

## PLANNING APPLICATION FORM

Section 57 & 58

**OFFICE USE  
ONLY**

Application Number **PA2025243**

Assess No: **A13223**

PID No: **9607425**

Applicant Name:	Prime Design		
Applicant Contact Name			
Postal Address:			
Contact Phone:	Home	Work	Mobile
Email Address:			

## Planning Application Lodgement Checklist

**The following documents have been submitted to support the consideration of this application:**

1. A current copy of the property title text, folio plan and schedule of easements ☒
2. A completed application form including a detailed description of the proposal ☒
3. A complete plan set: ☒
  - a) Floor plans ☒
  - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☒
  - c) Site Plan showing: ☒
    - Orientation
    - All title boundaries
    - Location of buildings and structure (both existing and proposed)
    - Setbacks from all boundaries
    - Native vegetation to be removed
    - Onsite services, connections and drainage details (including sewer, water and stormwater)
    - Cut and/or Fill
    - Car parking and access details (including construction material of all trafficable areas)
    - Fence details
    - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.  
All plans must be to scale.*

Application Number: «Application Number»

## APPLICANT DETAILS

Applicant Name:

Prime Design

**Note:** Full name(s) of person(s) or company making the application and postal address for correspondence.

## LAND DETAILS

 Owner/Authority Name:  
(as per certificate of title)

Brannen Marinkovic

Location / Address:

12 Pippin Crescent, Legana

Title Reference:

179674/28

Zone(s):

General Residential

Existing Development/Use:

Vacant Land.

Existing Developed Area:

Vacant Land

 Are any of the components in this Application seeking retrospective approval?  
E.g. Use and/or development that has commenced without a Planning Permit.
YES ☐NO ☒

(If yes please specify the relevant components):

## DEVELOPMENT APPLICATION DETAILS

Proposed Use:

Residential: ☒Visitor Accommodation: ☐Commercial: ☐Other: ☐

Description of Use:

Proposed Single Residence.

Development Type:

Building work: ☒Demolition: ☐Subdivision: ☐Other: ☐

Description of development:

Proposed Single Residence

New or Additional Area:

257.15m<sup>2</sup>
 Estimated construction cost of the  
proposed development:

\$700,000

Building Materials:

Wall Type: brick veneer + lightweight cladding

Colour: tbc

Roof Type: colorbond roof sheeting.

Colour: tbc

Application Number: «Application Number»

## VISITOR ACCOMMODATION

☒ N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

## SUBDIVISION

☒ N/A

Subdivision creating additional lots ☐

Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

## COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

☒ N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: (Existing)	
Number of Employees: (Proposed)	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: «Application Number»

### APPLICANT DECLARATION

**Owner:** As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

**Applicant:** As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

(if not the owner)

Name (print)

Signed

Date

*Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.*

**Crown  
Consent**  
(if required)

Name (print)

Signed

Date

**Chief  
Executive  
Officer**  
(if required)

Name (print)

Signed

Date

*If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.*

**Right of Way Owner:**

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

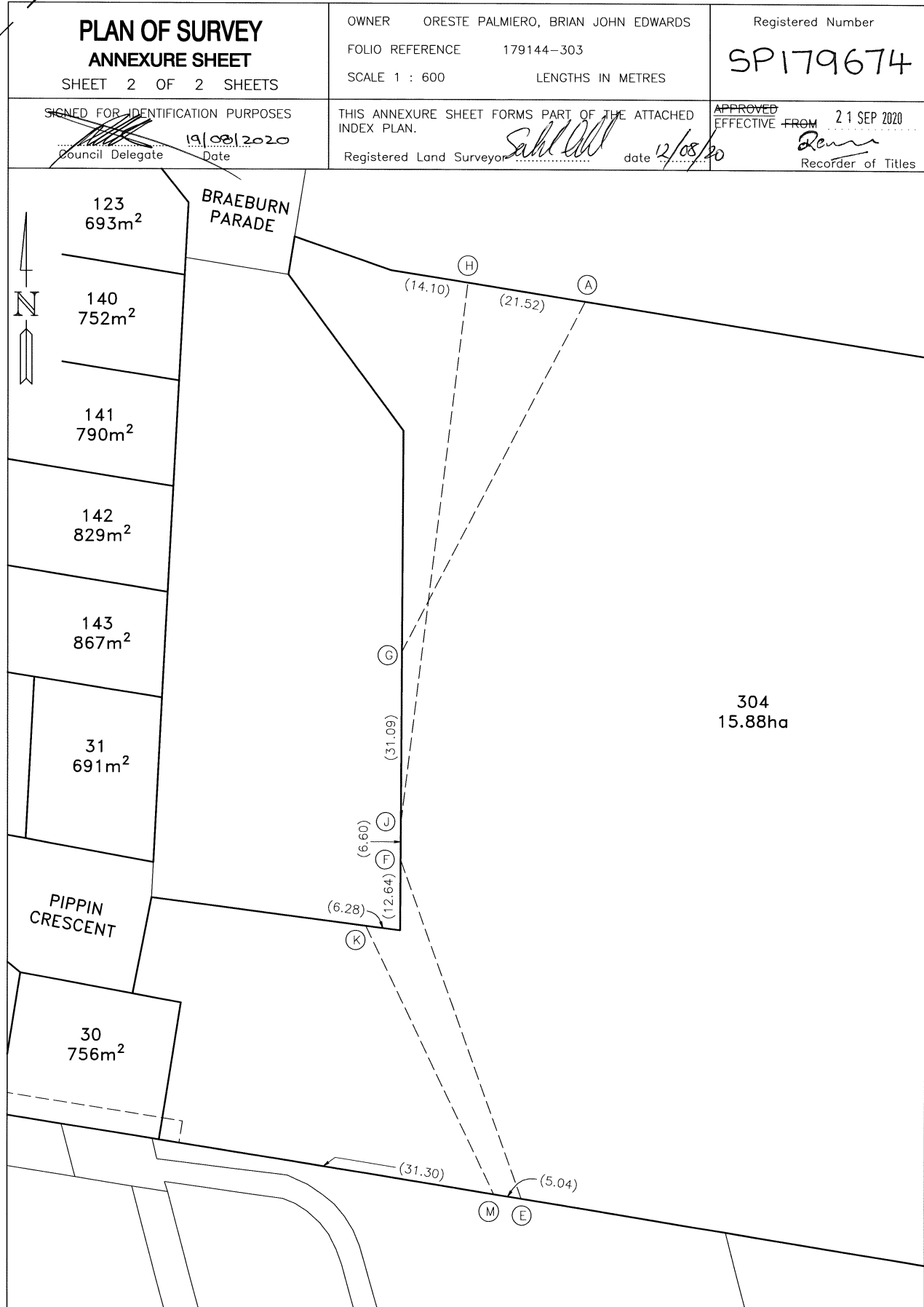
Name (print)

Signed

Date







112-47 (7660) 12/8/2020 11:35

# PROPOSED NEW RESIDENCE

## 12 PIPPIN CRESCENT,

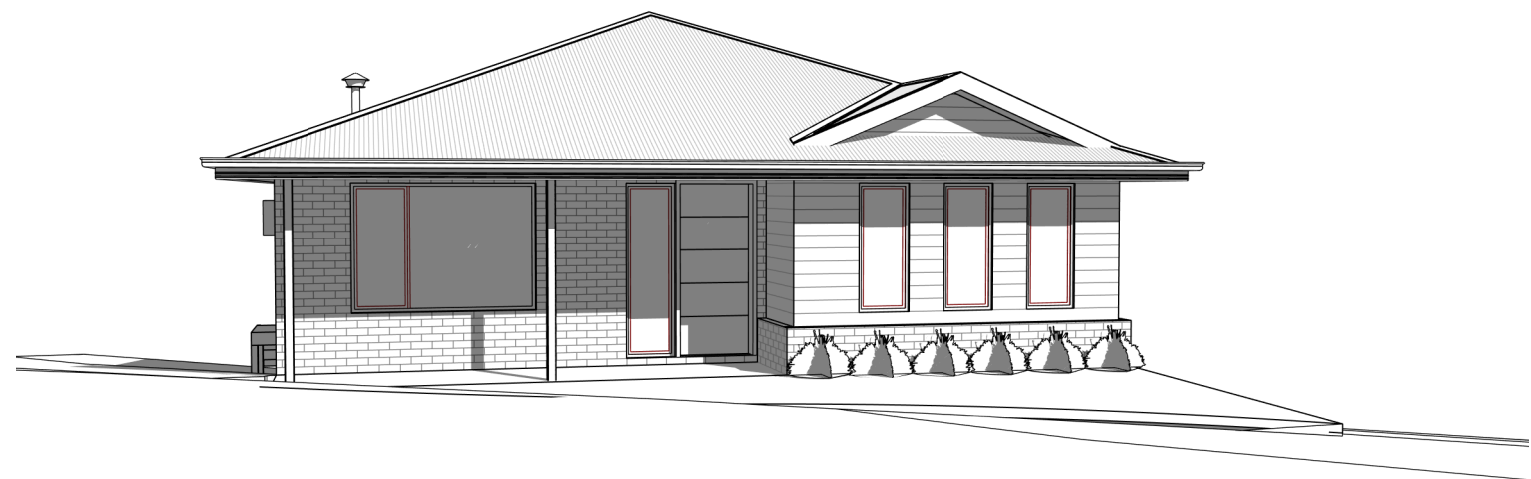
## LEGANA

B. MARINKOVIC

PD24095

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LOCALITY PLAN
04	SUB-FLOOR PLAN
05	FLOOR PLAN
06	DOOR AND WINDOW SCHEDULES
07	ELEVATIONS
08	ELEVATIONS
09	ROOF PLAN
10	PERSPECTIVES



FLOOR AREA	157.78	m2	( 16.98	SQUARES	)
DECK AREA	34.27	m2	( 3.69	SQUARES	)
PORCH AREA	8.53	m2	( 0.92	SQUARES	)
SUBFLOOR AREA	56.58	m2	( 6.09	SQUARES	)
TOTAL AREA	257.15		27.68		

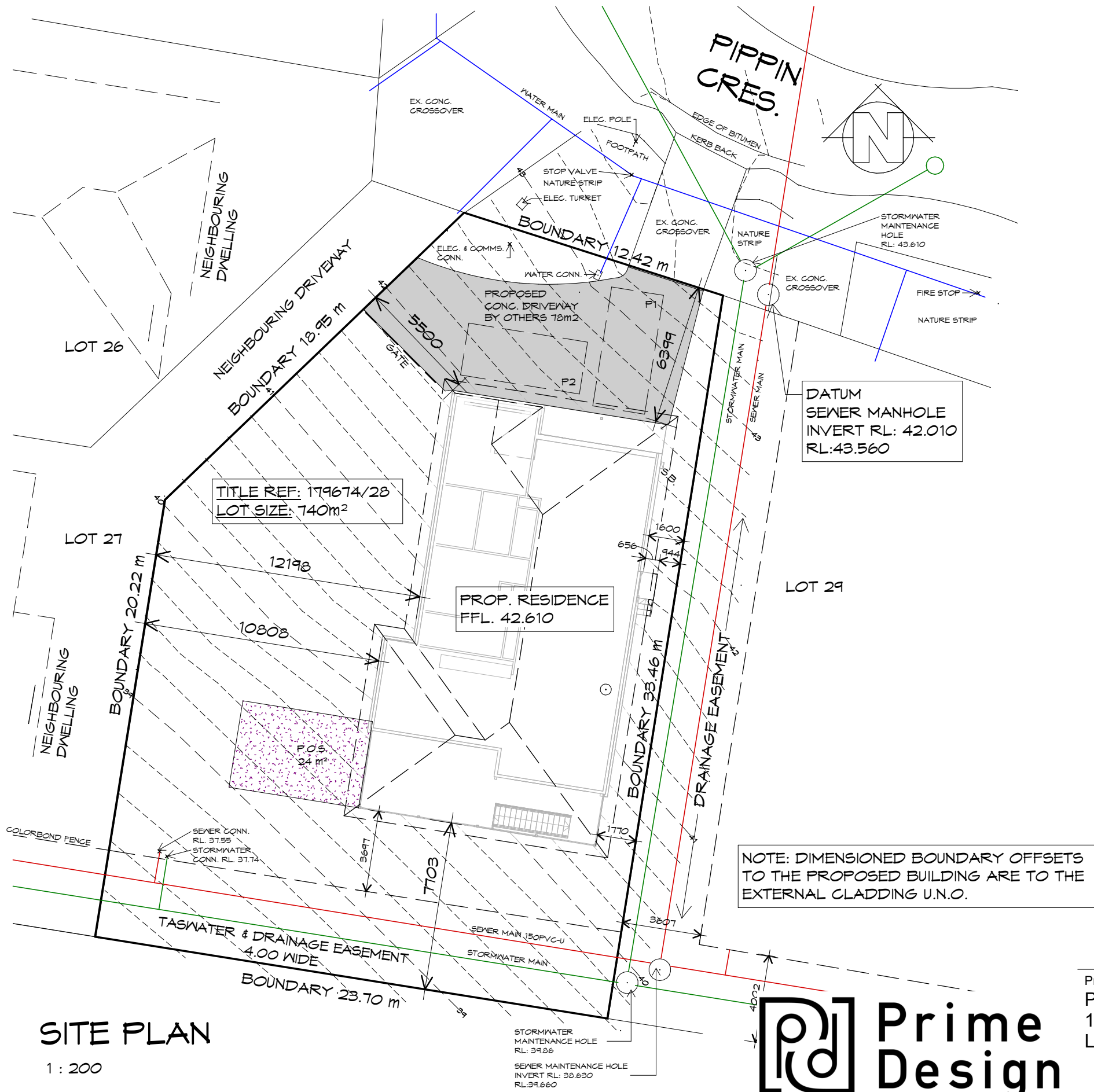
GENERAL PROJECT INFORMATION  
TITLE REFERENCE: 179674/28  
SITE AREA: 740m<sup>2</sup>  
DESIGN WIND SPEED: N1  
SOIL CLASSIFICATION: H2  
CLIMATE ZONE: 7  
ALPINE AREA: NO  
CORROSIVE ENVIRONMENT: LOW  
BAL RATING: BAL-19  
OTHER KNOWN HAZARDS: LANDSLIP HAZARD BAND  
(LOW TO MED), BUSHFIRE PRONE AREAS, PRIORITY  
VEGETATION AREA



10 Goodman Court , Invermay Launceston 7248  
p(l) +03 6332 3790  
Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(h)+03 6228 4575  
info@ primedesignntas.com.au [primedesignntas.com.au](http://primedesignntas.com.au)  
Accredited Building Practitioner: Frank Geskus -No CC246A

AUGUST 2025

PLANNING



## SITE PLAN

1 : 200

FLOOR NAME	F.F.L.	COMMENTS
FLOOR	42,610	
SUB-FLOOR	39,710	



10 Goodman Court, Invermay Tasmania 7248,  
p(l) + 03 6332 3790  
Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(h) + 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

### GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

### SURVEY NOTES

SURVEYOR: NJK DATE: 10/05/24

- THIS PLAN HAS BEEN PREPARED BY WOOLCOTT SURVEYS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
- TITLE BOUNDARIES SHOWN WERE NOT MARKED AT THE TIME OF THIS SURVEY.
- SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
- WOOLCOTT SURVEYS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
- THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF WOOLCOTT SURVEYS.
- HORIZONTAL BEARING DATUM IS PLANE BASED ON MGA20.
- VERTICAL DATUM IS AHD.
- CONTOUR INTERVAL IS 0.2m INDEX IS 1.0m.
- BOUNDARIES AND EASEMENTS ARE COMPILED FROM SP.179674; AND ARE APPROXIMATE AND SUBJECT TO SURVEY.
- CO-ORDINATES ARE PLANE AND BASED ON MGA20.

Project:  
**PROPOSED NEW RESIDENCE**  
**12 PIPPIN CRESCENT,**  
**LEGANA**

Client name:  
**B. MARINKOVIC**

Drafted by: T.H.Q./A.G.C. Approved by: Approver



Drawing:  
**SITE PLAN**

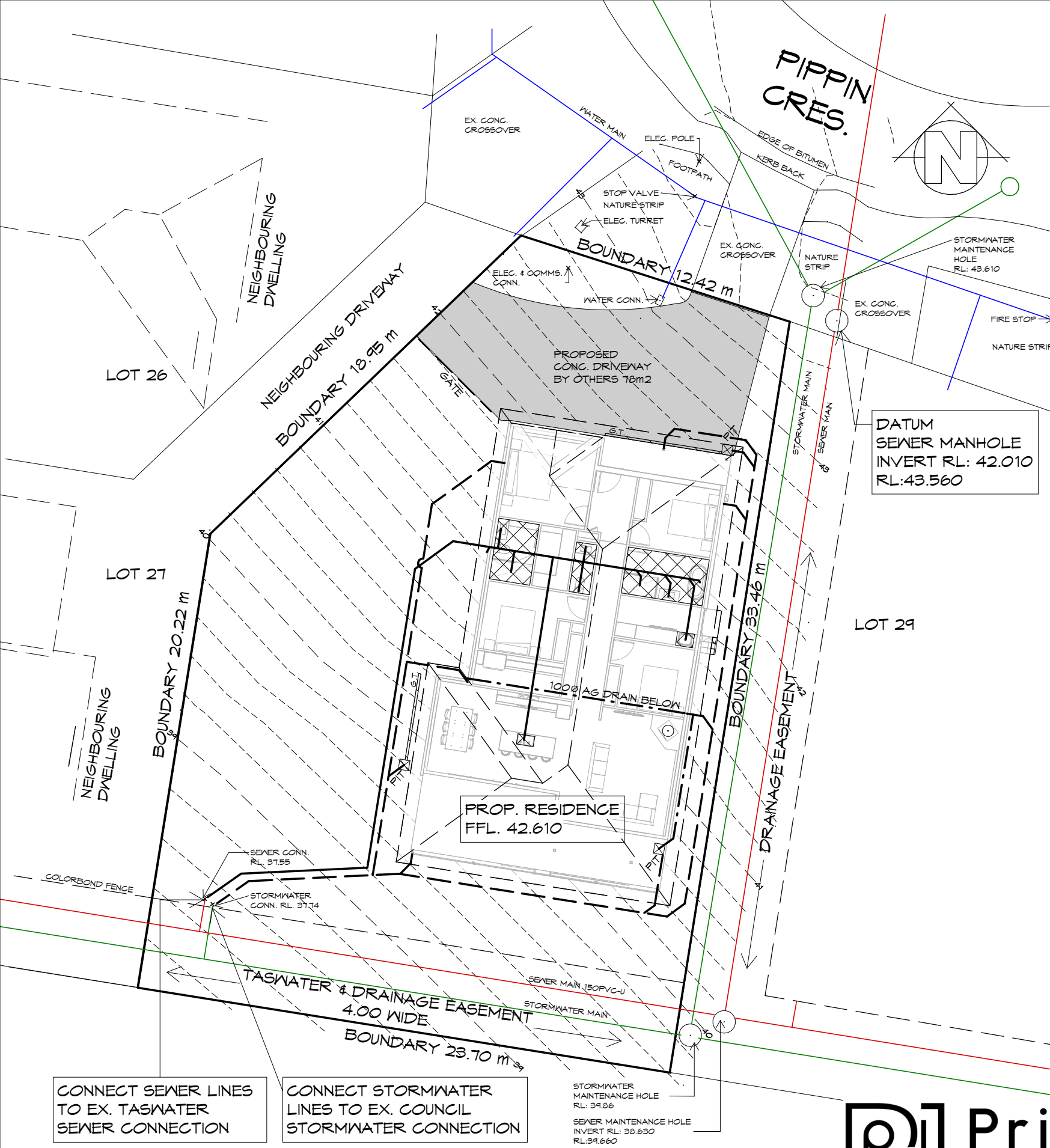
Date: 08.08.2025 Scale: 1 : 200

Project/Drawing no: PD24095 -01 Revision: 05






Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## LEGEND

- PIT  450X 450 SURFACE DRAINAGE PIT
-  WET AREAS
-  SEWER LINE
-  STORMWATER LINE
-  100mm AG DRAIN

### PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.

ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

CONNECT SEWER LINES  
TO EX. TASWATER  
SEWER CONNECTION

CONNECT STORMWATER  
LINES TO EX. COUNCIL  
STORMWATER CONNECTION

STORMWATER  
MAINTENANCE HOLE  
RL: 39.266

SEWER MAINTENANCE HOLE  
INVERT RL: 39.630  
RL: 39.660

## SITE DRAINAGE PLAN

1 : 200



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED NEW RESIDENCE**  
12 PIPPIN CRESCENT,  
LEGANA

Client name:  
**B. MARINKOVIC**

Drafted by: T.H.Q./A.G.C. Approved by: Approver

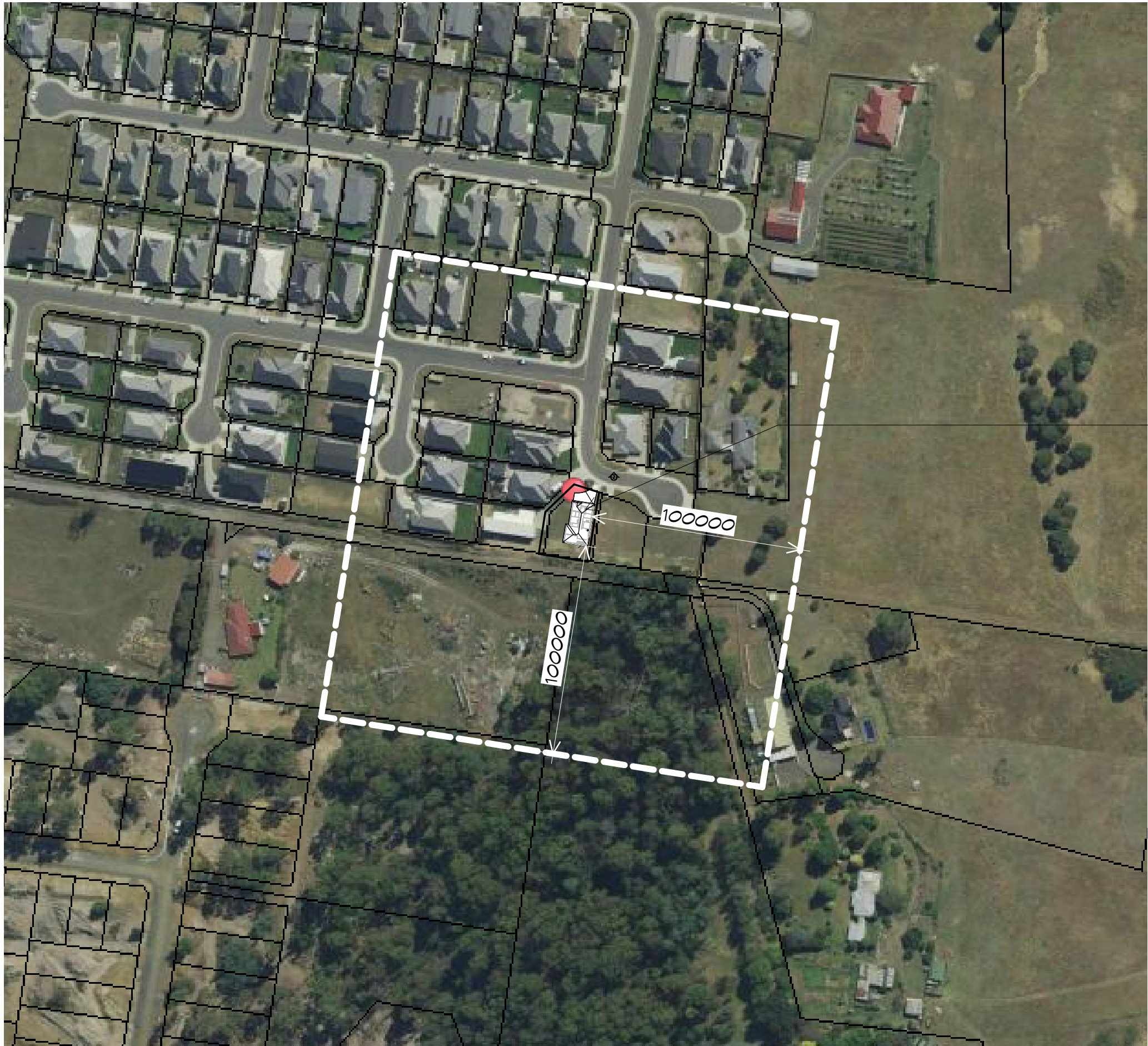


Drawing:  
**SITE DRAINAGE PLAN**

Date: 08.08.2025 Scale: As indicated

Project/Drawing no: PD24095 -02 Revision: 05

Accredited building practitioner: Frank Geskus -No CC246A



THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL-19**  
ALL CONSTRUCTION MUST COMPLY WITH 3959.

PROPOSED RESIDENCE  
12 PIPPIN CRESCENT, LEGANA

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED NEW RESIDENCE  
12 PIPPIN CRESCENT,  
LEGANA**

Client name:  
**B. MARINKOVIC**

Drawing:  
**LOCALITY PLAN**

Drafted by: T.H.Q./A.G.C. Approved by: Approver

Date: 08.08.2025 Scale: 1 : 2000

Project/Drawing no: PD24095 -03 Revision: 05

Accredited building practitioner: Frank Geskus -No CC246A

## LOCALITY PLAN

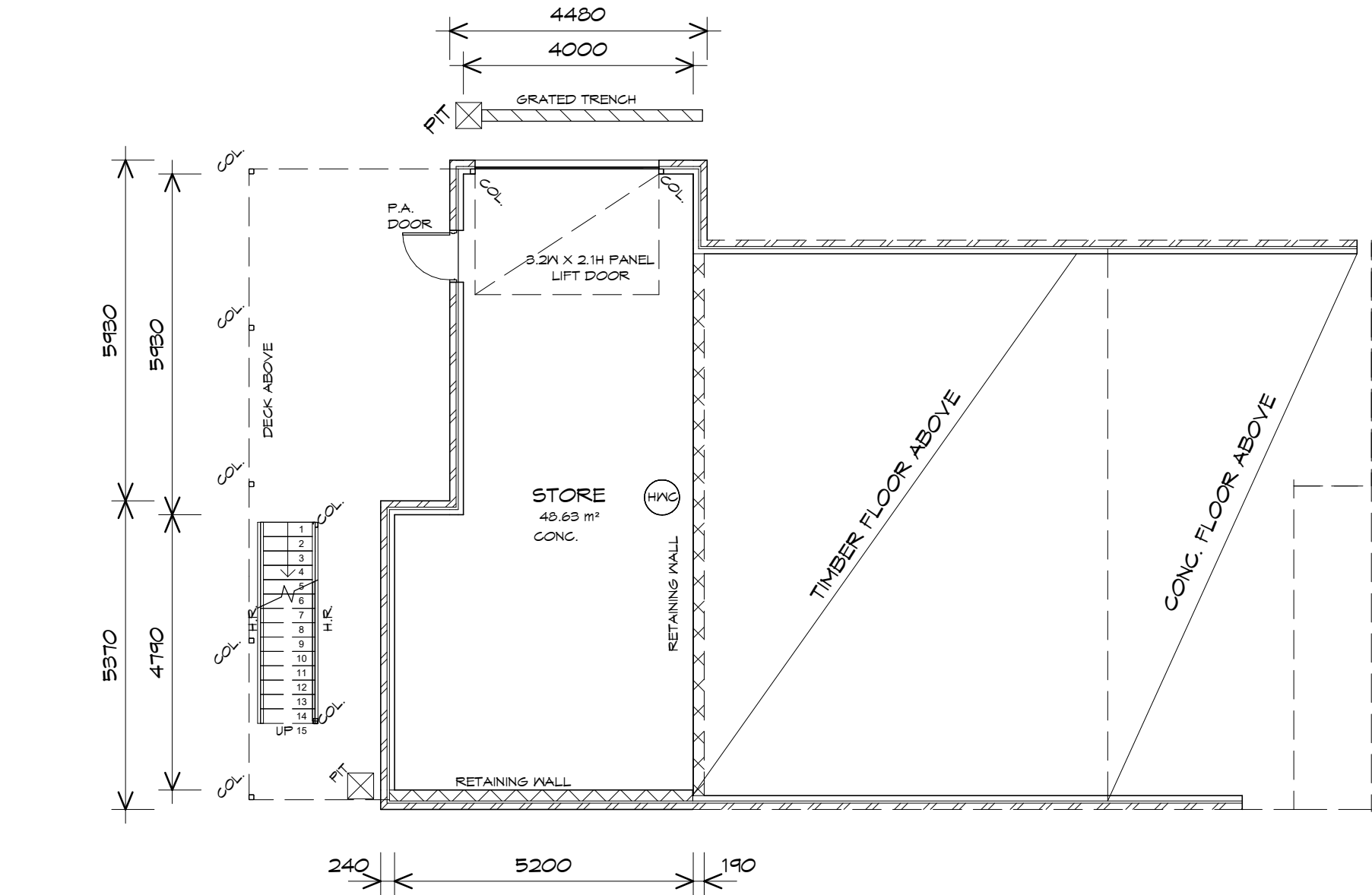
1 : 2000

THIS SITE IS ZONED GENERAL RESIDENTIAL AND FALLS WITHIN A BUSHFIRE PRONE AREA.  
THEREFORE IT **REQUIRES** A BUSHFIRE ASSESSMENT.  
RESIDENCE IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGEMENT PLAN



BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



STAIRS			
STAIR	NO RISERS	RISER H'T	TREAD DEPTH
A	15	180	250
B	4	179	250

NON SLIP TO COMPLY NCC 2022

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- COL 90 SHS COLUMN TO ENGINEERS SPEC
- B.H. BULKHEAD
- H.R. HAND RAIL
- S/L SIDELIGHT

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

SUB-FLOOR

1 : 100

FLOOR AREA	157.78	m2	( 16.98 SQUARES )
DECK AREA	34.27	m2	( 3.69 SQUARES )
PORCH AREA	8.53	m2	( 0.92 SQUARES )
SUBFLOOR AREA	56.58	m2	( 6.09 SQUARES )
TOTAL AREA	257.15		27.68

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING  
AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND  
OUTDOOR AREAS ARE CALCULATED SEPARATELY.



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(h)+ 03 6228 4575  
info@primedesignntas.com.au primedesignntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
12 PIPPIN CRESCENT,  
LEGANA

Client name:  
B. MARINKOVIC

Drafted by: T.H.Q./A.G.C.      Approved by: Approver

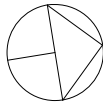


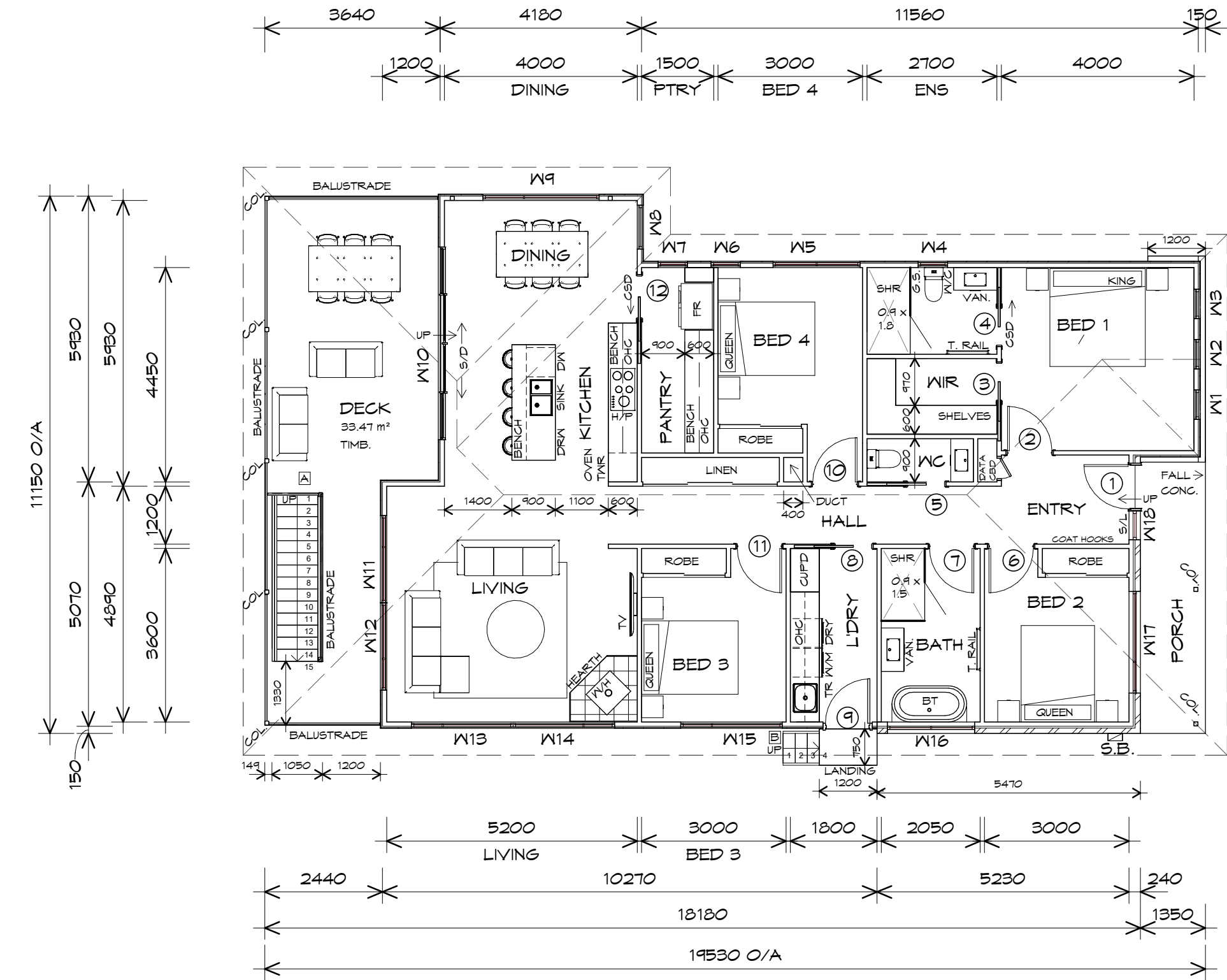
Drawing:  
SUB-FLOOR PLAN

Date: 08.08.2025      Scale: 1 : 100

Project/Drawing no: PD24095 -04      Revision: 05

Accredited building practitioner: Frank Geskus -No CC246A





## FLOOR PLAN

1 : 100

FLOOR AREA	157.78	m <sup>2</sup>	( 16.98 SQUARES )
DECK AREA	34.27	m <sup>2</sup>	( 3.69 SQUARES )
PORCH AREA	8.53	m <sup>2</sup>	( 0.92 SQUARES )
SUBFLOOR AREA	56.58	m <sup>2</sup>	( 6.09 SQUARES )
TOTAL AREA	257.15		27.68

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

**NOTE:**  
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED NEW RESIDENCE**  
12 PIPPIN CRESCENT,  
LEGANA

Client name:  
**B. MARINKOVIC**

Drafted by:  
**T.H.Q./A.G.C.**

Approved by:  
**Approver**



BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

Drawing:  
**FLOOR PLAN**

Date:  
**08.08.2025**

Scale:  
**1 : 100**

Project/Drawing no:  
**PD24095 -05**

Revision:  
**05**

Accredited building practitioner: Frank Geskus -No CC246A

### STAIRS

STAIR	NO RISERS	RISER HT	TREAD DEPTH
A	15	180	250
B	4	179	250

NON SLIP TO COMPLY NCC 2022

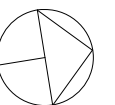
## LEGEND

CSD	CAVITY SLIDING DOOR
S/D	SLIDING DOOR
G.S.	GLASS SCREEN
HWC	HOT WATER CYLINDER
COL	90 SHS COLUMN TO ENGINEERS SPEC
B.H.	BULKHEAD
H.R.	HAND RAIL
S/L	SIDELIGHT

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

**FIREPLACES, CHIMNEYS & HEARTH**  
INSTALLATION OF FREESTANDING  
HEATING APPLIANCE TO COMPLY  
NCC 2022 HTD5, ABCB HOUSING  
PROVISIONS PART 12.4  
APPLIANCE COMPLIANT WITH  
AS/NZS 2918.2018

**WINDOW WITHIN WET AREA**  
C/W SAFETY GLASS AS PER  
AS1288.2021  
BEVEL WINDOW SEAL  
RETURN TILES OR LAMIPANEL  
TO WINDOW (TYPICAL)



GROUND FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL ENTRY DOOR	
2	920	INTERNAL TIMBER DOOR	
3	820	CAVITY SLIDING DOOR	
4	820	CAVITY SLIDING DOOR	
5	820	CAVITY SLIDING DOOR	
6	920	INTERNAL TIMBER DOOR	
7	920	INTERNAL TIMBER DOOR	
8	820	CAVITY SLIDING DOOR	
9	920	EXTERNAL HALF GLASS	
10	920	INTERNAL TIMBER DOOR	
11	920	INTERNAL TIMBER DOOR	
12	920	CAVITY SLIDING DOOR	

GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1500	610	AWNING WINDOW	
W2	1500	610	AWNING WINDOW	
W3	1500	610	AWNING WINDOW	
W4	900	610	AWNING WINDOW	OPAQUE
W5	900	1810	AWNING WINDOW	
W6	1500	610	AWNING WINDOW	
W7	1500	610	AWNING WINDOW	
W8	1500	910	AWNING WINDOW	
W9	600	2410	AWNING WINDOW	
W10	2100	4000	DOUBLE SLIDING DOOR	
W11	1500	1810	AWNING WINDOW	
W12	1500	1810	AWNING WINDOW	
W13	1500	2110	AWNING WINDOW	
W14	1500	2110	AWNING WINDOW	
W15	1500	2110	AWNING WINDOW	
W16	900	1810	AWNING WINDOW	OPAQUE
W17	1500	2110	AWNING WINDOW	
W18	2100	600	FIXED WINDOW	SIDELIGHT

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE  
WITH FLY SCREENS TO SUIT **BAL-19** RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

ARTIFICIAL LIGHTING					
ROOM	FLOOR AREA	m2	ALLOWANCE	W/m2	TOTAL POWER LOAD
BATH	7.38	m2	5.00	W/m2	36.90 W
BED 1	15.20	m2	5.00	W/m2	76.00 W
BED 2	9.67	m2	5.00	W/m2	48.33 W
BED 3	9.69	m2	5.00	W/m2	48.45 W
BED 4	11.13	m2	5.00	W/m2	55.65 W
DECK	33.47	m2	4.00	W/m2	133.87 W
DINING	10.08	m2	5.00	W/m2	50.40 W
ENS.	4.86	m2	5.00	W/m2	24.30 W
ENTRY	4.90				
HALL	9.79	m2	5.00	W/m2	48.96 W
KITCHEN	13.59	m2	5.00	W/m2	67.93 W
L'DRY	6.48	m2	5.00	W/m2	32.40 W
LINEN	1.46	m2	5.00	W/m2	7.29 W
LIVING	24.65	m2	5.00	W/m2	123.27 W
PANTRY	5.78	m2	5.00	W/m2	28.88 W
PORCH	7.68	m2	4.00	W/m2	30.73 W
ROBE	0.90	m2	5.00	W/m2	4.49 W
ROBE	0.90	m2	5.00	W/m2	4.49 W
ROBE	0.92	m2	5.00	W/m2	4.59 W
STORE	48.63	m2	5.00	W/m2	243.14 W
WC	1.99	m2	5.00	W/m2	9.95 W
WIR	4.24	m2	5.00	W/m2	21.20 W
TOTALS	233.37				1101.19 W

ARTIFICIAL LIGHTING

THE ABOVE TABLE ILLUSTRATES THE MAXIMUM ALLOWANCE OF POWER LOAD TO THE TYPE OF SPACE AS PER ABCB HOUSING PROVISIONS PART 13.7.6

ARTIFICIAL LIGHTING MUST NOT EXCEED:

- 5W/m2 FOR CLASS 1 BUILDING
- 4W/m2 FOR VERANDAHS & BALCONIES
- 3W/m2 FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(h)+ 03 6228 4575  
info@primedesign.com.au primedesign.com.au

Project:  
PROPOSED NEW RESIDENCE  
12 PIPPIN CRESCENT,  
LEGANA

Client name:  
B. MARINKOVIC

Drafted by:  
T.H.Q./A.G.C.

Approved by:  
Approver



Drawing:  
DOOR AND WINDOW  
SCHEDULES

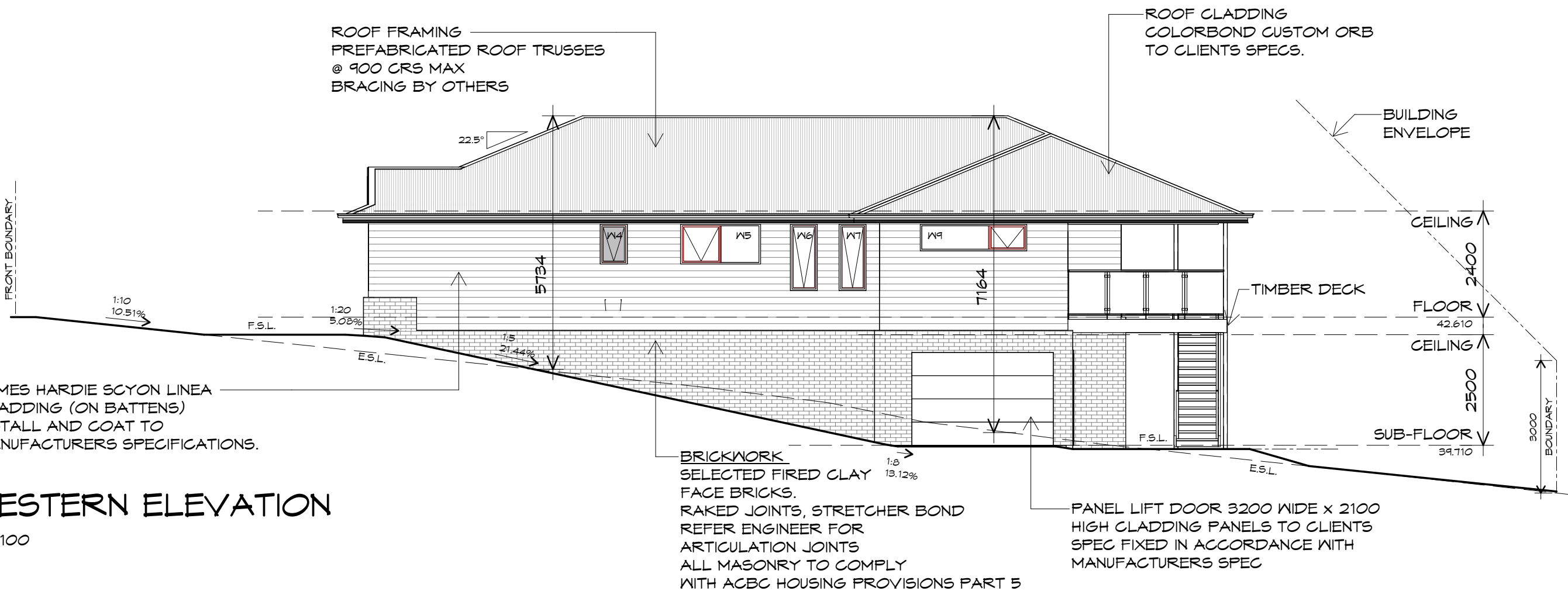
Date:  
08.08.2025

Project/Drawing no:  
PD24095 -06

Accredited building practitioner: Frank Geskus -No CC246A

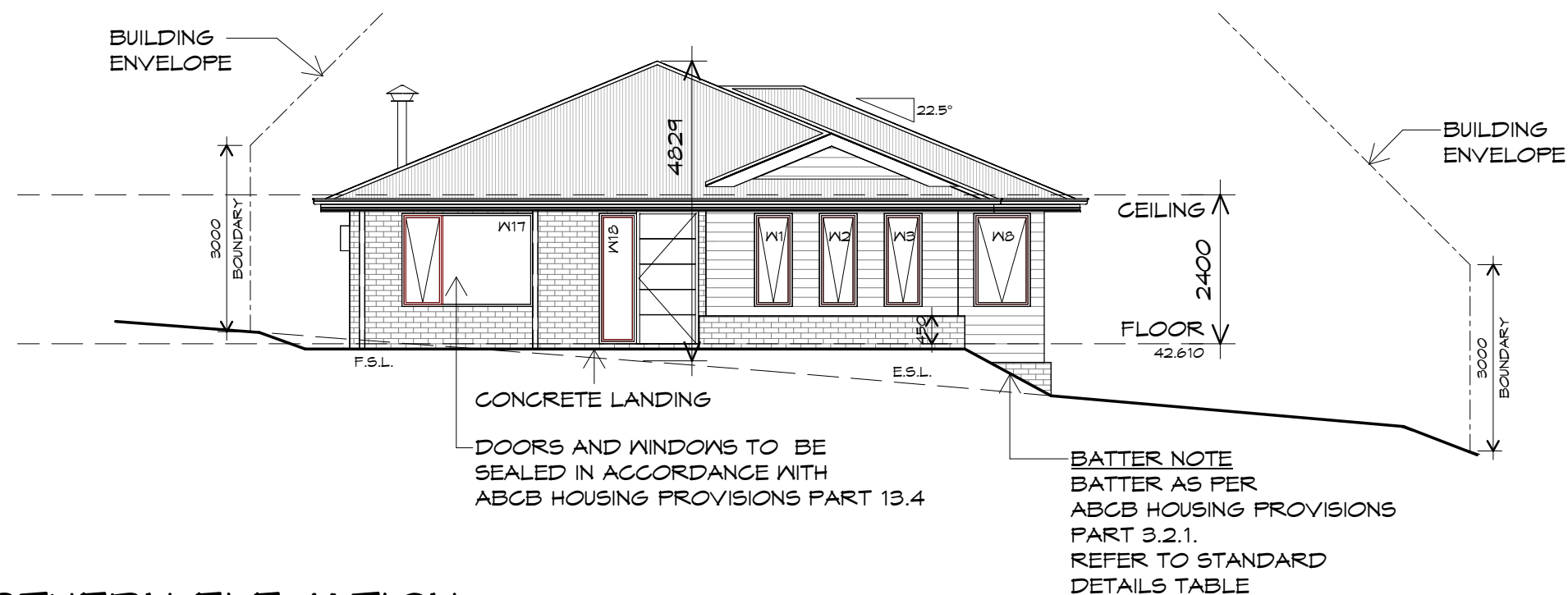
Scale:

Revision:  
05



## WESTERN ELEVATION

1 : 100



## NORTHERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED NEW RESIDENCE  
12 PIPPIN CRESCENT,  
LEGANA**

Client name:  
**B. MARINKOVIC**

Drawing:  
**ELEVATIONS**

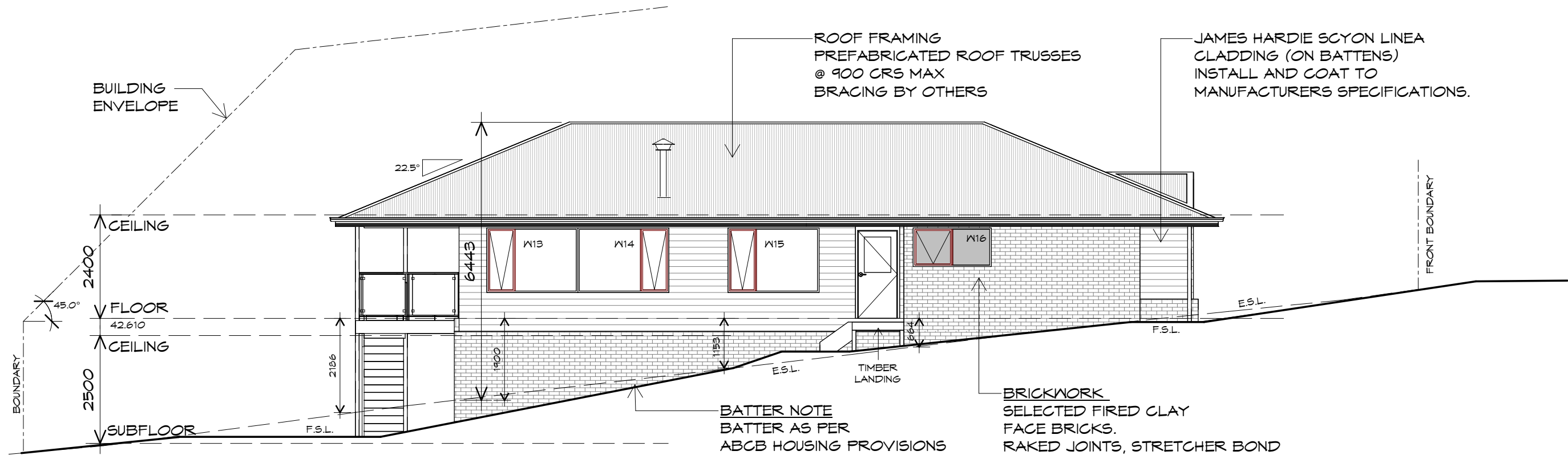
Drafted by: T.H.Q./A.G.C. Approved by: Approver

Date: 08.08.2025 Scale: 1 : 100

Project/Drawing no: PD24095 -07 Revision: 05

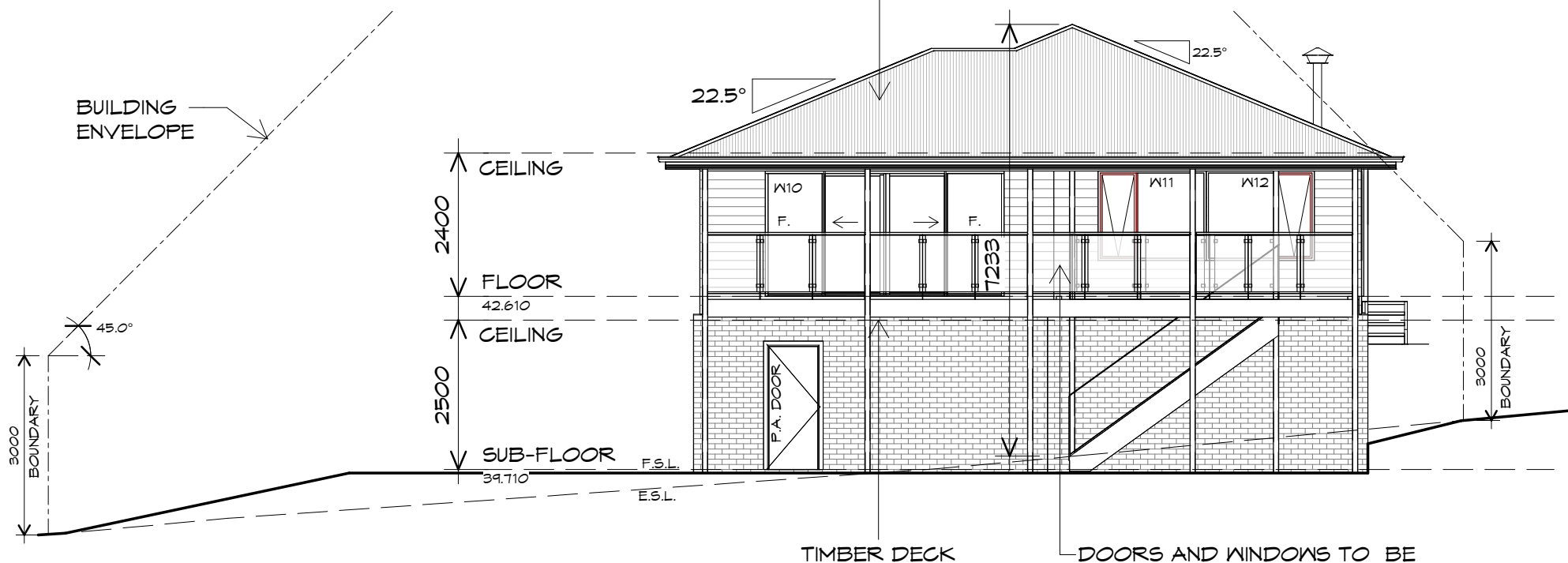
Accredited building practitioner: Frank Geskus -No CC246A





## EASTERN ELEVATION

1 : 100



## SOUTHERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(h)+ 03 6228 4575  
info@primedesign.com.au primedesign.com.au

Project:  
**PROPOSED NEW RESIDENCE  
12 PIPPIN CRESCENT,  
LEGANA**

Client name:  
**B. MARINKOVIC**

Drawing:  
**ELEVATIONS**

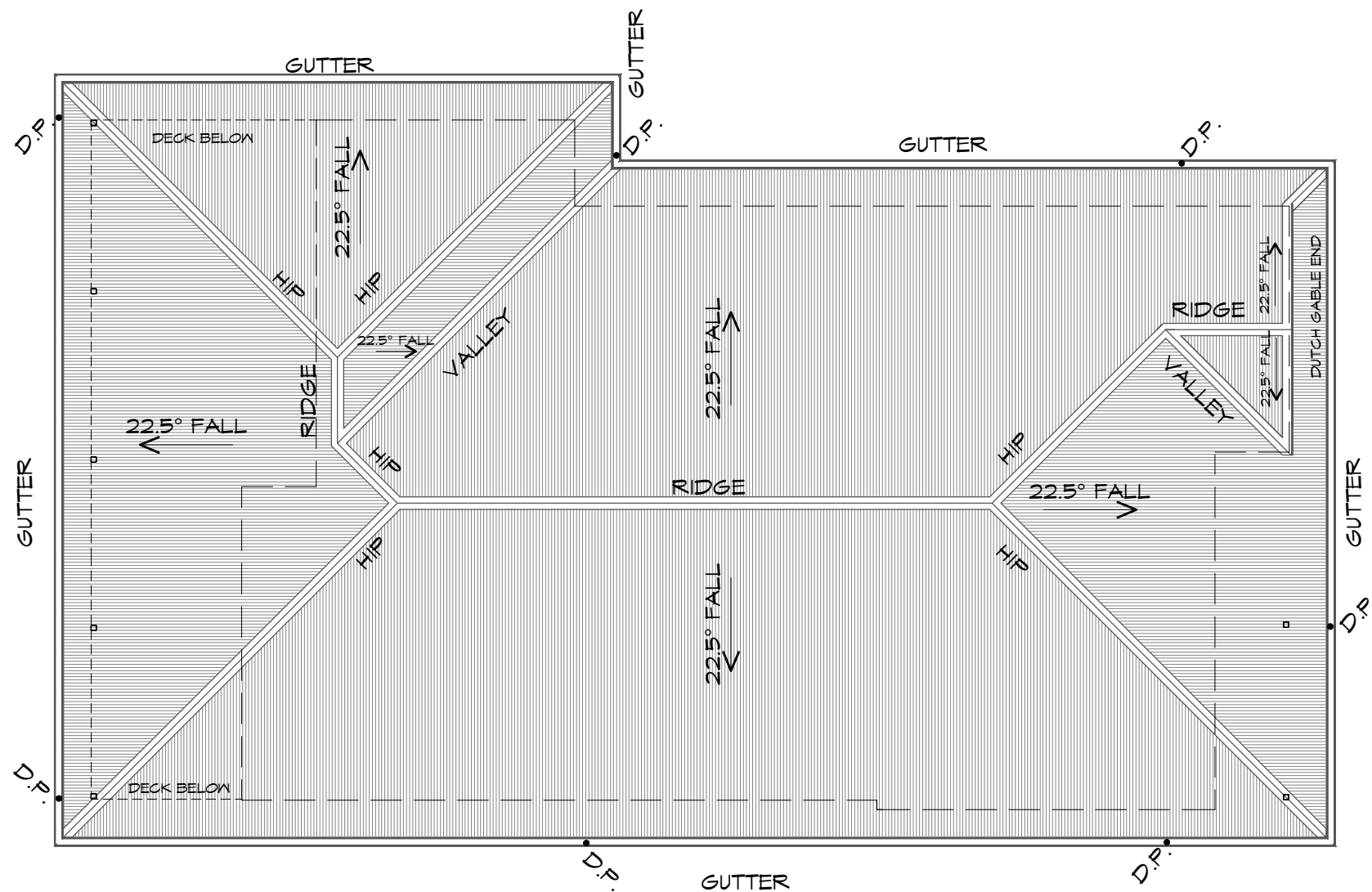
Drafted by: T.H.Q./A.G.C. Approved by: Approver

Date: 08.08.2025 Scale: 1 : 100

Project/Drawing no: PD24095 -08 Revision: 05

Accredited building practitioner: Frank Geskus -No CC246A





## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED NEW RESIDENCE**  
**12 PIPPIN CRESCENT,**  
**LEGANA**

Client name:  
**B. MARINKOVIC**

Drafted by: **T.H.Q./A.G.C.** Approved by: **Approver**

Drawing:  
**ROOF PLAN**

Date: **08.08.2025** Scale: **1 : 100**

Project/Drawing no: **PD24095 -09** Revision: **05**

Accredited building practitioner: Frank Geskus -No CC246A

### ROOF PLUMBING NOTES:

**GUTTER INSTALLATION**  
TO BE IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 7.4.4  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

**VALLEY GUTTERS ON A ROOF WITH A PITCH:**  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

**LAP GUTTERS** 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

**DOWNPIPE POSITIONS** SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH ABCB HOUSING PROVISIONS PART 7.4.5  
REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & LOCATED AS CLOSE AS  
POSSIBLE TO VALLEY GUTTERS

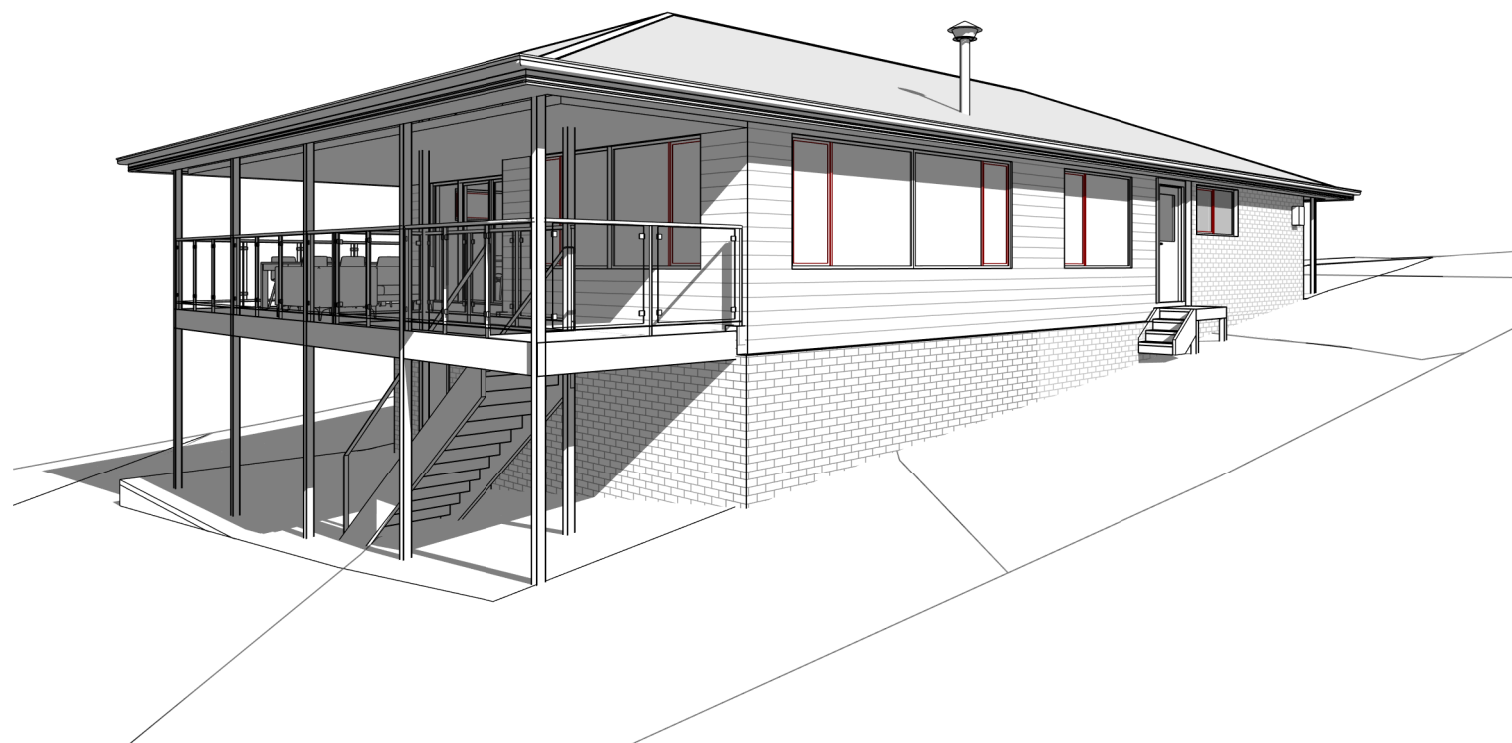
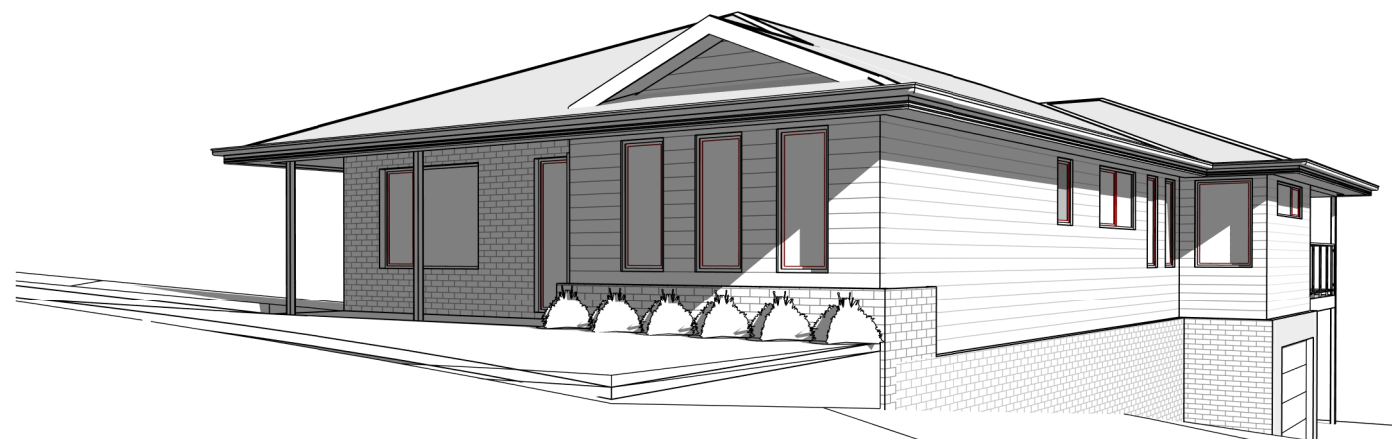
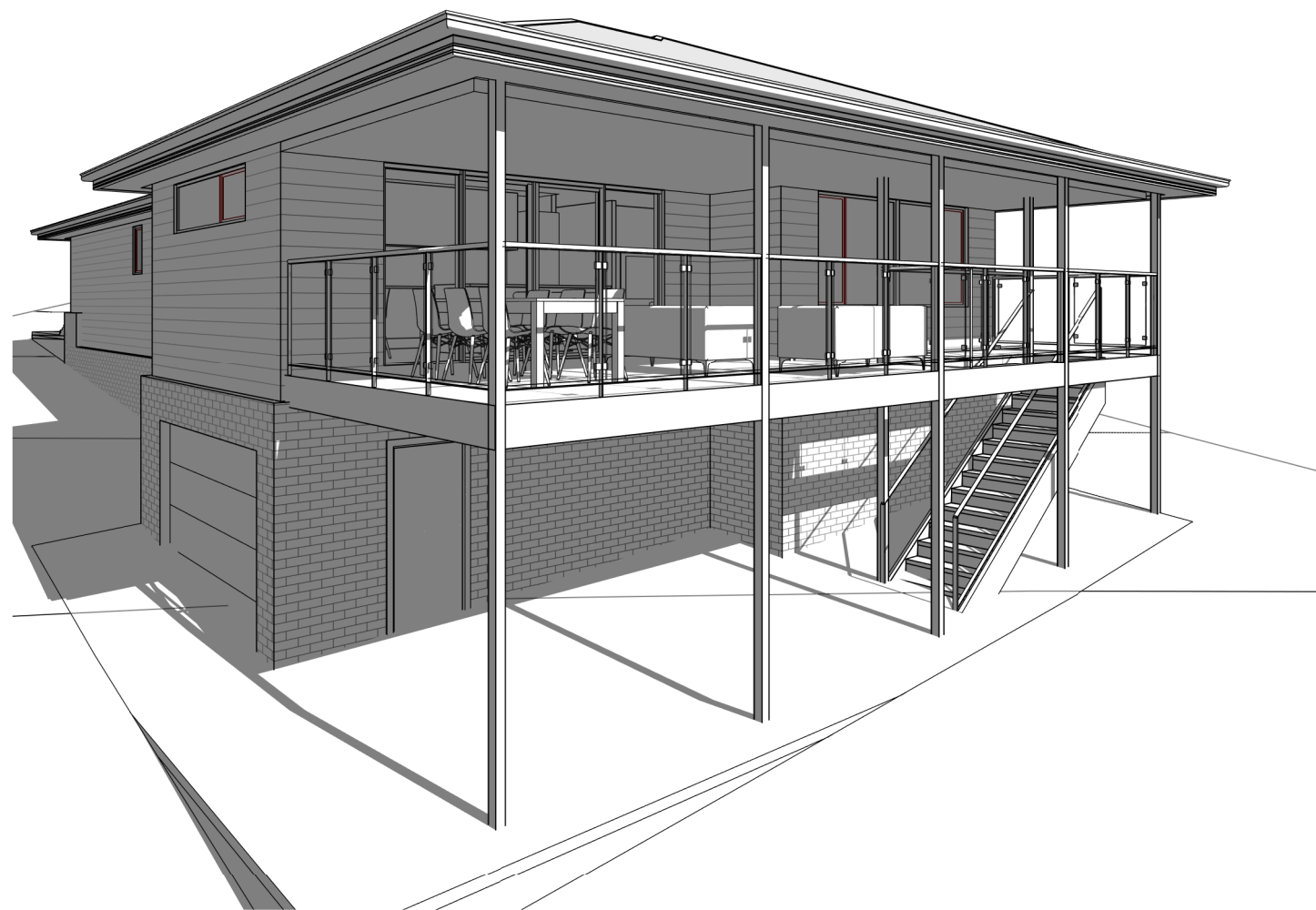
### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART  
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY  
OF CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,  
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS  
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.  
REFER TO TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN  
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

**PLANNING**

NOTE: DO NOT SCALE OFF DRAWINGS





PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED NEW RESIDENCE  
12 PIPPIN CRESCENT,  
LEGANA**

Client name:  
**B. MARINKOVIC**

Drawing:  
**PERSPECTIVES**

Drafted by: T.H.Q./A.G.C. Approved by: Approver

Date: 08.08.2025 Scale:

Project/Drawing no: PD24095 -10 Revision: 05

Accredited building practitioner: Frank Geskus -No CC246A

