

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number PA2025231

Assess No: A13888

PID No: 9398423

Applicant Name:	Prime Design					
Applicant Contact Name						
Postal Address:						
Contact Phone:	Home		Work		Mobile	
Email Address:						

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements
2. A completed application form including a detailed description of the proposal
3. A complete plan set:
 - a) Floor plans
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level)
 - c) Site Plan showing:
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:



*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: Prime Design

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) Rossiter Homes & Developments Pty. Ltd.

Location / Address: Lot 2 Imogen Court, Legana, TAS

Title Reference: 2/188090

Zone(s): General Residential

Existing Development/Use: Vacant lot

Existing Developed Area: N/A

Are any of the components in this Application seeking retrospective approval?
E.g. Use and/or development that has commenced without a Planning Permit.

YES ☐
NO ☒

(If yes please specify the relevant components):

DEVELOPMENT APPLICATION DETAILS

Proposed Use:

Residential: <input checked="" type="checkbox"/>	Visitor Accommodation: <input type="checkbox"/>	Commercial: <input type="checkbox"/>	Other: <input type="checkbox"/>
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Description of Use:
Proposed Unit Development

Development Type:

Building work: <input checked="" type="checkbox"/>	Demolition: <input type="checkbox"/>	Subdivision: <input type="checkbox"/>	Other: <input type="checkbox"/>
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Description of development:
Proposal to construct two new units.

New or Additional Area:

Estimated construction cost of the proposed development: \$1,160,000

Building Materials:

Wall Type: Brick Veneer/Lightweight wall	Colour: TBC
Roof Type: Colorbond roof	Colour: TBC

Application Number: «Application Number»

VISITOR ACCOMMODATION

☐ N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION

☐ N/A

Subdivision creating additional lots ☐
 Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

☐ N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: (Existing)	
Number of Employees: (Proposed)	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: «Application_Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Owner_Name		
Name (print)	Signed	Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

(if not the owner)

Isaac Johnson		25/07/2025
Name (print)	Signed	Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

Crown Consent (if required)			
	Name (print)	Signed	Date

Chief Executive Officer (if required)			
	Name (print)	Signed	Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

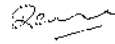
Right of Way Owner:

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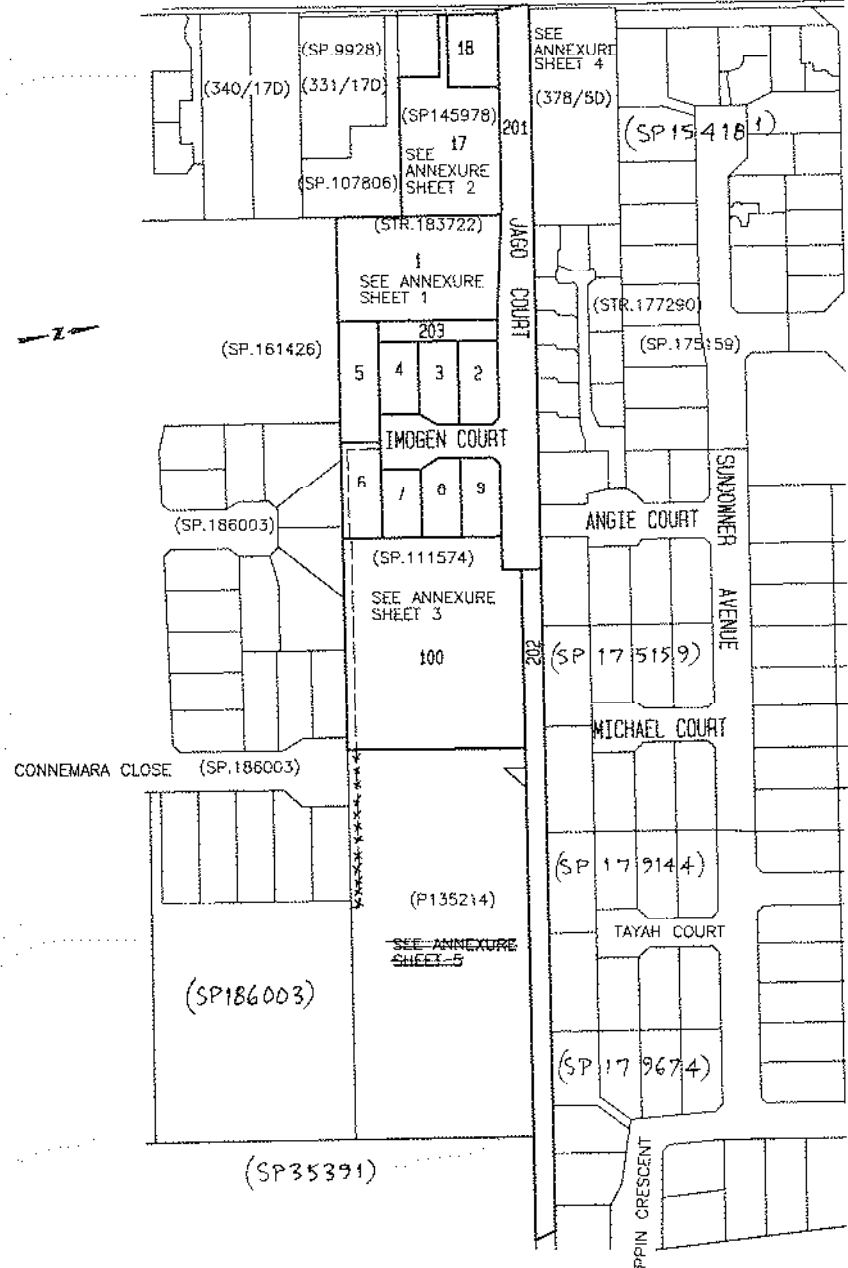
As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)	Signed	Date


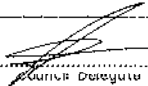
PRIORITY FINAL PLAN

<p>OWNER: ROSSITER HOMES & DEVELOPMENTS PTY LTD STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA, MICHAEL ALAN CLIFFORD & MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAGE & CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 182698/1 CT 145978/1, CT 145978/2 & CT 145978/1.</p> <p>GRANTEE: PART OF 2500 ACRES GTD. TO JOHN GRIFFITHS.</p>	<p>PLAN OF SURVEY</p> <p>BY SURVEYOR: A.J. PHILLIPS</p> <p>LOCATION: TOWN OF LEGANA</p> <p>SCALE 1: 2000 LENGTHS IN METRES</p>	<p>REGISTERED NUMBER SP188090</p> <p>APPROVED EFFECTIVE FROM 10 JUL 2025</p> <p> Recorder of Titles</p>
<p style="text-align: right;">ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>		

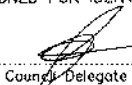
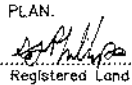
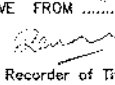
FRESHWATER POINT ROAD

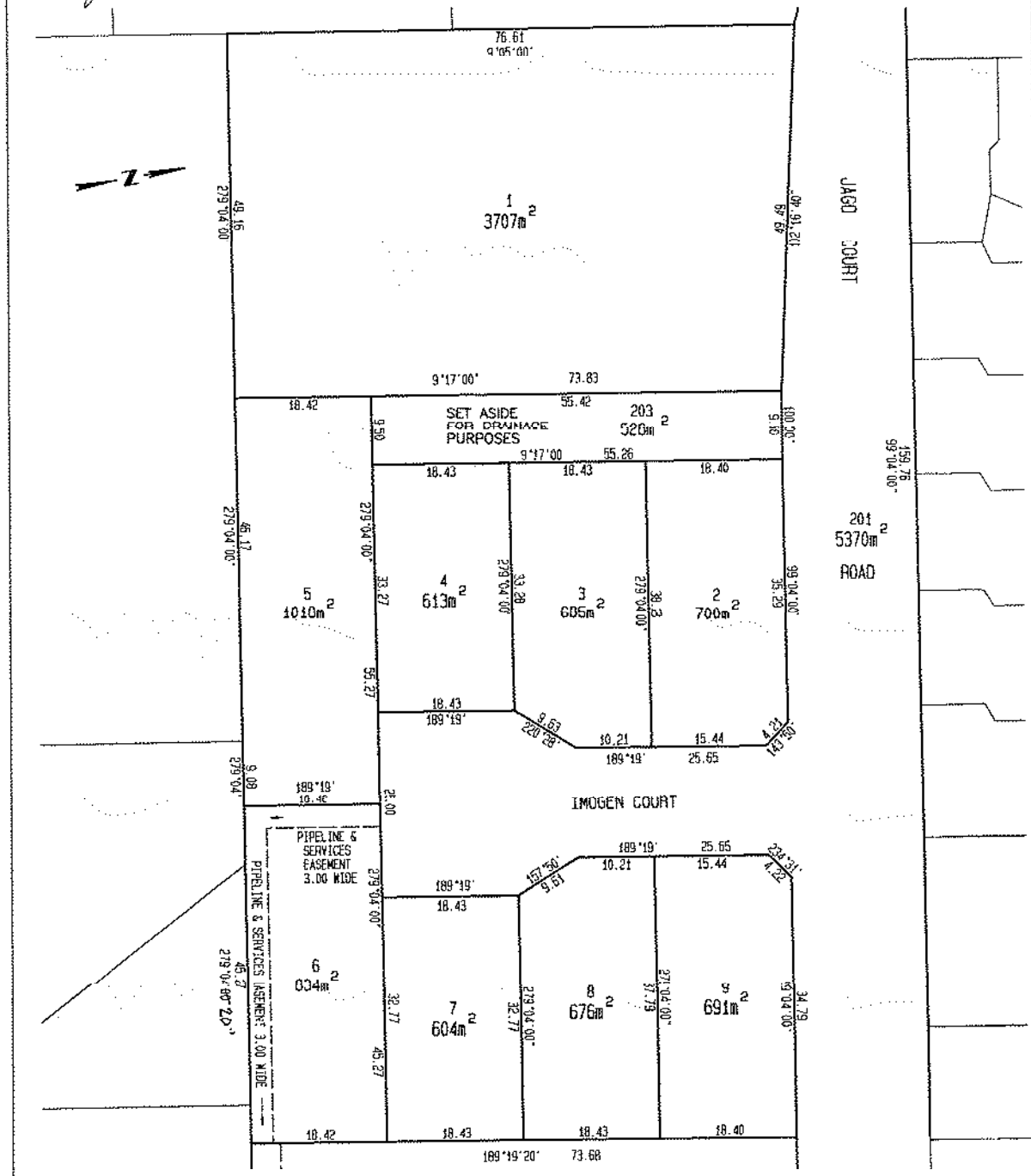


(STR 168587)

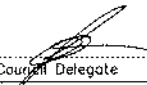
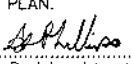
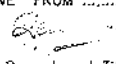
<p> A.J. Phillips Registered Land Surveyor</p>	<p>31 Nov 24 Date</p>	<p> Council Delegate</p>
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PRIORITY FINAL PLAN

<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 5 SHEETS</p>	<p>OWNER: ROSSITER HOMES & DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD & MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE & CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 135214/1, CT 145978/2 & CT 145978/1.</p> <p>SCALE 1: 500 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP188090</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p> <u>20/12/24</u> Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p> 19 Nov 24 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 10 JUL 2025</p> <p> Recorder of Titles</p>

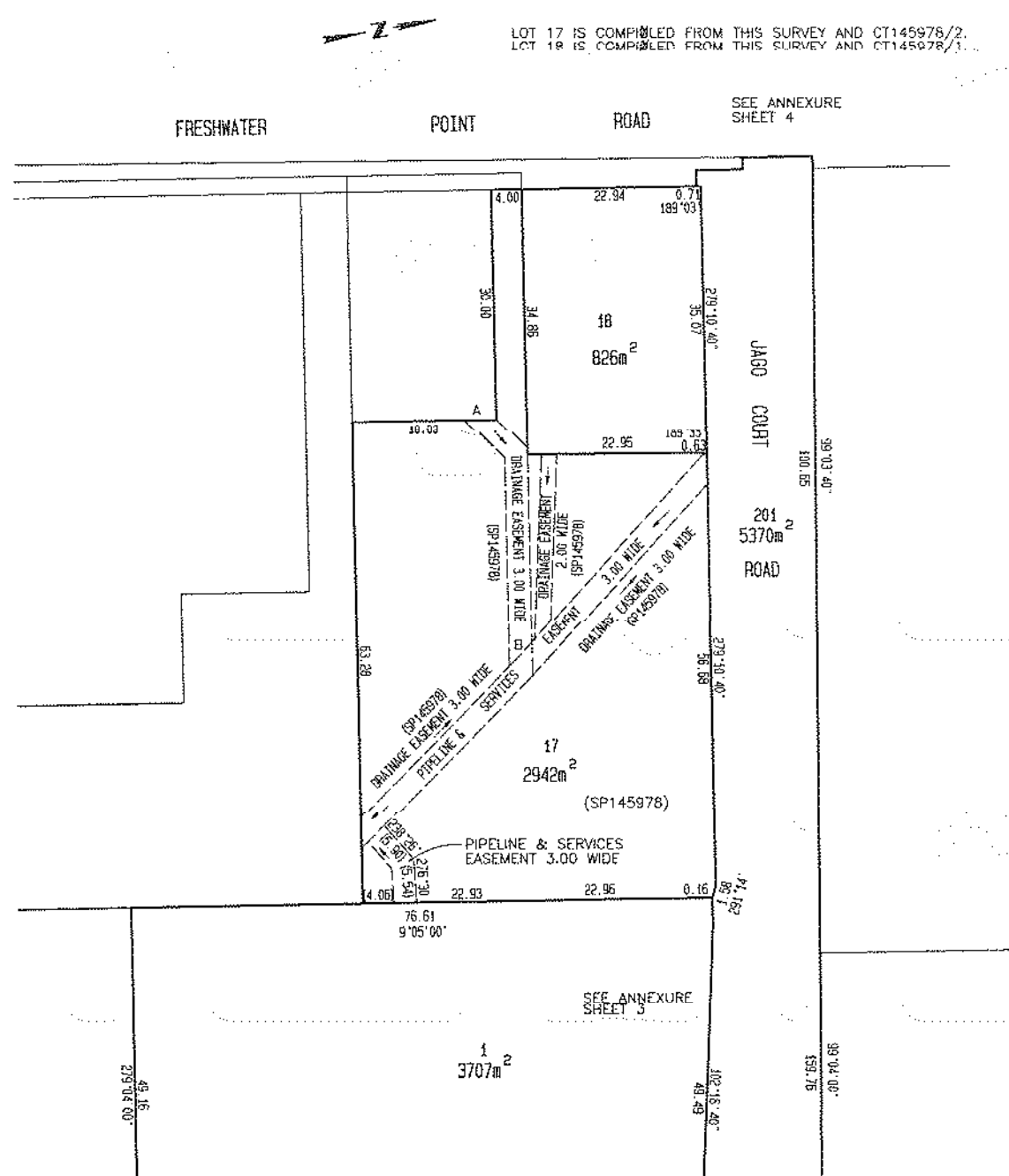


PRIORITY FINAL PLAN

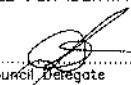
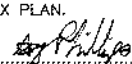

<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 2 OF 5 SHEETS</p>	<p>OWNER: ROSSITER HOMES & DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD & MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE & CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 182598/1 CT 135214/1, CT 145978/2 & CT 145978/1.</p> <p>SCALE 1: 500 LENGTH IN METRES</p>	<p>Registered Number</p> <p style="font-size: 24pt; font-weight: bold;">SP.188090</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <div style="display: flex; justify-content: space-between; align-items: flex-end;"> <div style="text-align: center;">  Courtin Delegate </div> <div style="text-align: center;"> 20/12/24 Date </div> </div>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <div style="display: flex; justify-content: space-between; align-items: flex-end;"> <div style="text-align: center;">  Registered Land Surveyor </div> <div style="text-align: center;"> 19 Nov 24 Date </div> </div>	<p>APPROVED EFFECTIVE FROM 10 JUL 2025</p> <div style="display: flex; justify-content: space-between; align-items: flex-end;"> <div style="text-align: center;">  Recorder of Titles </div> </div>

FRESHWATER POINT ROAD

SEE ANNEXURE SHEET 4


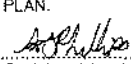
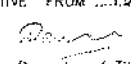


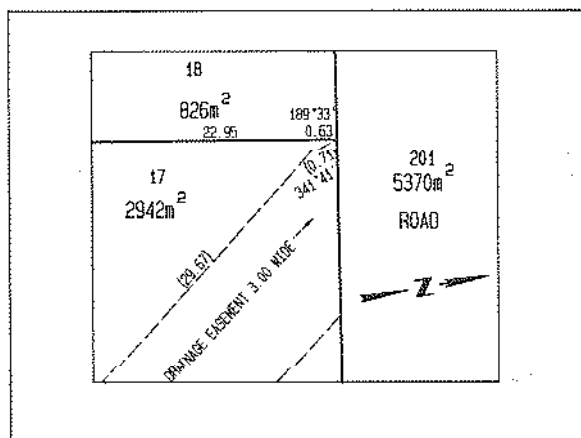
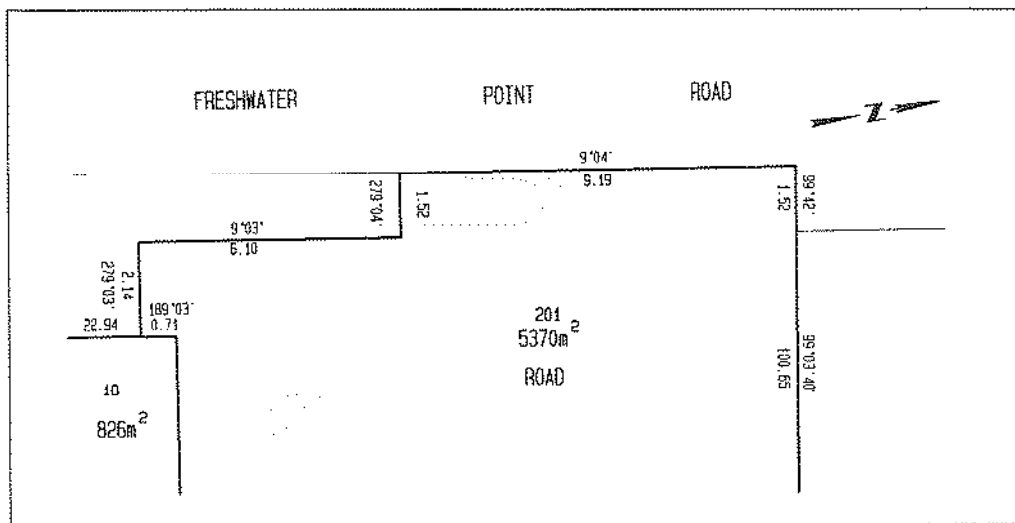
PRIORITY FINAL PLAN

<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 3 OF 5 SHEETS</p>	<p>OWNER: ROSSITER HOMES & DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD & MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE & CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 133214/1, CT 145978/2 & CT 145978/1.</p> <p>SCALE 1: 500 LENGTH IN METRES</p>	<p>Registered Number</p> <p style="font-size: 24pt; font-weight: bold;">SP188090</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <div style="display: flex; justify-content: space-between; align-items: flex-end;"> <div style="text-align: center;">  Council Delegate </div> <div style="text-align: center;"> 20/12/24 Date </div> </div>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <div style="display: flex; justify-content: space-between; align-items: flex-end;"> <div style="text-align: center;">  Registered Land Surveyor </div> <div style="text-align: center;"> 19 Nov 24 Date </div> </div>	<p>APPROVED EFFECTIVE FROM 10 JUL 2025</p> <div style="display: flex; justify-content: space-between; align-items: flex-end;"> <div style="text-align: center;">  Recorder of Titles </div> </div>

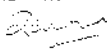
6	7	8	9		
189°19'20" 73.68 SEE ANNEXURE SHEET 2				201 5370m ROAD 189°04' 18.00	108.5 59°04'00" 15.00
100 7954m ²				202 2836m ² ROADWAY 83.02 279°03'40" 279°04'00" 307.05 279°04'28" 180.59	
9°19'20" 82.54 (P135214)					
CONNEMARA CLOSE					
PIPELINE & SERVICES EASEMENT 400 WIDE					

PRIORITY FINAL PLAN

<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 4 OF 5 SHEETS</p>	<p>OWNER: RDSSITER HOMES & DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD & MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE & CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 136214/1, CT 145079/2 & CT 145079/1.</p> <p>SCALE 1: 100 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 188090</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p> <u>20/12/24</u> Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p> 19 Nov 24 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM <u>1.0 JUL 2025</u></p> <p> Recorder of Titles</p>



PRIORITY FINAL PLAN

<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 5 OF 5 SHEETS</p>	<p>OWNER: ROSSITER HOMES & DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD & MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE & CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 136214/1, CT 146078/2 & CT 146078/1.</p> <p>SCALE 1: 750 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 188090</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p> <u>20/12/24</u> Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p> <u>19 Nov 24</u> Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM <u>160 JUL 2025</u></p> <p> Recorder of Titles</p>
		

SCHEDULE OF EASEMENTS

Registered Number

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.

SP 188090

PAGE 1 OF 5 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Easements

Lot 17 is SUBJECT TO a Drainage Easement (as defined herein) in gross in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE (SP145978)" on the Plan.

Lot 17 is SUBJECT TO a Drainage Easement (as defined herein) appurtenant to Lot 1 on SP107806 over the land marked A. B. "DRAINAGE EASEMENT 3.00 WIDE" on (SP145978.) on the plan.

Lot 17 on the Plan ("the Lot") is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE" ("the Easement Land") on the Plan.

Lot 6 on the Plan is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE" ("the Easement Land") on the Plan.

Lot 100 on the Plan and Lot 1 on P135214 (together called "the Lot") are SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 4.00 WIDE" ("the Easement Land") on the Plan.

Signatures:

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER:

Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722

FOLIO REF:

183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

SOLICITOR

& REFERENCE: RAE & PARTNERS AEC:242926

PLAN SEALED BY: WEST TAMAR COUNCIL

DATE:

2d/12/24

PA2020415 & PA2024202

REF NO.

Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 2 OF 5 PAGES

Registered Number

SP 188090

SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722
FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

Covenants

The owners of Lots 1, 2, 3, 4, 5, 6, 7, 8 and 9 ("the Burdened Lots") covenant with West Tamar Council to the intent that the burden of this covenant may run with and bind the covenanter's lot and every part thereof and that the benefit shall be annexed to and devolve with the said West Tamar Council to observe the following stipulation, namely:

- (a) not to erect any habitable building on the Burdened Lots with a floor level below 32.90 metres on the Australian Height Datum (Tasmanian) 1983; and
- (b) not to erect any non-habitable building or structure on the Burdened Lots with a floor level below 32.75 metres on the Australian Height Datum (Tasmanian) 1983.

The owners of Lot 100 covenant with the owner of Lots 6, 7, 8 and 9 on the Plan to the intent that the burden of this covenant may run with and bind the covenanter's lot and every part thereof and that the benefit shall be annexed to and devolve with Lots 6, 7, 8 and 9 on the Plan that the vegetation on Lot 100 on the Plan must not exceed a low fuel state.

Fencing Covenant

The owner of each lot on the Plan covenants with Rossiter Homes & Developments Pty Ltd ("the Vendor") that the Vendor will not be required to fence any lot on the Plan.

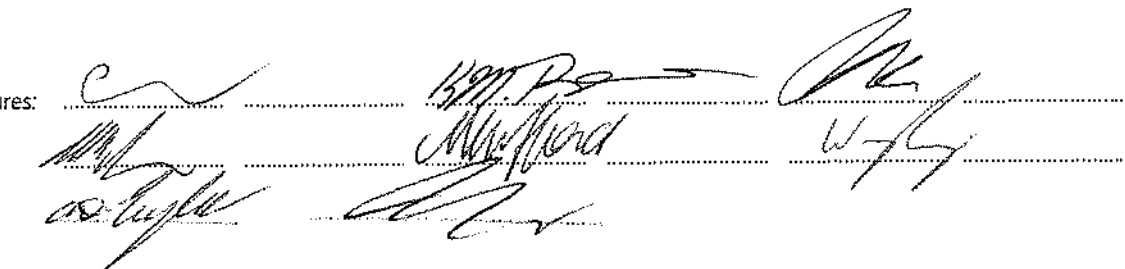
Definitions

"Pipeline and Services Easement" is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;

Signatures:



- (5) do all works reasonably required in connection with such activities or as may be authorised or required

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 3 OF 5 PAGES

Registered Number

SP 188090

SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722
FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

by any law:

- (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

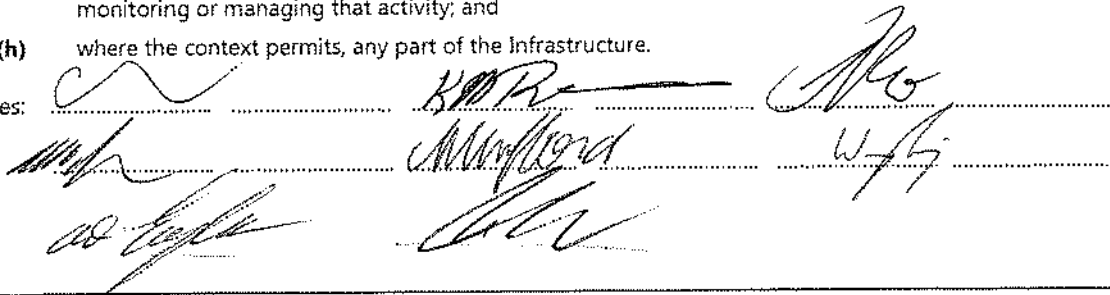
SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Signatures:



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 4 OF 5 PAGES

Registered Number

SP 188090

SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722
FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653). Its successors and assigns.

"Drainage Easement" means a right of drainage in gross in favour of West Tamar Council ("the Council") and in conjunction with the exercise of that right the Council will have the power set out in the statutory definition of a "right of drainage" in Schedule 8 of the *Conveyancing and Law of Property Act 1884*.

There are no other Easements, Covenants or Profits a Prendre created to benefit or burden the said land.

Executed by **Michael Alan Clifford**

in the presence of:

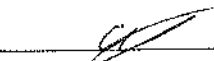

Michael Alan Clifford

Witness Signature

Witness Name

Witness Address

Witness Occupation


Chelsea Louise Ford
3/113 Cimitiere St, Launceston
Legal Assistant

Executed by **Michelle Elizabeth Clifford**

in the presence of:

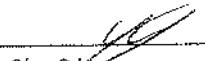

Michelle Elizabeth Clifford

Witness Signature

Witness Name

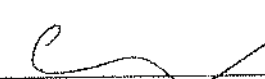
Witness Address

Witness Occupation


Chelsea Louise Ford
3/113 Cimitiere St, Launceston
Legal Assistant

Executed by **Cameron James Whelan**

in the presence of:



Cameron James Whelan

Witness Signature

Witness Name

Witness Address

Witness Occupation


Hannah Baker
3/113 Cimitiere St, Launceston
Legal Assistant

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 4 OF 5 PAGES

Registered Number

SP 188090

SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722
FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

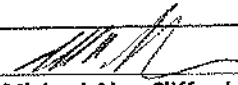
"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

"Drainage Easement" means a right of drainage in gross in favour of West Tamar Council ("the Council") and in conjunction with the exercise of that right the Council will have the power set out in the statutory definition of a "right of drainage" in Schedule 8 of the *Conveyancing and Law of Property Act 1884*.

There are no other Easements, Covenants or Profits a Prendre created to benefit or burden the said land.

Executed by **Michael Alan Clifford**

in the presence of:

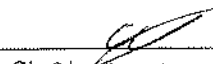

Michael Alan Clifford

Witness Signature

Witness Name

Witness Address

Witness Occupation


Chelsea Louise Ford
3/113 Cimitiere St, Launceston
Legal Assistant

Executed by **Michelle Elizabeth Clifford**

in the presence of:

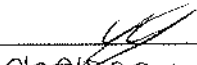

Michelle Elizabeth Clifford

Witness Signature

Witness Name

Witness Address

Witness Occupation


Chelsea Louise Ford
3/113 Cimitiere St, Launceston
Legal Assistant

Executed by **Cameron James Whelan**

in the presence of:



Cameron James Whelan

Witness Signature

Witness Name

Witness Address

Witness Occupation


Hannah Baker
3/113 Cimitiere St, Launceston
Legal Assistant

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**ANNEXURE TO
SCHEDULE OF EASEMENTS**
PAGE 5 OF 5 PAGES

Registered Number

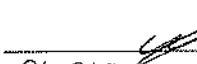
SP 188090

SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722
FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0


Executed by **Warren Cale Paige**
in the presence of

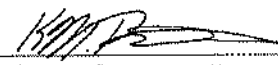

Warren Cale Paige

Witness Signature
Witness Name
Witness Address
Witness Occupation


Chelsea Louise Ford
3/113 Cimitiere St, Launceston
Legal Assistant


Signed for and on behalf of
Rossiter Homes & Developments Pty Ltd
ACN 101 283 765
by its authorised officers under
S127 of the *Corporations Act 2001*


Director – Leigh Gabriel Rossiter


Director/Secretary – Karenne Rossiter

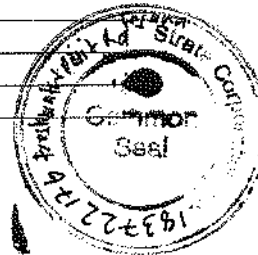
THE COMMON SEAL of the
Strata Corporation Number 183722
was affixed in the presence of:


Body Corporate Manager:
member 5


Hannah Baker
3/113 Cimitiere St
Legal Assistant


Angela

Witness Signature
Witness Name
Witness Address
Witness Occupation

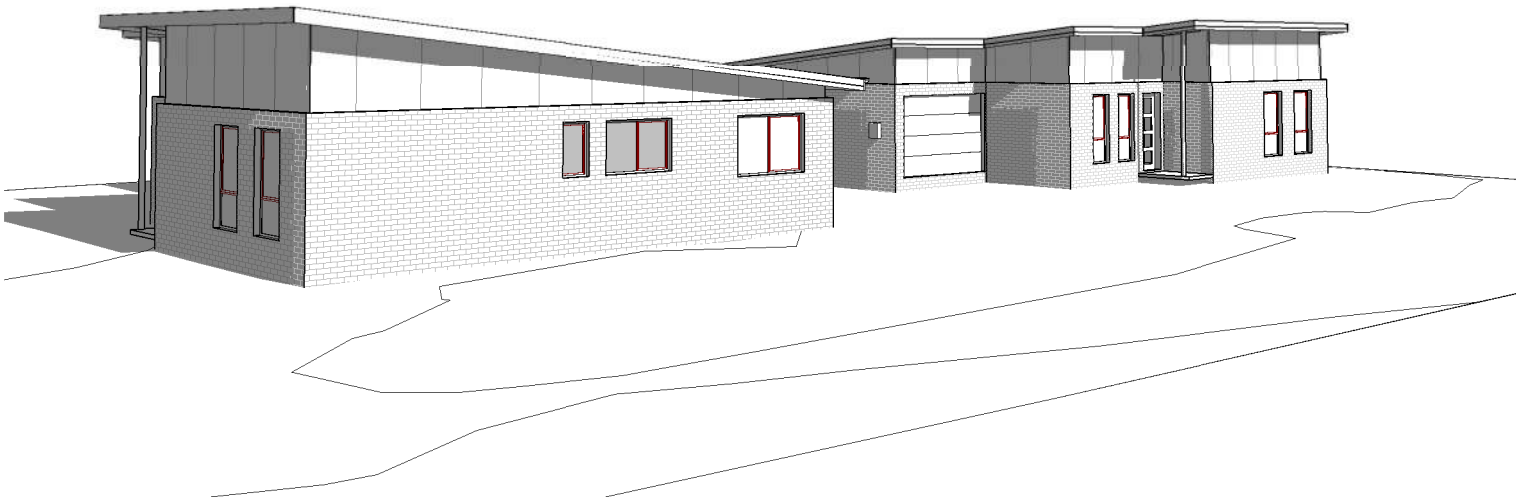


* 
16.4.25
Melanie Louise Kerwin
Solicitor
3/113 Cimitiere Street
Launceston TAS 7210

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

PROPOSED UNIT DEVELOPMENT LOT 2 IMOGEN COURT, LEGANA

J.L. & K.L. CIRKEL
PD24289



PLANNING

BUILDING DRAWINGS

<u>No</u>	<u>DRAWING</u>
01	SITE PLAN
02	SITE LANDSCAPING PLAN
03	SITE DRAINAGE PLAN
04	LOCALITY PLAN

BUILDING DRAWINGS / UNIT 1

<u>No</u>	<u>DRAWING</u>
U1-01	FLOOR PLAN
U1-02	DOOR AND WINDOW SCHEDULES
U1-03	ELEVATIONS
U1-04	ELEVATIONS
U1-05	SHED ELEVATIONS
U1-06	ROOF PLAN
U1-07	PERSPECTIVES

BUILDING DRAWINGS / UNIT 2

<u>No</u>	<u>DRAWING</u>
U2-01	FLOOR PLAN
U2-02	DOOR AND WINDOW SCHEDULES
U2-03	ELEVATIONS
U2-04	ELEVATIONS
U2-05	SHED ELEVATIONS
U2-06	ROOF PLAN
U2-07	PERSPECTIVES

GENERAL PROJECT INFORMATION

TITLE REFERENCE: 2/188090
SITE AREA: 701m²
DESIGN WIND SPEED: N1
SOIL CLASSIFICATION: H1
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT: NO
BAL RATING: TBC
OTHER KNOWN HAZARDS: NONE KNOWN



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info@primedesigntas.com.au primedesigntas.com.au
Accredited Building Practitioner: Frank Geskus -No CC246A

AUGUST 2025

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A.. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

1. THIS PLAN HAS BEEN PREPARED BY NOVA LAND CONSULTING FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT USED FOR ANY OTHER PURPOSE.
2. TITLE BOUNDARIES SHOWN ARE BASED UPON CORNER MARKS LOCATED ON SITE AND ARE APPROXIMATE ONLY AND SUBJECT TO SURVEY AND REGISTRATION AT THE LAND TITLES OFFICE. NO EASEMENTS ARE SHOWN. EASEMENTS ARE SUBJECT TO REGISTRATION AT THE LAND TITLES OFFICE.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. NOVA LAND CONSULTING CANNOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF NOVA LAND CONSULTING.
6. HORIZONTAL BEARING DATUM IS PLANE PER RTK GNSS OBSERVATIONS.
7. VERTICAL DATUM IS AHD83 PER SPM10472.
8. CONTOUR INTERVAL IS 0.10m; INDEX IS 0.50m.
9. COORDINATES ARE PLANE AND REFERENCED TO MGA2020 AT SPM10472.

[illegible]

SITE PLAN

1 : 200

NOTE: DIMENSIONED BOUNDARY OFFSETS
TO THE PROPOSED BUILDING ARE TO THE
EXTERNAL CLADDING U.N.O.



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info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED UNIT DEVELOPMENT
LOT 2 IMOGEN COURT,
LEGANA

Client name:
J.L. & K.L. CIRKEL

Drafted by: I.J. Approved by: D.D.H.

Drawing:
SITE PLAN

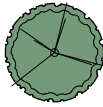
Date: 06.08.2025 Scale: 1 : 200

Project/Drawing no:	Revision:
PD24289 -01	01


Accredited building practitioner: Frank Geskus -No CC246A



LEGEND


- 



PROPOSED TREE - Pn


- BANKSIA ERICIFOLIA
- 


PROPOSED SHRUB - DV, Ps


- GREVILLIA SERICEA
- PROPOSED GROUNDCOVER/GRASS**
- Jr, Lf, Ln, Mp


 - "FAN FLOWER" SCAEVOLA


 - LOMANDRIA LONGIFOLIA
-  LAWN

 MULCH OR SIMILAR

 CP. CONCRETE PATH/PAVING

 CONCRETE DRIVEWAY

 LB. LETTER BOX


 WASTE STORAGE 1.5m²

GT GATE

FN FENCE 1.8m HIGH

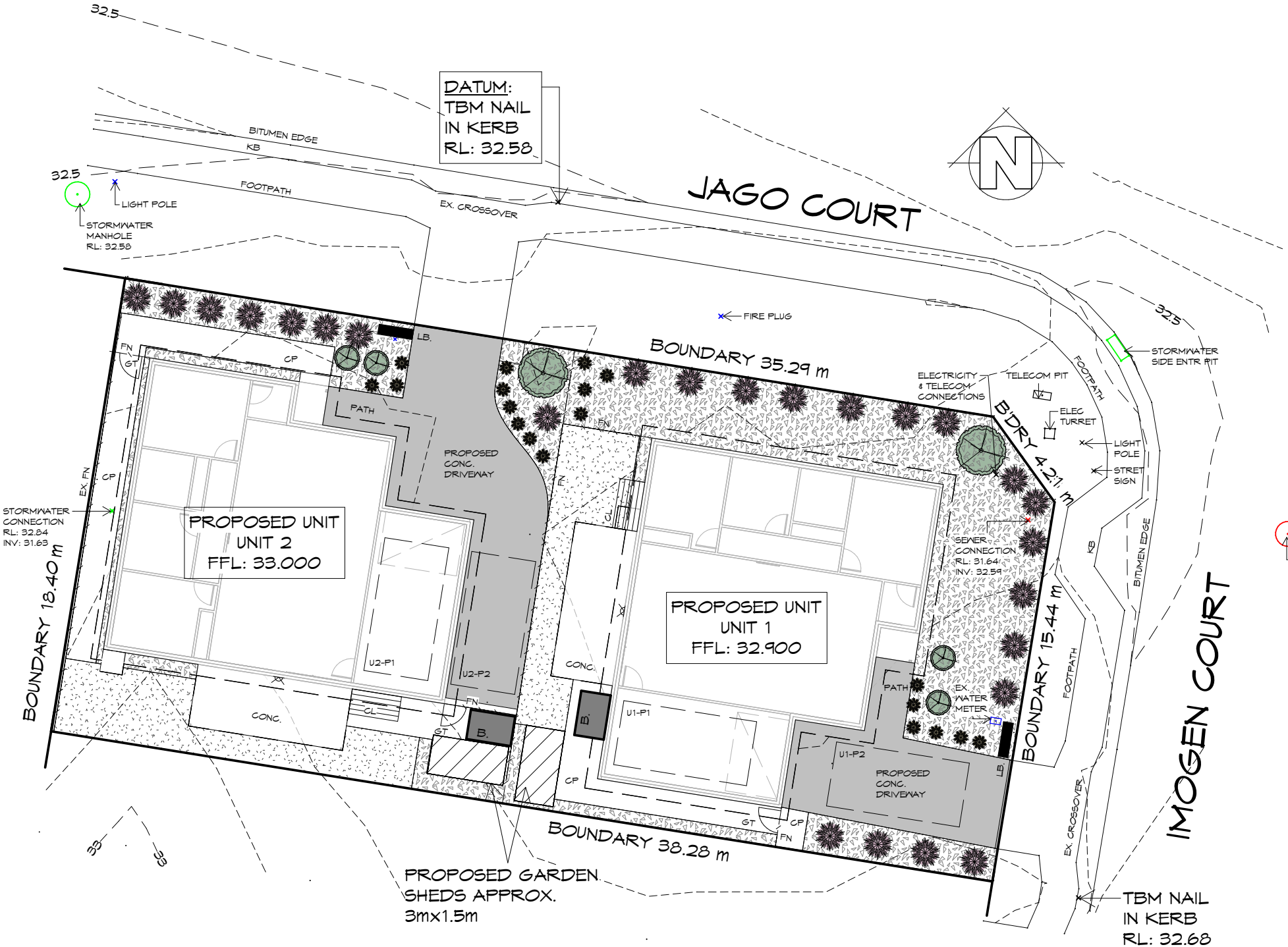
XX SECURITY LIGHTS

KB KERB

 CL CLOTHES LINES - WALL MOUNT

SITE COVERAGE
BUILDING FOOTPRINT 331.20m² /SITE AREA 701.00m² = 0.472
TOTAL SITE COVERAGE 47%

IMPERVIOUS SURFACES
NON-IMPERVIOUS SURFACES 218.45m² /SITE AREA 701.00m² = 0.31
TOTAL SITE FREE FROM IMPERVIOUS SURFACES 31% (MIN 25%)



SITE LANDSCAPING PLAN
1 : 200

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - BAL LOW
ALL CONSTRUCTION MUST COMPLY WITH AS3959.
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW



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Project:
PROPOSED UNIT DEVELOPMENT
LOT 2 IMOGEN COURT,
LEGANA

Client name:
J.L. & K.L. CIRKEL

Drafted by:
I.J.

Approved by:
D.D.H.









Drawing:
SITE LANDSCAPING PLAN

Date: 06.08.2025
Scale: 1 : 200

Project/Drawing no: PD24289 -02
Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

LEGEND

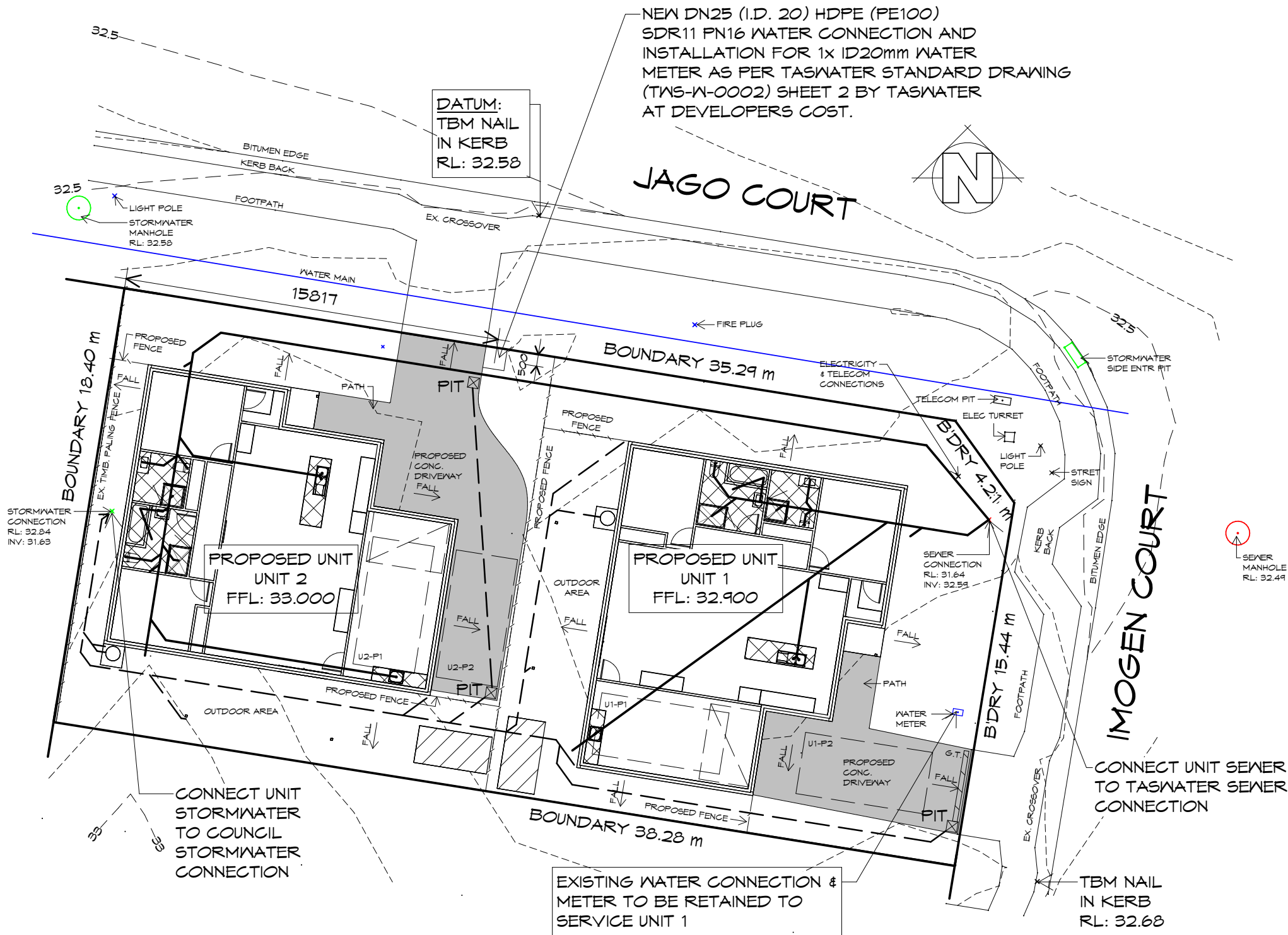
-  450X 450 SURFACE DRAINAGE PIT
-  NET AREAS
-  SEWER LINE
-  STORMWATER LINE
-  100φ AG DRAIN
-  200mm PROPRIETARY GRATED TRENCH

PLUMBING NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER ASNZS 3500.2021 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

- SEWER AND WATER SERVICES**
- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
 - WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

NOTE:
ALL TASWATER WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03-2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02-2014-3.1 MRWA VERSION 2 AND TASWATERS SUPPLEMENTS TO THESE CODES



SITE DRAINAGE PLAN

1 : 200

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ALL CONSTRUCTION MUST COMPLY WITH AS3959.
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW



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info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED UNIT DEVELOPMENT
LOT 2 IMOGEN COURT,
LEGANA**

Client name:
J.L. & K.L. CIRKEL

Drafted by:
I.J.

Approved by:
D.D.H.



Drawing:
SITE DRAINAGE PLAN

Date: **06.08.2025** Scale: **As indicated**

Project/Drawing no: **PD24289 -03** Revision: **01**

Accredited building practitioner: Frank Geskus -No CC246A



PROPOSED UNIT DEVELOPMENT
LOT 2 IMOGEN COURT,
LEGANA

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
**PROPOSED UNIT DEVELOPMENT
LOT 2 IMOGEN COURT,
LEGANA**

Client name:
J.L. & K.L. CIRKEL

Drawing:
LOCALITY PLAN

LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **REQUIRES** A BUSHFIRE ASSESSMENT.
RESIDENCE IS OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN

THIS PROJECT HAS BEEN DETERMINED TO HAVE A
BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
ALL CONSTRUCTION MUST COMPLY WITH 3959.
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

Drafted by: I.J. Approved by: D.D.H.

Date: 06.08.2025 Scale: 1 : 2000

Project/Drawing no: PD24289 -04 Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



U1 FLOOR PLAN

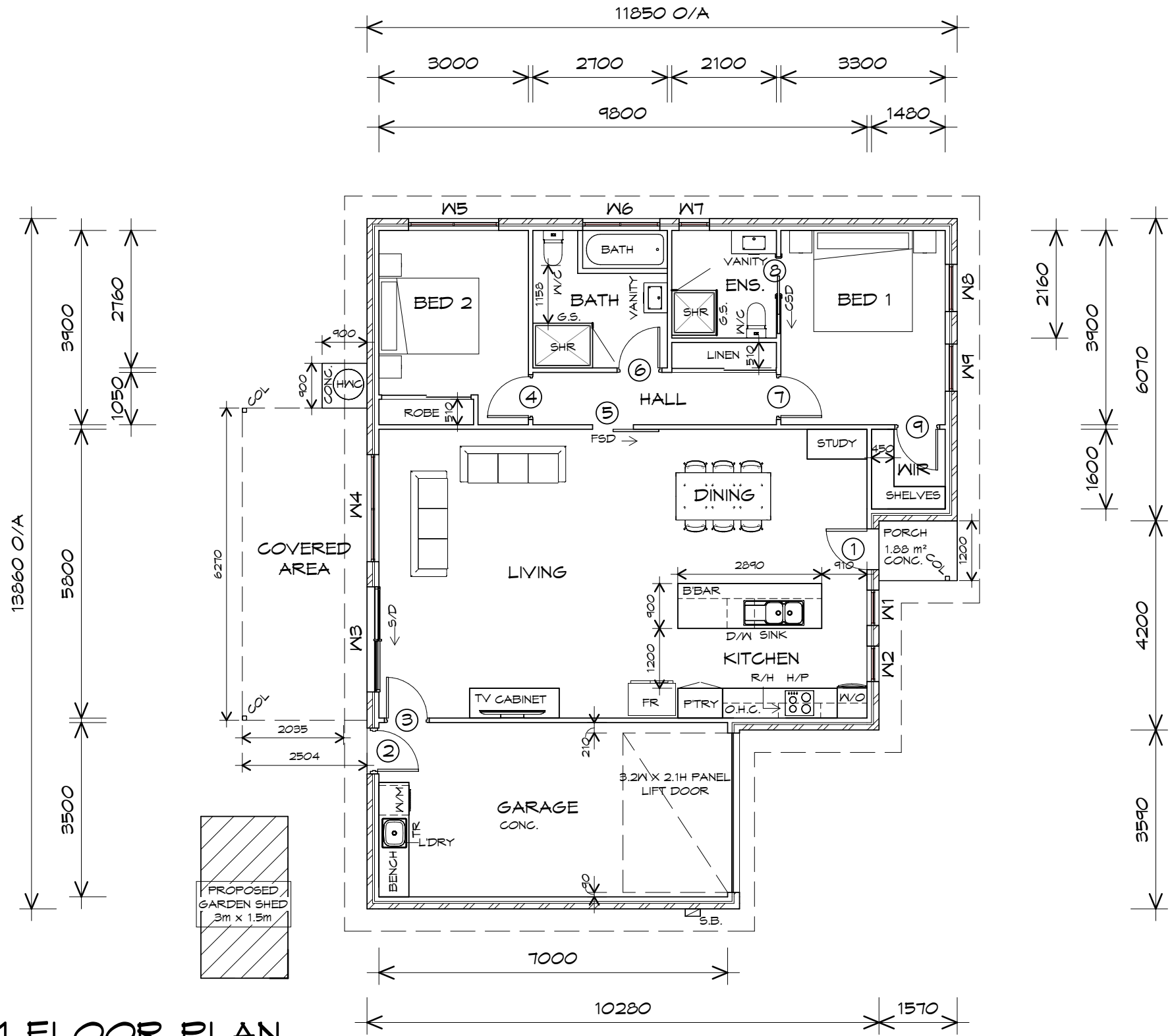
1 : 100

FLOOR AREA	113.68	m2	(12.24	SQUARES)
PORCH AREA	1.88	m2	(0.20	SQUARES)
GARAGE AREA	28.27	m2	(3.04	SQUARES)
COVERED AREA	21.97	m2	(2.36	SQUARES)
TOTAL AREA	165.81	m2	17.85	SQUARES

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

WINDOW WITHIN WET AREA
C/W SAFETY GLASS AS PER AS1288.2021
BEVEL WINDOW SEAL
RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
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LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER



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Project:
PROPOSED NEW UNIT DEVELOPMENT
LOT 2 IMOGEN COURT, LEGANA
Client name:
M.A. & M.E. CLIFFORD

Drawing:
FLOOR PLAN

Drafted by: I.J. Approved by: D.D.H.
Date: 06.08.2025 Scale: 1 : 100

Project/Drawing no: PD24289 -U1-01 Revision: 02
Accredited building practitioner: Frank Geskus -No CC246A



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL GLAZED DOOR	OPAQUE, 4 GLASS PANELS
2	820	EXTERNAL HALF GLASS	OPAQUE
3	820	INTERNAL TIMBER DOOR	SOLID CORE
4	820	INTERNAL TIMBER DOOR	
5	820	FACE SLIDING BARN DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
8	770	CAVITY SLIDING DOOR	
9	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	710	AWNING WINDOW	
W2	1800	710	AWNING WINDOW	
W3	2100	2110	SLIDING DOOR	
W4	900	2150	AWNING WINDOW	
W5	1200	1810	AWNING WINDOW	
W6	1000	1550	AWNING WINDOW	OPAQUE
W7	1000	610	AWNING WINDOW	OPAQUE
W8	1800	950	AWNING WINDOW	
W9	1800	950	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS TO SUIT **BAL LOW** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

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THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW



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Project:
PROPOSED NEW UNIT
DEVELOPMENT
LOT 2 IMOGEN COURT,
LEGANA

Client name:
M.A. & M.E. CLIFFORD

Drafted by: I.J. Approved by: D.D.H.

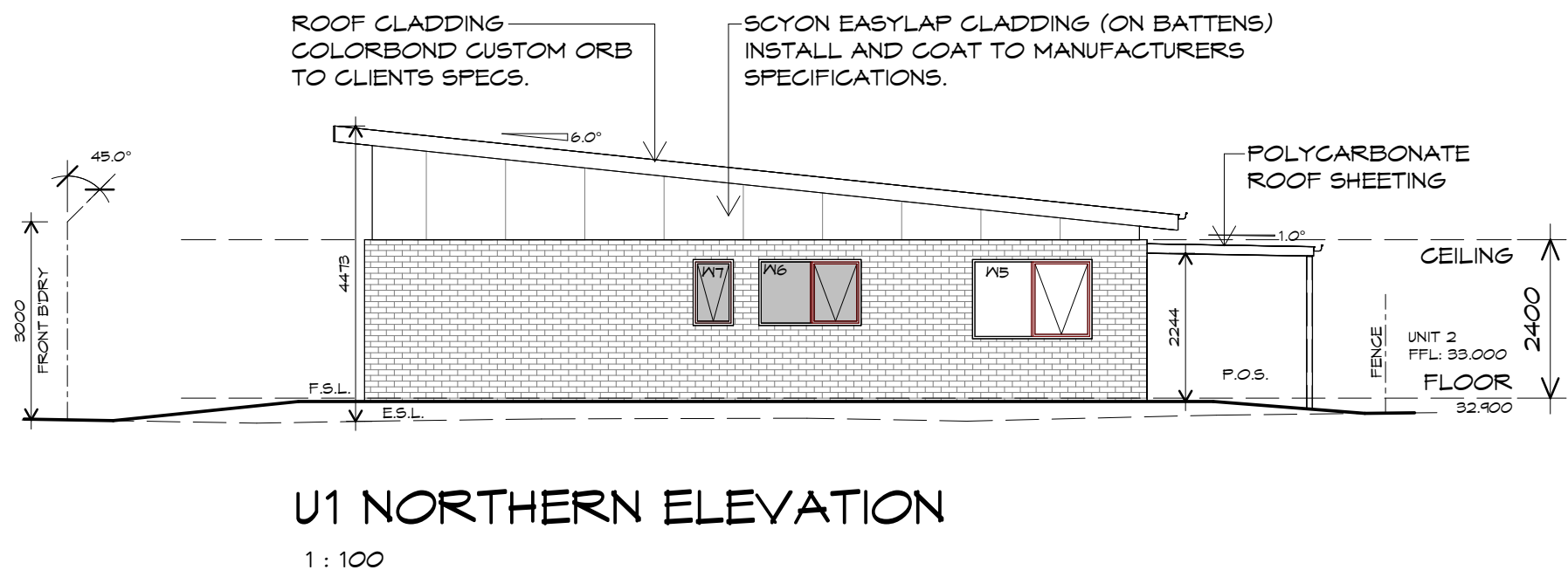
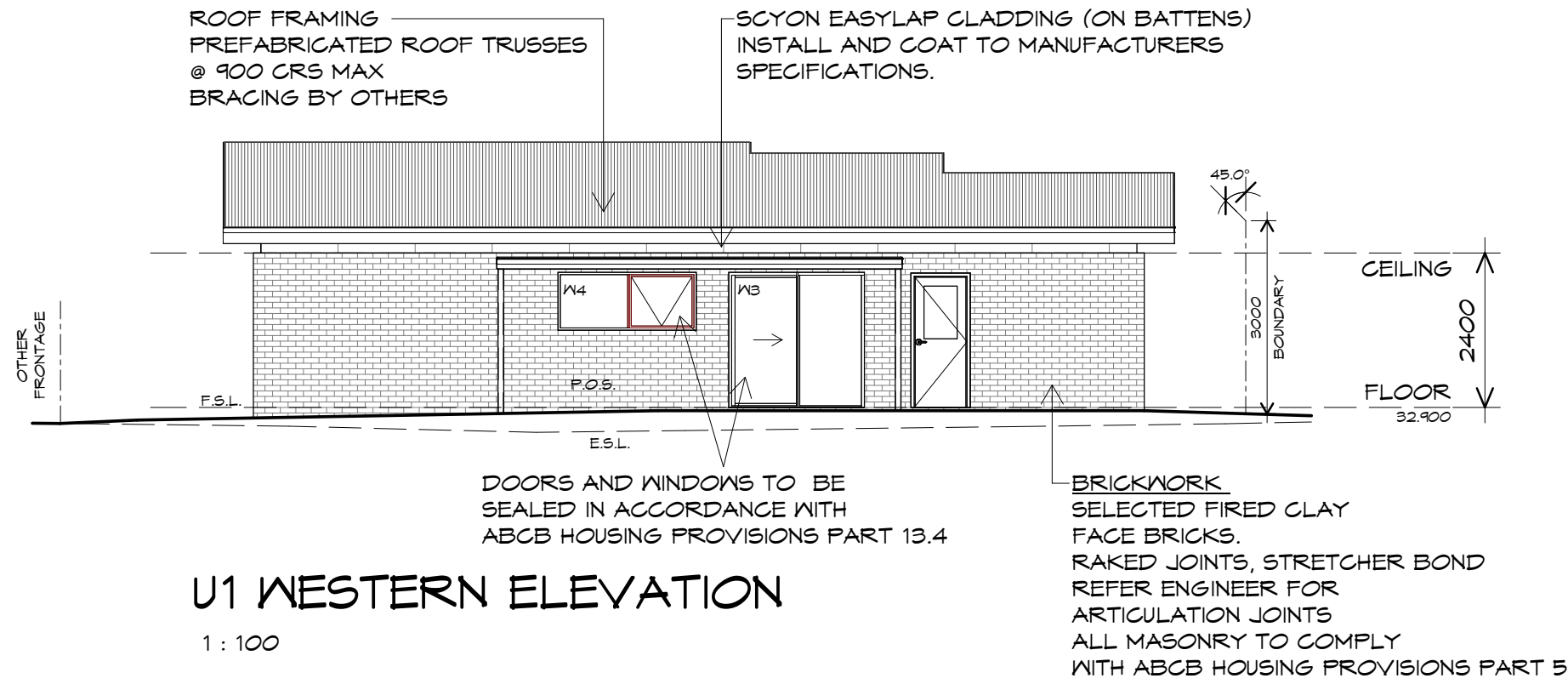


Drawing:
DOOR AND WINDOW
SCHEDULES

Date: 06.08.2025 Scale:

Project/Drawing no: PD24289 -U1-02 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A



THIS PROJECT HAS BEEN DETERMINED TO HAVE A
BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
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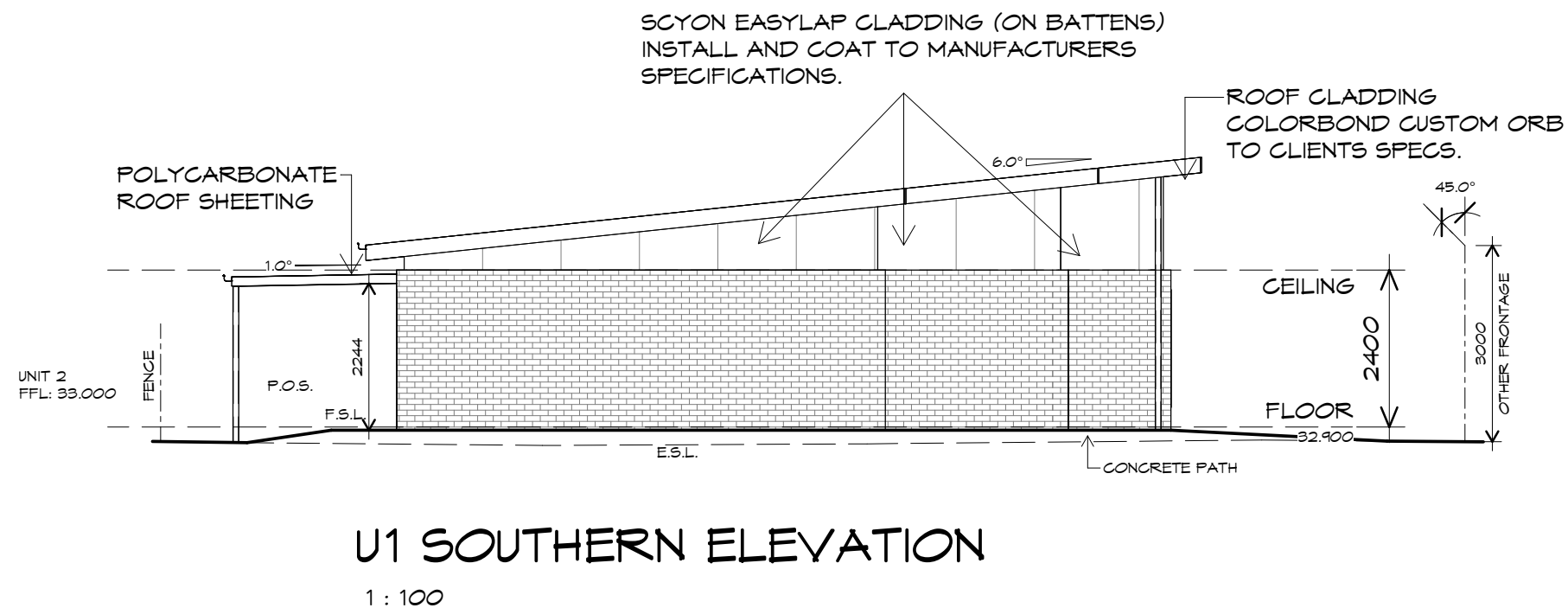
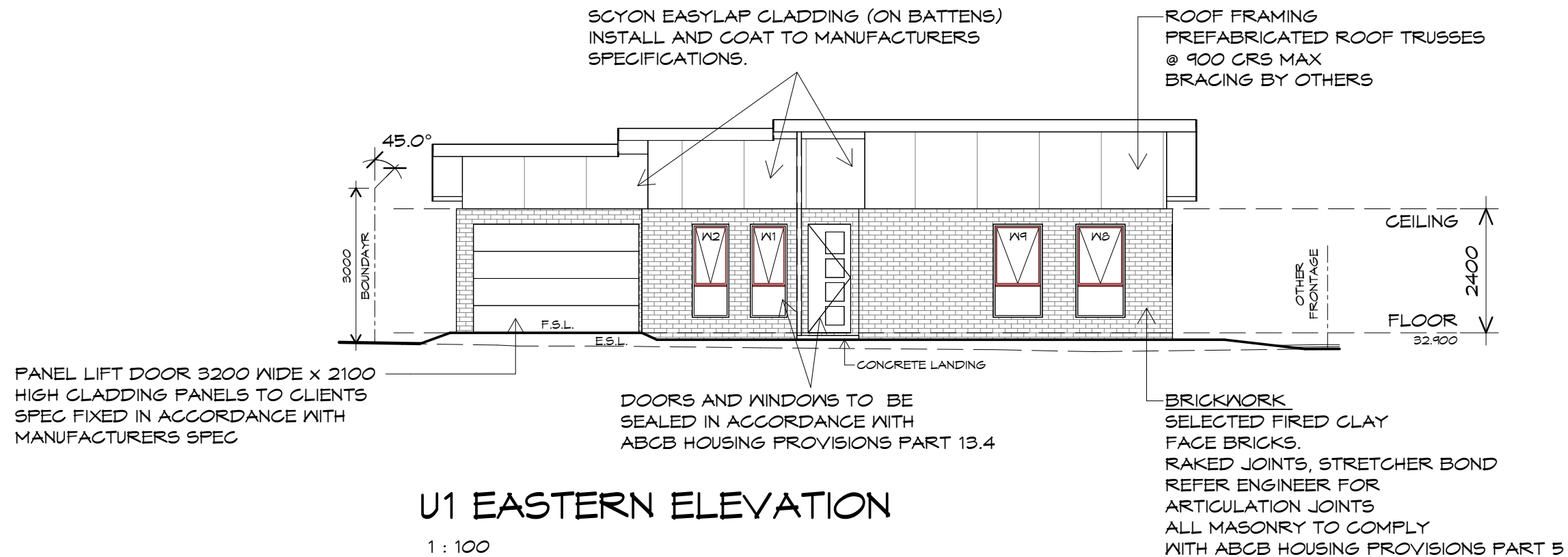
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Project:
**PROPOSED NEW UNIT
DEVELOPMENT
LOT 2 IMOGEN COURT,
LEGANA**
Client name:
M.A. & M.E. CLIFFORD

Drawing:
ELEVATIONS

Drafted by: I.J.	Approved by: D.D.H.
Date: 06.08.2025	Scale: 1 : 100
Project/Drawing no: PD24289 -U1-03	Revision: 02
Accredited building practitioner: Frank Geskus -No CC246A	





THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
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Project:
**PROPOSED NEW UNIT DEVELOPMENT
LOT 2 IMOGEN COURT,
LEGANA**
Client name:
M.A. & M.E. CLIFFORD

Drawing:
ELEVATIONS

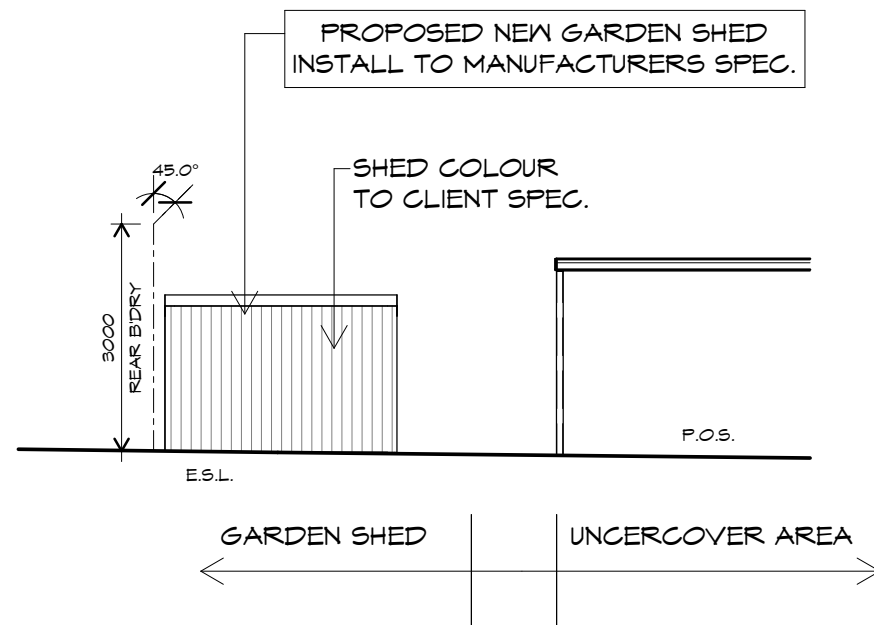
Drafted by: I.J. Approved by: D.D.H.

Date: 06.08.2025 Scale: 1 : 100

Project/Drawing no: PD24289 -U1-04 Revision: 02

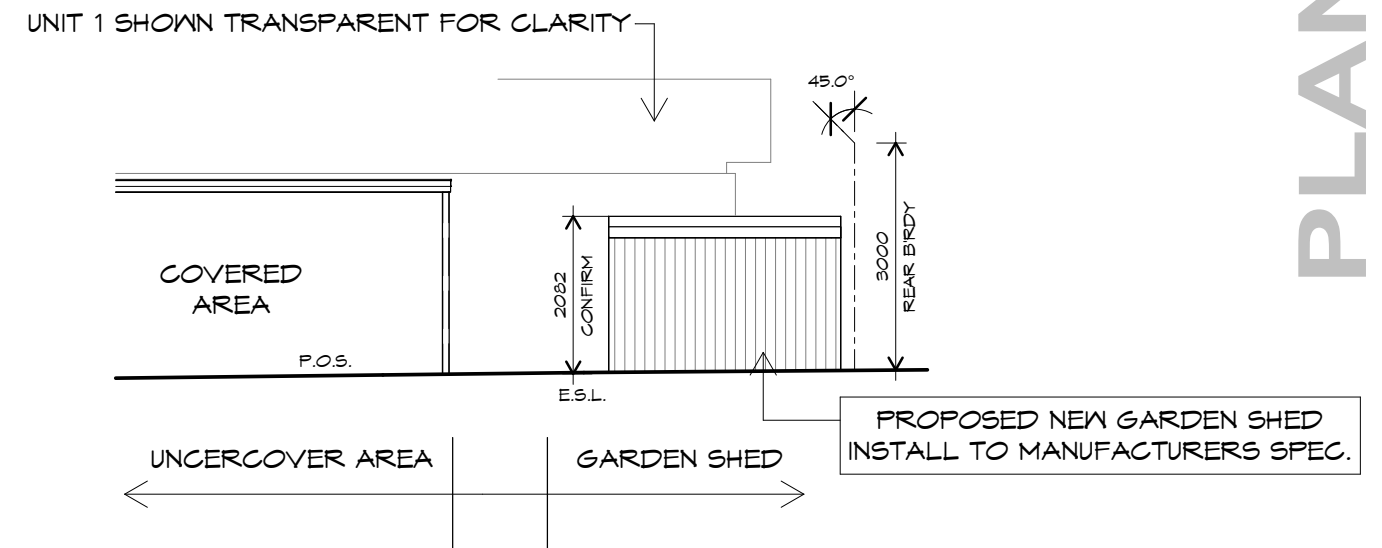
Accredited building practitioner: Frank Geskus -No CC246A





SHED ELEVATION - WEST

1 : 100



SHED ELEVATION - EAST

1 : 100

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
ALL CONSTRUCTION MUST COMPLY WITH AS3959.
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

UNIT 1



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
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info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED NEW UNIT
DEVELOPMENT
LOT 2 IMOGEN COURT,
LEGANA

Client name:
M.A. & M.E. CLIFFORD

Drafted by:
I.J.

Approved by:
D.D.H.

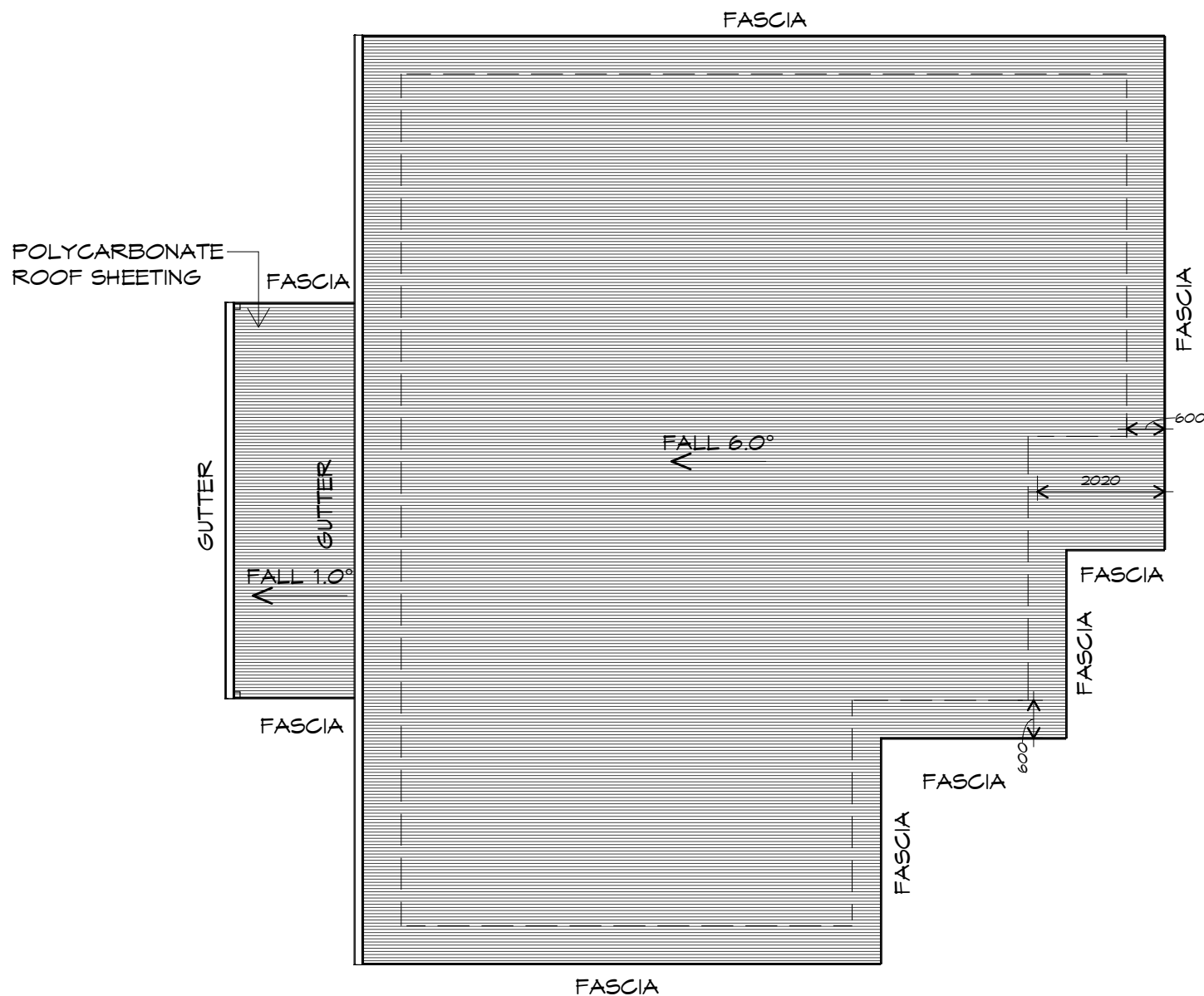


Drawing:
SHED ELEVATIONS

Date: 06.08.2025 Scale: 1 : 100

Project/Drawing no: PD24289 -U1-05 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A



U1 ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

OVERFLOW MEASURES

INSTALL FRONT FACE SLOTTED GUTTER OR
10mm CONTROLLED BACK GAP, STAND OFF
BRACKET WITH SPACER.
BACK OF GUTTER INSTALLED A MINIMUM OF
10mm BELOW THE TOP OF FASCIA
INSTALL IN ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 7.4.6

THIS PROJECT HAS BEEN DETERMINED TO HAVE A
BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
ALL CONSTRUCTION MUST COMPLY WITH AS3959.
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ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



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Project:
**PROPOSED NEW UNIT
DEVELOPMENT
LOT 2 IMOGEN COURT,
LEGANA**

Client name:
M.A. & M.E. CLIFFORD

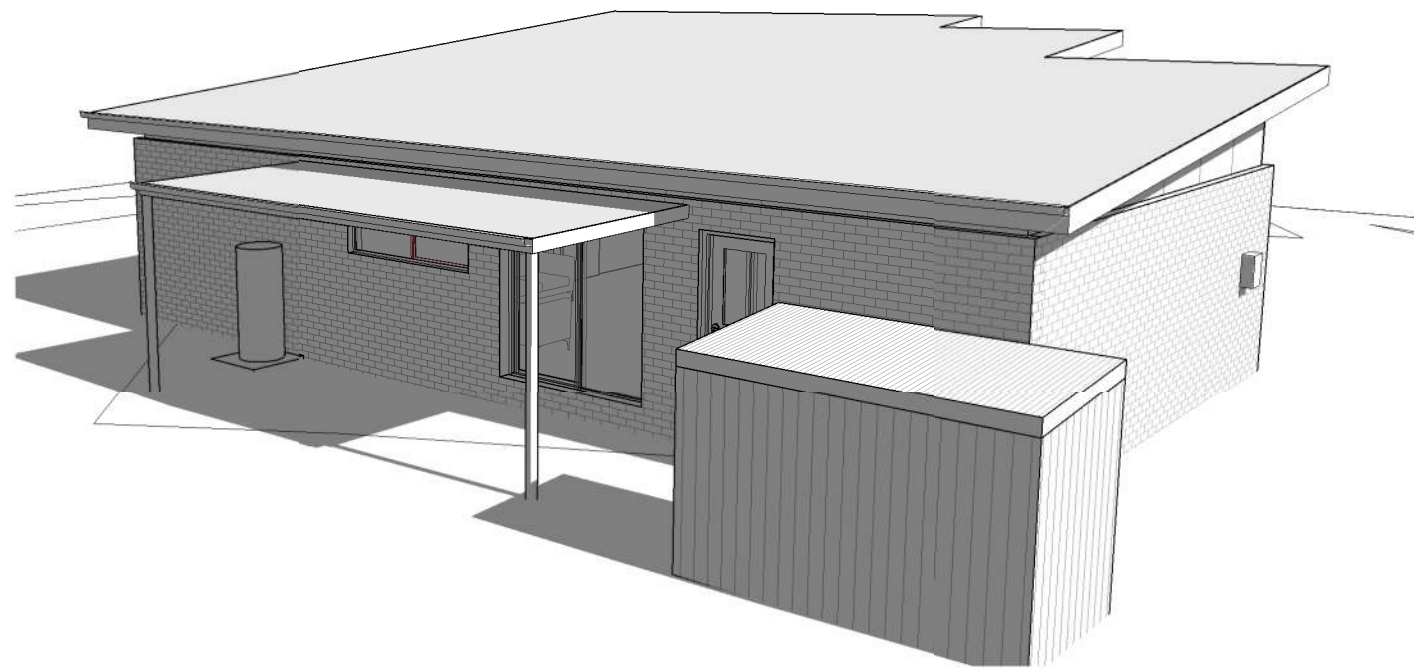
Drawing:
ROOF PLAN

Drafted by: I.J. Approved by: D.D.H.

Date: 06.08.2025 Scale: 1 : 100

Project/Drawing no: PD24289 -U1-06 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
**PROPOSED NEW UNIT
DEVELOPMENT
LOT 2 IMOGEN COURT,
LEGANA**
Client name:
M.A. & M.E. CLIFFORD

Drawing:
PERSPECTIVES

Drafted by: I.J. Approved by: D.D.H.

Date: 06.08.2025 Scale:

Project/Drawing no: PD24289 -U1-07 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A



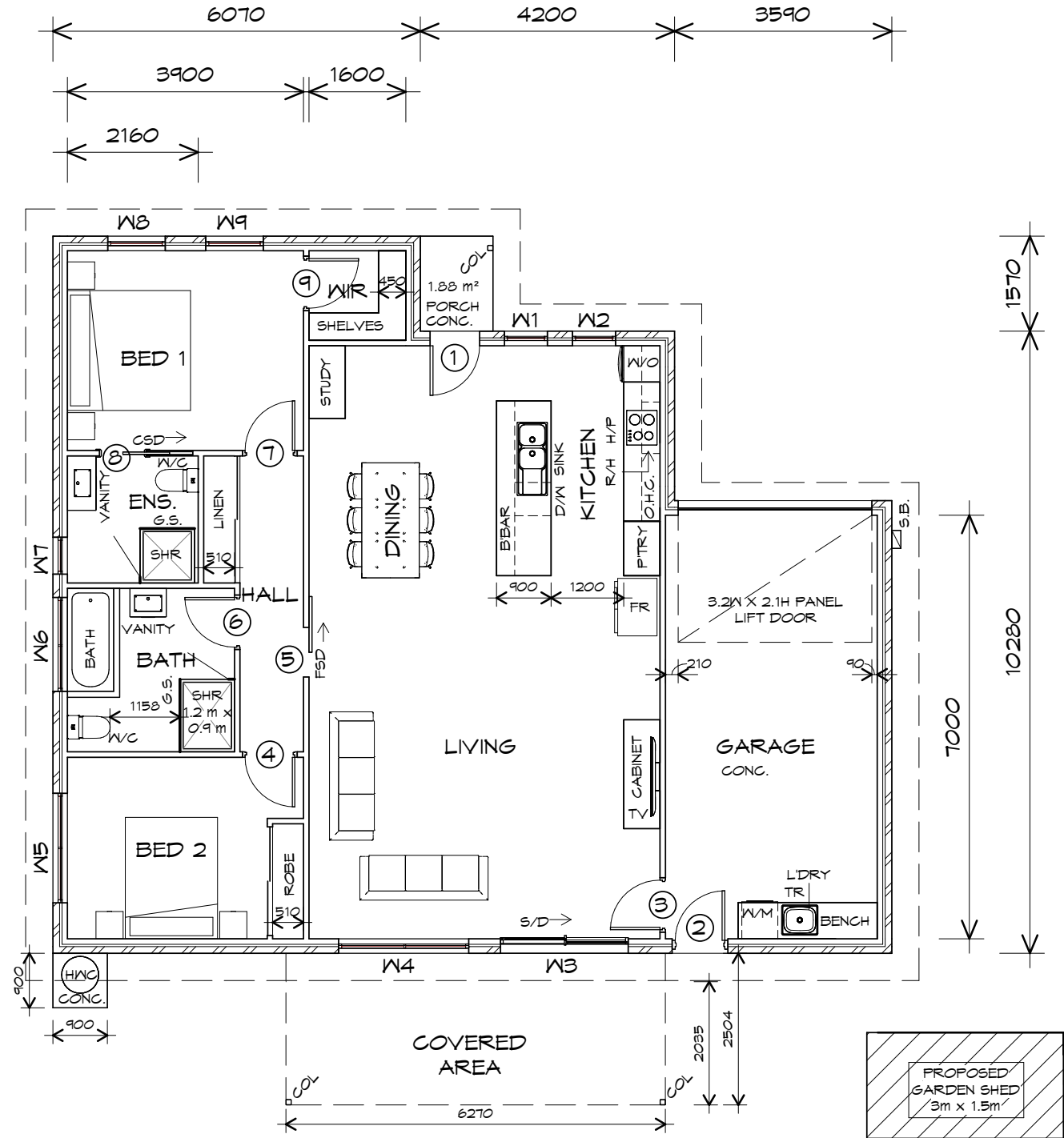
UNIT 1

FLOOR PLAN

1 : 100

FLOOR AREA	113.68	m2	(12.24	SQUARES)
PORCH AREA	1.88	m2	(0.20	SQUARES)
GARAGE AREA	27.85	m2	(3.00	SQUARES)
COVERED AREA	21.97	m2	(2.36	SQUARES)
TOTAL AREA	165.39	m2	17.80	SQUARES

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



WINDOW WITHIN WET AREA
C/W SAFETY GLASS AS PER AS1288.2021
BEVEL WINDOW SEAL
RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
ALL CONSTRUCTION MUST COMPLY WITH AS3959.
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

PLANNING

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Project:
PROPOSED UNIT DEVELOPMENT
LOT 2 IMOGEN COURT,
LEGANA

Client name:
J.L. & K.L. CIRKEL

Drawing:
FLOOR PLAN

Drafted by: I.J. Approved by: D.D.H.
Date: 06.08.2025 Scale: 1 : 100

Project/Drawing no: PD24289 -U2-01 Revision: 02
Accredited building practitioner: Frank Geskus -No CC246A



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL GLAZED DOOR	OPAQUE, 4 GLASS PANELS
2	820	EXTERNAL HALF GLASS	OPAQUE
3	820	INTERNAL TIMBER DOOR	SOLID CORE
4	820	INTERNAL TIMBER DOOR	
5	820	FACE SLIDING BARN DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
8	770	CAVITY SLIDING DOOR	
9	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	710	AWNING WINDOW	
W2	1800	710	AWNING WINDOW	
W3	2100	2110	SLIDING DOOR	
W4	900	2150	AWNING WINDOW	
W5	1200	1810	AWNING WINDOW	
W6	1000	1550	AWNING WINDOW	OPAQUE
W7	1000	610	AWNING WINDOW	OPAQUE
W8	1800	950	AWNING WINDOW	
W9	1800	950	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS TO SUIT **BAL LOW** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

THIS PROJECT HAS BEEN DETERMINED TO HAVE A
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Project:
**PROPOSED UNIT DEVELOPMENT
LOT 2 IMOGEN COURT,
LEGANA**

Client name:
J.L. & K.L. CIRKEL

Drawing:
**DOOR AND WINDOW
SCHEDULES**

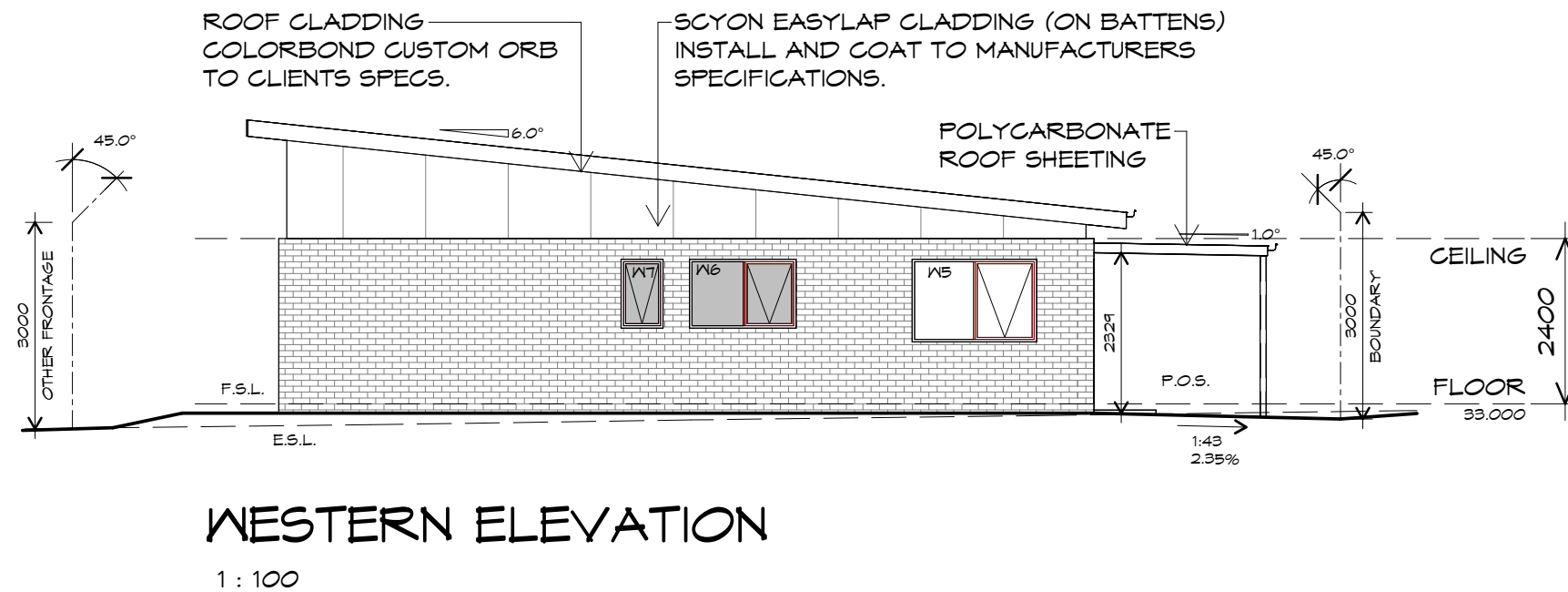
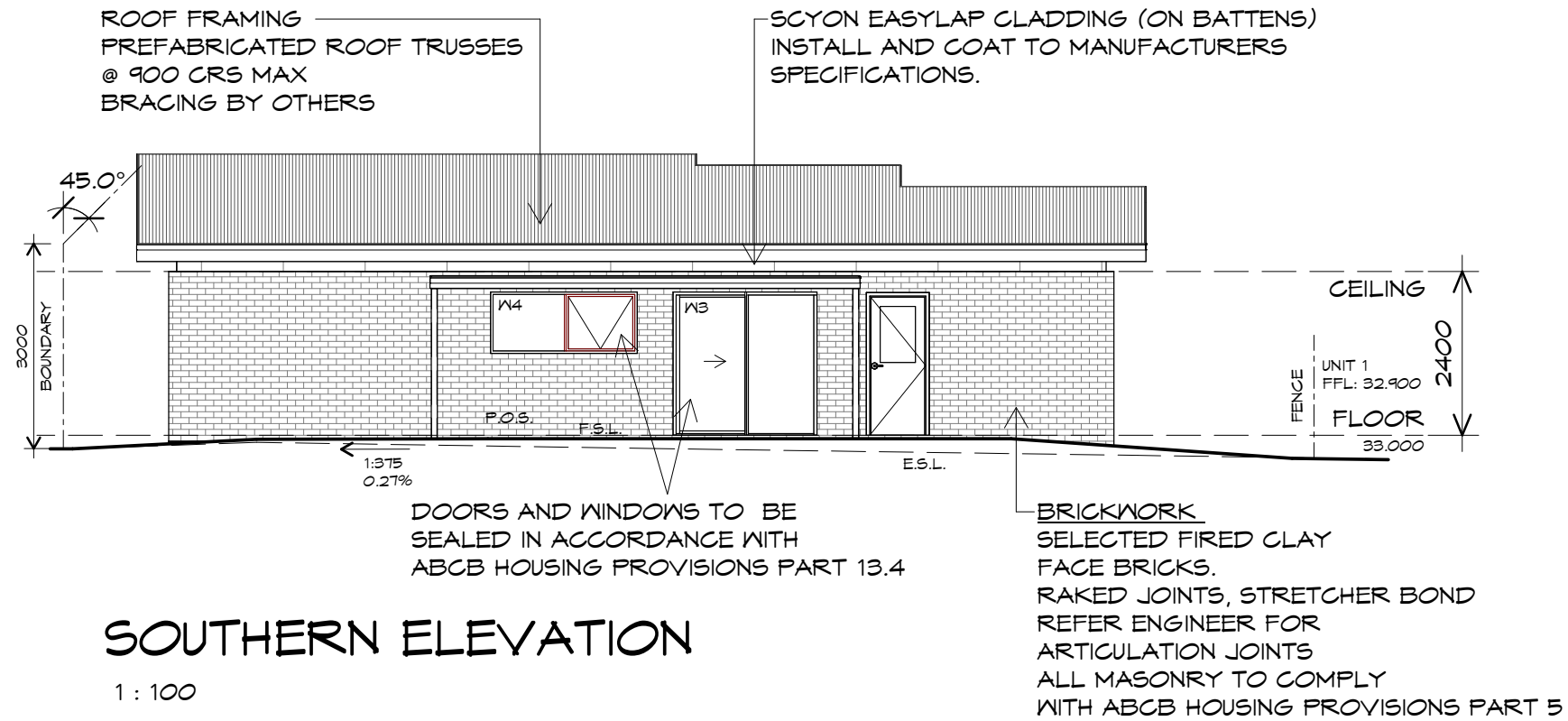
Drafted by: I.J. Approved by: D.D.H.

Date: 06.08.2025 Scale:

Project/Drawing no: PD24289 -U2-02 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A





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Project:
**PROPOSED UNIT DEVELOPMENT
LOT 2 IMOGEN COURT,
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Client name:
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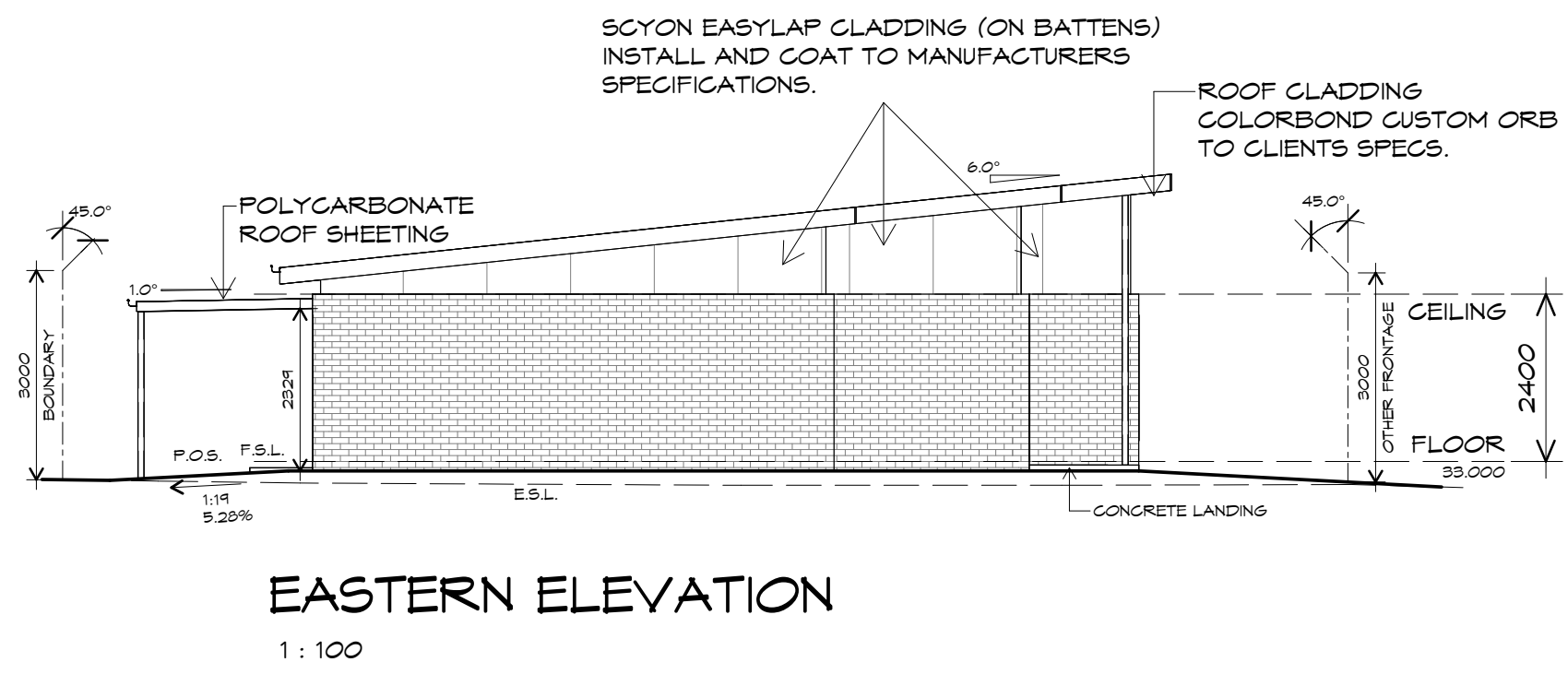
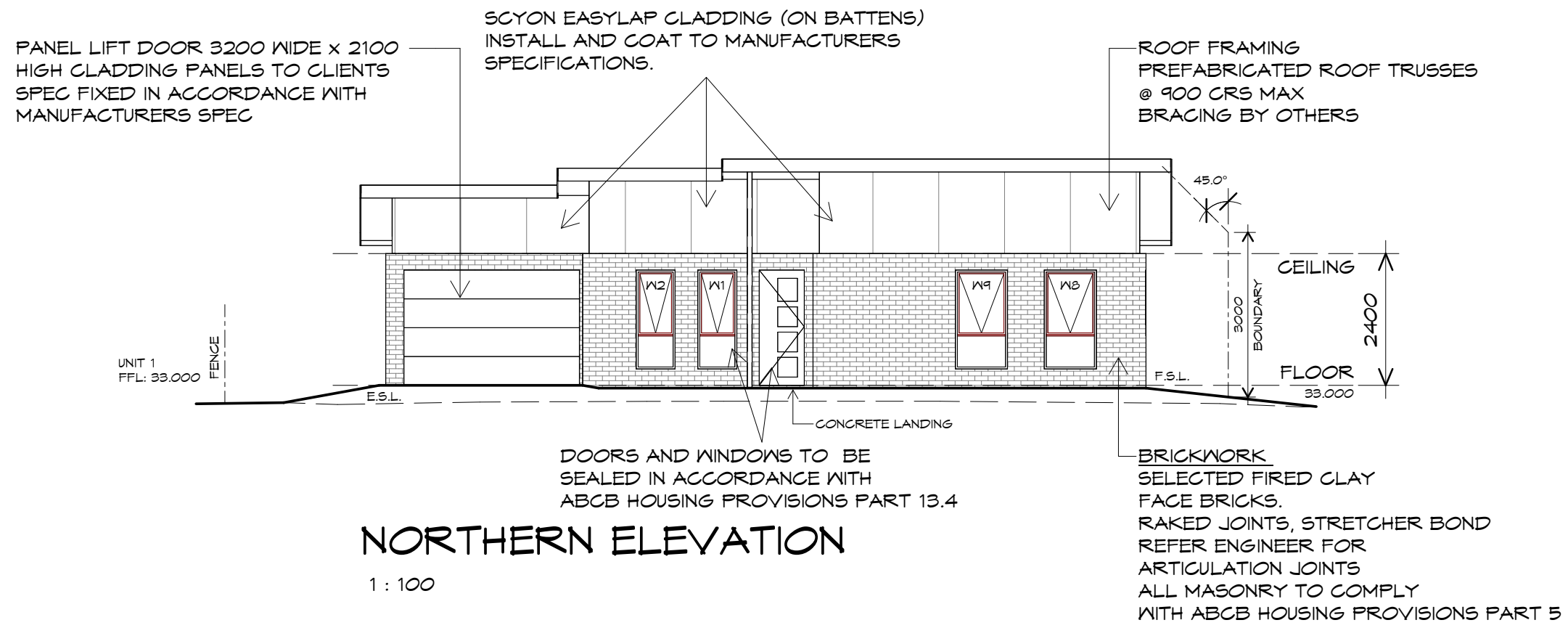
Drawing:
ELEVATIONS

Drafted by: I.J. Approved by: D.D.H.

Date: 06.08.2025 Scale: 1 : 100

Project/Drawing no: PD24289 -U2-03 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A



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Prime Design
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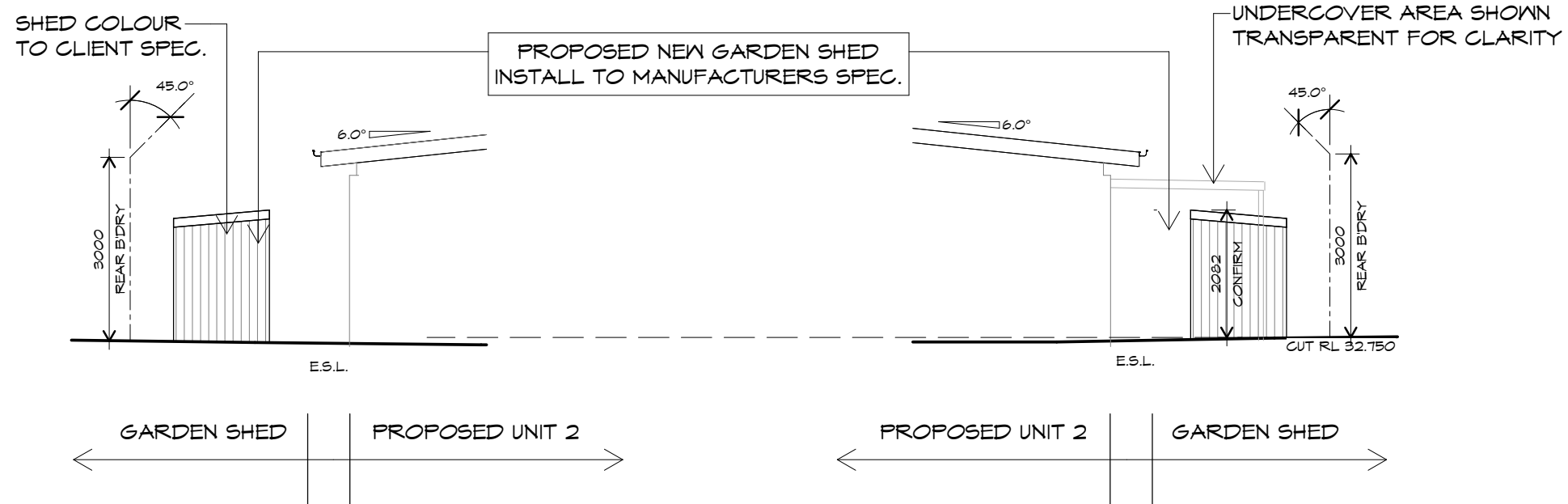
Project:
**PROPOSED UNIT DEVELOPMENT
LOT 2 IMOGEN COURT,
LEGANA**

Client name:
J.L. & K.L. CIRKEL

Drawing:
ELEVATIONS

Drafted by: I.J.	Approved by: D.D.H.
Date: 06.08.2025	Scale: 1 : 100
Project/Drawing no: PD24289 -U2-04	Revision: 02
Accredited building practitioner: Frank Geskus -No CC246A	





SHED ELEVATION - EAST
1 : 100

SHED ELEVATION- WEST
1 : 100

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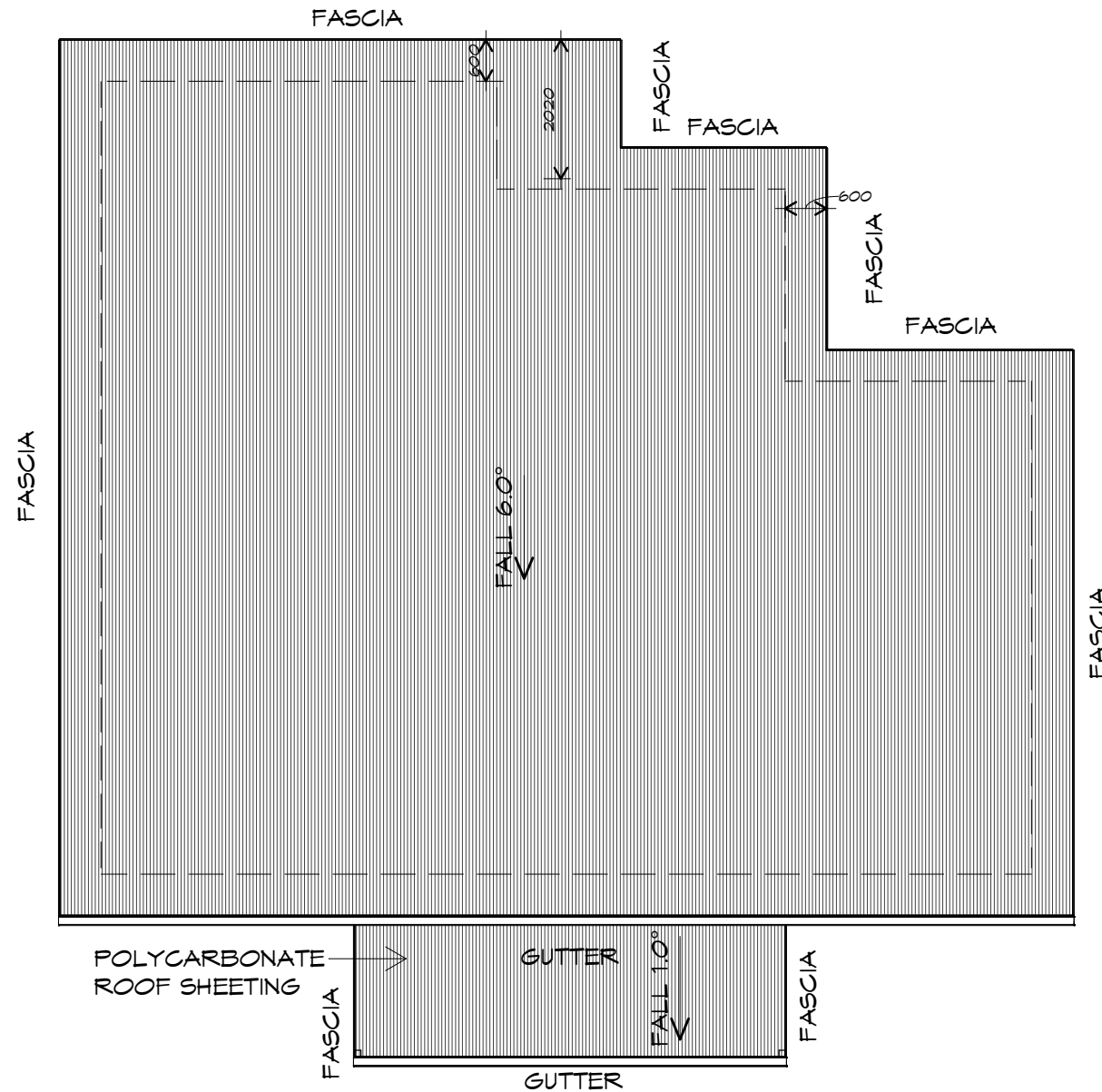
Drawing:
SHED ELEVATIONS

Drafted by: I.J. Approved by: D.D.H.

Date: 06.08.2025 Scale: 1 : 100

Project/Drawing no: PD24289 -U2-05 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD

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OVERFLOW MEASURES

INSTALL FRONT FACE SLOTTED GUTTER OR
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BACK OF GUTTER INSTALLED A MINIMUM OF
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B) LESS THAN 12.5° DEGREES, MUST BE
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LAP GUTTERS 75mm IN THE DIRECTION
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DOWNPIPE POSITIONS SHOWN ON THIS
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Project:

**PROPOSED UNIT DEVELOPMENT
LOT 2 IMOGEN COURT,
LEGANA**

Client name:

J.L. & K.L. CIRKEL

Drawing:

ROOF PLAN

Drafted by:
I.J.

Approved by:
D.D.H.

Date:

06.08.2025

Scale:

1 : 100

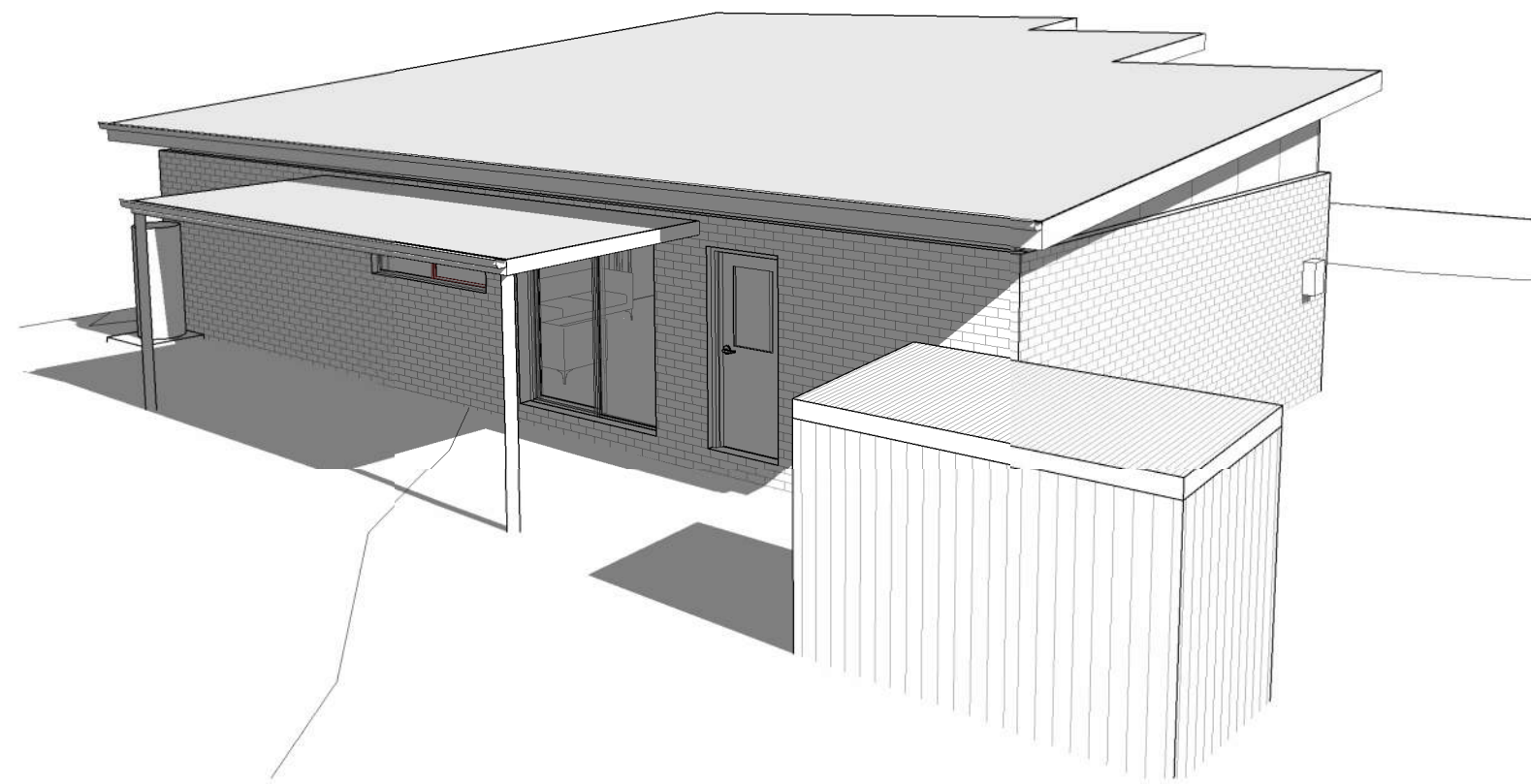
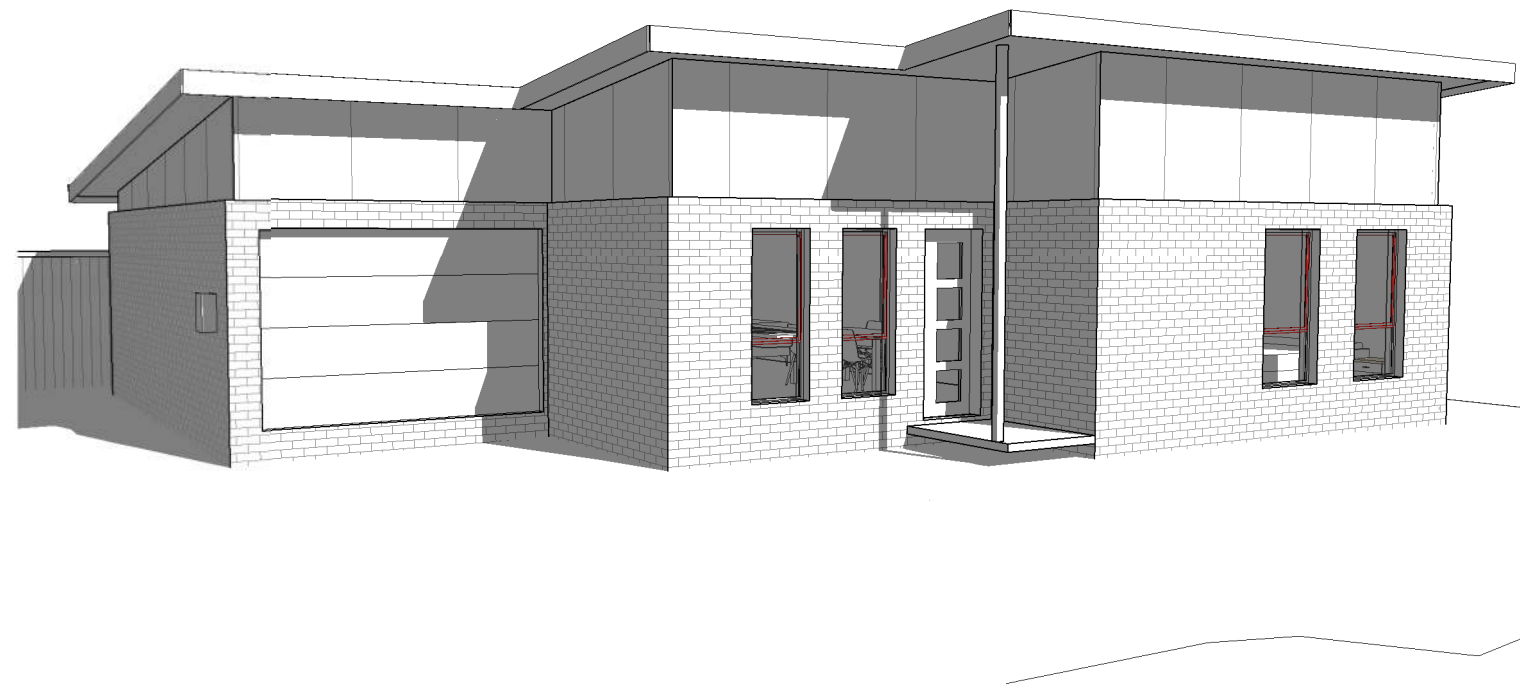
Project/Drawing no:

PD24289 -U2-06

Revision:

02

Accredited building practitioner: Frank Geskus -No CC246A



PLANNING

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Drawing:
PERSPECTIVES

Drafted by: I.J. Approved by: D.D.H.

Date: 06.08.2025

Project/Drawing no: PD24289 -U2-07 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A



UNIT 2