

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number PA2025201

Assess No: A12302

PID No: 3199799

Applicant Name:	Dion Chellis					
Applicant Contact Name						
Postal Address:						
Contact Phone:	Home		Work		Mobile	
Email Address:						

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

- | | |
|---|---|
| 1. A current copy of the property title text, folio plan and schedule of easements | x |
| 2. A completed application form including a detailed description of the proposal | x |
| 3. A complete plan set: | x |
| a) Floor plans | x |
| b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) | x |
| c) Site Plan showing: | x |
| • Orientation | |
| • All title boundaries | |
| • Location of buildings and structure (both existing and proposed) | |
| • Setbacks from all boundaries | |
| • Native vegetation to be removed | |
| • Onsite services, connections and drainage details (including sewer, water and stormwater) | |
| • Cut and/or Fill | |
| • Car parking and access details (including construction material of all trafficable areas) | |
| • Fence details | |
| • Contours | |
| 4. Other: | |

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: DION CHELLIS

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) DION CHELLIS

Location / Address: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270

Title Reference: TITLE REF : 163848/1

Zone(s): RURAL LIVING

Existing Development/Use: VACANT RESIDENTIAL LAND

Existing Developed Area: NO CURRENT DEVELOPMENT VACANT

Are any of the components in this Application seeking retrospective approval?
E.g. Use and/or development that has commenced without a Planning Permit.

YES ☐
NO ☒

(If yes please specify the relevant components):

DEVELOPMENT APPLICATION DETAILS

Proposed Use:

Residential: X	Visitor Accommodation: <input type="checkbox"/>	Commercial: <input type="checkbox"/>	Other: <input type="checkbox"/>
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Description of Use:
NEW STEEL FRAMED 2 STOREY RESIDENTIAL HOME. NEW STEEL FRAMED SHED. NEW ACCESSWAY AND RAINWATER STORAGE

Development Type:

Building work: X	Demolition: <input type="checkbox"/>	Subdivision: <input type="checkbox"/>	Other: <input type="checkbox"/>
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Description of development:
CLASS 1A RESIDENTIAL AND CLASS 10
NEW STEEL FRAMED 2 STOREY RESIDENTIAL HOME. NEW STEEL FRAMED SHED. NEW ACCESSWAY AND RAINWATER STORAGE

New or Additional Area: 206M2 FOR HOUSE 288M2 FOR SHED

Estimated construction cost of the proposed development: \$300,000+GST

WEST TAMAR COUNCIL



Application Number: «Application Number»

Building Materials:	Wall Type: STEEL FRAMED COLORBOND CLAD	Colour:COLORBOND BASALT
	Roof Type: STEEL FRAMED COLORBOND CLADDING	Colour:COLORBOND MIDNIGHT

Application Number: «Application Number»

VISITOR ACCOMMODATION

☐ N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION

☐ N/A

Subdivision creating additional lots ☐
 Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

☐ N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: (Existing)	
Number of Employees: (Proposed)	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

DION CHELLIS
Name (print)


Signed

20.06.2025
Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,
(if not the owner)

DION CHELLIS
Name (print)


Signed

20.06.2025
Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

Crown Consent
(if required)
Name (print)

Signed

Date

Chief Executive Officer
(if required)
Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

<p>OWNER ALAN CHISHOLM INGLIS</p> <p>FOLIO REFERENCE 108180-6</p> <p>GRANTEE PART OF 1924-1-19 GTD TO MALCOLM MCCAUL, PETER FERGUSON & ROBERT GOW JNR</p>	<p style="text-align: center;">PLAN OF TITLE</p> <p>LOCATION: LAND DISTRICT OF DEVON PARISH OF STOCKPORT</p> <p>CONVERTED BY PLAN No: P 108180</p> <p>COMPILED BY: COHEN & ASSOCIATES PTY LTD, LAUNCESTON</p> <p>NOT TO SCALE</p>	<p>REGISTERED NUMBER P163848</p> <p>APPROVED 13 SEP 2012 <i>Alice Kawa</i> Recorder of Titles</p>	
MAPSHEET MUNICIPAL CODE No. 129 (4844-21)	LAST UPI No 4103914	LAST PLAN No P 108180	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

SKETCH BY WAY OF ILLUSTRATION ONLY
"EXCEPTED LANDS"

PART OF LOT1 SP163845 (1898m²)

73/48 (8392) 22/3/2012 10:23

PROPOSED NEW RESIDENCE AND SHED

356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270
TITLE REF : 163848/1
WEST TAMAR COUNCIL

STAGE: PLANNING PERMIT

ALL CONSTRUCTION TO MEET BUSHFIRE HAZARD REPORT REQUIREMENTS AND BAL12.5 FIRE RATING

DRAWING SCHEDULE	
Sheet Number	Sheet Name
A000	COVERPAGE
A001	STANDARD NOTES
A002	SITE ANALYSIS PLAN
A003	WASTE MANAGEMENT PLAN
A004	EARTHWORKS AND SEDIMENT CONTROL PLAN
A005	STORMWATER AND WATE REUSE PLAN
A100	SITE PLAN
A101	FLOOR PLANS
A102	ROOF PLAN
A103	SHED PLAN
A104	SHED ROOF PLAN
A105	SHIPPING CONTAINER SITE PLAN
A300	EXTERNAL ELEVATIONS
A301	EXTERNAL ELEVATIONS
A400	SECTIONS
A401	SECTIONS
A500	3DS
A501	3DS
A600	NATHERS
A601	NATHERS
A700	WINDOW AND DOOR SCHEDULE
A800	NOTIFICATION PLAN
A900	BAL12.5 REQUIREMENT
A901	BAL12.5 REQUIREMENT



Certificate No. # 316BGJL39I

Scan QR code or follow website link for rating details.

Assessor name Pranab chakma

Accreditation No. 101225

Property Address 356 Clarence Point Road,
Clarence Point, TAS, 7270



<https://www.fr5.com.au/QRCodeLanding?PublicId=316BGJL39I>

14/05/2025 1:29PM

Page 1 of 4



Property report for 356 CLARENCE POINT RD CLARENCE POINT TAS 7270



Property Identification Number

3199799

Locality

Clarence Point

Planning Zones

Rural Living

Total Area

7397 sqm

Certificate of Title Reference (Volume/Folio)

163848/1

Municipality

West Tamar

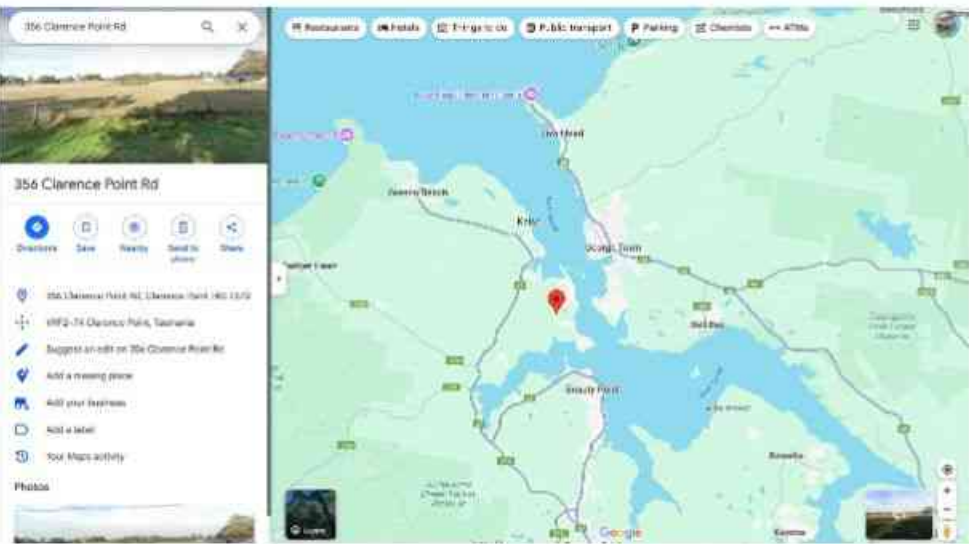
Planning Codes Overlay

Bushfire-prone areas, Priority vegetation area

Planning Scheme

Tasmanian Planning Scheme

This property is in the **Rural Living** planning zone under the Tasmanian Planning Scheme. The Tasmanian Planning Scheme consists of state wide provisions to ensure consistency across Tasmania, and local provisions which spatially apply those through zoning maps along with specific provisions for unique places in each municipality to address local issues.



LOCATION MAP 01



LOCATION MAP 02

PLANNING CERTIFICATE

FOR APPROVALS

REV: 8	DATE: 25.08.2025	CLIENT: PLAY FOR DION CHELLIS	SHEET TITLE: COVERPAGE	
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270	SHEET NUMBER: A000	
DESCRIPTION OF CHANGES		TITLE REF : 163848/1 - WEST TAMAR COUNCIL	JOB NUMBER: 2025023	
FOR APPROVALS		DRAWN: PLAY DESIGN STUDIO	DATE DRAWN: APRIL 2022	
		CHECKED: PLAY	SCALE:	ISSUE: 8

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GENERAL NOTES & SPECIFICATIONS

GENERAL
REFER SITE PLANS FOR BUILDING DESIGN WIND CLASSIFICATION.
ALL BUILDING WORKS ARE TO COMPLY WITH THE NCC VOLUME 2 2022.
WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.
FLOOR PLAN DIMENSIONS ARE TO FRAME.
INTERNAL ELEVATION DIMENSIONS ARE TO PLASTERBOARD.
THERE ARE NO ATYPICAL DESIGN FEATURES THAT PRESENT UNUSUAL WORKPLACE HEALTH & SAFETY ISSUES IN THE CONSTRUCTION, MAINTENANCE, USE, OR DEMOLITION OF THIS STRUCTURE.
SITE & EARTHWORKS
SITE PREPARATION & BATTERS TO COMPLY WITH ENGINEER'S SPECIFICATIONS.
ALL LEVELS TO BE VERIFIED ON SITE BY CONTRACTOR.
STORMWATER FROM ROOF TO BE CONNECTED TO LEGAL POINT OF DISCHARGE AS PER SITE PLAN. WHERE DISCHARGE IS TO KERB, AN APPROVED ADAPTOR MUST BE USED.
TERMITE
TERMITE PROTECTION INSTALLED IN ACCORDANCE WITH AS3660.1.
SLAB & FOOTINGS
CONCRETE SLAB, PIERS AND REINFORCING TO COMPLY WITH ENGINEERS DESIGN AND
-VAPOUR BARRIER TO BE INSTALLED AS PER AS2870 AS PER STATE REQUIREMENTS
-50mm SAND FILL LAYER TO BE PLACED BY CONCRETER PRIOR TO SLAB PREP.
TIMBER FRAMING (WHEN APPLICABLE)
ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH NCC H1D6 & TO COMPLY WITH AS1684.2-2021 (N2/N3/N4 WIND RATING AREAS) & AS1684.3-2021 (C1/C2 WIND RATING AREAS).
PREF AB. TIMBER ROOF TRUSSES @ 600mm MAX. CENTRES TO MANUFACTURER'S
ALL BRACING, FIXING & TIE DOWN REQUIREMENTS TO COMPLY WITH ENGINEER'S DESIGN AND SPECIFICATIONS.
ALL BULKHEAD & SQ SET DEPTHS NOTED ON FLOOR PLAN ARE FINISH PLASTERBOARD DIMENSIONS
INTERNAL CEILING BATTENS INSTALLED @ 600mm CENTRES.
GARAGE CEILING TO HAVE MINIMUM PERIMETER SUPPORT @ 300mm CENTRES.
STEEL FRAMING (WHEN APPLICABLE)
ALL STEEL FRAMING TO BE IN ACCORDANCE WITH NCC H1P1 & TO COMPLY WITH AS4100-2020, AS4055-2021, AS1170.0-2002, AS 1170.1-2002 & AS/NZS 4600-2018.
PREF AB. STEEL ROOF TRUSSES @ 900mm CENTRES MAXIMUM WITH INTERMEDIATE CEILING JOISTS.
PREF AB. STEEL ROOF TRUSSES @ 600mm CENTRES FOR TILED ROOF UP TO N4 WITH INTERMEDIATE CEILING JOISTS.
PREF AB. STEEL ROOF TRUSSES @ 600mm CENTRES TO ALL RAKED CEILINGS WITH INTERMEDIATE CEILING JOISTS.
INTERNAL & EXTERNAL TRUSS & INTERMEDIATE CEILING JOISTS ARE TO BE SPACED @ MAX 600mm CENTRES WITH INTERMEDIATE CEILING JOISTS.
INTERNAL CEILING BATTENS INSTALLED @ 600mm CENTRES WITH INTERMEDIATE CEILING JOISTS.
ALL BULKHEAD & SQ SETS DEPTHS NOTED ON FLOOR PLAN ARE FINISH PLASTERBOARD DIMENSIONS.
GARAGE CEILING TO HAVE MINIMUM PERIMETER SUPPORT @ 300mm CENTRES.
ROOF & WALL CLADDING
BRICK VENEER WALLS TO COMPLY WITH NCC H1D1 & MUST COMPLY WITH AS4773.1, AS4773.2 & AS3700.
ALL EAVE SHEETS AND FIBRE CEMENT LININGS MUST COMPLY WITH AS2908.2.
PLASTERBOARD TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
ROOF AND WALL CLADDING TO BE IN ACCORDANCE WITH NCC H2D6 & MUST COMPLY WITH THE FOLLOWING STANDARD WHEN APPLICABLE (SHEET ROOF:AS1562.1 / ROOF TILING:AS2050 / AAC:AS5146.1 / HARDBOARD:AS1859.4).
ALL FLASHINGS MUST COMPLY WITH AS2904.
ALL SARKING MUST COMPLY WITH AS4200.1.
GLAZING
WINDOWS TO COMPLY WITH NCC H5P2 & PART 11.3.7 & 11.3.8 OF THE ABCB HOUSING PROVISIONS.
GLAZING TO BE IN ACCORDANCE WITH NCC H1D8 & MUST COMPLY WITH AS1288 & AS2047.
WATER PROOFING
WATER PROOFING IS TO BE IN ACCORDANCE WITH NCC H4D1 & PART 10.2 OF THE ABCB HOUSING PROVISIONS.
WHERE FLOOR WASTES ARE PROVIDED, FLOOR GRADES ARE MINIMUM 1:80 AND MAXIMUM 1:50 IN ACCORDANCE WITH PART 10.2.12 OF THE ABCB HOUSING PROVISIONS OR RELEVANT PERFORMANCE SOLUTION.
EXTERNAL WATERPROOFING TO BE IN ACCORDANCE WITH NCC PART H2D8 & MUST COMPLY WITH AS4654.1 & AS4654.2.
TILED WET AREA FLOORS AND SHOWER FLOORS WHERE A 'FLOOR WASTE' IS REQUIRED, WILL GENERALLY REQUIRE TILES TO BE DIAGONALLY CUT TO ACHIEVE COMPLIANT FALLS.
CONDENSATION MANAGEMENT AND VENTILATION
EXHAUST FAN TO WC (WHEN APPLICABLE) TO COMPLY WITH NCC H4D9 & AS1668.2.
EXHAUST FANS, RANGEHOODS, COMBINATION EXHAUST FANS ARE DUCTED EXTERNALLY AT A MINIMUM RATE IN ACCORDANCE WITH NCC H4P7 & PART 10.8 OF THE ABCB HOUSING PROVISIONS.
BATHROOMS OR SANITARY COMPARTMENTS WITHOUT NATURAL VENTILATION TO HAVE 10 MINUTE RUN ON TIMER LINKED TO LIGHT SWITCH.
ANY ROOM THAT DOES NOT MEETING NATURAL VENTILATION REQUIREMENTS MUST BE PROVIDED WITH MAKE-UP AIR FROM AN ADJACENT ROOM IN ACCORDANCE WITH AS1668.2.
WET AREAS WITHOUT SUFFICIENT NATURAL VENTILATION MUST HAVE A MINIMUM 20MM GAP TO THE UNDERSIDE OF THE DOOR TO ACHIEVE COMPLIANT VENTILATION.
STAIRS & BALUSTRADE (WHEN APPLICABLE)
ALL STAIRS, BARRIERS, BALUSTRADES & HANDRAILS TO BE IN ACCORDANCE WITH NCC H5 & PART 11.2 & 11.3 OF THE ABCB HOUSING PROVISIONS & MUST COMPLY WITH AS1170.1 & AS4586.
OTHER
PASSAGE DOORS TO SANITARY COMPARTMENTS TO BE IN ACCORDANCE WITH NCC H4F3 PART 10.4.2 OF THE ABCB HOUSING PROVISIONS.
BUILT TO BOUNDARY WALLS TO BE BUILT IN ACCORDANCE WITH NCC H3D1 AND PARTS 9.1 TO 9.3 OF THE ABCB HOUSING PROVISIONS & AS1530. SEPARATING & EXTERNAL WALLS TO BE BUILT TO FRL 60/60/60 (WHERE APPLICABLE).
PROVIDE MINIMUM 115mm SLOTTED GUTTER TO SUIT MAX 40m2 OF ROOF AREA PER DOWNPIPE.
SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC H3D6 & PART 9.5 OF THE ABCB HOUSING PROVISIONS & MUST COMPLY WITH AS3786 & AS1670.1.
FLUES FOR ALL FIREPLACES & HEATERS (WHERE APPLICABLE) ARE TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS AND PART 12.4 OF THE ABCB HOUSING PROVISIONS.

ROOFING AND GUTTERS
Australian standards for roofing and gutters are primarily outlined in the National Construction Code (NCC) and relevant Australian Standards like AS/NZS 3500.3 (Plumbing and Drainage) and AS 1562.1 (Metal Roofing and Wall Cladding). These standards ensure safe, durable, and effective installation of roof coverings and drainage system

MUST COMPLY WITH Part 3.5.3 Gutters and downpipes NCC

BAL12.5 CONSTRUCTION

SITE COVERAGE

SITE AREA: 8242M2

SITE COVERAGE CONTAINERS ONLY

60M2 = 0.7% SITE COVERAGE

SITE COVERAGE CONTAINERS AND HOUSE/SHED

495M2 = 6.0% SITE COVERAGE

CONTAINERS USED FOR STORAGE ONLY TO BE REMOVED AFTER HOUSE OCCUPATION CERTIFICATE ISSUED

FOR APPROVALS

REV: 8	DATE: 25.08.2025	CLIENT: PLAY FOR DION CHELLIS	SHEET TITLE: STANDARD NOTES	
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270	SHEET NUMBER: A001	
DESCRIPTION OF CHANGES		TITLE REF : 163848/1 - WEST TAMAR COUNCIL	JOB NUMBER: 2025023	
FOR APPROVALS		DRAWN: PLAY DESIGN STUDIO	DATE DRAWN: APRIL 2022	
		CHECKED: PLAY	SCALE: 1 : 100	ISSUE: 8

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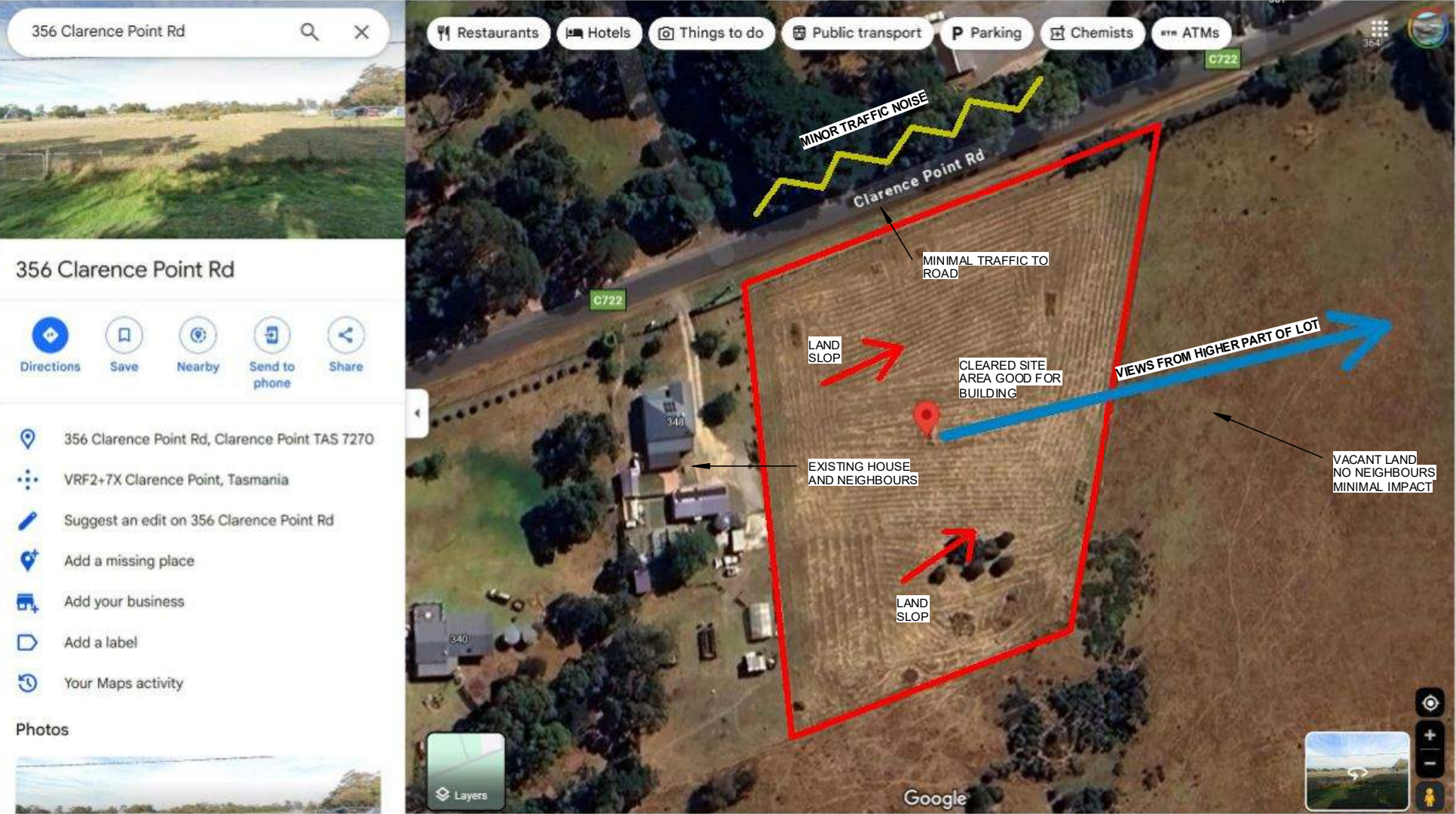
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WEATHER BY MONTH // WEATHER AVERAGES
LAUNCESTON

	January	February	March	April	May	June	July	August	September	October	November	December
Avg. Temperature °C (°F)	16.9 °C (62.5) °F	16.6 °C (61.9) °F	14.8 °C (58.6) °F	11.6 °C (52.8) °F	8.9 °C (48.1) °F	7 °C (44.6) °F	6.5 °C (43.6) °F	7.1 °C (44.7) °F	8.7 °C (47.6) °F	10.6 °C (51.1) °F	13.2 °C (55.7) °F	15.1 °C (59.1) °F
Min. Temperature °C (°F)	11.6 °C (52.9) °F	11.7 °C (53.1) °F	10.1 °C (50.1) °F	7.4 °C (45.3) °F	5.4 °C (41.6) °F	3.7 °C (38.6) °F	3.1 °C (37.5) °F	3.4 °C (38.1) °F	4.5 °C (40.1) °F	5.9 °C (42.7) °F	8.3 °C (47) °F	9.9 °C (49.9) °F
Max. Temperature °C (°F)	22.6 °C (72.7) °F	22 °C (71.6) °F	20.1 °C (68.2) °F	16.4 °C (61.5) °F	13.2 °C (55.8) °F	11 °C (51.8) °F	10.5 °C (50.9) °F	11.4 °C (52.5) °F	13.3 °C (56) °F	15.6 °C (60) °F	18.3 °C (64.9) °F	20.4 °C (68.7) °F
Precipitation / Rainfall mm (in)	54 (2)	49 (1)	49 (1)	53 (2)	62 (2)	65 (2)	81 (3)	86 (3)	80 (3)	67 (2)	64 (2)	60 (2)
Humidity(%)	63%	68%	71%	77%	83%	88%	86%	84%	79%	74%	71%	66%
Rainy days (d)	5	5	5	5	6	7	8	8	9	8	8	6
avg. Sun hours (hours)	9.6	8.0	6.9	5.6	4.9	4.3	4.4	4.9	5.9	7.0	7.9	9.2

LAUNCESTON WEATHER INFORMATION



SITE DETAILS		356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270 TITLE REF : 163848/1	BAL12.5 CONSTRUCTION
BUSHFIRE ATTACK LEVEL = BAL 12.5			
COUNCIL AREA	WEST TAMAR		
ZONING	RURAL LIVING		
SITE AREA	7397M2		
PROPOSED FLOOR AREA s	HOUSE LEVEL 01 = 150M2 HOUSE LEVEL 02 = 56M2 HOUSE DECKS = 40M2 SHED = 288M2		
ROOF AREA	ENTER ROOF AREA =296M2 HOUSE =291M2 SHED		
CONDITIONED FLOOR SPACE	=191M2		
UN CONDITIONED FLOOR SPACE	=15M2		
LAND SCAPE AREA	ENTER LANDSCAPE AREA =200M2		
HARD LAND SCAPE AREA	AREA INCLUDES DRIVEWAYS AND FOOTPATHS =0		
PROPOSED SITE COVERAGE	BUILDING FOOTPRINT + DRIVEWAY+FOOTPATHS-DECKS =8%		
PROPOSED FSR	FLOOR SPACE RATIO - TOTAL LIVING AREA DIVIDED BY SITE AREA 0.027 to 1 LIVING/SITEX100		
MAX. BUILDING HEIGHT	7M ABOVE FFL 7.5M ABOVE FGL		
SOIL CLASSIFICATION	(CHECK GEOTECH REPORT)		
WIND SPEED	N3 (CHECK WINDSPEED)		
TERRAIN CATEGORY	T0 / CATEGORY 01 /		
REGION	A		
SHIELDING	NO SHIELDING		



SITE PHOTOGRAPHS
FOR APPROVALS

REV: 8	DATE: 25.08.2025	CLIENT: PLAY FOR DION CHELLIS	SHEET TITLE: SITE ANALYSIS PLAN	
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270 TITLE REF : 163848/1 - WEST TAMAR	SHEET NUMBER: A002	
DESCRIPTION OF CHANGES		COUNCIL	JOB NUMBER: 2025023	
FOR APPROVALS		DRAWN: PLAY DESIGN STUDIO	DATE DRAWN: APRIL 2022	
		CHECKED: PLAY	SCALE: 1 : 100	ISSUE: 8

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PLAY
DESIGN STUDIO



reduce
↓
reuse
↓
recycle



WASTE MANAGEMENT STRATEGY

Avoid and Reduce

Minimise the production of waste materials in the construction process by

- Assessing and taking into consideration the resultant waste from different design and construction options
- Purchasing materials that will result in less waste, which have minimal packaging, are pre-cut or fabricated.
- Not over ordering products and materials

Reuse

Ensure that where ever possible, materials are reused either on site or offsite

- Identify all waste products that can be reused
- Put systems in place to separate and store reusable items
- Identify the potential applications for reuse both onsite and offsite and facilitate reuse

Recycling

Identify all recyclable waste products to be produced on site

- Provide systems for separating and stockpiling of recyclables
- Provide clear signage to ensure recyclable materials are separated
- Process the material for recycling either onsite or offsite

Note: In some cases it may be more economical to send the unsorted waste to specialised waste contractors who will separate and recycle materials at an offsite location.

Disposal

Waste products which cannot be reused or recycled will be removed and disposed of. The following will need to be considered:

- Ensure the chosen waste disposal contractor complies with OEH requirements
- Implement regular collection of bins

WASTE MANAGEMENT PLAN NOTES

GENERAL WASTE

ALL GENERAL WASTE TO BE STORED IN A SECURE BIN AREA ON SITE . WASTE TO COVERED AND SECURED AS NOT TO ALLOW WASTE TO BLOW OUT OF BIN AND STOP ANIMALS SCAVAGING WASTE BIN TO BE BEHIND SECURE FENCE OR TEMPORARY CONSTRUCTION FENCE. BIN TO BE LOCATED IN EASILY ACCESSIBLE LOCATION FOR WASTE COLLECTION TRUCK OR CONTRACTOR TO ACCESS

RECYCLABLE WASTE

ALL RECYCLABLE REUSEABLE MATERIALS INCLUDING

- EXCESS FRAMING TIMBER LENGTHS
- CLADDING SHEETS
- FLASHINGS
- WINDOWS AND DOORS
- ROOF SHEETS
- FITTINGS AND HARDWARE
- DECKING
- FIXINGS

TO BE TAKEN BY BUILDER TO BE REUSED ON OTHER PROJECTS OR STORED AT THE BUILDERS WORKSHOP FOR FUTURE USE

ADDITIONAL RECYCLABLE OR REUSEABLE WASTE TO BE STORED ON SITE IF OWNER/ BUILDER AGREE TO THE MATTER

STOCK PILES

ALL STOCKPILES TO BE LOCATED SECURELY BEHIND THE BUILDING LINE OR SITE FENCING. ALL LOOSE STOCKPILES TO BE SECURELY COVERED IF REQUIRED TO PREVENT DUST AND MATERIAL LEAVING SITE

STOCKPILES TO BE LOCATED IN ACCESSIBLE LOCATION FOR EASE OF DELIVERY AND COLLECTION

HAZARDARDOUS WASTE

ALL HAZARDARDOUS MATERIAL TO BE REMOVED FROM SITE BY A FULLY QUALIFIED PERSON/COMPANY ACCORDING TO ALL RELEVANT AUSTRALIAN STANDARDS, BCA REQUIREMENTS AND LOCAL AUTHORITY REQUIREMENTS.

HAZARDARDOUS WASTE TO BE REMOVED ACCORDING TO ANY RELEVANT HAZARDARDOUS WASTE REPORT

IF ANY UNKNOWN HAZARDARDOUS WASTE IS FOUND ON SITE ALL WORK MUST STOP IMMEDIATELY AND BUILDER NOTIFIED - AWAIT INSTRUCTION

ONSITE TOILET

AN ONSITE TOILET IS TO BE PROVIDED . TOILET LOCATED IN A SECURE LOCATION BEHIND THE BUILDING LINE.

TOILET TO BE MAINTAINED IN HYGENIC MANNER BY ALL PERSONS USING IT

ADVISE BUILDER OF ANY ISSUES

FENCING

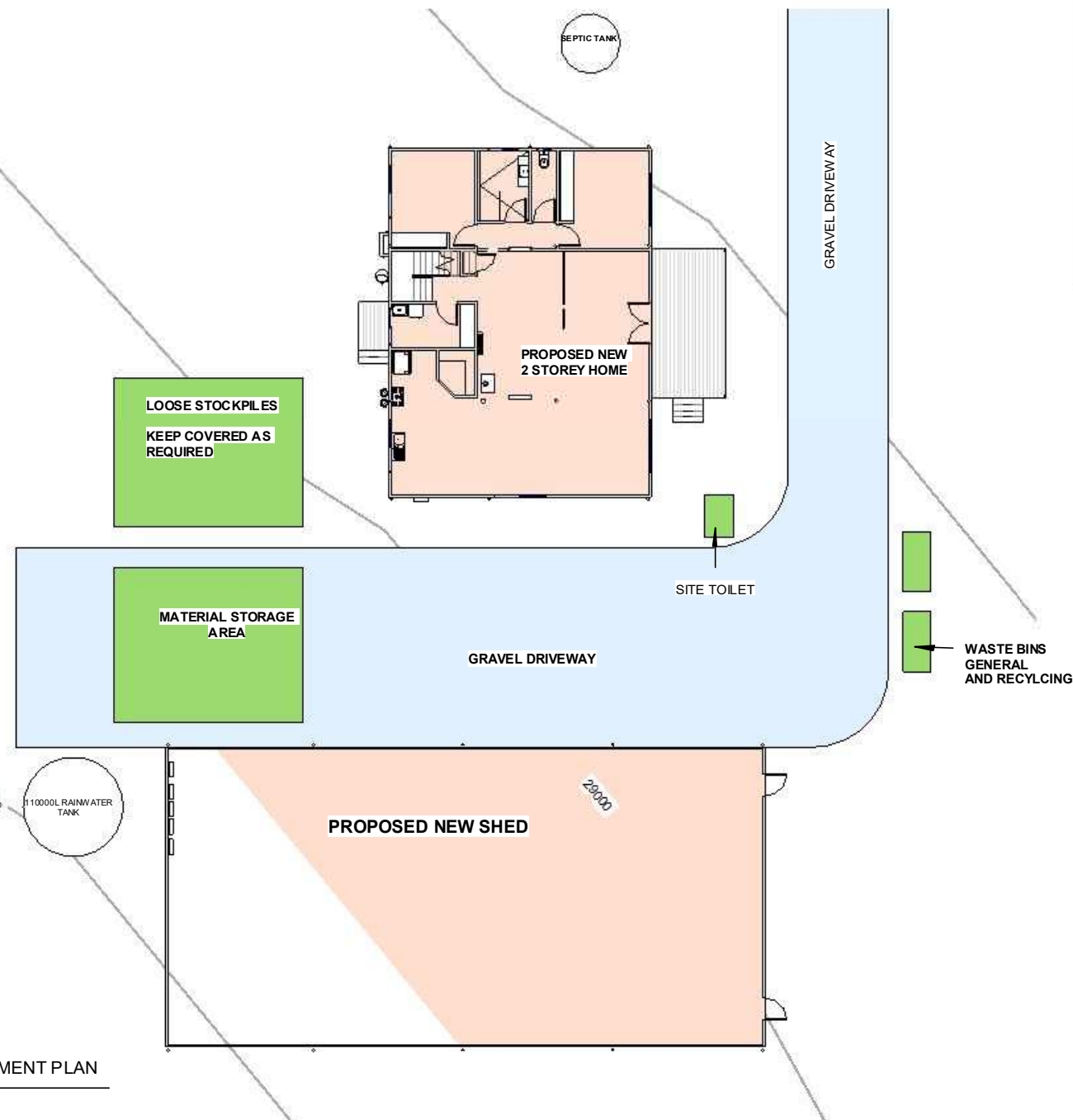
SECURE SITE FENCING TO BE PROVIDED ON SITE AND MAINTAINED IN A SAFE AND SECURE MANNER.

ALL RELEVANT SAFETY SIGNAGE TO BE PLACED ON FENCE AT ENTRY

SITE TO BE FULLY SECURE ON ALL SIDES

ALL RELEVANT CONTACT NUMBERS AND APPROVALS TO BE LOCATED ON FRONT OF SITE FENCING

LOCKABLE AND SECURE ENTRY GATE TO BE PROVIDED ON SITE



1
A003
WASTE MANAGEMENT PLAN
1 : 250

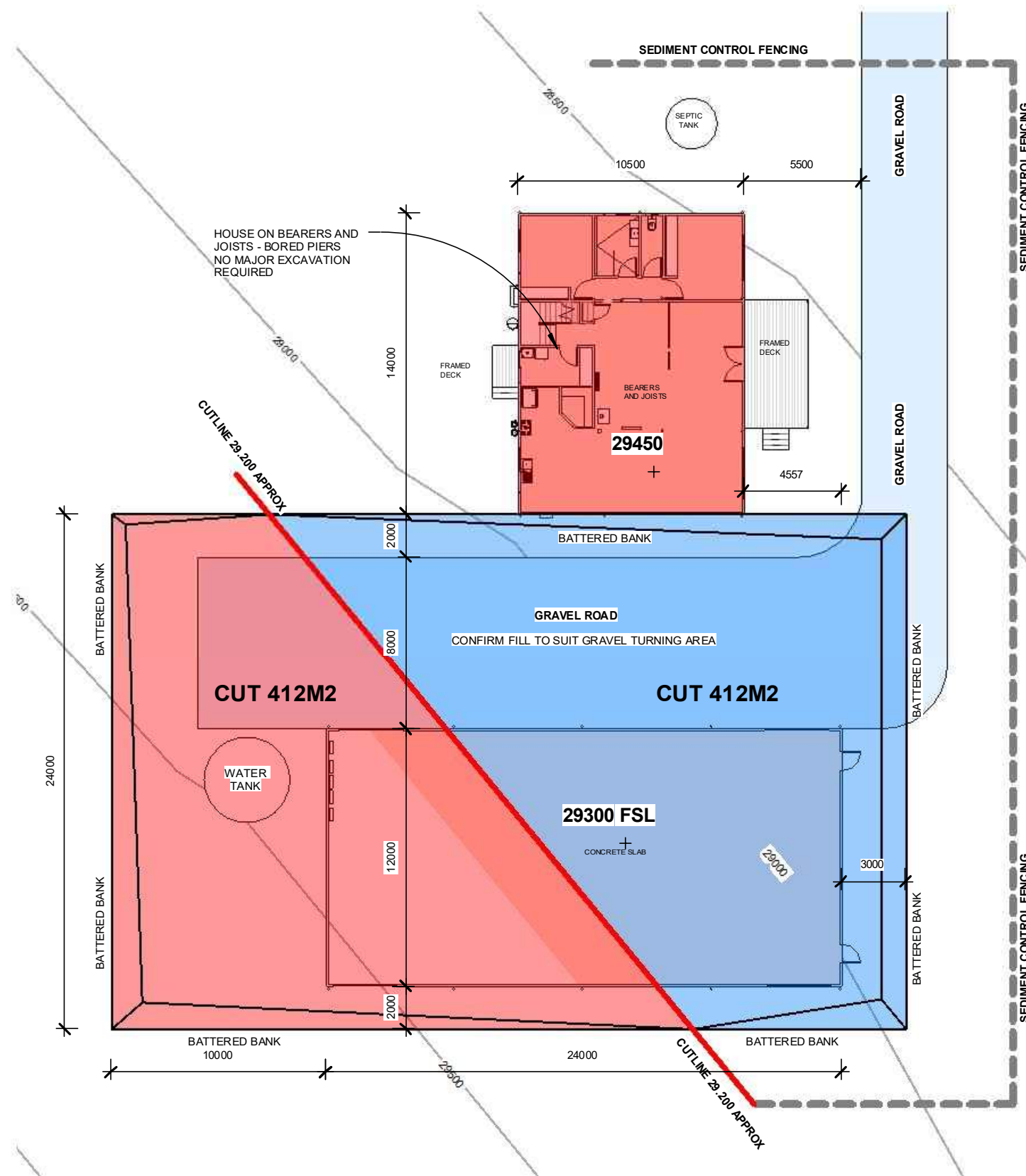
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ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270	SHEET NUMBER: A003
DESCRIPTION OF CHANGES		TITLE REF : 163848/1 - WEST TAMAR COUNCIL	JOB NUMBER: 2025023
FOR APPROVALS		DRAWN: PLAY DESIGN STUDIO	DATE DRAWN: APRIL 2022
		CHECKED: PLAY	SCALE: As indicated
			ISSUE: 8

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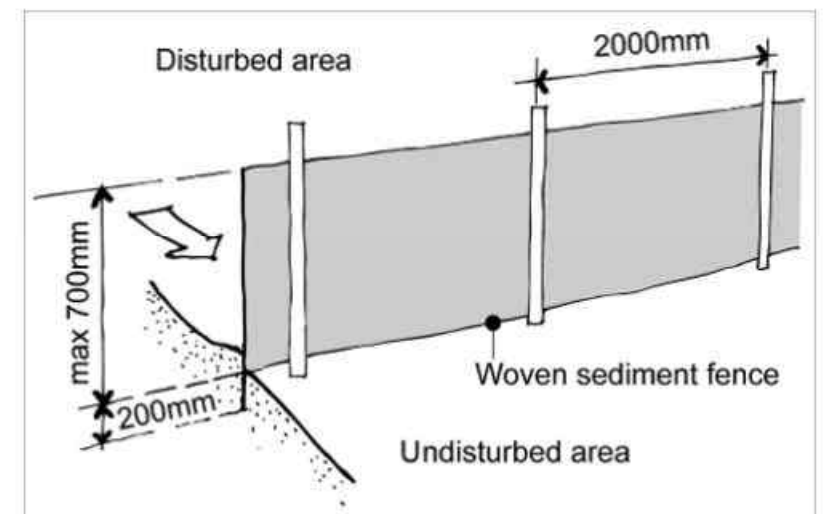


EARTHWORKS BAL 12.5 CONSTRUCTION NOTES

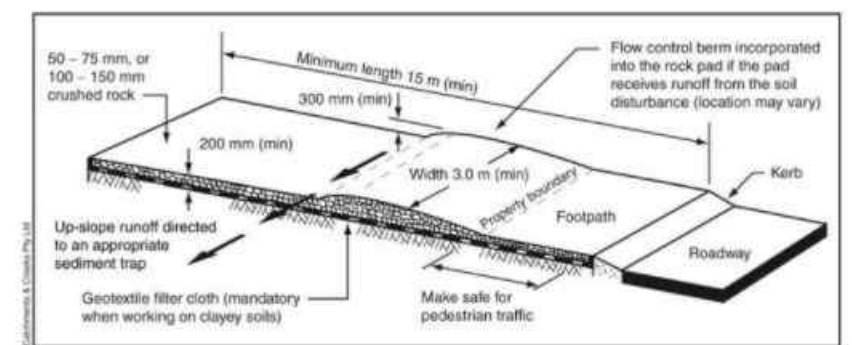
- CONTACT DIA BEFORE YOU DIG PRIOR TO ANY EARTHWORKS ON SITE
- ANY CONTRACTORS WORKING ON SITE UNDERTAKING EXCAVATIONS TO REQUEST DIA BEFORE DIG PLAN BEFORE PROCEEDING WITH WORKS
- ALL CONTRACTORS WORKING ON SITE UNDERTAKING EXCAVATIONS TO REQUEST BRIEFING ON SERVICES LOCATION FROM SITE FOREMAN OR LEADING HAND PRIOR TO STARTING ANY WORK
- SEDIMENT CONTROL FENCING TO LOCAL AUTHORITY ENGINEERING STANDARDS TO BE ERECTED PRIOR TO ANY EARTHWORKS ON SITE
- EARTHWORKS TO BE HOSED DOWN AS REQUIRED DEPENDING ON NEIGHBOURS REQUIREMENTS PROXIMITY AND WEATHER CONDITIONS
- ALL EARTHWORKS TO BE COMPLETED IN ACCORDANCE WITH THE EARTHWORKS AND SEDIMENT CONTROL PLAN
- IF ANY UNFORESEEN SERVICES ARE FOUND ON SITE EXCAVATION MUST CEASE AND CAN ONLY START WITH PERMISSION FROM SITE FOREMAN OR LEADING HAND AFTER CONFIRMATION OF SERVICES AND ANY ADDITIONAL REQUIREMENTS
- EARTHWORKS ARE NOT TO EFFECT THE AMENITY OF THE SURROUNDING PROPERTIES PUBLIC/PRIVATE LAND
- ALL EXCAVATION AREAS TO BE FENCED AND SECURED AS REQUIRED BY LOCAL GOVERNMENT REQUIREMENTS
- ALL LOOSE STOCKPILES TO BE COVERED IF REQUIRED DO TO WEATHER AND WIND ISSUES

LANDSCAPE FALLS

ALL LANDSCAPING TO FALL AWAY FROM RAINWATER TANK AND FLOOR SLAB EDGE. DO NOT LANDSCAPE TO FLOOR LEVEL. STORMWATER SURGE PITS TO BE LOCATED WHERE POSSIBLE AWAY FROM HOUSE AND TO FALL AWAY FROM HOUSE TO STREET OR DESIGNATED STORMWATER PIT



SEDIMENT FENCING



STABLISED SITE ENTRY DETAIL

1 EARTHWORKS PLAN
A004 1 : 250

REV: 8	DATE: 25.08.2025	CLIENT: PLAY FOR DION CHELLIS	SHEET TITLE: EARTHWORKS AND SEDIMENT CONTROL PLAN	
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270 TITLE REF : 163848/1 - WEST TAMAR COUNCIL	SHEET NUMBER: A004	
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO	JOB NUMBER: 2025023	
FOR APPROVALS			DATE DRAWN: APRIL 2022	
			SCALE: As indicated	ISSUE: 8

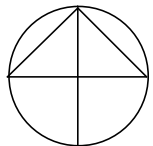
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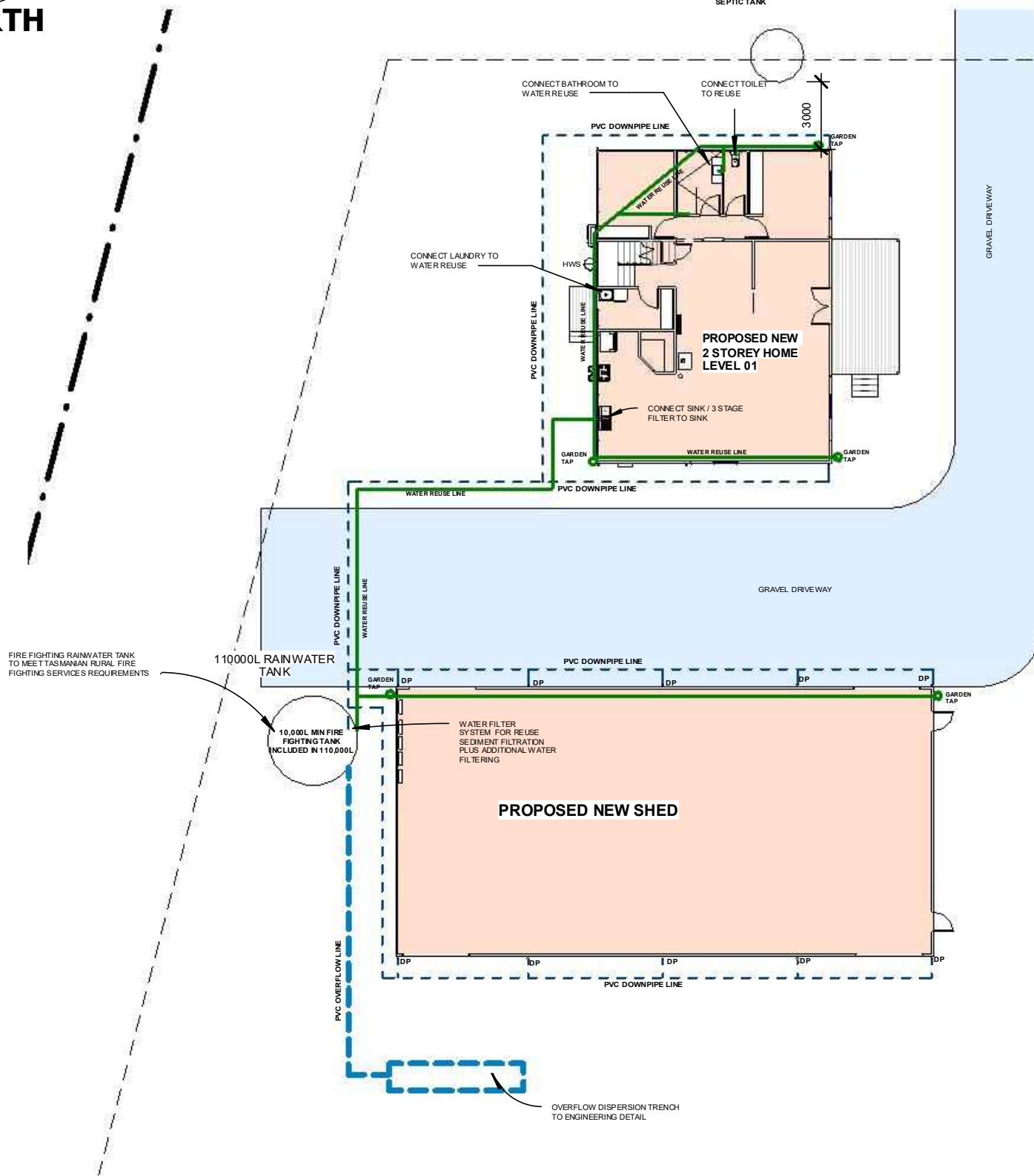
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NORTH



1 STORMWATER PLAN
A005 1 : 250

WATER / STORMWATER LEGEND

- WATER REUSE LINE
- 100 PVC RAINWATER TANK OVERFLOW LINE (FOR A SINGLE RESIDENTIAL HOME) REFER TO STORMWATER ENGINEERS DETAILS FOR LARGER PROJECTS
- 90MM DOWNPIPES - 100 PVC CHARGED DOWNPIPE SW LINE IN GROUND

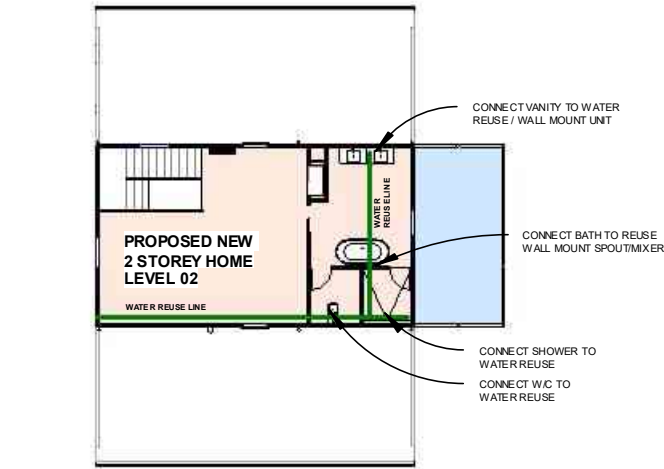
ALL STORMWATER DESIGN AND WATER REUSE TO BE RE IN CONJUNCTION WITH :

- LOCAL GOVERNMENT ENGINEERING DETAILS
- ALL RELEVANT AUSTRALIAN STANDARDS
- PROJECT PLUMBERS DRAWINGS
- ANY RELEVANT STORMWATER/CIVIL /HYDRAULIC ENGINEERS DRAWINGS

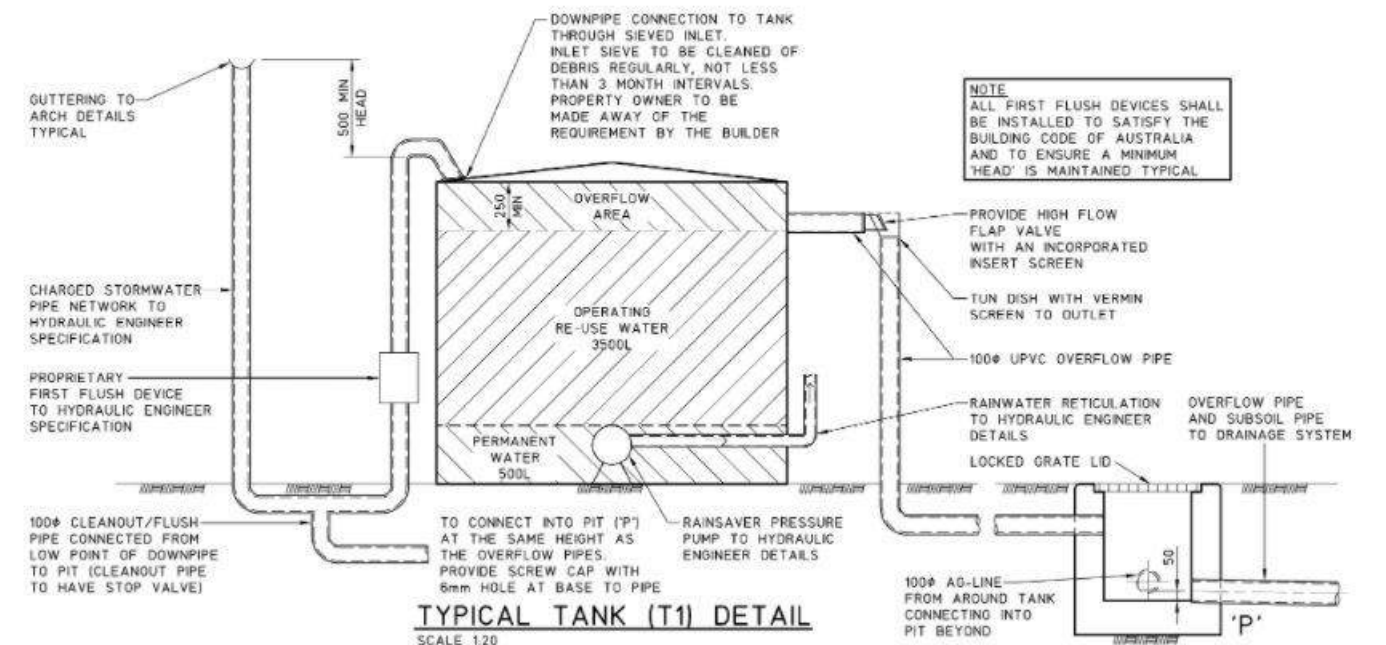
ADVISE BDD OF ANY DISCREPANCIES OR ISSUES PRIOR TO CONSTRUCTION AND INSTALLATION AND AWAIT UPDATED PLANS/DRAWINGS

ROOFING AND GUTTERS
Australian standards for roofing and gutters are primarily outlined in the National Construction Code (NCC) and relevant Australian Standards like AS/NZS 3500.3 (Plumbing and Drainage) and AS 1562.1 (Metal Roofing and Wall Cladding). These standards ensure safe, durable, and effective installation of roof coverings and drainage system

MUST COMPLY WITH Part 3.5.3 Gutters and downpipes NCC



2 WATER REUSE LEVEL 2
A005 1 : 250



FOR APPROVALS

REV: 8	DATE: 25.08.2025	CLIENT: PLAY FOR DION CHELLIS	SHEET TITLE: STORMWATER AND WATE REUSE PLAN
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270	SHEET NUMBER: A005
DESCRIPTION OF CHANGES		TITLE REF : 163848/1 - WEST TAMAR	JOB NUMBER: 2025023
FOR APPROVALS		COUNCIL	DATE DRAWN: APRIL 2022
		DRAWN: PLAY DESIGN STUDIO	SCALE: As indicated
		CHECKED: PLAY	ISSUE: 8

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PLAY
DESIGN STUDIO



SITE COVERAGE

SITE AREA: 8242M2

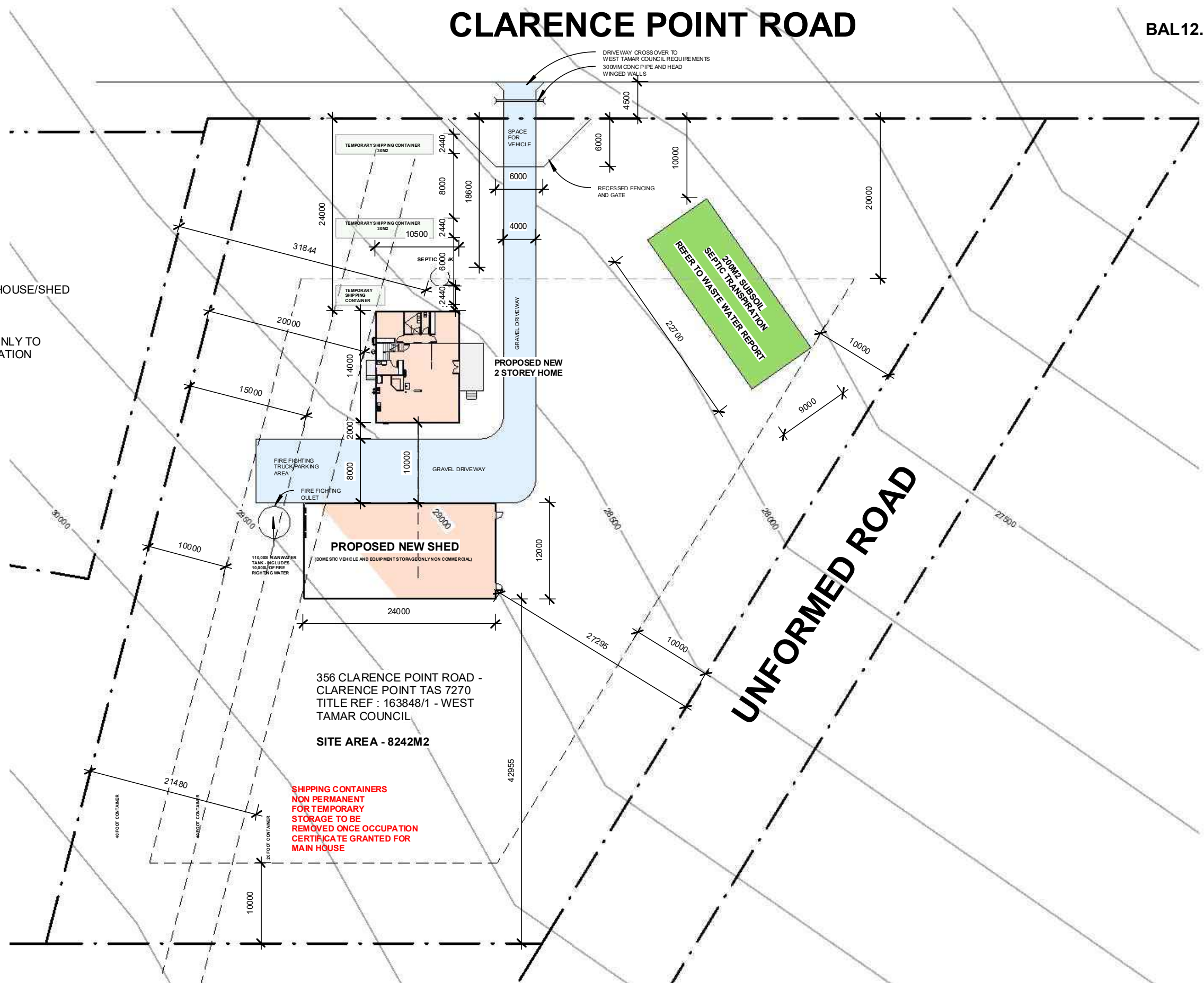
SITE COVERAGE CONTAINERS ONLY

60M2 = 0.7% SITE COVERAGE

SITE COVERAGE CONTAINERS AND HOUSE/SHED

495M2 = 6.0% SITE COVERAGE

CONTAINERS USED FOR STORAGE ONLY TO
BE REMOVED AFTER HOUSE OCCUPATION
CERTIFICATE ISSUED

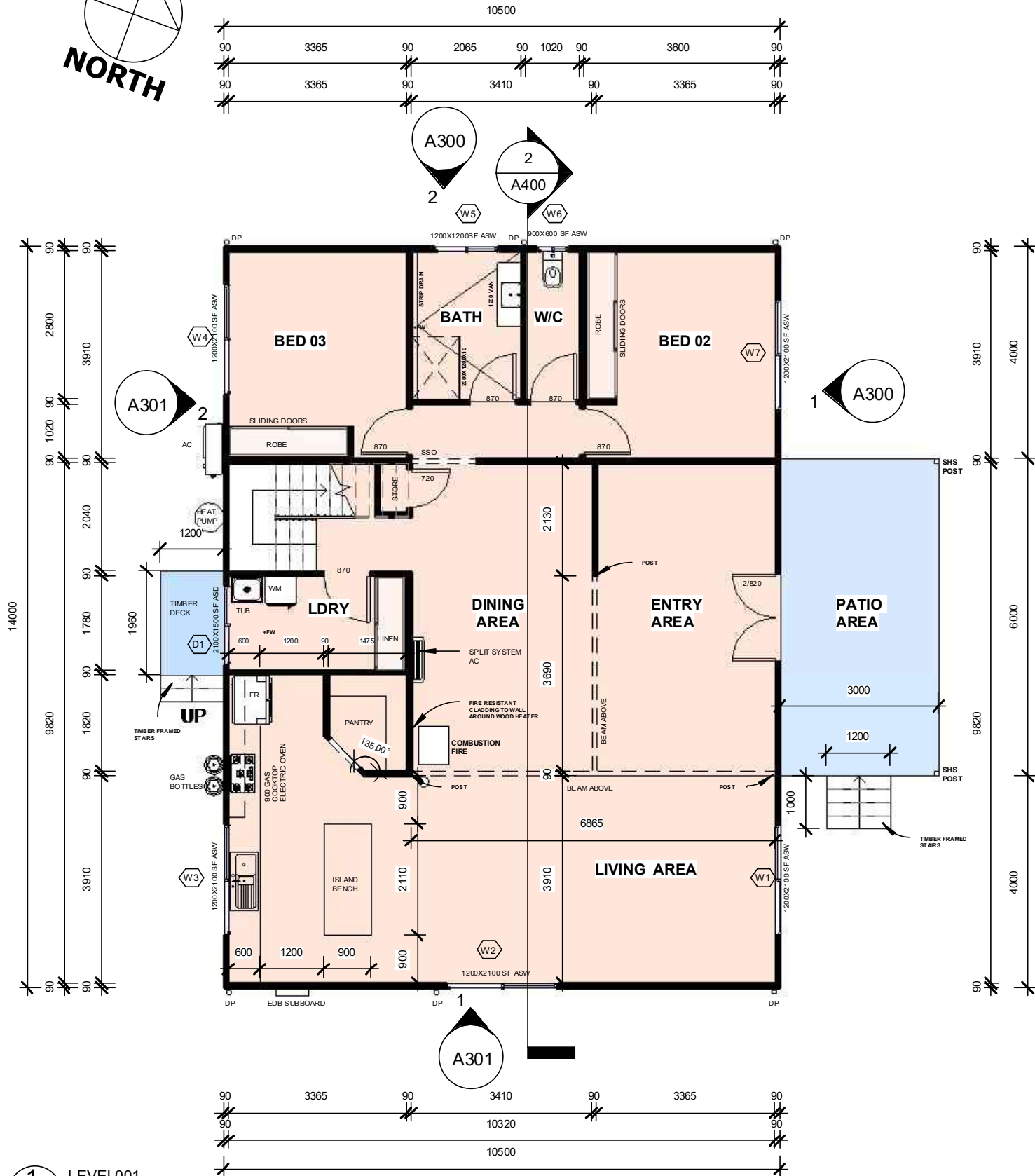


1 SITE PLAN
A100
1 : 500

REV: 8	DATE: 25.08.2025	CLIENT: PLAY FOR DION CHELLIS	SHEET TITLE: SITE PLAN	<div>PLAYDESIGN STUDIO LETS GET STARTED!!</div> <div>PHONE: 0435832810 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignstudio.com.au WEB: www.playdesignstudio.com.au</div> <div><small>COPYRIGHT THIS DRAWING REMAINS THE PROPERTY OF BUILDING DESIGN DIRECT PTY LTD. IT MAY ONLY BE USED FOR THE PURPOSES FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED. IF ANY DISCREPANCY ON DRAWING PLEASE CONTACT BDD PTY LTD FOR CLARIFICATION BEFORE PROCEEDING</small></div> <div></div>
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270 TITLE REF : 163848/1 - WEST TAMAR COUNCIL	SHEET NUMBER: A100	
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO	JOB NUMBER: 2025023	
FOR APPROVALS		CHECKED: PLAY	DATE DRAWN: APRIL 2022	
			SCALE: 1 : 500	ISSUE: 8

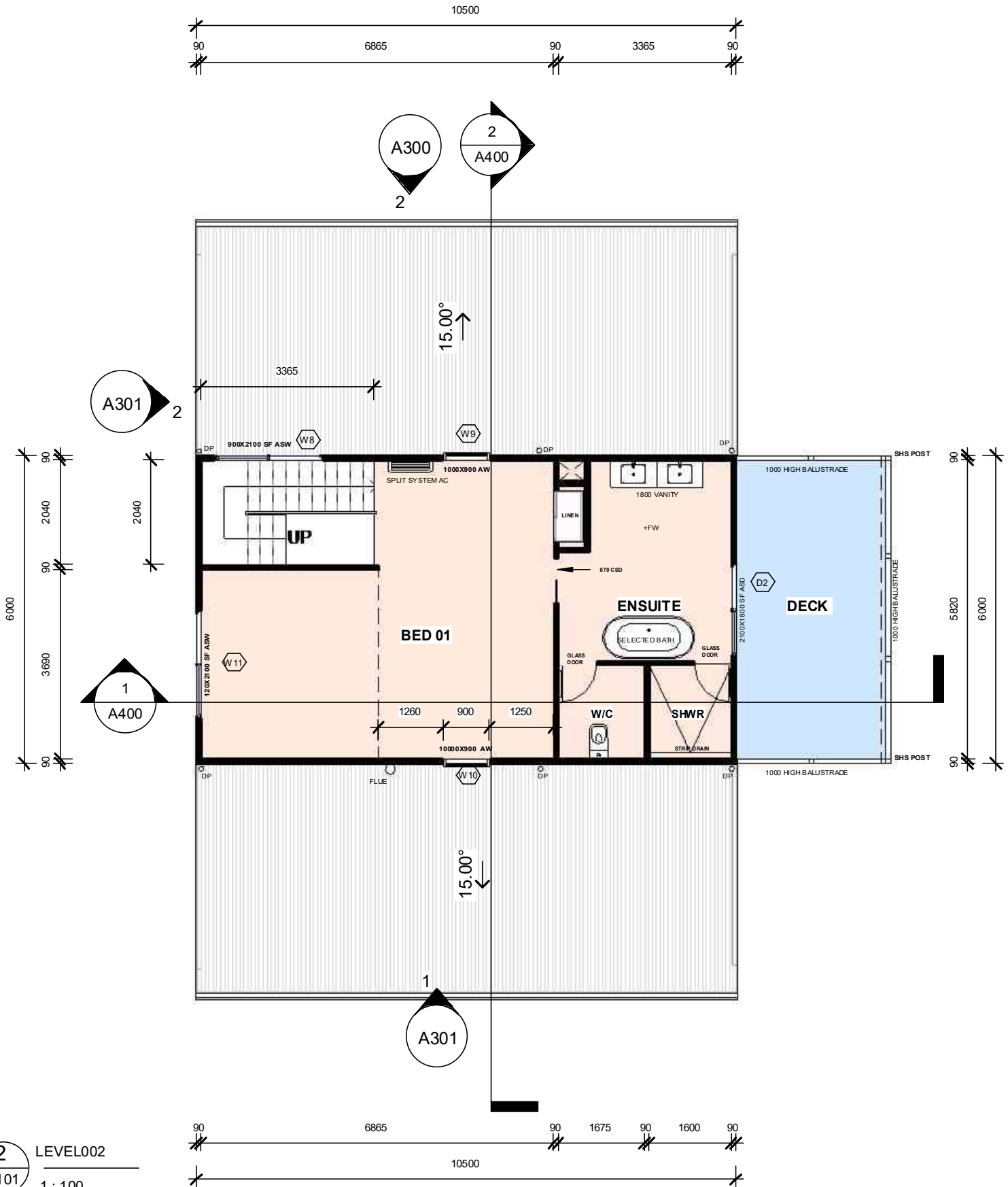


BAL12.5 CONSTRUCTION



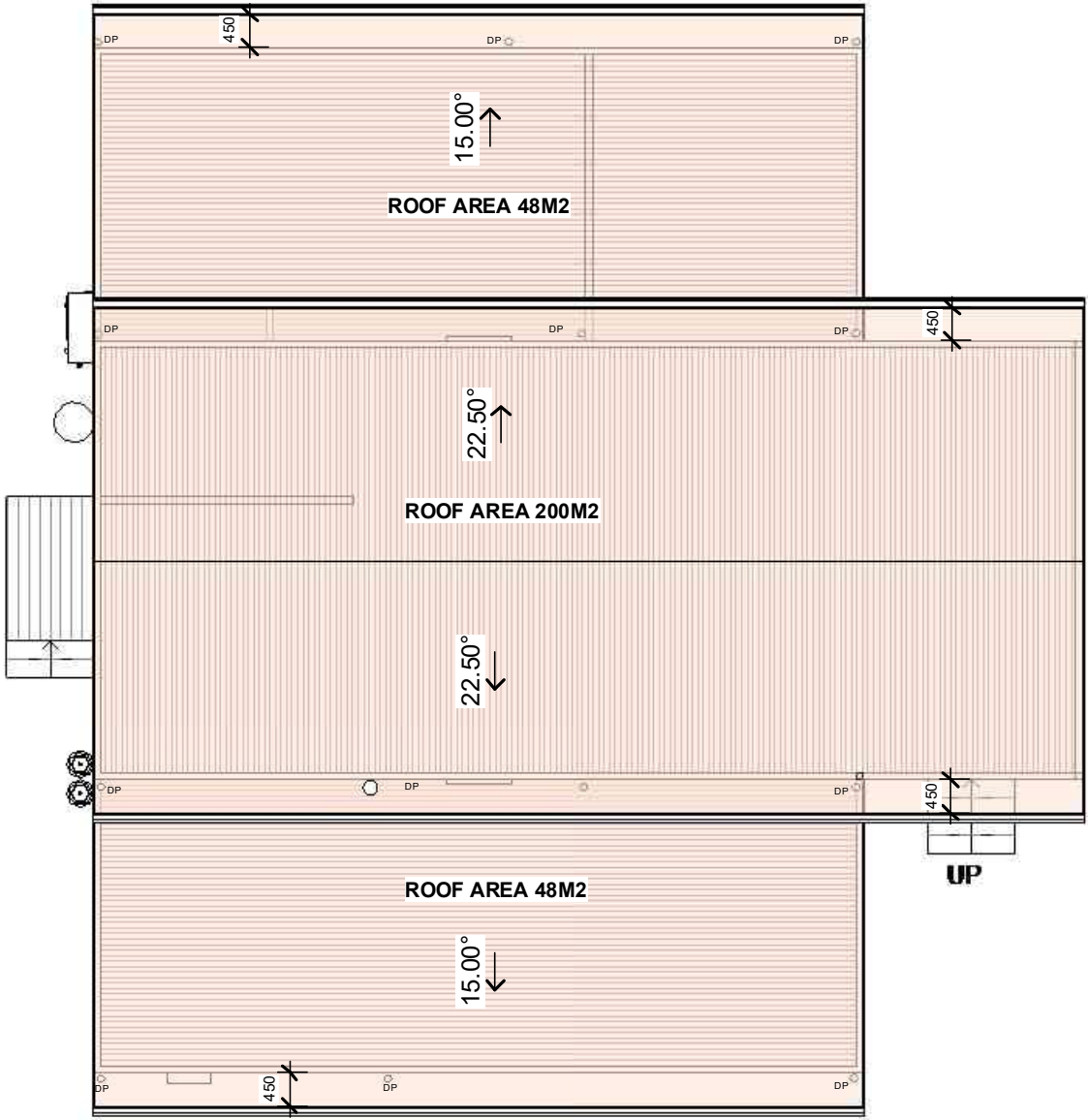
1 LEVEL001
A101 1 : 100

2 LEVEL002
A101 1 : 100



FOR APPROVALS

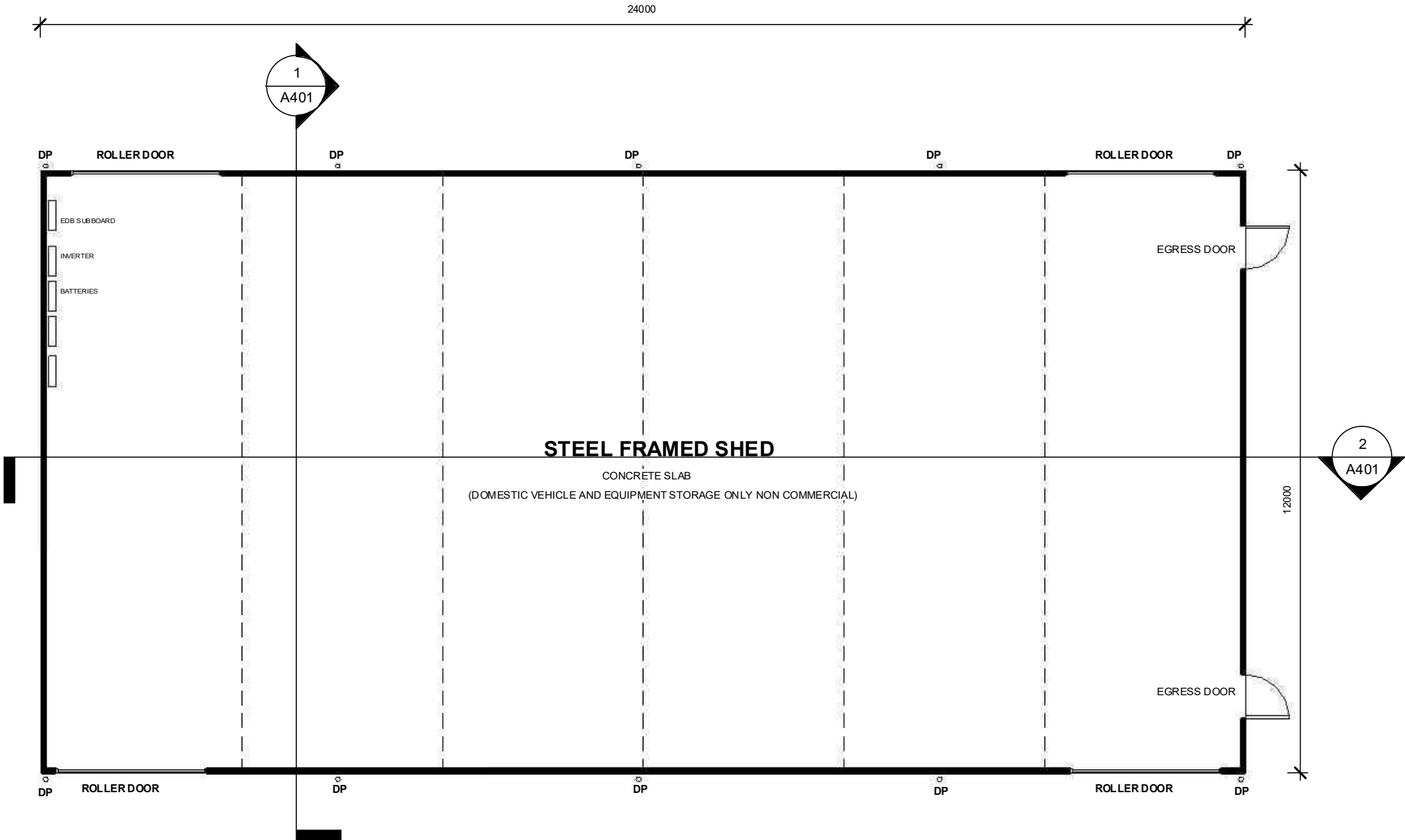
REV: 8	DATE: 25.08.2025	CLIENT: PLAY FOR DION CHELLIS	SHEET TITLE: FLOOR PLANS	<div>PLAYDESIGN STUDIO LETS GET STARTED!!</div> <div>PHONE: 0435832810 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignstudio.com.au WEB: www.playdesignstudio.com.au</div> <div><small>COPYRIGHT THIS DRAWING REMAINS THE PROPERTY OF BUILDING DESIGN DIRECT PTY LTD. IT MAY ONLY BE USED FOR THE PURPOSES FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED. IF ANY DISCREPANCY OR DRAWING PLEASE CONTACT BDD PTY LTD FOR CLARIFICATION BEFORE PROCEEDING</small></div> <div></div>
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270 TITLE REF: 163848/1 - WEST TAMAR	SHEET NUMBER: A101	
DESCRIPTION OF CHANGES		COUNCIL	JOB NUMBER: 2025023	
FOR APPROVALS		DRAWN: PLAY DESIGN STUDIO	DATE DRAWN: APRIL 2022	
		CHECKED: PLAY	SCALE: 1 : 100	
			ISSUE: 8	



1 ROOF PLAN
A102 1 : 100

FOR APPROVALS

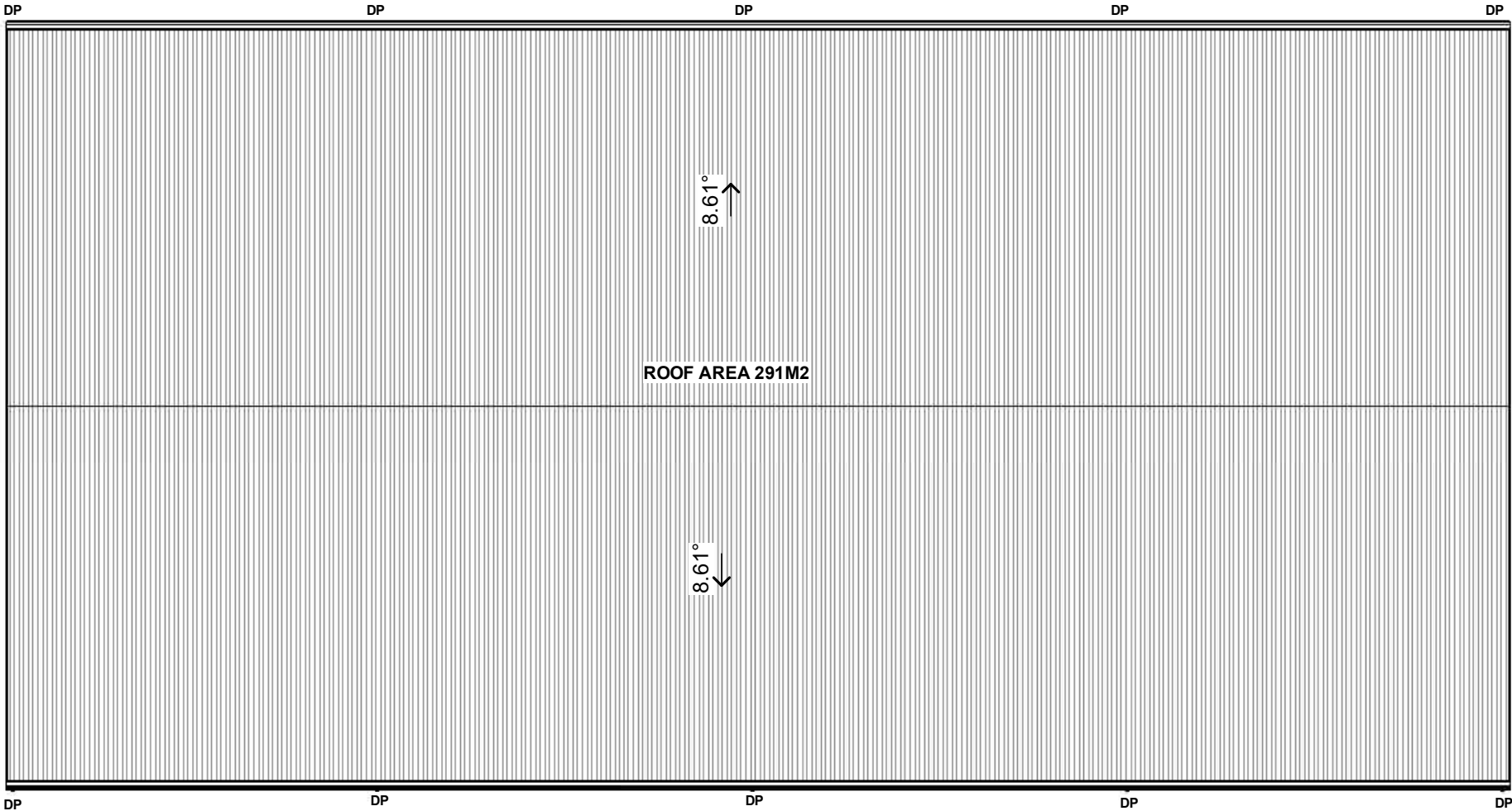
REV: 8	DATE: 25.08.2025	CLIENT: PLAY FOR DION CHELLIS	SHEET TITLE: ROOF PLAN	<div>PLAYDESIGN STUDIO LETS GET STARTED!!</div> <div>PHONE: 0435832810 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignsstudio.com.au WEB: www.playdesignstudio.com.au</div> <div><small>COPYRIGHT THIS DRAWING REMAINS THE PROPERTY OF BUILDING DESIGN DIRECT PTY LTD. IT MAY ONLY BE USED FOR THE PROJECT FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED. IF ANY DISCREPANCY OR DRAWING PLEASE CONTACT BDO PTY LTD FOR CLARIFICATION BEFORE PROCEEDING</small></div> <div></div>
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270 TITLE REF : 163848/1 - WEST TAMAR COUNCIL	SHEET NUMBER: A102	
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO	JOB NUMBER: 2025023	
FOR APPROVALS		CHECKED: PLAY	DATE DRAWN: APRIL 2022	
			SCALE: 1 : 100	ISSUE: 8



1 SHED PLAN
A103
1 : 100

FOR APPROVALS

REV: 8	DATE: 25.08.2025	CLIENT: PLAY FOR DION CHELLIS	SHEET TITLE: SHED PLAN	<div>PLAYDESIGN STUDIO LETS GET STARTED!!</div> <div>PHONE: 0435832810 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignsutdio.com.au WEB: www.playdesignstudio.com.au</div> <div><small>COPYRIGHT THIS DRAWING REMAINS THE PROPERTY OF BUILDING DESIGN DIRECT PTY LTD. IT MAY ONLY BE USED FOR THE PURPOSES FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED. IF ANY DISCREPANCIES ON DRAWING PLEASE CONTACT BDD PTY LTD FOR CLARIFICATION BEFORE PROCEEDING</small></div> <div></div>
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270 TITLE REF : 163848/1 - WEST TAMAR COUNCIL	SHEET NUMBER: A103	
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO	JOB NUMBER: 2025023	
FOR APPROVALS		CHECKED: PLAY	DATE DRAWN: APRIL 2022	
			SCALE: 1 : 100 ISSUE: 8	



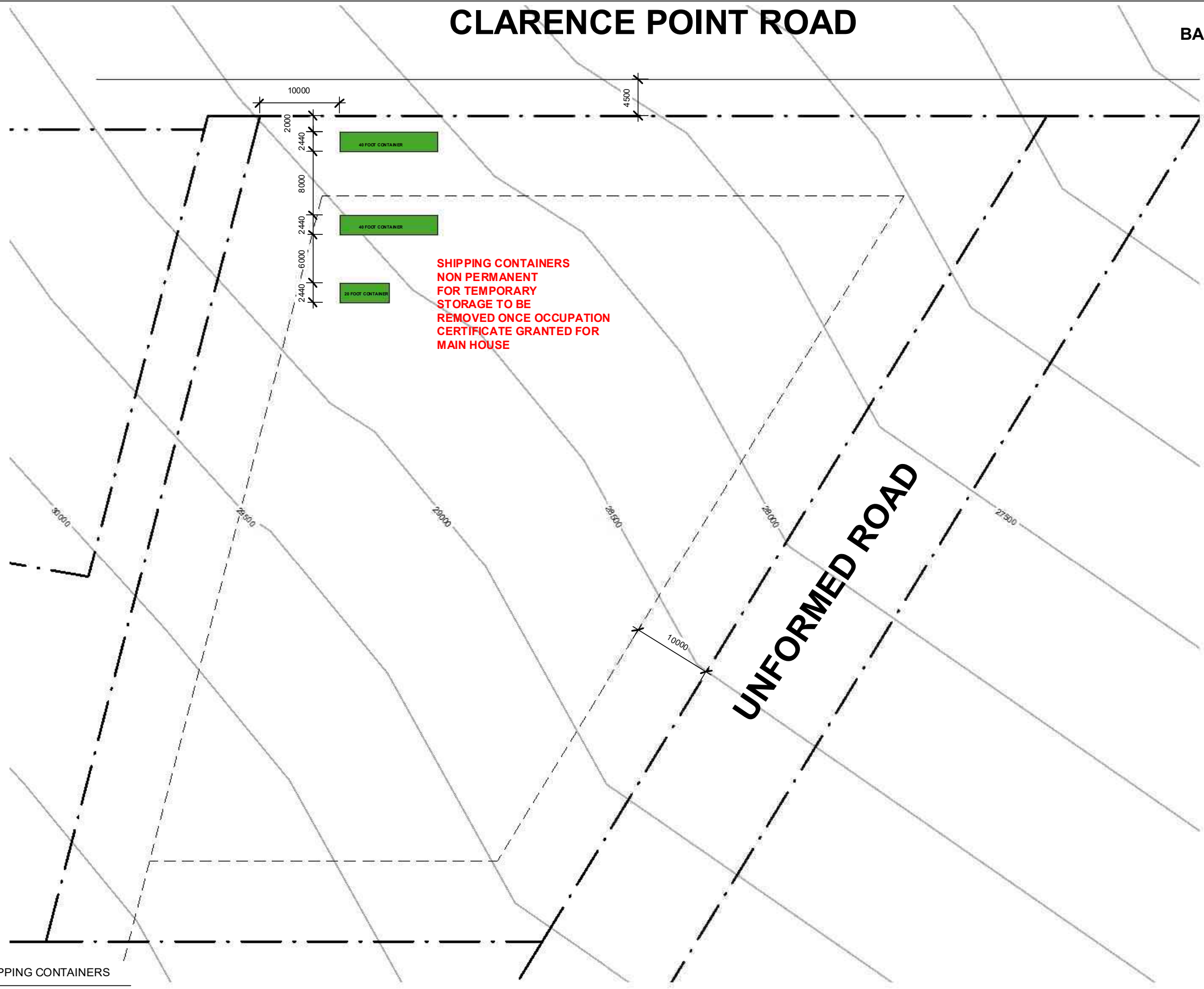
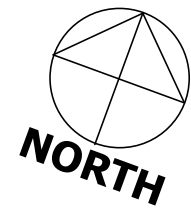
1 SHED ROOF PLAN
A104 1 : 100

FOR APPROVALS

REV: 8	DATE: 25.08.2025	CLIENT: PLAY FOR DION CHELLIS	SHEET TITLE: SHED ROOF PLAN	<div>PLAYDESIGN STUDIO LETS GET STARTED!!</div> <div>PHONE: 0435832810 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignstudio.com.au WEB: www.playdesignstudio.com.au</div> <div><small>COPYRIGHT THIS DRAWING REMAINS THE PROPERTY OF BUILDING DESIGN DIRECT PTY LTD. IT MAY ONLY BE USED FOR THE PURPOSES FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED. IF ANY DISCREPANCY OR DRAWING PLEASE CONTACT BDD PTY LTD FOR CLARIFICATION BEFORE PROCEEDING</small></div> <div></div>
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270 TITLE REF : 163848/1 - WEST TAMAR COUNCIL	SHEET NUMBER: A104	
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO	JOB NUMBER: 2025023	
FOR APPROVALS		CHECKED: PLAY	DATE DRAWN: APRIL 2022	
			SCALE: 1 : 100	ISSUE: 8

CLARENCE POINT ROAD

BAL12.5 CONSTRUCTION



1 TEMPORARY SHIPPING CONTAINERS
A105 1 : 500

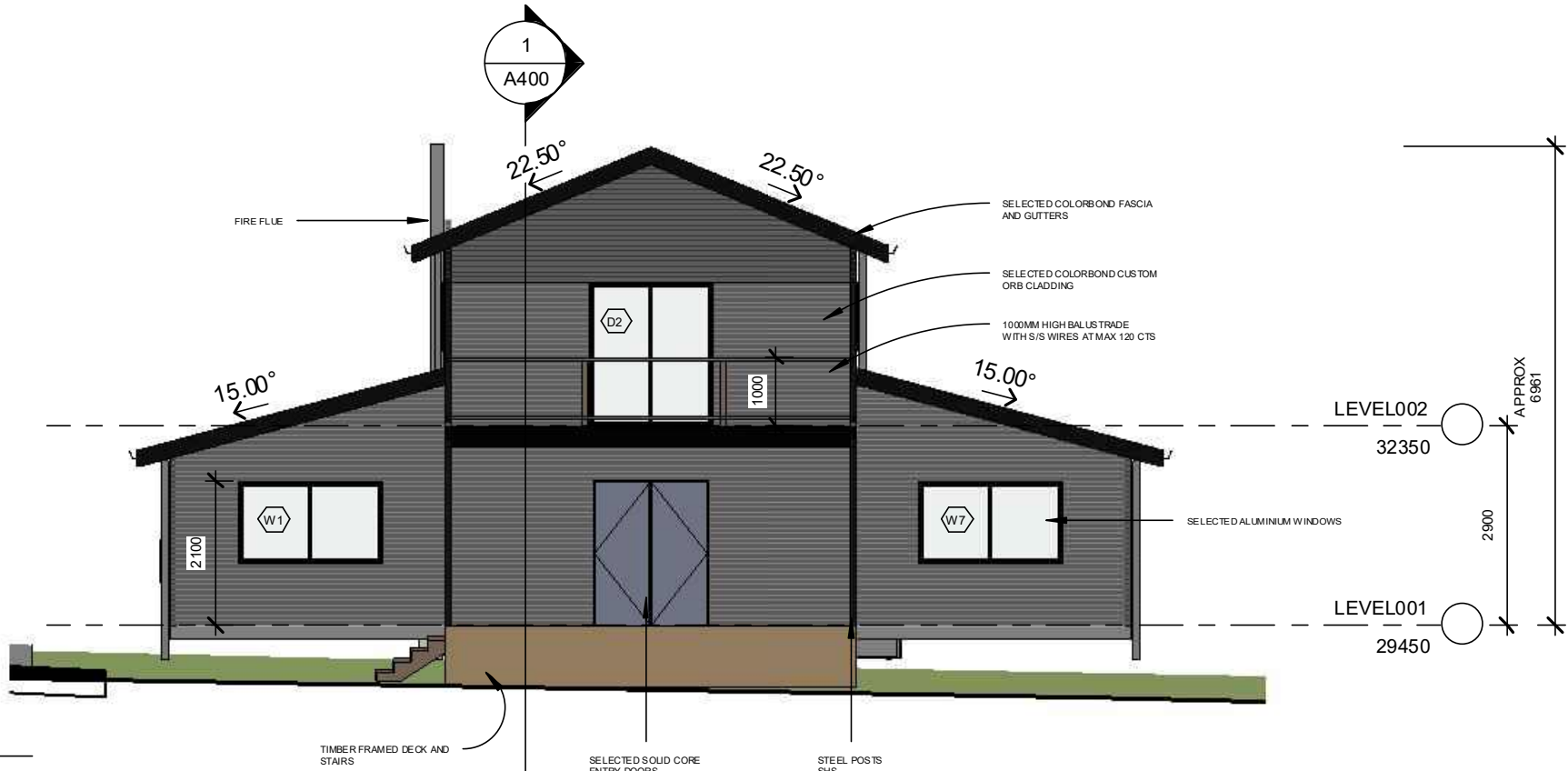
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REV: 8	DATE: 25.08.2025	CLIENT: PLAY FOR DION CHELLIS	SHEET TITLE: SHIPPING CONTAINER SITE PLAN	<div>PLAYDESIGN STUDIO LETS GET STARTED!!</div> <div>PHONE: 0435832810 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignstudio.com.au WEB: www.playdesignstudio.com.au</div> <div><small>COPYRIGHT THIS DRAWING REMAINS THE PROPERTY OF BUILDING DESIGN ONE PTY LTD. IT MAY ONLY BE USED FOR THE PURPOSES FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED.</small> <small>IF ANY DISCREPANCY ON DRAWING PLEASE CONTACT BUILDING DESIGN ONE PTY LTD FOR CLARIFICATION BEFORE PROCEEDING</small></div> <div></div>
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270	SHEET NUMBER: A105	
DESCRIPTION OF CHANGES		TITLE REF : 163848/1 - WEST TAMAR COUNCIL	JOB NUMBER: 2025023	
FOR APPROVALS		DRAWN: PLAY DESIGN STUDIO	DATE DRAWN: APRIL 2022	
		CHECKED: PLAY	SCALE: 1 : 500 ISSUE: 8	

Part	Colour
Walls - CORODEK®	BASALT®
Roof - CORODEK®	NIGHT SKY®
Roller Doors	DUNE®
Gutters	NIGHT SKY®
Gable End Capping	NIGHT SKY®
Corner Flashings	BASALT®
Opening Flashings	BASALT®
Personal Access Doors	DUNE®

BAL12.5 CONSTRUCTION

1 EASTERN ELEVATION
A300
1 : 100



2 NORTHERN ELEVATION
A300
1 : 100



FOR APPROVALS

REV: 8	DATE: 25.08.2025	CLIENT: PLAY FOR DION CHELLIS	SHEET TITLE: EXTERNAL ELEVATIONS
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270	SHEET NUMBER: A300
DESCRIPTION OF CHANGES		TITLE REF : 163848/1 - WEST TAMAR COUNCIL	JOB NUMBER: 2025023
FOR APPROVALS		DRAWN: PLAY DESIGN STUDIO	DATE DRAWN: APRIL 2022
		CHECKED: PLAY	SCALE: 1 : 100
			ISSUE: 8

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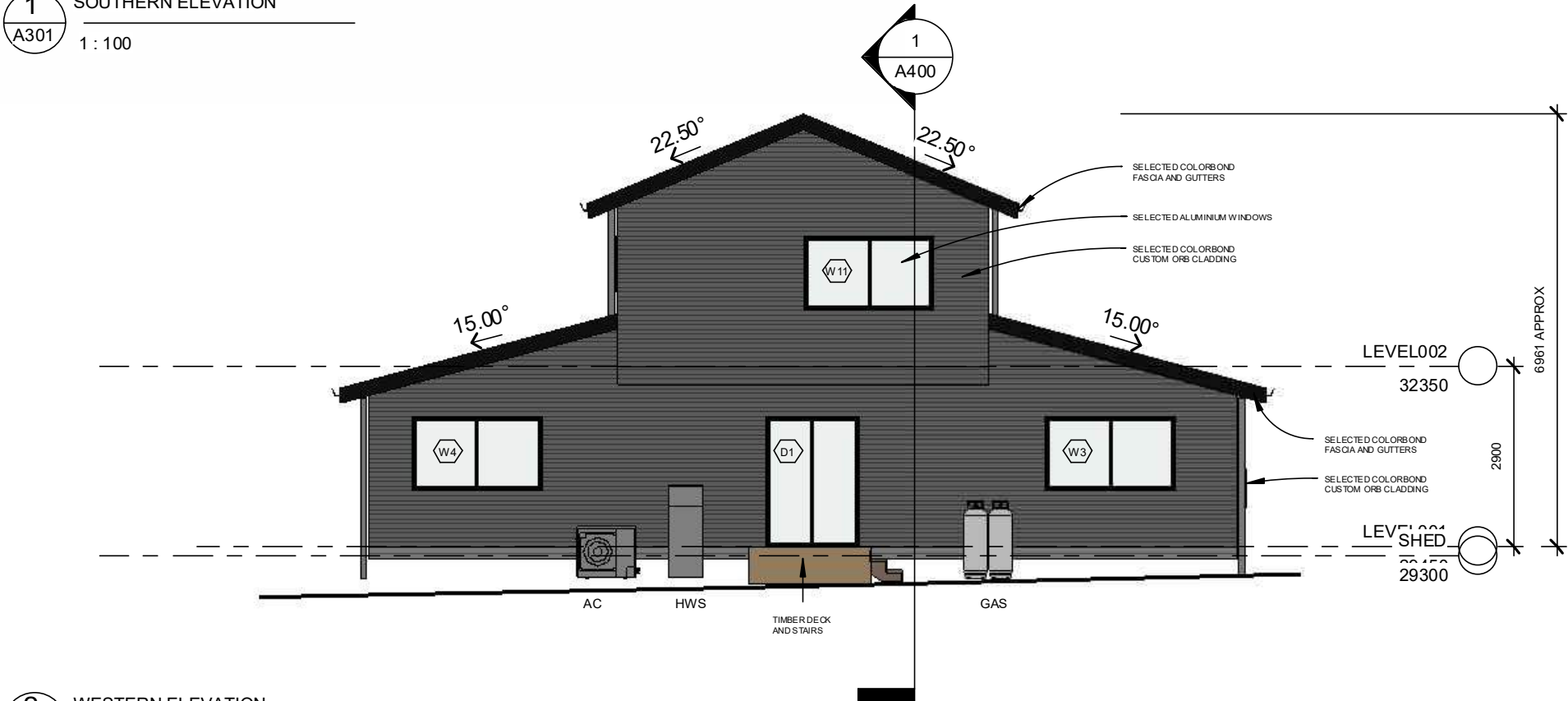


Part	Colour
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Roller Doors	DUNE®
Gutters	NIGHT SKY®
Gable End Capping	NIGHT SKY®
Corner Flashings	BASALT®
Opening Flashings	BASALT®
Personal Access Doors	DUNE®

BAL12.5 CONSTRUCTION



1 SOUTHERN ELEVATION
A301
1 : 100



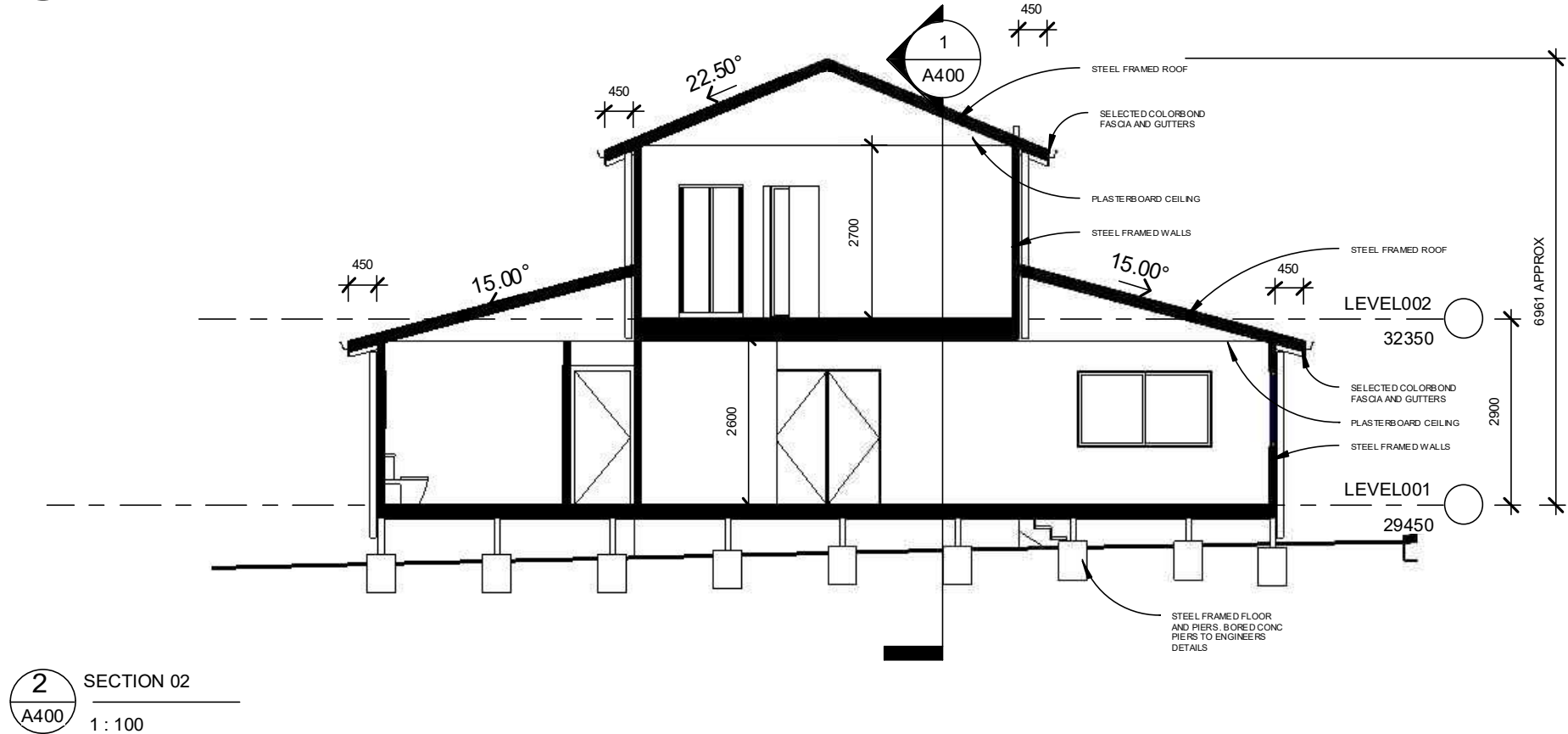
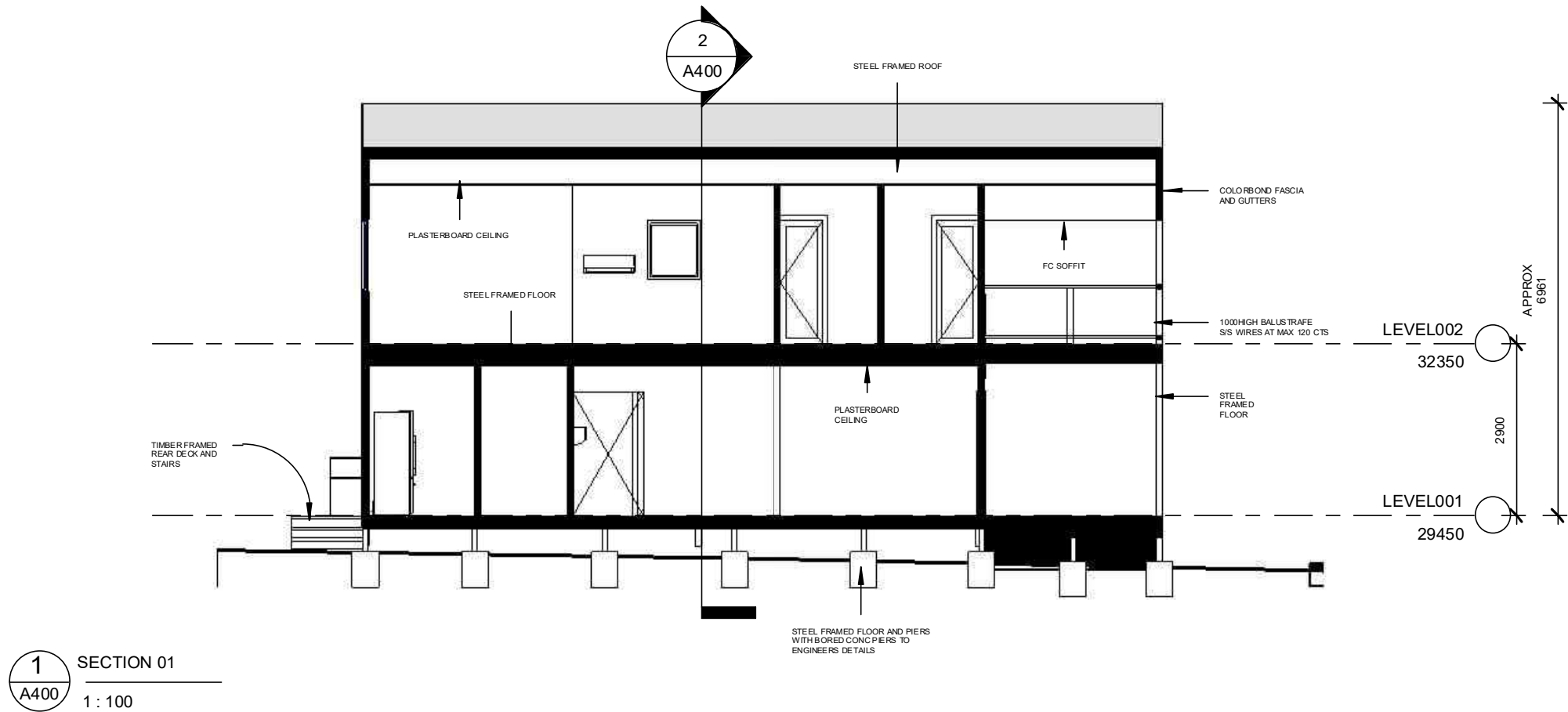
2 WESTERN ELEVATION
A301
1 : 100

FOR APPROVALS

REV: 8	DATE: 25.08.2025	CLIENT: PLAY FOR DION CHELLIS	SHEET TITLE: EXTERNAL ELEVATIONS
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270 TITLE REF : 163848/1 - WEST TAMAR COUNCIL	SHEET NUMBER: A301
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO	JOB NUMBER: 2025023
FOR APPROVALS		CHECKED: PLAY	DATE DRAWN: APRIL 2022
			SCALE: 1 : 100
			ISSUE: 8
			PHONE: 0435832810 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignstudio.com.au WEB: www.playdesignstudio.com.au

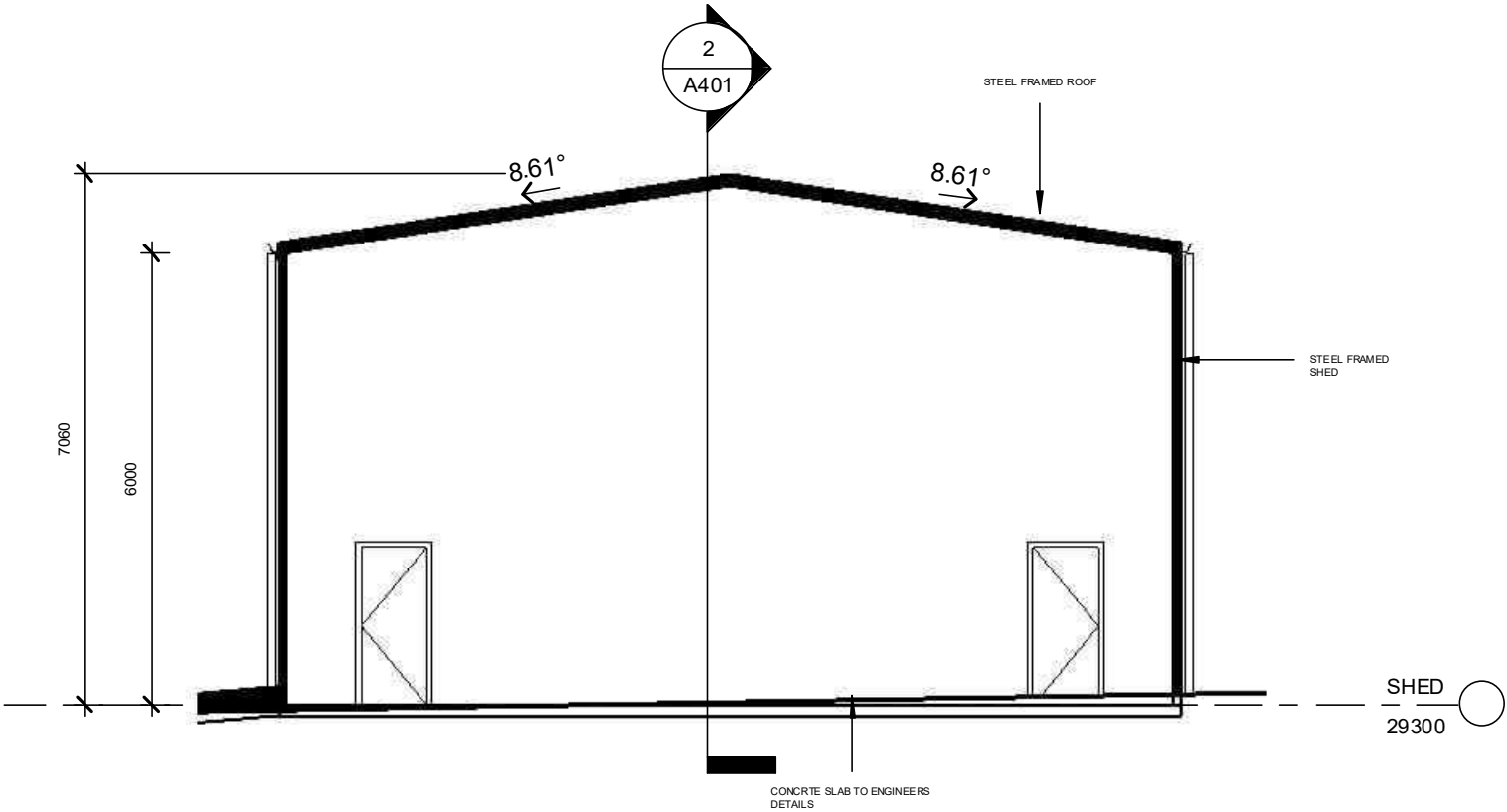
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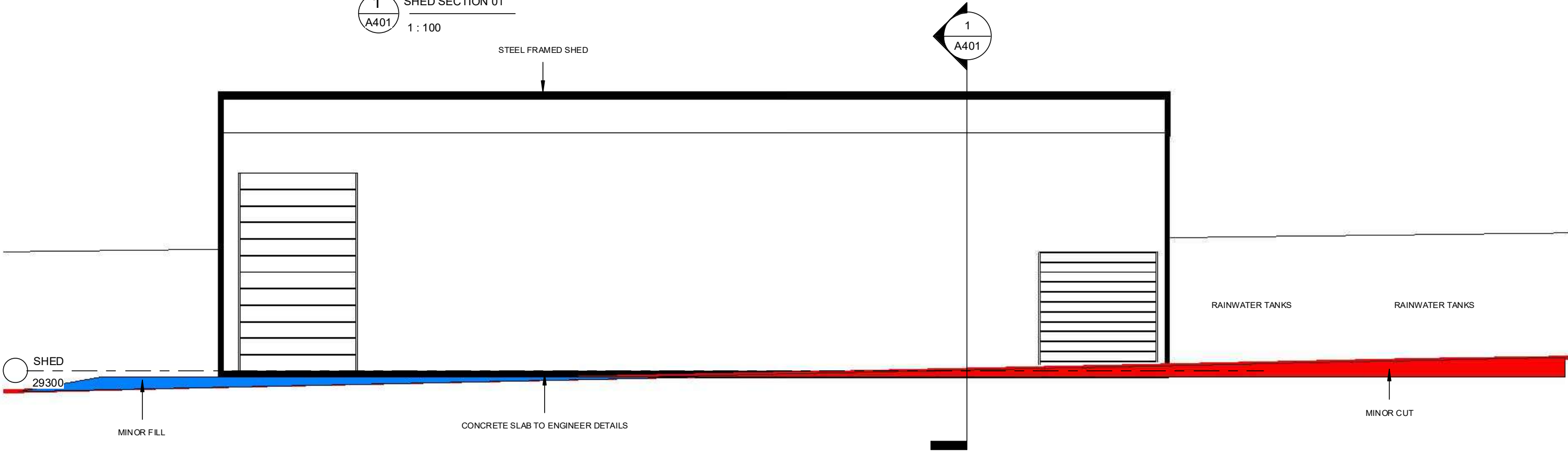


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REV: 8	DATE: 25.08.2025	CLIENT: PLAY FOR DION CHELLIS	SHEET TITLE: SECTIONS	<div>PLAYDESIGN STUDIO</div> <div>LETS GET STARTED!!</div> <div>PHONE: 0435832810</div> <div>DESIGNING ACROSS NEW SOUTH WALES</div> <div>EMAIL: info@playdesignstudio.com.au</div> <div>WEB: www.playdesignstudio.com.au</div> <div><small>COPYRIGHT THIS DRAWING REMAINS THE PROPERTY OF BUILDING DESIGN DIRECT PTY LTD. IT MAY ONLY BE USED FOR THE PROJECT FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED. IF ANY DISCREPANCY OR DRAWING PLEASE CONTACT BUILD PTY LTD FOR CLARIFICATION BEFORE PROCEEDING</small></div>
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270	SHEET NUMBER: A400	
DESCRIPTION OF CHANGES		TITLE REF : 163848/1 - WEST TAMAR COUNCIL	JOB NUMBER: 2025023	
FOR APPROVALS		DRAWN: PLAY DESIGN STUDIO	DATE DRAWN: APRIL 2022	
		CHECKED: PLAY	SCALE: 1 : 100	ISSUE: 8



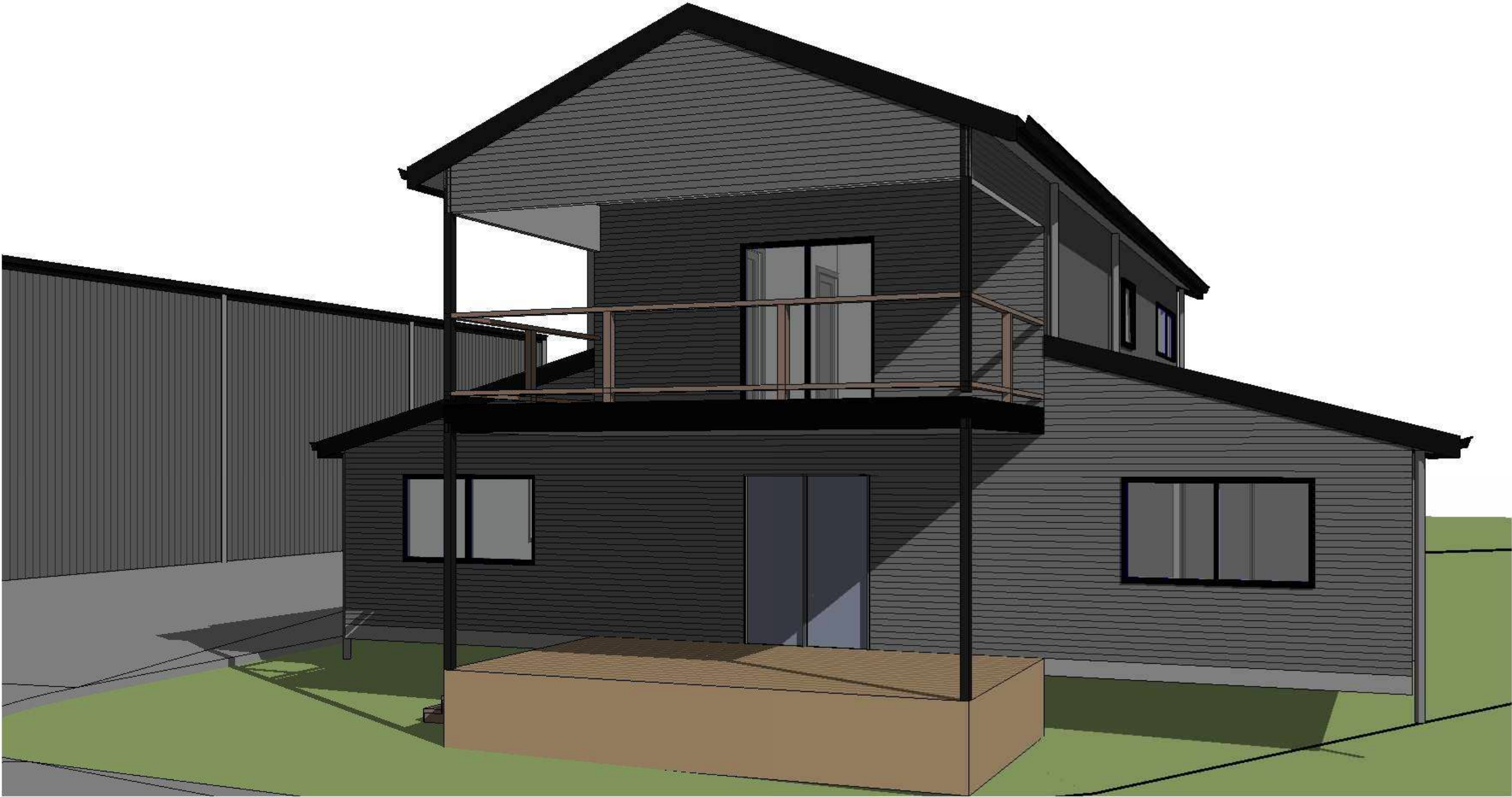
1 SHED SECTION 01
A401 1 : 100



2 SECTION 03
A401 1 : 100


FOR APPROVALS

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DESCRIPTION OF CHANGES		COUNCIL	JOB NUMBER: 2025023	
FOR APPROVALS		DRAWN: PLAY DESIGN STUDIO	DATE DRAWN: APRIL 2022	
		CHECKED: PLAY	SCALE: 1 : 100	ISSUE: 8



1 VIEW 01
A500

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ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270 TITLE REF : 163848/1 - WEST TAMAR COUNCIL	SHEET NUMBER: A500		
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO	JOB NUMBER: 2025023		
FOR APPROVALS		CHECKED: PLAY	DATE DRAWN: APRIL 2022	SCALE:	ISSUE: 8



1 VIEW 02
A501






2 VIEW 03
A501

FOR APPROVALS

REV: 8	DATE: 25.08.2025	CLIENT: PLAY FOR DION CHELLIS	SHEET TITLE: 3DS	<div>PLAYDESIGN STUDIO LETS GET STARTED!!</div> <div>PHONE: 0435832810 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignstudio.com.au WEB: www.playdesignstudio.com.au</div> <div><small>COPYRIGHT THIS DRAWING REMAINS THE PROPERTY OF BUILDING DESIGN DIRECT PTY LTD. IT MAY ONLY BE USED FOR THE PURPOSES FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED. IF ANY DISCREPANCY OR DRAWING PLEASE CONTACT BDD PTY LTD FOR CLARIFICATION BEFORE PROCEEDING</small></div> <div></div>	
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270 TITLE REF : 163848/1 - WEST TAMAR COUNCIL	SHEET NUMBER: A501		
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO	JOB NUMBER: 2025023		
FOR APPROVALS		CHECKED: PLAY	DATE DRAWN: APRIL 2022	SCALE:	ISSUE: 8

BAL12.5 CONSTRUCTION

[illegible]

NABERS Green Star Home Performance Certificate		7. Star Rating as of 26 Jun 2023	
About the ratings		Predicted Whole of Home annual impact by appliance	
Thermal performance rating NABERS Thermal software models the expected year-round heating and cooling energy loads using information about the design construction, climate and common patterns of household use. This thermal performance rating provides a comparison to the Certificate's base or better than relevant appliances, against how the airflow impacts from ceiling fans.		The predicted whole-appliance heat on the home's air conditioning system, greenhouse gas emissions and cost will be at least Better also	
Whole of Home performance rating NABERS Whole of Home software uses the heating and cooling energy loads combined with the energy performance of the home's appliances (heating, cooling, hot water, lighting, pool/spa pump and other renewable energy generation) to estimate and model the expected energy value of the whole home. The Whole of Home performance rating is shown as a score out of 100 on this Certificate.			
Heating & Cooling Load Limits			
Additional information In some situations under the NCC NABERS pathway, where heating and cooling load limits may apply, minimum required size ratings in certain parts of Australia may vary. If affected by the presence or absence of an electrically powered unit on an outdoor living area ceiling fan, refer to the ASCEC NABERS Heating and Cooling load limits Standard 2022 for details or contact the relevant local building regulatory authority, noting that State and Territory regulations may also apply.		Show greenhouse gas emissions: 	
Setting options: Floor-to-ceiling Down-to-floor air flow set: SF – Suspended Floor for a window of CSOQ and SFL NA – Not Applicable NCC-compliant Zone 1 or 2. Yes No NA – not applicable Outdoor living area: Yes No NA – not applicable Outdoor living area ceiling fan Yes No NA – not applicable		Cost: 	
 Predicted onsite renewable energy impact The Whole of Home performance assessment conducted for this certificate.		Graphical view:	

*Refer to glossary.

Generated on 26 Jun 2023 using FuelSaver v.5.6.6 (p.2), for LIA-002006, 361 Cochrane Rd North, Glenvale NSW, TAS, 7206 Page 2 of 12

[illegible][illegible]

BEDDOLLS Hallways Certificate			7.7 Star Rating as of 26 Jun 2023									
Room schedule												
Room	Zone type		Area [m²]									
Bedroom 2	bedroom		13.8									
Bedroom 3	bedroom		12.9									
Bath	bathroom		5.6									
WC	wc		2.7									
Hall 5	hallway		3									
Lobby	common area		9.8									
Kitchen	kitchen		23									
Kitchen/Living	kitchen		84.5									
Gara	garage		6.3									
Bedroom 10	bedroom		42.4									
DHS	dormitory		11.9									
WC	wc		5									
GRAB	grabbar		2.8									
Window and glazed door type and performance												
Default windows												
Window ID	Window description	Max area [m² or ft²]	SHGC*	Substitution tolerance ranges								
ALM-204-91-A	Aluminum SDO Air Fil Clean-Cool	7.6	0.68	SHGC lower limit	SHGC upper limit							
				0.96	0.82							
Custom windows												
Window ID	Window description	Max area [m² or ft²]	SHGC*	Substitution tolerance ranges								
No Data Available			SHGC*	SHGC lower limit	SHGC upper limit							
Window and glazed door schedule												
Location	Window ID	Window no.	Height [mm]	Width [mm]	Window type	Window shading device*						
Bedroom 2	ALM-204-01-A	001	-120	2100	c-o-d-g	45.0 A	No					
Bedroom 3	ALM-204-01-A	004	-120	2100	c-o-d-g	45.0 B	No					
Bath	ALM-204-01-A	005	-120	1200	c-o-d-g	45.0 B	No					
WC	ALM-204-01-A	006	630	960	c-o-d-g	45.0 C	No					
Lobby	ALM-204-01-A	004	2120	1500	c-o-d-g	45.0 W	No					
Kitchen/Living	ALM-204-01-A	001	-120	2100	c-o-d-g	45.0 W	No					
Kitchen/Living	ALM-204-01-A	002	-120	2100	c-o-d-g	45.0 E	No					
Kitchen/Living	ALM-204-01-A	003	-120	2100	c-o-d-g	45.0 E	No					

*Refer to glossary

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3DRGULIB Nalaters Certificate	1.7 Star Rating as of 26 Jun 2024							
Bedroom 10	AUM 004-01-A	B7E1	1203	219K	ending	45.0	N	No
Bedroom 10	AUM 004-01-A	B7E1	1303	8C3	fixed	0.0	S	No
Bedroom 10	AUM 004-01-A	B7E	530	219K	ending	45.0	N	No
Bedroom 10	AUM 004-01-A	B7E	1303	8C3	fixed	0.0	N	No
EWS	AUM 004-01-A	D0	2103	159K	ending	45.0	E	No

Roof window* type and performance value													
Default roof window			Substitution tolerance ranges										
Window ID	Window description	Maximum U-value**	SHGC†	SHGC lower limit									
No Data Available				SHGC upper limit									
Custom roof window													
			Substitution tolerance ranges										
Window ID	Window description	Maximum U-value**	SHGC†	SHGC lower limit									
No Data Available				SHGC upper limit									

Roof window* schedule								
Location	Window ID	Window inc.	Opening Area [m²]	Width [mm]	Orientation	Outdoor shade	Indoor shade	
No Data Available								

Skylight* type and performance								
Skylight ID			Skylight description			Skylight shaft reference		
No Data Available								

Skylight* schedule								
Location	Skylight ID	Skylight shaft length [mm]	Area [m²]	Orientation	Outdoor shade	Diffuser		
No Data Available								

External door schedule				
Location	Height [mm]	Width [mm]	Opening %	Orientation
Kitchen/Living	2130	1640	100.0	E

External wall type				
Wall ID	Wall type	Insulation appearance	Wall shade [colour]	Self-insulation [R-value]
1	FRC - Shear Wall Frame	0.7	Dark	Glass fibre batt R2.5 (R2.5)
				Reflective wall wrap†

External wall schedule				
------------------------	--	--	--	--

3K60UL3M Walkers Certificate				7.7 Star Rating as of 26 Jun 2025		
Location	Wall ID	Height (mm)	Width (mm)	Orientation	Horizontal shading feature's maximum projection (mm)	Vertical shading feature's (typical)
Bedroom 2	1	2460	645	E	2874	No
Bedroom 2	1	2460	2402	E	0	No
Bedroom 3	1	2460	2492	N	536	No
Bedroom 3	1	2460	2344	N	536	No
Bedroom 3	1	2460	2492	W	0	No
Bath	1	2460	2303	N	536	No
WC	1	2460	689	N	661	No
L.DRM	1	2460	1440	W	0	No
Kitchen/Living	1	2460	528	W	0	No
Kitchen/Living	1	2460	16237	S	529	Yes
Kitchen/Living	1	2460	7279	S	0	No
Kitchen/Living	1	2460	1454	S	2379	No
Stair	1	2460	2319	W	0	No
Bedroom 10	1	2700	526	W	0	No
Bedroom 10	1	2700	2464	S	679	No
Bedroom 10	1	2700	736	N	542	No
BHS	1	2700	2055	N	721	No
BHS	1	2700	336	S	3360	No
WC	1	2700	1967	N	832	No
SHWR	1	2700	1355	S	636	No
SHWR	1	2700	191	E	2869	No


Internal wall type			
Wall ID	Wall type	Area (m ²)	Bulk insulation
1	FRG - internal (Plasterboard) Gair Mail	136.8	

Floor type			
Location	Construction	Area (m ²)	Sub floor wall section
Bedroom 2	FRS - Timber	13.3	Down
Bedroom 3	FRS - Timber	12.9	Down
Bath	FRS - Timber	0.6	Down
WC	FRS - Timber	2.7	Down
Day B	FRS - Timber	0.1	Down
L.DRM	FRS - Timber	6.8	Down
Pantry	FRS - Timber	2.5	Down
Kitchen/Living	FRS - Timber	49.3	Down
Kitchen/Living	FRS - Timber	3.4	Down

Watersight Systems

Generated on: 26 Jun 2025 using FileMaker 5.5.64 (0.26) for Ltr 31642M, 26 Jun 2025 from: Pricer Road, Glenview Park, TNS, 7270

Page 1 of 12

360GULF99 HANOVERS Certificate		7.7 Star Rating as of 26 Jun 2025			
Kitchen/Living	FRS - Timber	R2.5	Open	R2.5	Timber
Stairs	FRS - Timber	4.0	Open	R2.5	Timber
Bedroom 10	FRS - Timber/Lined	R2.6	Enclosed	R2.5	Timber
ENS	FRS - Timber/Lined	1.0	Enclosed	R2.5	Timber
WC	FRS - Timber/Lined	0	Enclosed	R2.5	Timber
SHWR	FRS - Timber/Lined	2.6	Enclosed	R2.5	Timber

Ceiling type		Ceiling (then reflective type)		Bulk Insulation on R-value (to include edge band values)	Reflective wrap?
Location		Plasterboard	R0.0		Yes
Bedroom 2		Plasterboard	R0.0		Yes
Bedroom 3		Plasterboard	R0.0		Yes
Bath		Plasterboard	R0.0		Yes
WC		Plasterboard	R0.0		Yes
Day 9		Plasterboard	R0.0		Yes
LDRY		FRS - Timber/Lined	R2.5		No
Pantry		FRS - Timber/Lined	R2.5		No
Kitchen/Living		FRS - Timber/Lined	R2.5		No
Kitchen/Living		FRS - Timber/Lined	R2.5		No
Kitchen/Living		Plasterboard	R0.0		Yes
Stairs		FRS - Timber/Lined	R2.5		No
Bedroom 10		Plasterboard	R0.0		Yes
ENS		Plasterboard	R0.0		Yes
WC		Plasterboard	R0.0		Yes
SHWR		Plasterboard	R0.0		Yes

Ceiling penetrations*		Quantity	Type	Height [mm]	Width [mm]	Insulation sealed
Location		2	Door Light	100	100	Sealed
Bedroom 2		2	Door Light	100	100	Sealed
Bedroom 3		1	Exhaust Fan	200	200	Sealed
Bath		1	Exhaust Fan	200	200	Sealed
WC		1	Door Light	100	100	Sealed
Day 9		1	Exhaust Fan	200	200	Sealed
LDRY		1	Exhaust Fan	200	200	Sealed
Kitchen/Living		17	Door Light	100	100	Sealed
Kitchen/Living		1	Exhaust Fan	200	200	Sealed
Bedroom 10		5	Door Light	100	100	Sealed
ENS		1	Exhaust Fan	200	200	Sealed
WC		1	Exhaust Fan	200	200	Sealed

*Refer to glossary
Generated on 26 Jun 2025 using ProBreed, 1.5.6 (v.22) for 19/06/2025, 205 (Data Point Name: Evidence Point, Ticks: 1278)

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IRBULIFE NetHERCS Certificate

T 7 Star Rating as of 20 Jun 2025 

Ceiling fans

Location	Quantity	Diameter (mm)
No Data Available		

Roof type

Construction	Solar site access (R-value)	Solar acceptance	Roof shade (r-value)
Concrete Slab-on-Steel	1.5	10	Data

Thermal bridging schedule for steel frame elements

Building element	Steel section dimensions (height x width mm)	Frame spacing (mm)	Steel thickness (MM)	Thermal break (R-value)
External wall	30 x 40	100	2.75	0.2
Floor	100 x 100	400	1.75	0.2
Ceiling	30 x 40	100	2.75	0.2

Appliance schedule

(not applicable if a Whole of Home performance assessment has not concluded for this certificate)
 Note: A full consumption of WHS is used for all appliances that are not located in the appliance schedule.

Cooling system				
Appliance system type	Location	Fuel type	Minimum efficiency/ performance	Recommended capacity
No Whole of Home performance assessment occurred for this certificate				

Heating system				
Appliance system type	Location	Fuel type	Minimum efficiency/ performance	Recommended capacity
No Whole of Home performance assessment occurred for this certificate				

Hot water system				
Appliance system type	Fuel type	Minimum efficiency/ performance	Hot Water CER Zone	Assessed daily load
No Whole of Home performance assessment occurred for this certificate				

Pestfree equipment				
Appliance system type	Fuel type	Minimum efficiency/ performance	Recommended capacity	
No Whole of Home performance assessment occurred for this certificate				

Onsite renewable energy schedule

(not applicable if a Whole of Home performance assessment has not concluded for this certificate)

System type	Capacity	System size or generation capacity

360GL33K Teachers Certificate		7.7 Star Rating as of 26 Jun 2025			
No Whole of Home performance assessment scheduled to take place.					
Battery schedule <small>(not applicable if a Whole of Home performance assessment is not scheduled for this certificate)</small>					
System type		None (battery storage capacity)			
No Whole of Home performance assessment scheduled to take place.					

FOR APPROVALS

REV: 8	DATE: 25.08.2025	CLIENT: PLAY FOR DION CHELLIS	SHEET TITLE: NATHERS	
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE PONT ROAD - CLARENCE POINT TAS 7270 TITLE REF : 163848/1 - WEST TAMAR COUNCIL	SHEET NUMBER: A600	
DESCRIPTION OF CHANGES			JOB NUMBER: 2025023	
FOR APPROVALS		DRAWN: PLAY DESIGN STUDIO	DATE DRAWN: APRIL 2022	
		CHECKED: PLAY	SCALE:	ISSUE: 8

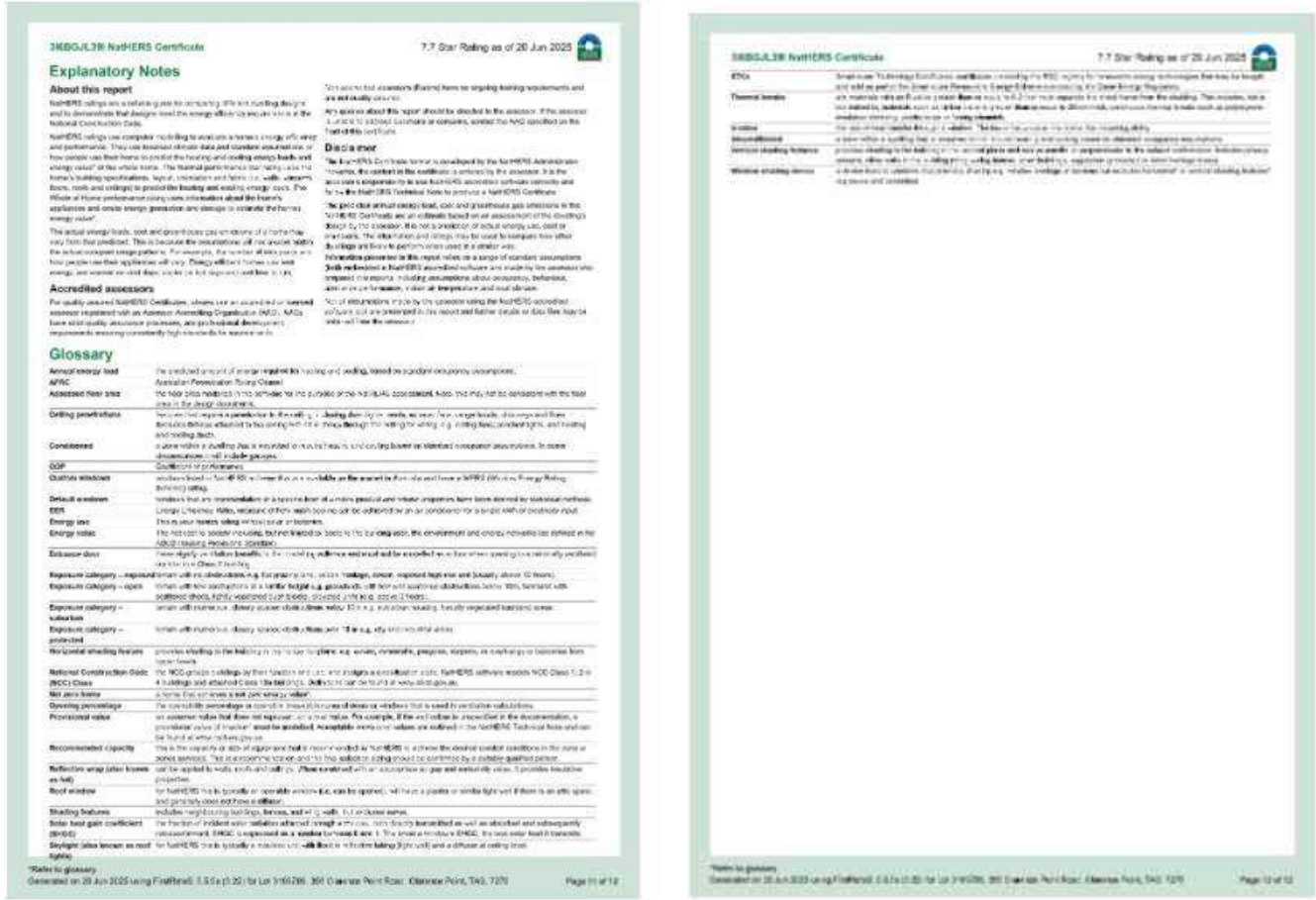
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ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270 TITLE REF : 163848/1 - WEST TAMAR	SHEET NUMBER: A601	
DESCRIPTION OF CHANGES		COUNCIL	JOB NUMBER: 2025023	
FOR APPROVALS		DRAWN: PLAY DESIGN STUDIO	DATE DRAWN: APRIL 2022	
		CHECKED: PLAY	SCALE: ISSUE: 8	

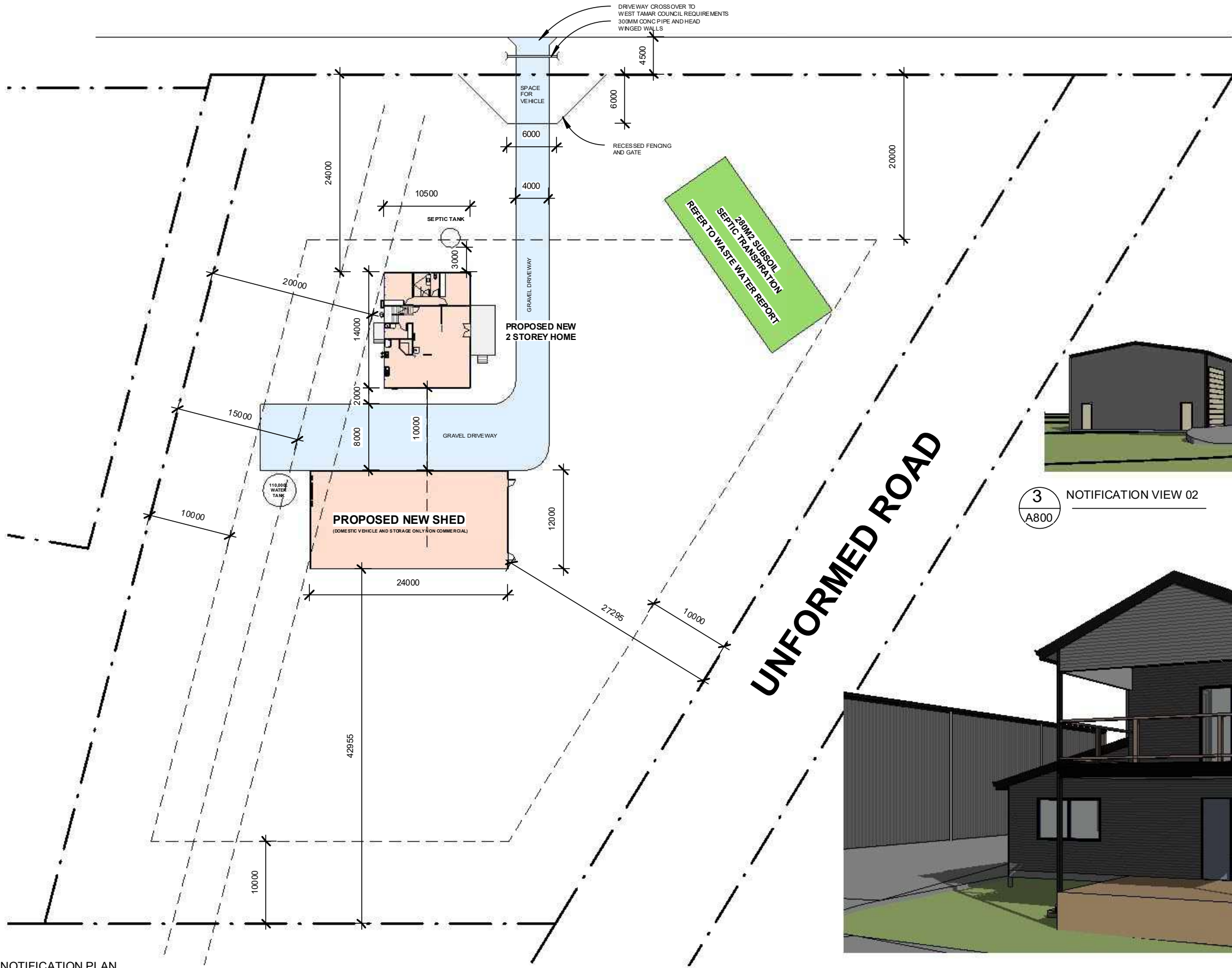
WINDOW AND DOOR SCHEDULE

WIN NO.	Window Location	WINDOW SIZE	Orientation	WINDOW AREA	GLAZING TYPE	Shading Type and Size	Overshadowing	Frame Material	Frame Colour	U-Value	SHGC	COMMENTS
D1	LDRY	2100X1500 SF ASD	SOUTH	3.15	CLEAR	EAVE 450MM	NONE	ALUMINIUM	MONUMENT	4.3	0.45-0.49	
D2	ENSUITE	2100x1800MM SF ASD	NORTH	3.78	CLEAR	VERANDAH 3000	NONE	ALUMINIUM	MONUMENT	4.3	0.45-0.49	
W1	BATH	1200x2100mm SF ASW	SOUTH	2.52	CLEAR	NONE	NONE	ALUMINIUM	MONUMENT	4.3	0.45-0.49	
W2	LIVING	1200x2100mm SF ASW	EAST	2.52	CLEAR	EAVE 450MM	NONE	ALUMINIUM	MONUMENT	4.3	0.45-0.49	
W3	KITCHEN	1200x2100mm SF ASW	SOUTH	2.52	CLEAR	NONE	NONE	ALUMINIUM	MONUMENT	4.3	0.45-0.49	
W4	BED 3	1200x2100mm SF ASW	SOUTH	2.52	CLEAR	NONE	NONE	ALUMINIUM	MONUMENT	4.3	0.45-0.49	
W5	BATH	1200X1200 SF ASW	WEST	1.44	CLEAR	EAVE 450MM	NONE	ALUMINIUM	MONUMENT	4.3	0.45-0.49	
W6	WC	900X600 SF ASW	WEST	0.54	CLEAR	EAVE 450MM	NONE	ALUMINIUM	MONUMENT	4.3	0.45-0.49	
W7	BATH	1200x2100mm SF ASW	SOUTH	2.52	CLEAR	NONE	NONE	ALUMINIUM	MONUMENT	4.3	0.45-0.49	
W8	BED 01	900X2100 SF ASW	WEST	1.89	CLEAR	EAVE 450MM	NONE	ALUMINIUM	MONUMENT	4.3	0.45-0.49	
W9	BED 01	1000X900 AWNING	WEST	.09	CLEAR	EAVE 450MM	NONE	ALUMINIUM	MONUMENT	4.3	0.45-0.49	
W10	BED 01	1000X900 AWNING	EAST	.09	CLEAR	EAVE 450MM	NONE	ALUMINIUM	MONUMENT	4.3	0.45-0.49	
W11	BED 01	1200x2100mm SF ASW	SOUTH	2.52	CLEAR	NONE	NONE	ALUMINIUM	MONUMENT	4.3	0.45-0.49	
W12		870										

FOR APPROVALS

CLARENCE POINT ROAD

BAL12.5 CONSTRUCTION



3 NOTIFICATION VIEW 02
A800



2 NOTIFICATION VIEW 01
A800

1 NOTIFICATION PLAN
A800
1 : 500

FOR APPROVALS

REV: 8	DATE: 25.08.2025	CLIENT: PLAY FOR DION CHELLIS	SHEET TITLE: NOTIFICATION PLAN	PLAY DESIGN STUDIO LETS GET STARTED!! PHONE: 0435832810 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignstudio.com.au WEB: www.playdesignstudio.com.au
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270 TITLE REF : 163848/1 - WEST TAMAR COUNCIL	SHEET NUMBER: A800	
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO	JOB NUMBER: 2025023	
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			SCALE: 1 : 500 ISSUE: 8	

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PLAY
DESIGN STUDIO

SECTION 5 CONSTRUCTION
REQUIREMENTS FOR BAL—12.5

5.1 GENERAL

A building assessed in Section 2 as being BAL—12.5 shall conform with Section 3 and Clauses 5.2 to 5.8.

Any element of construction or system that is listed as the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements contained in Clauses 5.2 to 5.8 (see Clause 3.8).

NOTE: BAL—12.5 is generally associated with protection from either attack and radiant heat up to and including 12.5 kW/m² where the site is less than 100 m from the source of bushfire attack.

5.2 SUB-FLOOR SUPPORTS

This Standard does not provide construction requirements for subfloor support where the subfloor space is enclosed with—

- (a) a wall that conforms with Clause 5.4; or
- (b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or
- (c) a combination of items (a) and (b).

Where the subfloor space is unenclosed, the support posts, columns, stumps, piers and poles shall be constructed of—

- (i) non-combustible material; or
- (ii) bushfire-resistant timber (see Appendix F); or
- (iii) a timber species as specified in Appendix E Paragraph E1; or
- (iv) a combination of items (i), (ii) and (iii).

NOTE: This requirement applies to the subject building only and not to verandas, decks, steps, ramps and landings (see Clause 5.7).

Combustible material should not be stored in the subfloor space as these may be ignited by embers and cause an additional impact to the building.

Text deleted

5.3 FLOORS

5.3.1 General

This Standard does not provide construction requirements for concrete slabs on the ground.

5.3.2 Elevated floors

5.3.2.1 Enclosed outdoor space

This Standard does not provide construction requirements for elevated floors, including beams, joists and flooring, where the outdoor space is enclosed with—

- (a) a wall that conforms with Clause 5.4; or
- (b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or
- (c) a combination of items (a) and (b).

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5.3.2.2 Unenclosed outdoor space

Where the outdoor space is unenclosed, the beams, joists and flooring, less than 400 mm above finished ground level, shall be one of the following:

- (a) Material that conform with the following:
 - (i) Beams and joists shall be—
 - (A) non-combustible; or
 - (B) bushfire-resistant timber (see Appendix F); or
 - (C) a combination of items (A) and (B).
 - (ii) Flooring shall be—
 - (A) non-combustible; or
 - (B) bushfire-resistant timber (see Appendix F); or
 - (C) timber (other than bushfire-resistant timber), particleboard or plywood flooring where the joints are filled with sinking-type material or mineral wool insulation; or
 - (D) a combination of any of items (A), (B) or (C).
- or
- (b) A system that conforms with AS 1530.8.1.

This Standard does not provide construction requirements for elements of elevated floors, including beams, joists and flooring, if the underside of the element is 400 mm or more above finished ground level.

5.4 WALLS

5.4.1 General

The exposed components of external walls that are less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fillings having an angle of less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D) shall be as follows:

- (a) Non-combustible material including the following provided the minimum thickness is 90 mm:
 - (i) Full masonry or masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone.
 - (ii) Precast or in situ walls of concrete or aerated concrete.
 - (iii) Earth wall including mud brick; or
- (b) Timber logs of a species with a density of 580 kg/m³ or greater at a 12% moisture content; of a minimum nominal overall thickness of 90 mm and a minimum thickness of 70 mm (see Clause 3.7.1); and girth planed; or
- (c) Cladding that is fixed externally to a wall-based or a steel-framed wall and is—
 - (i) non-combustible material; or
 - (ii) fibre-cement a minimum of 6 mm in thickness; or
 - (iii) bushfire-resistant timber (see Appendix F); or
 - (iv) a timber species as specified in Paragraph E1, Appendix E; or

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9.5.2 Screens for windows and doors

Where fitted, screens for windows and doors shall have a mesh or perforated sheet made of corrosion-resistant steel or bronze.

The frame supporting the mesh or perforated sheet shall be metal.

Screen assemblies shall be attached using metal fixings.

9.5.3 Windows and sightlights

Window assemblies shall—

- (a) be completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause 9.5.1; or
- (b) the operable portion of the window shall be screened internally or externally with a screen that conforms with Clause 3.6 and Clause 9.5.2; and either—
 - (i) the window system shall have an FRL of at least ~70/-; or
 - (ii) the window system shall conform with AS 1530.8.2 when tested from the outside.

9.5.4 Doors—Side-hung external doors (including French doors, panel fold and bi-fold doors)

Side-hung external doors, including French doors, panel fold and bi-fold doors, shall—

- (a) be completely protected by bushfire shutters that conform with Clause 3.7 and Clause 9.5.1; or
- (b) conform with the following:
 - (i) All door systems, including door frames and doors with glazed panels, shall—
 - (A) have an FRL of at least ~70/-; or
 - (B) conform with AS 1530.8.2 when tested from the outside.
 - (ii) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable.
 - (iii) Weather strips, draught excluders or draught seals shall be installed at the base of side-hung external doors.
 - (iv) Seals shall not compromise the FRL or the performance achieved in AS 1530.4.

9.5.5 Doors—Sliding doors

Sliding doors shall—

- (a) be completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause 9.5.1; or
- (b) conform with the following:
 - (i) All sliding door systems, including those with glazed panels, shall—
 - (A) have an FRL of at least ~70/-; or
 - (B) conform with AS 1530.8.2 when tested from the outside.
 - (ii) Sliding doors shall be tight-fitting to the frames.

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- (i) Frame material For window assemblies less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fillings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), window frames and window joinery shall be made from one of the following:
 - (A) Bushfire-resistant timber (see Appendix F); or
 - (B) A timber species as specified in Paragraph E2, Appendix E; or
 - (C) Metal; or
 - (D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel or corrosion-resistant steel.

There are no specific restrictions on frame material for all other windows.

- (ii) Hardware There are no specific restrictions on hardware for windows.

- (iii) Glazing Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fillings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), this glazing shall be Grade A safety glass a minimum of 4 mm in thickness or glass blocks with no restriction on glazing methods.

NOTE: Where double-glazed assemblies are used above, the requirements apply to the external pane of the glazed assembly only. For all other glazing, annealed glass may be used in accordance with AS 1288.

- (iv) Seals and weather strips There are no specific requirements for seals and weather strips at this BAL.

- (v) Screens The operable portions of windows shall be screened internally or externally with screens that conform with Clause 3.6 and Clause 5.5.2.

NOTE: Where double-glazed assemblies are used above, the requirements apply to the external pane of the glazed assembly only. For all other glazing, annealed glass may be used in accordance with AS 1288.

- (vi) Screens The operable portions of windows shall be screened internally or externally with screens that conform with Clause 3.6 and Clause 5.5.2.

NOTE: Where double-glazed assemblies are used above, the requirements apply to the external pane of the glazed assembly only. For all other glazing, annealed glass may be used in accordance with AS 1288.

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5.5.4 Doors—Side-hung external doors (including French doors, panel fold and bi-fold doors)

Side-hung external doors, including French doors, panel fold and bi-fold doors, shall—

- (a) be completely protected by bushfire shutters that conform with Clause 3.7 and Clause 5.5.1; or
- (b) be completely protected externally by screens that conform with Clause 3.6 and Clause 5.5.2; or
- (c) conform with the following:
 - (i) Door panel material Material shall be—
 - (A) non-combustible; or
 - (B) solid timber, laminated timber or reconstituted timber, having a minimum thickness of 36 mm for the first 400 mm above the threshold; or

NOTE: Where double-glazed assemblies are used above, the requirements apply to the external pane of the glazed assembly only. For all other glazing, annealed glass may be used in accordance with AS 1288.

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- (C) hollow core, solid timber, laminated timber or reconstituted timber with a non-combustible kickplate on the outside for the first 400 mm above the threshold; or
- (D) hollow core, solid timber, laminated timber or reconstituted timber protected externally by a screen that conforms with Clause 5.5.2; or
- (E) for fully framed glazed door panels, the framing shall be made from metal or bushfire-resistant timber (see Appendix F) or a timber species as specified in Paragraph E2, Appendix E or uPVC.

NOTE: This requirement applies to the subject building only and not to verandas, decks, steps, ramps and landings (see Clause 5.7).

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- (iii) Glazing Where doors incorporate glazing, the glazing shall be Grade A safety glass a minimum of 4 mm in thickness.
- (iv) Seals and weather strips There are no specific requirements for seals and weather strips at this BAL.
- (v) Screens There is no requirement to screen the operable part of the sliding door at this BAL.
- (vi) Sliding panels Sliding panels shall be tight-fitting to the frames.

5.5.4 Doors—Vehicle access doors (garage doors)

The following applies to vehicle access doors:

- (a) The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from—
 - (i) non-combustible material; or
 - (ii) bushfire-resistant timber (see Appendix F); or
 - (iii) fibre-cement sheet a minimum of 6 mm in thickness; or
 - (iv) a timber species as specified in Paragraph E1, Appendix E; or
 - (v) a combination of any of items (i), (ii), (iii) or (iv).
- (b) All vehicle access doors shall be protected with suitable weather strips, draught excluders, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.

NOTE: This requirement applies to the subject building only and not to verandas, decks, steps, ramps and landings (see Clause 5.7).

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5.6.2 Tiled roofs

Tiled roofs shall be fully sealed. The sealing shall—

- (a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;
- (b) cover the entire roof area including eaves and hips; and
- (c) extend into gutters and valleys.

5.6.3 Sheet roofs

Sheet roofs shall—

- (a) be fully sealed in accordance with Clause 5.6.2, except that foil-backed insulation blankets may be sealed over the battens; or
- (b) have any gaps sealed at the fascia or wall line, barge and ridge by—
 - (i) a mesh or perforated sheet that conforms with Clause 3.6 and that is made of corrosion-resistant steel, bronze or aluminium; or
 - (ii) mineral wool; or
 - (iii) other non-combustible material; or
 - (iv) a combination of any of items (i), (ii) or (iii).

NOTE: Sealing is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop as sheet roofing.

5.6.4 Verandas, carport and awning roofs

The following applies to verandas, carport and awning roofs:

- (a) A veranda, carport or awning roof forming part of the main roof space (see Figure D1(a), Appendix D) shall meet all the requirements for the main roof, as specified in Clauses 5.6.1 to 5.6.6.
- (b) A veranda, carport or awning roof separated from the main roof space by an external wall (see Figure D1(b) and D1(c), Appendix D) that conforms with Clause 5.4 shall have a non-combustible roof covering, except where the roof covering is a translucent or transparent material.

NOTE: There is no requirement to line the underside of a veranda, carport or awning roof that is separated from the main roof space.

5.6.5 Roof penetrations

The following applies to roof penetrations:

- (a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials, vent pipes and supports for solar collectors or the like, shall be sealed. The material used to seal the penetration shall be non-combustible.
- (b) Openings in vented roof lights, roof ventilators or vent pipes shall conform with Clause 3.6 and be made of corrosion-resistant steel, bronze or aluminium.

This requirement does not apply to a room sealed gas appliance.

NOTE: A gas appliance designed such that air for combustion does not enter from, or combustion products enter into, the room in which the appliance is located.

In the case of gas appliance fans, ember guards shall not be fitted.

NOTE: AS/NZS 5601 contains requirements for gas appliance fan systems and covers. Notice can be obtained from manufacturers and State and Territory gas technical regulators.

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- (c) All overhead glazing shall be Grade A safety glass that conforms with AS 1288.

- (d) Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, that conforms with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass of minimum 4 mm in thickness shall be used in the outer pane of the IGU.

- (e) Flashing elements of tubular skylights may be of a fire-retardant material, provided the roof integrity is maintained by an under-battening of a material having a flammability index not greater than 5.

- (f) Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as practicable to the roof level; or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

- (g) Vent pipes made from PVC are permitted.

- (h) Eaves lighting shall be adequately sealed and not compromise the performance of the element.

5.6.6 Eaves linings, fascias and gables

The following applies to eaves linings, fascias and gables:

- (a) Gables shall conform with Clause 5.4.
- (b) Eaves penetrations shall be protected as for roof penetrations as specified in Clause 5.6.5.
- (c) Eaves ventilation openings shall be fitted with ember guards in accordance with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.
- (d) Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds.

Text deleted

This Standard does not provide construction requirements for fascias, bargeboards and eaves linings.

5.6.7 Gutters and downpipes

This Standard does not provide material requirements for—

- (a) gutters, with the exception of box gutters; and
- (b) downpipes.

If installed, gutter and valley leaf guards shall be non-combustible.

Box gutters shall be non-combustible and finished at the junction with the roof with non-combustible material.

5.7 VERANDAS, DECKS, STEPS AND LANDINGS

5.7.1 General

Decking may be spaced.

There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

NOTE: This requirement applies to the subject building only and not to verandas, decks, steps, ramps and landings (see Clause 5.7).

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NOTE: This requirement applies to the subject building

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A2

C5.7.1 Spaced decking is nominally spaced at 3 mm (in accordance with standard industry practice); however, due to the nature of timber decking with seasonal changes in moisture content, that spacing may range from 0 – 5 mm during service. It should be noted that research studies have shown that gaps at 5 mm spacing afford opportunity for embers to become lodged in between timbers, which may contribute to a fire. Larger gap spacing of 10 mm may preclude this from happening but such a spacing regime may not be practical for a timber deck.

5.7.2 Enclosed subfloor spaces of verandas, decks, steps, ramps and landings

A2

5.7.2.1 Material to enclose a subfloor space

This Standard does not provide construction requirements for the material used to enclose a subfloor space except where those material are less than 400 mm from the ground.

Where the material used to enclose a subfloor space are less than 400 mm from the ground, they shall conform with Clause 5.4.

5.7.2.2 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

5.7.2.3 Framing

This Standard does not provide construction requirements for the framing of verandas, pergolas, decks, ramps or landings (i.e. bearers and joists).

5.7.2.4 Decking, stair treads and the trafficable surfaces of ramps and landings

This Standard does not provide construction requirements for decking, stair treads and the trafficable surfaces of ramps and landings that are more than 300 mm from a glazed element.

Decking, stair treads and the trafficable surfaces of ramps and landings less than 300 mm (measured horizontally at deck level) from glazed elements that are less than 400 mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be made from—

(a) non-combustible material; or

(b) bushfire-resisting timber (see Appendix F); or

(c) a timber species as specified in Paragraph E1, Appendix E; or

(d) uPVC; or

(e) a combination of any of Items (a), (b), (c) or (d).

5.7.3 Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings

5.7.3.1 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

5.7.3.2 Framing

This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e. bearers and joists).

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5.7.3.3 Decking, stair treads and the trafficable surfaces of ramps and landings

This Standard does not provide construction requirements for decking, stair treads and the trafficable surfaces of ramps and landings that are more than 300 mm from a glazed element.

Decking, stair treads and the trafficable surfaces of ramps and landings less than 300 mm (measured horizontally at deck level) from glazed elements that are less than 400 mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be made from—

(a) non-combustible material; or

(b) bushfire-resisting timber (see Appendix F); or

(c) a timber species as specified in Paragraph E1, Appendix E; or

(d) a combination of any of Items (a), (b) or (c).

5.7.4 Balustrades, handrails or other barriers

This Standard does not provide construction requirements for balustrades, handrails and other barriers.

5.7.5 Veranda posts

Veranda posts—

(a) shall be timber mounted on galvanized mounted shoes or stirrups with a clearance of not less than 75 mm above the adjacent finished ground level; or

(b) less than 400 mm (measured vertically) from the surface of the deck or ground (see Figure D2, Appendix D) shall be made from—

(i) non-combustible material; or

(ii) bushfire-resisting timber (see Appendix F); or

(iii) a timber species as specified in Paragraph E1, Appendix E; or

(iv) a combination of any of Items (a) or (b).

5.8 WATER AND GAS SUPPLY PIPES

Above-ground, exposed water supply pipes shall be metal.

External gas pipes and fittings above ground shall be of steel or copper construction having a minimum wall thickness in accordance with gas regulations or 0.9 mm whichever is the greater. The metal pipe shall extend a minimum of 400 mm within the building and 100 mm below ground.

NOTE: Refer to State and Territory gas regulations, AS/NZS 5601.1 and AS/NZS 4645.1.

A2

C5.8 Concern is raised for the protection of bottled gas installations. Location, shielding and venting of the gas bottles needs to be considered.

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ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 356 CLARENCE POINT ROAD - CLARENCE POINT TAS 7270	SHEET NUMBER: A901
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