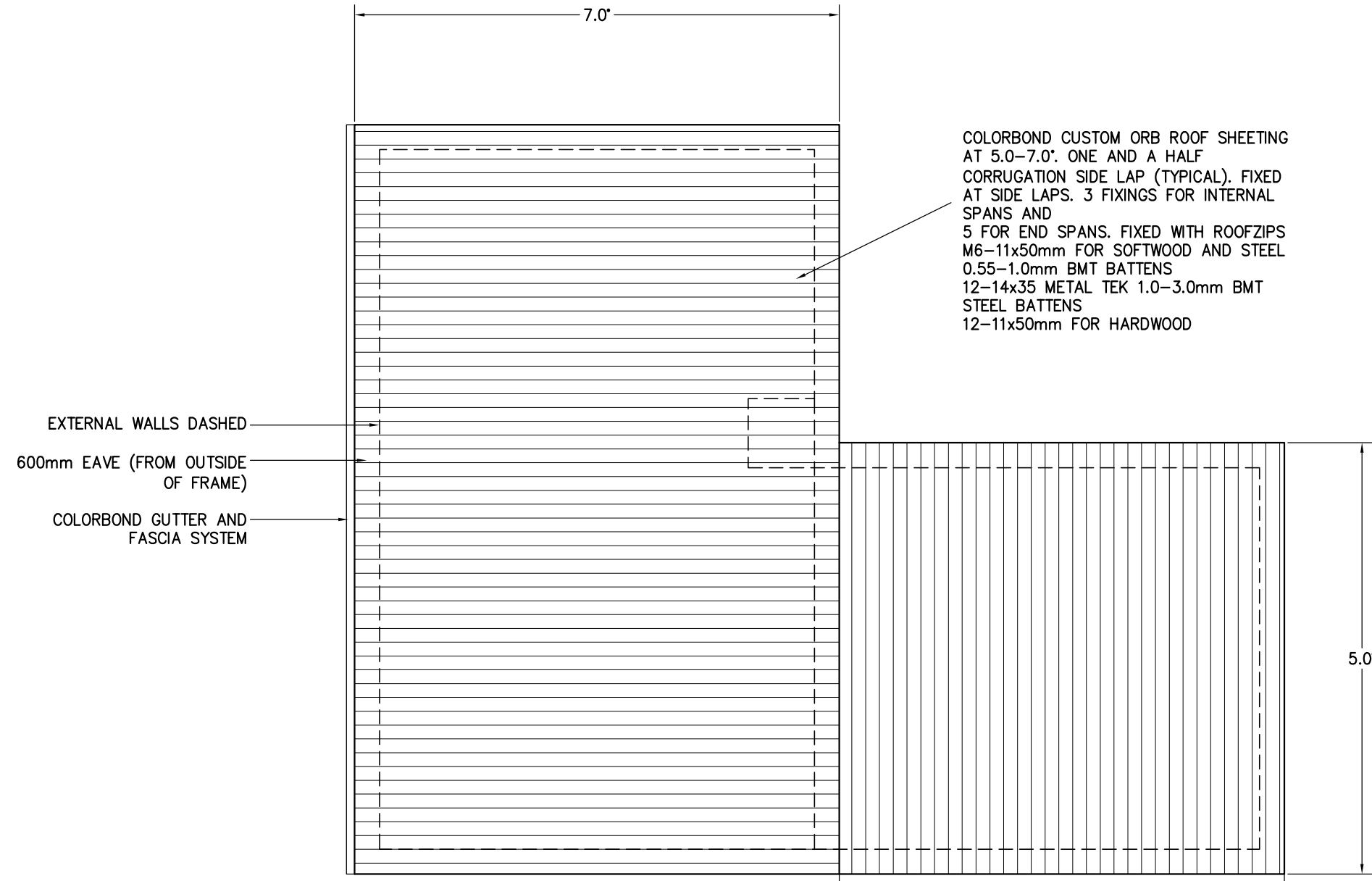
DRAWING: ROOF PLAN UNIT 3

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 15 / 07 / 25

SCALE: 1:100.
A3.

DRAWING No.:
BM0824 – 19/20



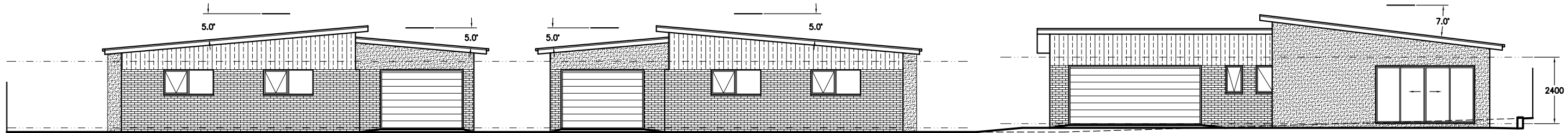
COLORBOND CUSTOM ORB ROOF SHEETING
AT 5.0–7.0'. ONE AND A HALF
CORRUGATION SIDE LAP (TYPICAL). FIXED
AT SIDE LAPS. 3 FIXINGS FOR INTERNAL
SPANS AND
5 FOR END SPANS. FIXED WITH ROOFZIPS
M6–11x50mm FOR SOFTWOOD AND STEEL
0.55–1.0mm BMT BATTENS
12–14x35 METAL TEK 1.0–3.0mm BMT
STEEL BATTENS
12–11x50mm FOR HARDWOOD

ROOF PLAN UNIT 3

SHEET ROOF
75x38mm HARD WOOD OR 70x35mm MGP12
BATTENS AT 900mm MAX 900mm CRS AND SPAN.

RANGEHOOD AND BATHROOM EXTRACTION FANS
DUCTED TO EAVE/WALL VENT

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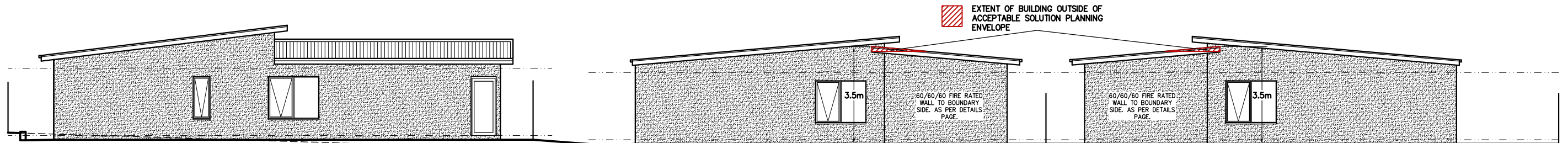
UNIT 1

UNIT 2

UNIT 3

- BRICK VENEER CLADDING
- COLORBOND CUSTOM ORB SHEET ROOFING
- JAMES HARDIES CEMENT SHEET CLADDING (AXON)
INSTALLED AS PER JAMES HARDIES INSTALLATION MANUAL WITH CAVITY FIXING
- JAMES HARDIES CEMENT SHEET CLADDING (EASYLAP)
INSTALLED AS PER JAMES HARDIES INSTALLATION MANUAL WITH CAVITY FIXING

NORTH ELEVATION



UNIT 3

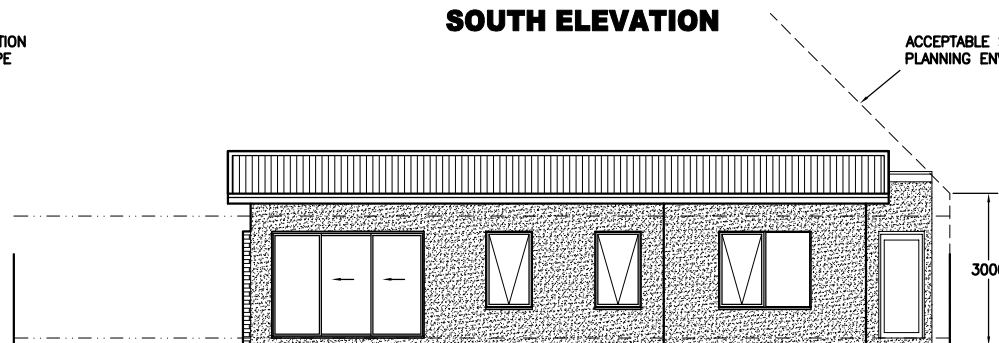
UNIT 2

UNIT 1

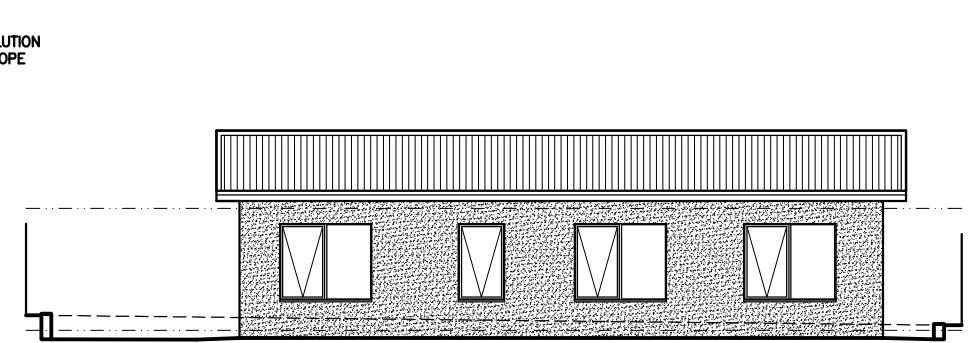
SOUTH ELEVATION



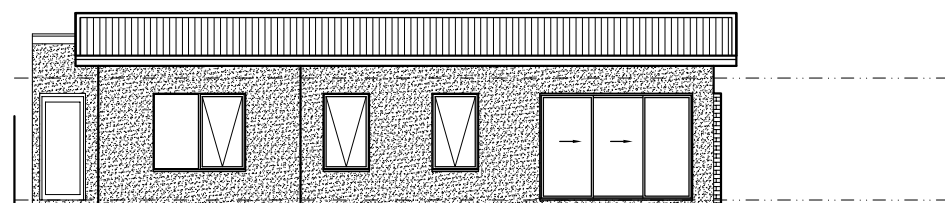
UNIT 1
WEST ELEVATION



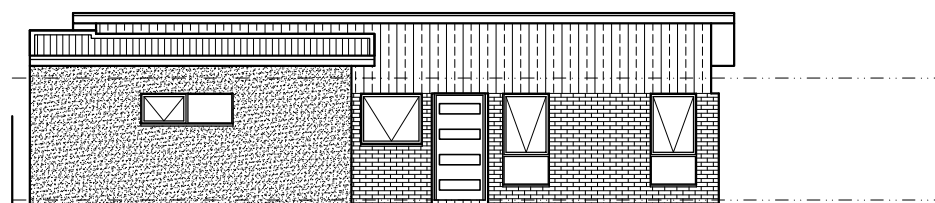
UNIT 2
WEST ELEVATION



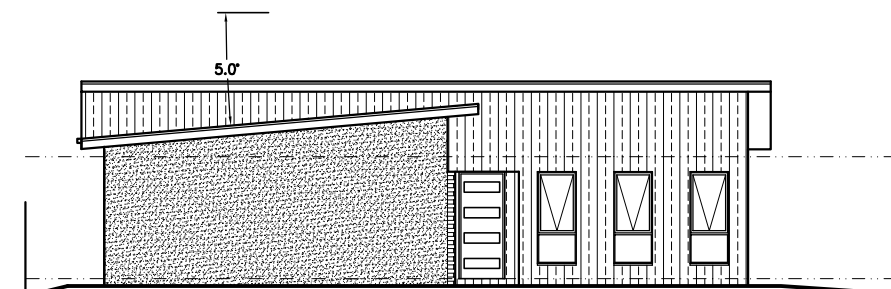
UNIT 3
WEST ELEVATION



UNIT 1
EAST ELEVATION



UNIT 2
EAST ELEVATION



UNIT 3
EAST ELEVATION

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UNIT 7 - 176 FRESHWATER POINT ROAD LEGANA 7277

DRAWING: ELEVATIONS

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 15 / 07 / 25

A: 1:75. A1
1:150 - A3

DRAWING No.:
BM0824 - 20/20