

## PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE  
ONLY

Application Number PA2025230

Assess No: A4794

PID No:

Applicant Name:	Prime Design				
Applicant Contact Name					
Postal Address:					
Contact Phone:	Home		Work		Mobile
Email Address:					

## Planning Application Lodgement Checklist

### The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☒
2. A completed application form including a detailed description of the proposal ☒
3. A complete plan set:
  - a) Floor plans ☒
  - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☒
  - c) Site Plan showing: ☒
    - Orientation
    - All title boundaries
    - Location of buildings and structure (both existing and proposed)
    - Setbacks from all boundaries
    - Native vegetation to be removed
    - Onsite services, connections and drainage details (including sewer, water and stormwater)
    - Cut and/or Fill
    - Car parking and access details (including construction material of all trafficable areas)
    - Fence details
    - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.  
All plans must be to scale.*

Application Number: «Application Number»

## APPLICANT DETAILS

Applicant Name:	Prime Design
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**Note:** Full name(s) of person(s) or company making the application and postal address for correspondence.

## LAND DETAILS

Owner/Authority Name: (as per certificate of title)	Rossiter Homes & Developments Pty. Ltd.
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Location / Address:	Lot 3 Imogen Court, Legana, TAS
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Title Reference:	3/188090
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Zone(s):	General Residential
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Existing Development/Use:	Vacant lot
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Existing Developed Area:	N/A
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Are any of the components in this Application seeking retrospective approval? E.g. Use and/or development that has commenced without a Planning Permit.	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
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(If yes please specify the relevant components):

## DEVELOPMENT APPLICATION DETAILS

Proposed Use:	Residential: <input checked="" type="checkbox"/>	Visitor Accommodation: <input type="checkbox"/>	Commercial: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of Use: Proposed New Residence			

Development Type:	Building work: <input checked="" type="checkbox"/>	Demolition: <input type="checkbox"/>	Subdivision: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of development: Proposal to construct a new dwelling.			

New or Additional Area:	
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Estimated construction cost of the proposed development:	\$875,000
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Building Materials:	Wall Type: Brick Veneer	Colour: TBC
	Roof Type: Colorbond roof	Colour: TBC

Application Number: «Application Number»

**VISITOR ACCOMMODATION**

☐ N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

**SUBDIVISION**

☐ N/A

Subdivision creating additional lots ☐  
 Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

**COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE**

☐ N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: (Existing)	
Number of Employees: (Proposed)	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: «Application\_Number»

APPLICANT DECLARATION

**Owner:** As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Owner\_Name

Name (print)

Signed

Date

**Applicant:** As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

(if not the owner)

Isaac Johnson

Name (print)



Signed

25/07/2025

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown  
Consent**  
(if required)

Name (print)

Signed

Date

**Chief  
Executive  
Officer**  
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

**Right of Way Owner:**

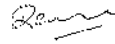
As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

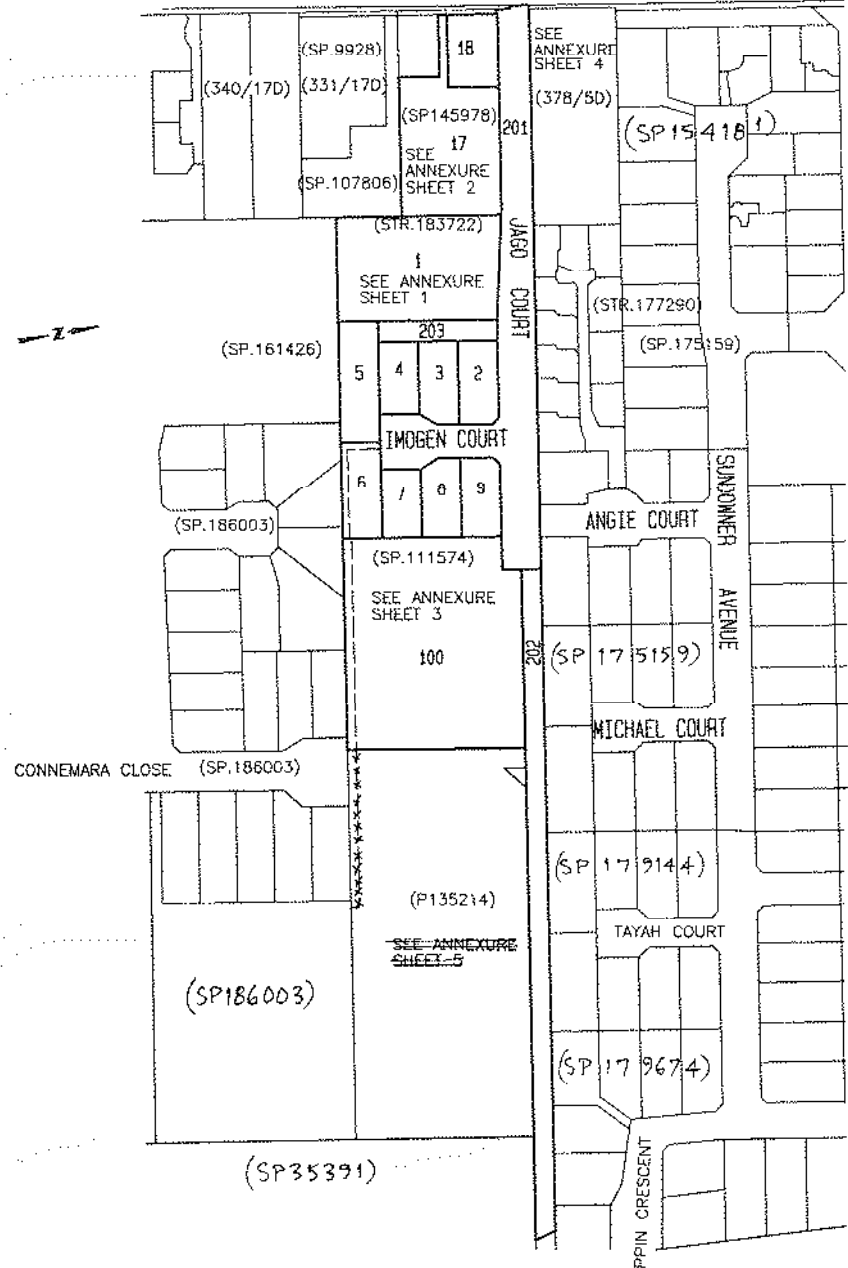
Signed

Date

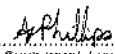
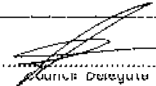
PRIORITY FINAL PLAN

<p><b>OWNER:</b> ROSSITER HOMES &amp; DEVELOPMENTS PTY LTD STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD &amp; MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAGE &amp; CAMERON JAMES WHELAN.</p> <p><b>FOLIO REFERENCE:</b> CT 183722/0, CT 183722/7, CT 182698/1 <del>CT 145978/1</del>, CT 145978/2 &amp; CT 145978/1. <b>GRANTEE:</b> PART OF 2500 ACRES GTD. TO JOHN GRIFFITHS.</p>	<p><b>PLAN OF SURVEY</b></p> <p>BY SURVEYOR: A.J. PHILLIPS</p> <p>LOCATION: TOWN OF LEGANA</p> <p>SCALE 1: 2000      LENGTHS IN METRES</p>	<p>REGISTERED NUMBER <b>SP188090</b></p> <p>APPROVED EFFECTIVE FROM <b>10 JUL 2025</b></p> <p> Recorder of Titles</p> <p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>
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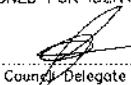
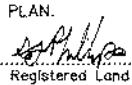
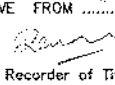
FRESHWATER                      POINT                      ROAD

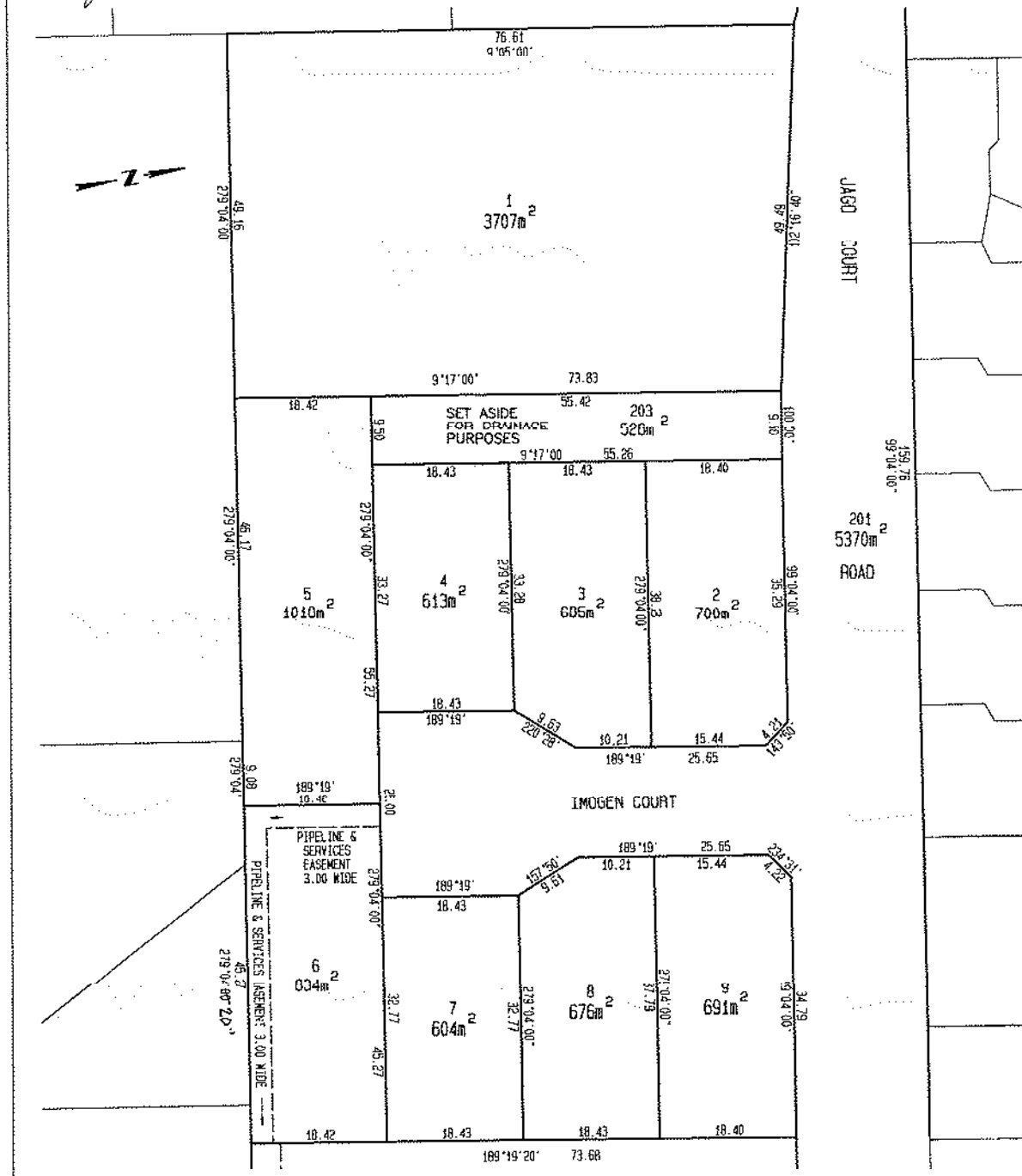


(STR 168587)

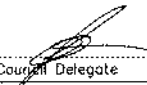
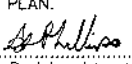
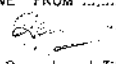
<p> A.J. Phillips Registered Land Surveyor</p>	<p>19 Nov 24 Date</p>	<p> Council Delegate</p>	<p>20/12/24 Date</p>
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PRIORITY FINAL PLAN

<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 5 SHEETS</p>	<p>OWNER: ROSSITER HOMES &amp; DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD &amp; MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE &amp; CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 135214/1, CT 145978/2 &amp; CT 145978/1.</p> <p>SCALE 1: 500 LENGTH IN METRES</p>	<p>Registered Number</p> <p><b>SP188090</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p> 20/12/24 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p> 19 Nov 24 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 10 JUL 2025</p> <p> Recorder of Titles</p>

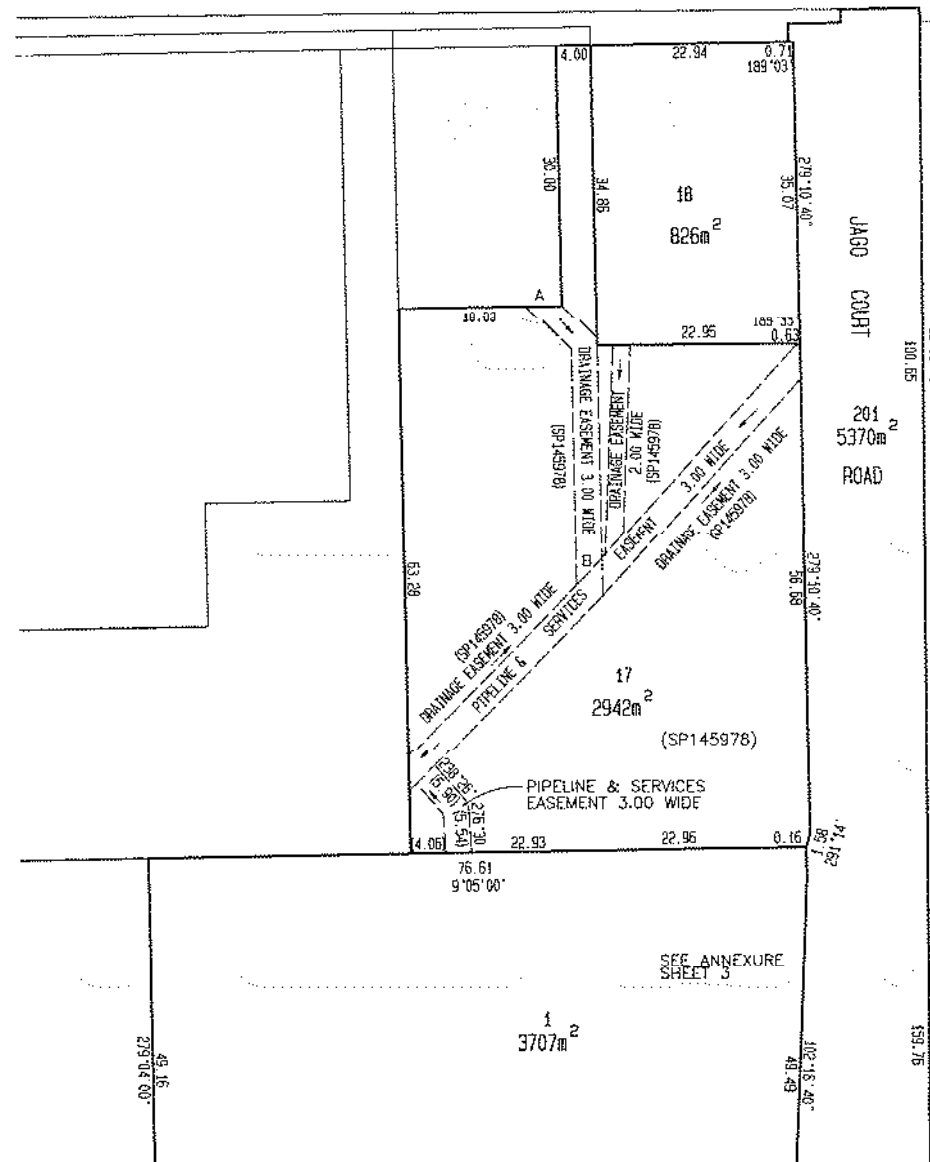
  


**PRIORITY FINAL PLAN**

<p><b>PLAN OF SURVEY ANNEXURE SHEET</b></p> <p>SHEET 2 OF 5 SHEETS</p>	<p>OWNER: ROSSITER HOMES &amp; DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD &amp; MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE &amp; CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 135214/1, CT 145978/2 &amp; CT 145978/1.</p> <p>SCALE 1: 500                      LENGTH IN METRES</p>	<p>Registered Number</p> <p style="font-size: 24pt; font-weight: bold;">SP.188090</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <div style="display: flex; justify-content: space-between; align-items: flex-end; margin-top: 20px;"> <div style="text-align: center;">               Court Delegate         </div> <div style="text-align: center;">             20/12/24              Date         </div> </div>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <div style="display: flex; justify-content: space-between; align-items: flex-end; margin-top: 20px;"> <div style="text-align: center;">               Registered Land Surveyor         </div> <div style="text-align: center;">             19 Nov 24              Date         </div> </div>	<p>APPROVED EFFECTIVE FROM 10 JUL 2025</p> <div style="display: flex; justify-content: space-between; align-items: flex-end; margin-top: 20px;"> <div style="text-align: center;">               Recorder of Titles         </div> </div>

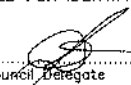
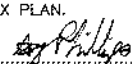

FRESHWATER                      POINT                      ROAD

SEE ANNEXURE SHEET 4



SEE ANNEXURE SHEET 3

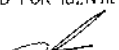


PRIORITY FINAL PLAN

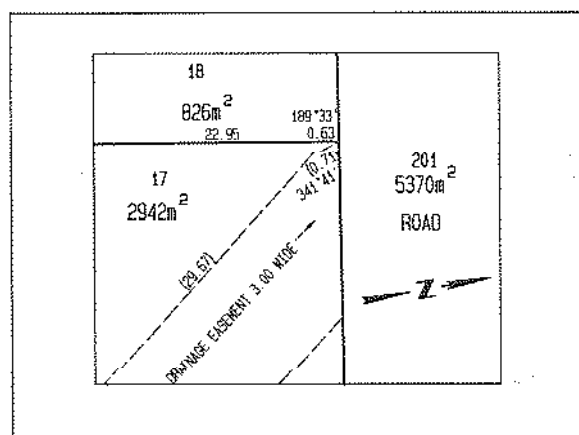
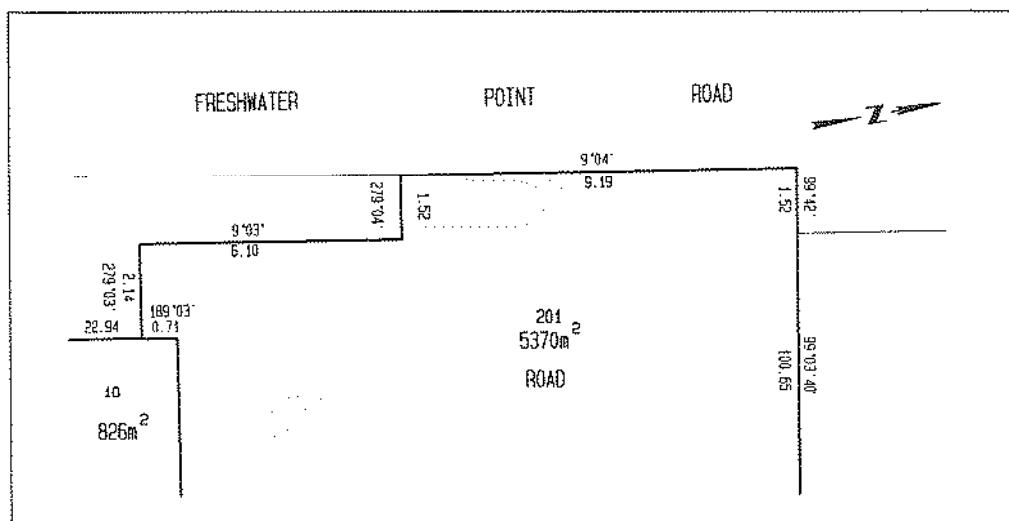
<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 3 OF 5 SHEETS</p>	<p>OWNER: ROSSITER HOMES &amp; DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD &amp; MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE &amp; CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 133214/1, CT 145978/2 &amp; CT 145978/1.</p> <p>SCALE 1: 500      LENGTH IN METRES</p>	<p>Registered Number  <b>SP188090</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p> <u>20/12/24</u> Council Delegate      Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p> 19 Nov 24 Registered Land Surveyor      Date</p>	<p>APPROVED EFFECTIVE FROM 10 JUL 2025</p> <p> Recorder of Titles</p>


<p>CONNEMARA CLOSE</p> <p>PIPELINE &amp; SERVICES EASEMENT 400 WIDE</p> <p>51'04'28"</p> <p>97'98"</p>	<p>6</p> <p>189°19'20"</p> <p>73.68</p> <p>SEE ANNEXURE SHEET 2</p> <p>100</p> <p>7954m<sup>2</sup></p> <p>9°19'20"</p> <p>82.54</p> <p>(P135214)</p>	<p>7</p>	<p>8</p>	<p>9</p>	<p>279°14'30"</p> <p>49.79</p> <p>15.00</p> <p>201</p> <p>5370m</p> <p>ROAD</p> <p>189°04'</p> <p>18.00</p> <p>8.84</p> <p>9.16</p> <p>202</p> <p>2836m<sup>2</sup></p> <p>ROADWAY</p> <p>83.02</p> <p>279°03'40"</p> <p>279°04'00"</p> <p>307.09</p> <p>279°04'28"</p> <p>180.59</p> <p>SEE ANNEXURE SHEET 2</p>	<p>108°5'</p> <p>59°04'00"</p>
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PRIORITY FINAL PLAN

<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 4 OF 5 SHEETS</p>	<p>OWNER: RDSSITER HOMES &amp; DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD &amp; MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE &amp; CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 136214/1, CT 145079/2 &amp; CT 145079/1.</p> <p>SCALE 1: 100                      LENGTH IN METRES</p>	<p>Registered Number</p> <p><b>SP 188090</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p> <u>20/12/24</u></p> <p>Council Delegate                      Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p> 19 Nov 24</p> <p>Registered Land Surveyor                      Date</p>	<p>APPROVED EFFECTIVE FROM <u>10 JUL 2025</u></p> <p></p> <p>Recorder of Titles</p>



PRIORITY FINAL PLAN

<p><b>PLAN OF SURVEY</b> <b>ANNEXURE SHEET</b>  SHEET 5 OF 5 SHEETS</p>	<p>OWNER: ROSSITER HOMES &amp; DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD &amp; MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE &amp; CAMERON JAMES WHELAN.  FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 136214/1, CT 146078/2 &amp; CT 146078/1.  SCALE 1: 750                      LENGTH IN METRES</p>	<p>Registered Number  <b>SP 188090</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES   Council Delegate                      20/12/24 Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.   Registered Land Surveyor                      19 Nov 24 Date</p>	<p>APPROVED EFFECTIVE FROM 16 JUL 2025   Recorder of Titles</p>


9°19'20" 82.54

CONNEMARA CLOSE

SEE ANNEXURE SHEET 3

279°04'20" 71.88

279°04'20" 104.00

(P135214)

279°04'00" 62.00

279°04'20" 307.09

180°25'

202

2835m

ROAD WAY

279°03'00" 47.54

195°10' 10.93

MICHAEL COURT

TAYAH COURT

PIPPIN CRESCENT

## SCHEDULE OF EASEMENTS

Registered Number

**NOTE:** THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.

**SP 188090**

PAGE 1 OF 5 PAGE/S

### EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

### Easements

Lot 17 is SUBJECT TO a Drainage Easement (as defined herein) in gross in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE (SP145978)" on the Plan.

Lot 17 is SUBJECT TO a Drainage Easement (as defined herein) appurtenant to Lot 1 on SP107806 over the land marked A. B. "DRAINAGE EASEMENT 3.00 WIDE" on (SP145978.) on the plan.

Lot 17 on the Plan ("the Lot") is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE" ("the Easement Land") on the Plan.

Lot 6 on the Plan is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE" ("the Easement Land") on the Plan.

Lot 100 on the Plan and Lot 1 on P135214 (together called "the Lot") are SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 4.00 WIDE" ("the Easement Land") on the Plan.

Signatures:

(USE ANNEXURE PAGES FOR CONTINUATION)

### SUBDIVIDER:

Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722

### FOLIO REF:

183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

### SOLICITOR

& REFERENCE: RAE & PARTNERS AEC:242926

PLAN SEALED BY: WEST TAMAR COUNCIL

DATE:

2d/12/24

PA2020415 & PA2024202

REF NO.

Council Delegate

**NOTE:** The Council Delegate must sign the Certificate for the purposes of identification.

**ANNEXURE TO  
SCHEDULE OF EASEMENTS**

PAGE 2 OF 5 PAGES

Registered Number

**SP 188090**

SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722  
FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

**Covenants**

The owners of Lots 1, 2, 3, 4, 5, 6, 7, 8 and 9 ("the Burdened Lots") covenant with West Tamar Council to the intent that the burden of this covenant may run with and bind the covenanter's lot and every part thereof and that the benefit shall be annexed to and devolve with the said West Tamar Council to observe the following stipulation, namely:

- (a) not to erect any habitable building on the Burdened Lots with a floor level below 32.90 metres on the Australian Height Datum (Tasmanian) 1983; and
- (b) not to erect any non-habitable building or structure on the Burdened Lots with a floor level below 32.75 metres on the Australian Height Datum (Tasmanian) 1983.

The owners of Lot 100 covenant with the owner of Lots 6, 7, 8 and 9 on the Plan to the intent that the burden of this covenant may run with and bind the covenanter's lot and every part thereof and that the benefit shall be annexed to and devolve with Lots 6, 7, 8 and 9 on the Plan that the vegetation on Lot 100 on the Plan must not exceed a low fuel state.

**Fencing Covenant**

The owner of each lot on the Plan covenants with Rossiter Homes & Developments Pty Ltd ("the Vendor") that the Vendor will not be required to fence any lot on the Plan.

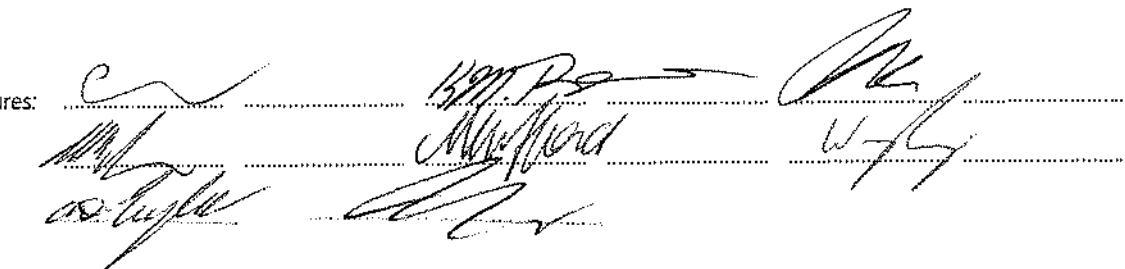
**Definitions**

"Pipeline and Services Easement" is defined as follows:-

**FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY** for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;

Signatures:



- (5) do all works reasonably required in connection with such activities or as may be authorised or required

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**ANNEXURE TO  
SCHEDULE OF EASEMENTS**

PAGE 3 OF 5 PAGES

Registered Number

**SP 188090**

SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722  
FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

by any law:

- (a) without doing unnecessary damage to the Easement Land; and
  - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

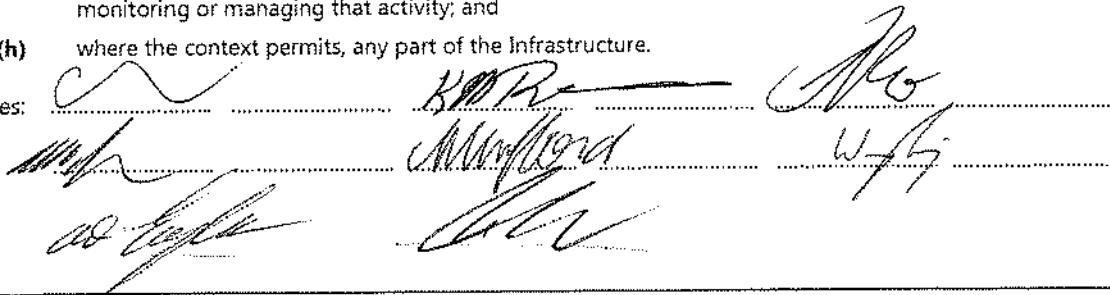
**SECONDLY**, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

**Interpretation:**

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Signatures:



**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**ANNEXURE TO  
SCHEDULE OF EASEMENTS**

PAGE 4 OF 5 PAGES

Registered Number

**SP 188090**

SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722  
FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653). Its successors and assigns.

"Drainage Easement" means a right of drainage in gross in favour of West Tamar Council ("the Council") and in conjunction with the exercise of that right the Council will have the power set out in the statutory definition of a "right of drainage" in Schedule 8 of the *Conveyancing and Law of Property Act 1884*.

There are no other Easements, Covenants or Profits a Prendre created to benefit or burden the said land.

Executed by **Michael Alan Clifford**

in the presence of:

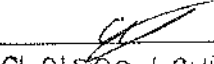
  
Michael Alan Clifford

Witness Signature

Witness Name

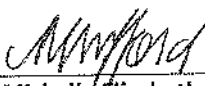
Witness Address

Witness Occupation

  
Chelsea Louise Ford  
3/113 Cimitiere St, Launceston  
Legal Assistant

Executed by **Michelle Elizabeth Clifford**

in the presence of:

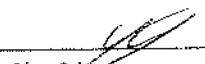
  
Michelle Elizabeth Clifford

Witness Signature

Witness Name

Witness Address

Witness Occupation

  
Chelsea Louise Ford  
3/113 Cimitiere St, Launceston  
Legal Assistant

Executed by **Cameron James Whelan**

in the presence of:


  
Cameron James Whelan

Witness Signature

Witness Name

Witness Address

Witness Occupation

  
Hannah Baker  
3/113 Cimitiere St, Launceston  
Legal Assistant

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**ANNEXURE TO  
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FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

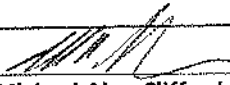
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Executed by **Michael Alan Clifford**

in the presence of:

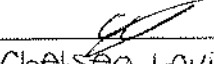
  
Michael Alan Clifford

Witness Signature

Witness Name

Witness Address

Witness Occupation

  
Chelsea Louise Ford  
3/113 Cimitiere St, Launceston  
Legal Assistant

Executed by **Michelle Elizabeth Clifford**

in the presence of:

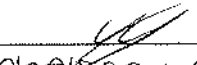
  
Michelle Elizabeth Clifford

Witness Signature

Witness Name

Witness Address

Witness Occupation

  
Chelsea Louise Ford  
3/113 Cimitiere St, Launceston  
Legal Assistant

Executed by **Cameron James Whelan**

in the presence of:


  
Cameron James Whelan

Witness Signature

Witness Name

Witness Address

Witness Occupation

  
Hannah Baker  
3/113 Cimitiere St, Launceston  
Legal Assistant

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**ANNEXURE TO  
SCHEDULE OF EASEMENTS**  
PAGE 5 OF 5 PAGES

Registered Number

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FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

Executed by **Warren Cale Paige**  
in the presence of

Warren Cale Paige

Witness Signature  
Witness Name  
Witness Address  
Witness Occupation

Chelsea Louise Ford  
3/113 Cimitiere St, Launceston  
Legal Assistant

Signed for and on behalf of  
**Rossiter Homes & Developments Pty Ltd**  
**ACN 101 283 765**  
by its authorised officers under  
S127 of the *Corporations Act 2001*

Director - Leigh Gabriel Rossiter

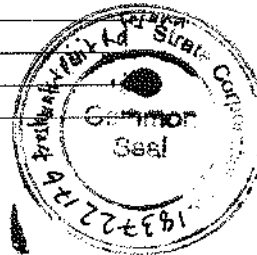
Director/Secretary - Karenne Rossiter

THE COMMON SEAL of the  
**Strata Corporation Number 183722**  
was affixed in the presence of:

Witness Signature  
Witness Name  
Witness Address  
Witness Occupation

Body Corporate Manager:  
member 5

Hannah Baker  
3/113 Cimitiere St  
Legal Assistant



\* ML  
16.4.25  
Melanie Louise Kerwin  
Solicitor  
3/113 Cimitiere Street  
Launceston TAS 7210

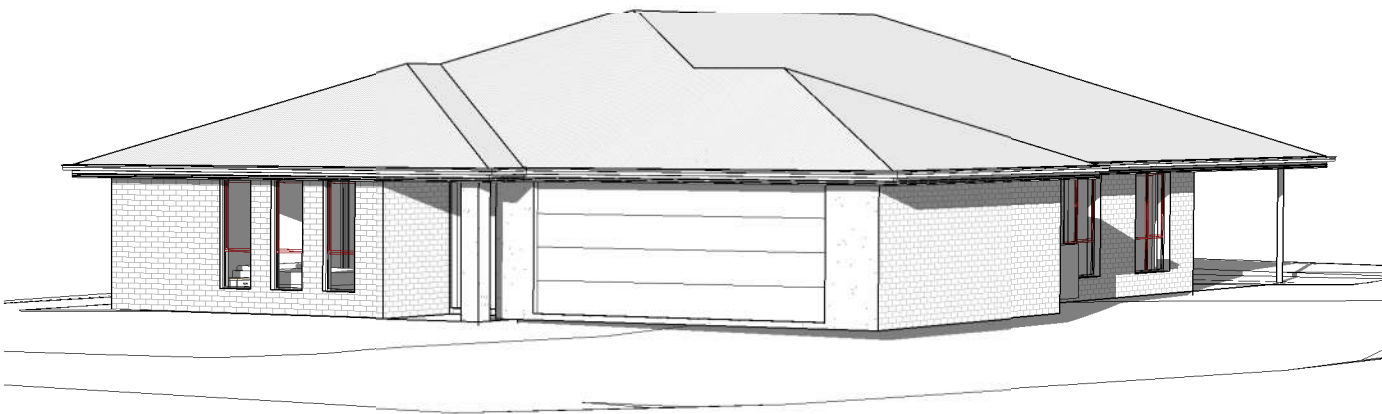
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# PROPOSED DWELLING LOT 3 IMOGEN COURT LEGANA

J.L. & K.L. CIRKEL  
PD24290

BUILDING DRAWINGS

<u>No</u>	<u>DRAWING</u>
01	SITE PLAN
02	FLOOR PLAN
03	DOOR AND WINDOW SCHEDULES
04	ELEVATIONS
05	ELEVATIONS
06	ROOF PLAN
07	PERSPECTIVES



PLANNING

GENERAL PROJECT INFORMATION

TITLE REFERENCE: 3/188090  
SITE AREA: 685m2  
DESIGN WIND SPEED: N1  
SOIL CLASSIFICATION: H1  
CLIMATE ZONE: 7  
ALPINE AREA: NO  
CORROSIVE ENVIRONMENT: NO  
BAL RATING: TBC  
OTHER KNOWN HAZARDS: NONE KNOWN.

FLOOR AREA	201.25	m2	(21.66 SQUARES)
GARAGE AREA	45.90	m2	(4.94 SQUARES)
TOTAL AREA	247.16	m2	26.60 SQUARES



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Shop 9, 105-111 Main Road; Moonah Hobart 7009  
p(h) +03 6228 4575  
info@ primedesigntas.com.au primedesigntas.com.au  
Accredited Building Practitioner: Frank Geskus -No CC246A

JULY 2025

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A.. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

24m<sup>2</sup> MINIMUM,  
WITH A MINIMUM DIMENSION OF 4m  
GRADIENT NO STEEPER THAN 1:10

MAXIMUM GRADIENT 1:4 (25%)  
TO AS 2890

BUILDING FOOTPRINT 205.64  
/ SITE AREA 685.0 = 0.3002  
TOTAL SITE COVERAGE 30.02%

BATTER AS PER  
ABCB HOUSING PROVISIONS  
PART 3.2.1.  
REFER TO STANDARD  
DETAILS TABLE

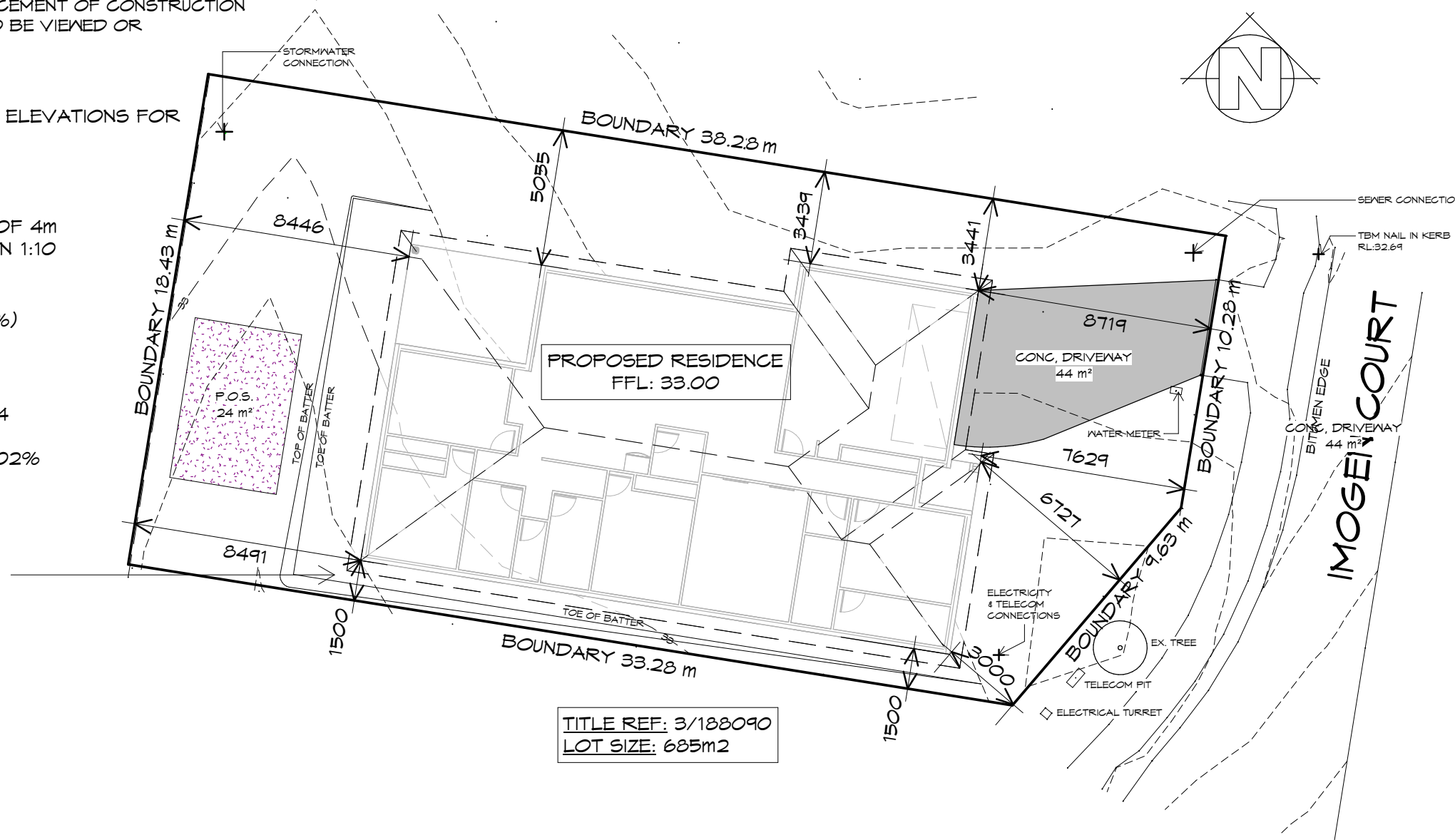
1 : 200

THIS PROJECT HAS BEEN DETERMINED TO HAVE A  
BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**  
ALL CONSTRUCTION MUST COMPLY WITH AS3959.  
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

- THIS PLAN HAS BEEN PREPARED BY NOVA LAND CONSULTING FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT USED FOR ANY OTHER PURPOSE.
- TITLE BOUNDARIES SHOWN ARE BASED UPON CORNER MARKS LOCATED ON SITE AND ARE APPROXIMATE ONLY AND SUBJECT TO SURVEY AND REGISTRATION AT THE LAND TITLES OFFICE. NO EASEMENTS ARE SHOWN. EASEMENTS ARE SUBJECT TO REGISTRATION AT THE LAND TITLES OFFICE.
- SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
- NOVA LAND CONSULTING CANNOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
- THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF NOVA LAND CONSULTING.
- HORIZONTAL BEARING DATUM IS PLANE PER RTK GNSS OBSERVATIONS.
- VERTICAL DATUM IS AHD83 PER SPM10472.
- CONTOUR INTERVAL IS 0.10m; INDEX IS 0.50m.
- COORDINATES ARE PLANE AND REFERENCED TO MGA2020 AT SPM10472.

# PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



Prime  
Design

10 Goodman Court, Invermay Tasmania 7248,  
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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED DWELLING  
LOT 3 IMOGEN COURT  
LEGANA

Client name:  
J.L. & K.L. CIRKEL

Drawing:  
**SITE PLAN**

Drafted by: **D.D.H.**      Approved by: **Approver**

Date: 24.07.2025 Scale: 1 : 200

---

Project/Drawing no:
Revision:

PD24290 -01

Revision:

Accredited building practitioner: Frank Geskus -No CC246A

## LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

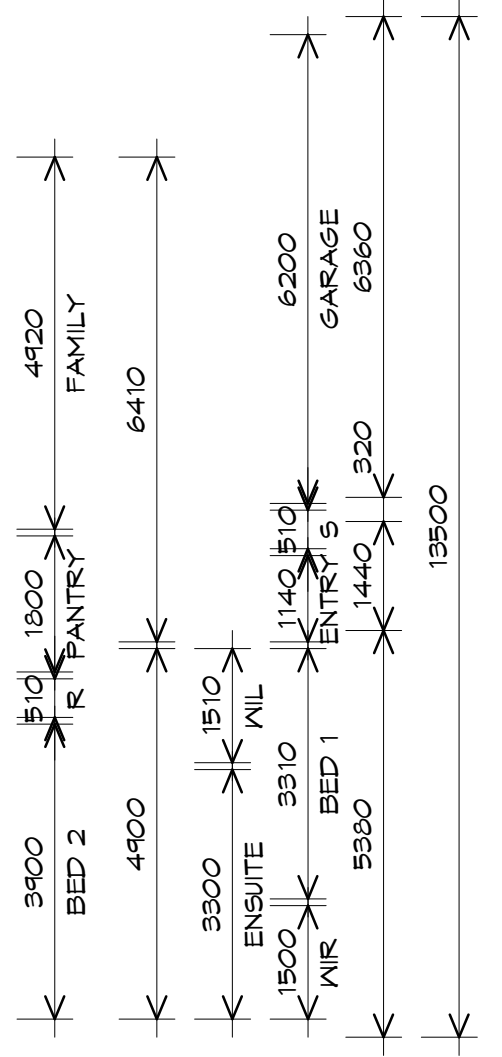
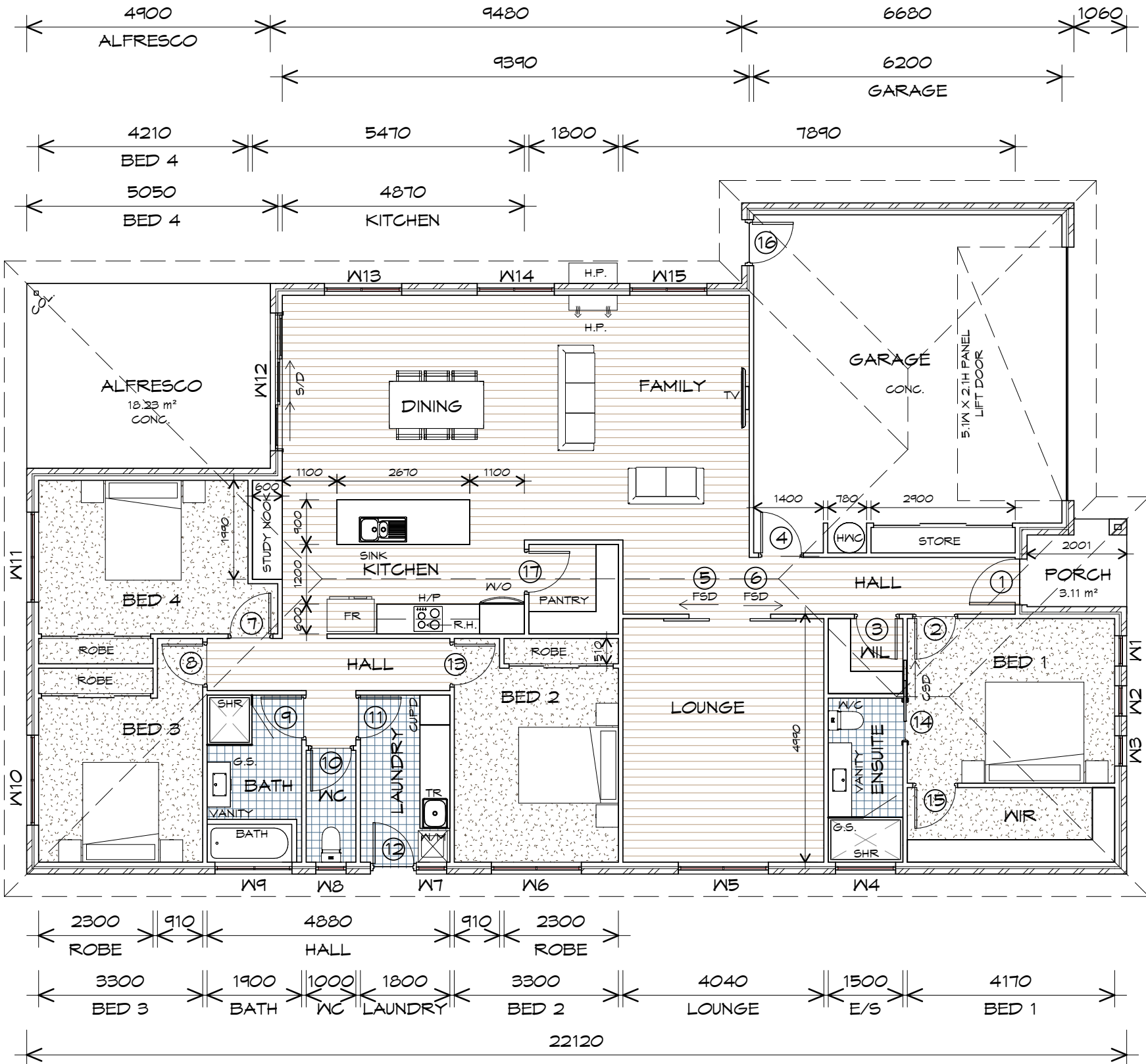
## FLOOR PLAN

1 : 100

FLOOR AREA	201.25 m <sup>2</sup>	(21.66 SQUARES)
GARAGE AREA	45.90 m <sup>2</sup>	(4.94 SQUARES)
TOTAL AREA	247.16 m <sup>2</sup>	26.60 SQUARES

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

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THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED DWELLING  
LOT 3 IMOGEN COURT  
LEGANA**

Client name:  
**J.L. & K.L. CIRKEL**

Drafted by: **D.D.H.** Approved by: **Approver**



Drawing:  
**FLOOR PLAN**

Date: **24.07.2025** Scale: **1 : 100**

Project/Drawing no: **PD24290 -02** Revision: **02**  
Accredited building practitioner: Frank Geskus -No CC246A

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL GLAZED DOOR	OPAQUE GLASS
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	FEATURE FACE SLIDING DOOR	
6	820	FEATURE FACE SLIDING DOOR	
7	820	INTERNAL TIMBER DOOR	
8	820	INTERNAL TIMBER DOOR	
9	820	INTERNAL TIMBER DOOR	
10	820	INTERNAL TIMBER DOOR	
11	820	INTERNAL TIMBER DOOR	
12	820	EXTERNAL HALF GLASS	COUPLED
13	820	INTERNAL TIMBER DOOR	
14	820	CAVITY SLIDING DOOR	
15	820	INTERNAL TIMBER DOOR	
16	820	EXTERNAL HALF GLASS	
17	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	610	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	
W3	1800	610	AWNING WINDOW	
W4	300	1210	AWNING WINDOW	OPAQUE
W5	1200	1810	AWNING WINDOW	
W6	1200	1810	AWNING WINDOW	
W7	1000	610	AWNING WINDOW	COUPLED
W8	1000	610	AWNING WINDOW	OPAQUE
W9	1000	1550	AWNING WINDOW	OPAQUE
W10	1200	1810	AWNING WINDOW	
W11	1200	1810	AWNING WINDOW	
W12	2100	2770	STACKING SLIDING DOOR	
W13	1800	1550	AWNING WINDOW	
W14	1800	1550	AWNING WINDOW	
W15	1800	1550	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE  
WITH FLY SCREENS TO SUIT **BAL LOW** RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

THIS PROJECT HAS BEEN DETERMINED TO HAVE A  
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THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED DWELLING  
LOT 3 IMOGEN COURT  
LEGANA**

Client name:  
**J.L. & K.L. CIRKEL**

Drawing:  
**DOOR AND WINDOW  
SCHEDULES**

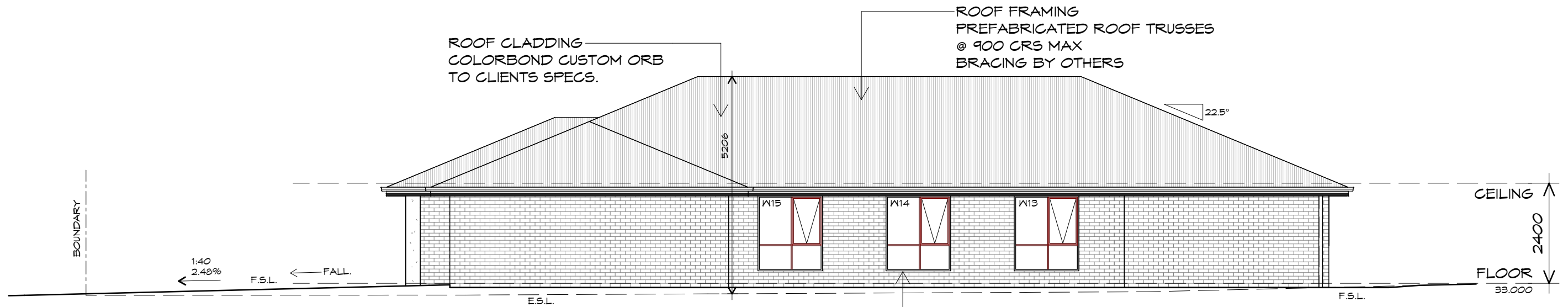
Drafted by: **D.D.H.** Approved by: **Approver**

Date: **24.07.2025** Scale:

Project/Drawing no: **PD24290 -03** Revision: **02**

Accredited building practitioner: Frank Geskus -No CC246A

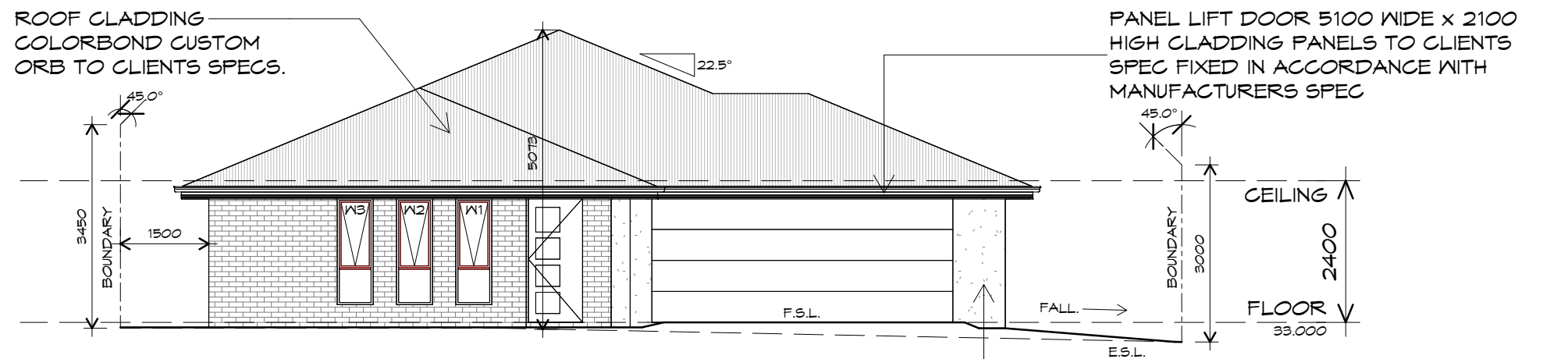




## NORTHERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4



## EASTERN ELEVATION

1 : 100

BRICKWORK  
SELECTED FIRED CLAY  
FACE BRICKS.  
RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH ACBC HOUSING PROVISIONS PART 5

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PLANNING

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info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED DWELLING  
LOT 3 IMOGEN COURT  
LEGANA**

Client name:  
**J.L. & K.L. CIRKEL**

Drawing:  
**ELEVATIONS**

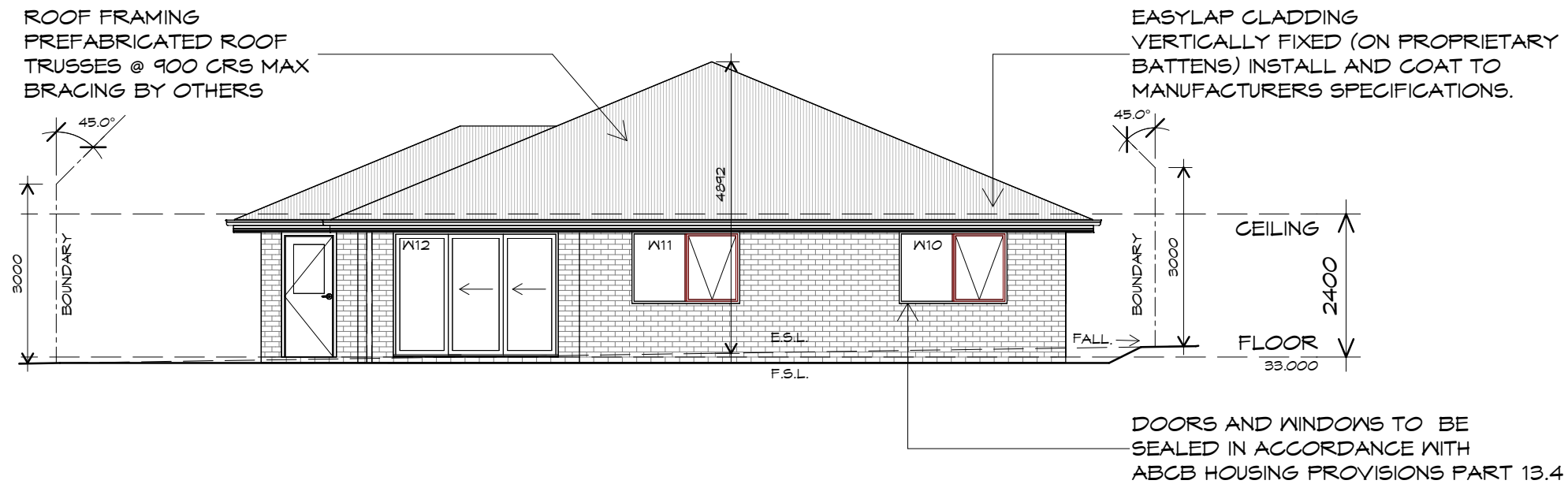
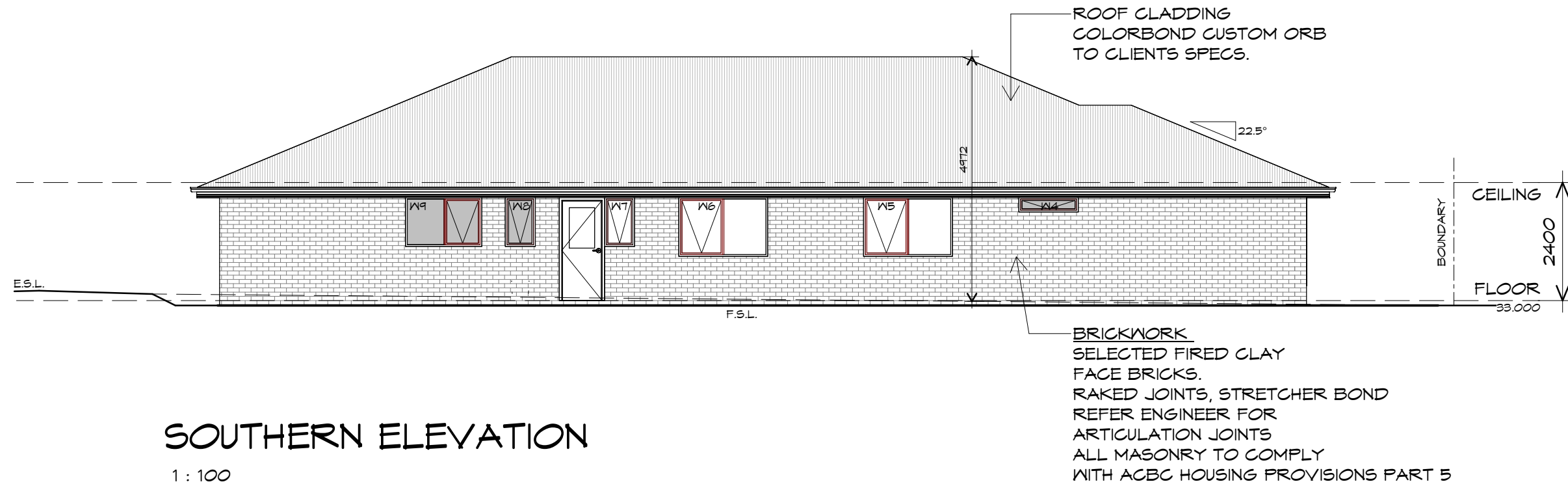
Drafted by:  
**D.D.H.** Approved by:  
**Approver**

Date:  
**24.07.2025** Scale:  
**1 : 100**

Project/Drawing no:  
**PD24290 -04** Revision:  
**02**

Accredited building practitioner: Frank Geskus -No CC246A





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Project:  
**PROPOSED DWELLING  
LOT 3 IMOGEN COURT  
LEGANA**

Client name:  
**J.L. & K.L. CIRKEL**

Drawing:  
**ELEVATIONS**

Drafted by: **D.D.H.** Approved by: **Approver**

Date: **24.07.2025** Scale: **1 : 100**

Project/Drawing no: **PD24290 -05** Revision: **02**

Accredited building practitioner: Frank Geskus -No CC246A

ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 7.4.4  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

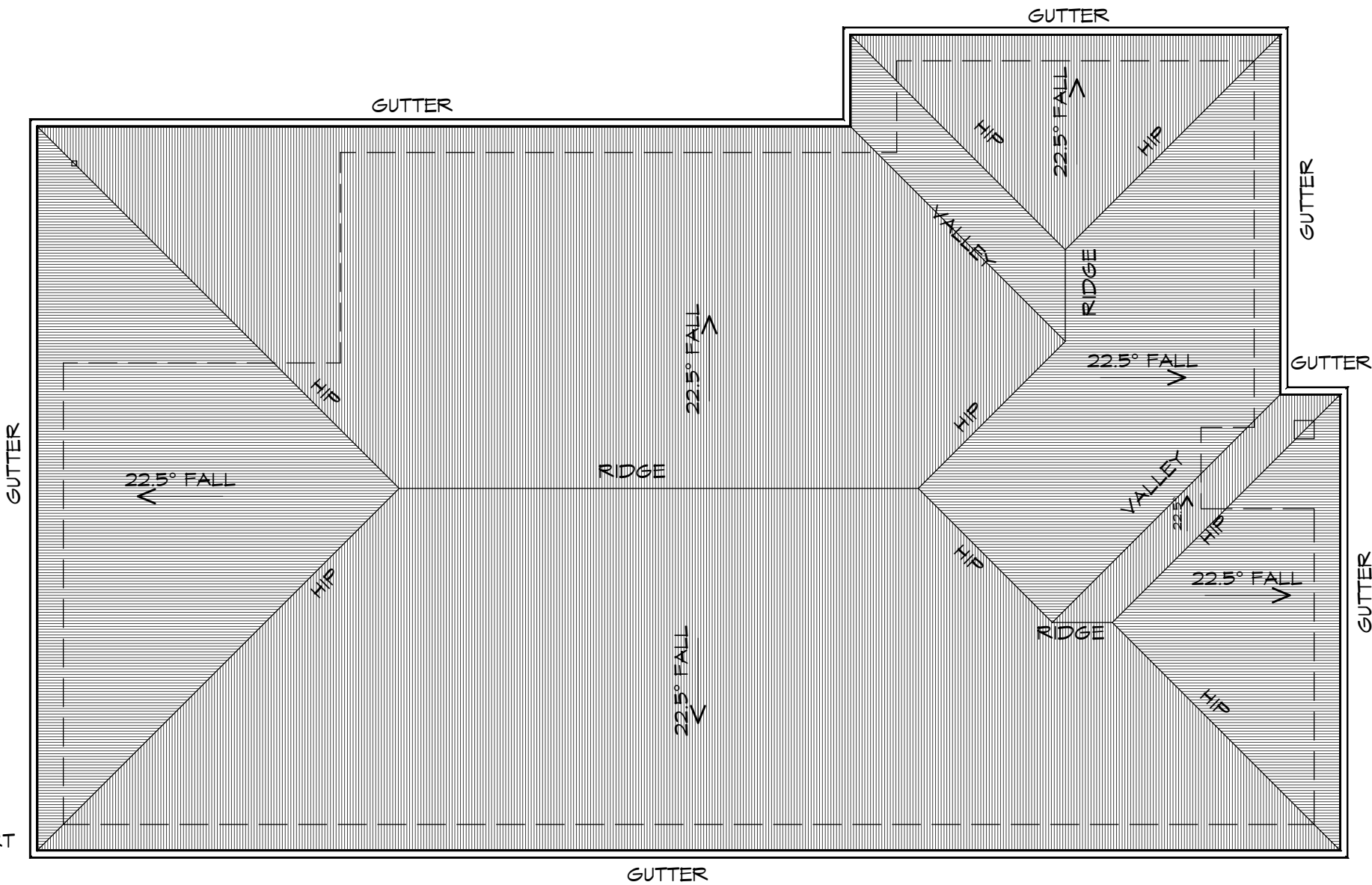
VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNSPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH ABCB HOUSING PROVISIONS PART 7.4.5  
REQUIREMENTS.  
SPACING BETWEEN DOWNSPIPES MUST NOT  
BE MORE THAN 12m & LOCATED AS CLOSE AS  
POSSIBLE TO VALLEY GUTTERS

ADDITIONAL ROOF LOAD  
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

METAL ROOF  
METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART  
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY  
OF CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,  
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS  
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.  
REFER TO TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN  
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100

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Project:  
PROPOSED DWELLING  
LOT 3 IMOGEN COURT  
LEGANA

Client name:  
J.L. & K.L. CIRKEL

Drafted by:  
D.D.H.

Approved by:  
Approver



Drawing:  
ROOF PLAN

Date:  
24.07.2025

Scale:  
1 : 100

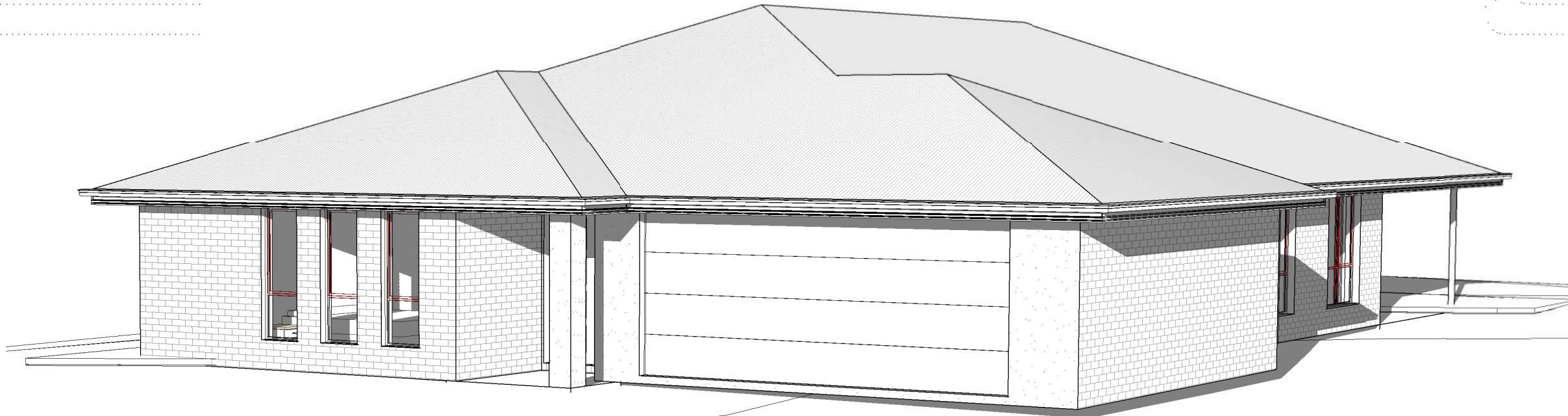
Project/Drawing no:  
PD24290 -06

Revision:  
02

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
**PROPOSED DWELLING  
LOT 3 IMOGEN COURT  
LEGANA**

Client name:  
**J.L. & K.L. CIRKEL**

Drawing:  
**PERSPECTIVES**

Drafted by: **D.D.H.** Approved by: **Approver**

Date:  
**24.07.2025**

Project/Drawing no:  
**PD24290 -07**

Revision:  
**02**

Accredited building practitioner: Frank Geskus -No CC246A