

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number PA2025246

Assess No: A13661

PID No: 9424103

Applicant Name:	HOTONDO HOMES LAUNCESTON				
Postal Address:					
Contact Phone:	Home		Work		Mobile
Email Address:					

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☐
2. A completed application form including a detailed description of the proposal ☐
3. A complete plan set: ☐
 - a) Floor plans ☐
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☐
 - c) Site Plan showing: ☐
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other: ☐

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: HOTONDO HIMES LAUNCESTON

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) Legana Parl Development PL

Location / Address: Lot 15 Connemara Close, Legana

Title Reference: 186003/15

Zone(s): General Residential, Priority Vegetation, Bushfire Prone Overlay

Existing Development/Use: Vacant Land

Existing Developed Area: 0m²

Are any of the components in this Application seeking retrospective approval?
E.g. Use and/or development that has commenced without a Planning Permit.

YES ☐

NO ☒

(If yes please specify the relevant components):

Proposed Use:

Residential: ☒

Visitor Accommodation: ☐

Commercial: ☐

Other: ☐

Description of Use:

New residential dwelling

Development Type:

Building work: ☒

Demolition: ☐

Subdivision: ☐

Other: ☐

Description of development:

New construction, 4 bedroom, 2 living dwelling

New or Additional Area: 94m²

Estimated construction cost of the proposed development: \$330,000

Building Materials:

Wall Type: Brick

Colour:

Roof Type: Colorbond

Colour:

Application Number: «Application Number»

SUBDIVISION	✓N/A
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Subdivision creating additional lots ☐
 Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE	✓N/A
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Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: <i>(Existing)</i>	
Number of Employees: <i>(Proposed)</i>	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

(if not the owner)

Trisha Pickersgill

Name (print)



Signed

16.05.25

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**Chief
Executive
Officer**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:



As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

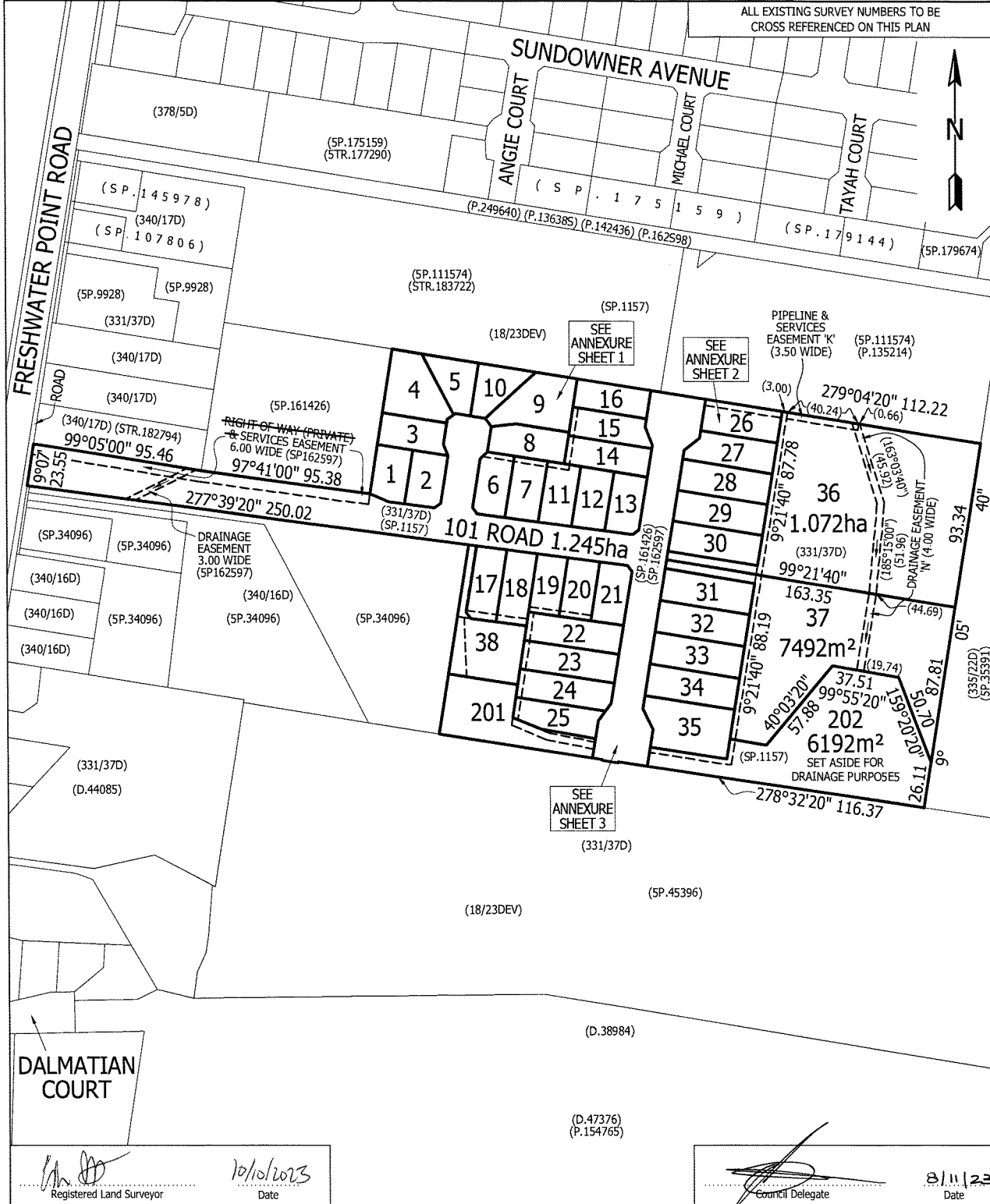
Name (print)

Signed

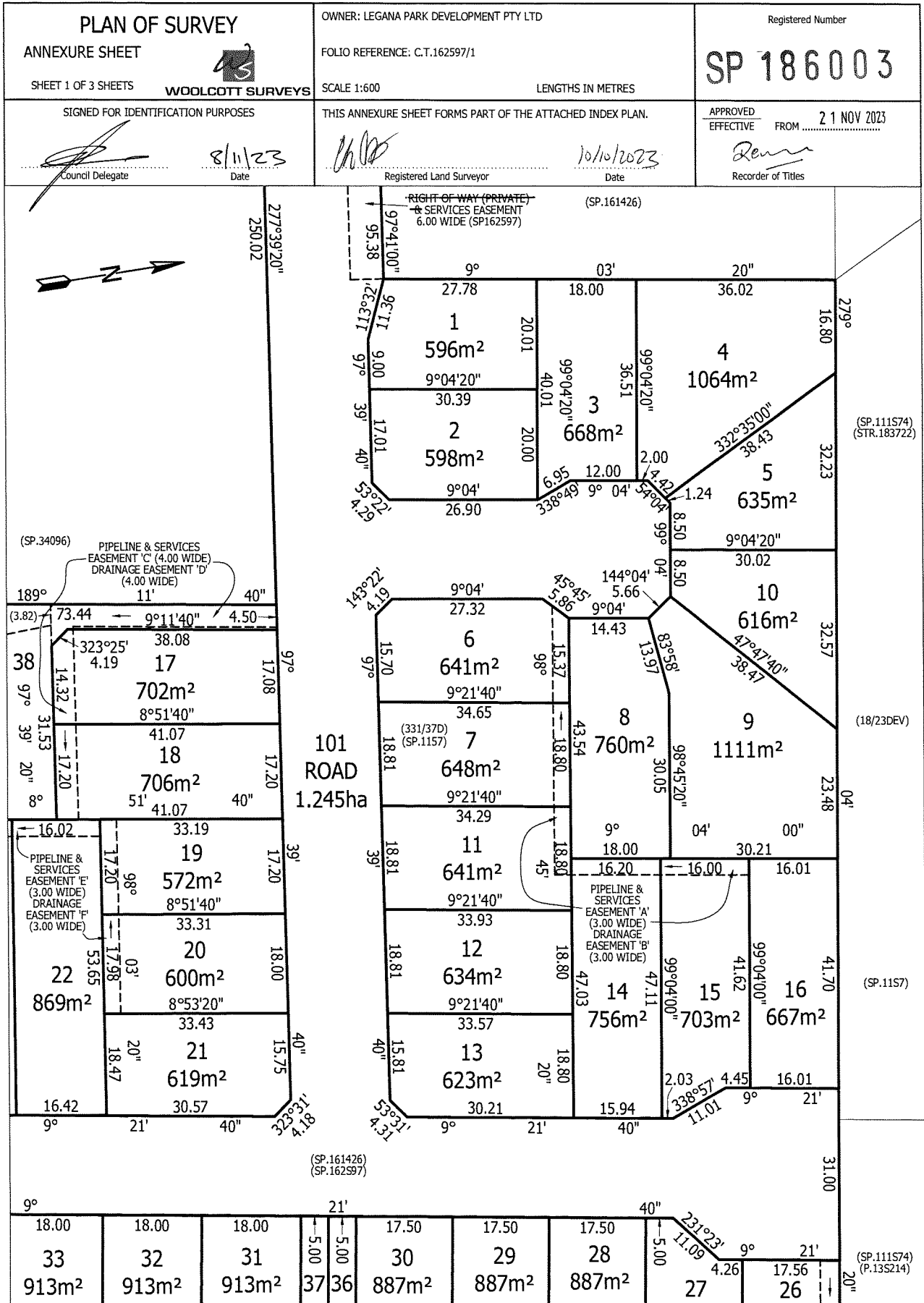
Date

PRIORITY FINAL PLAN

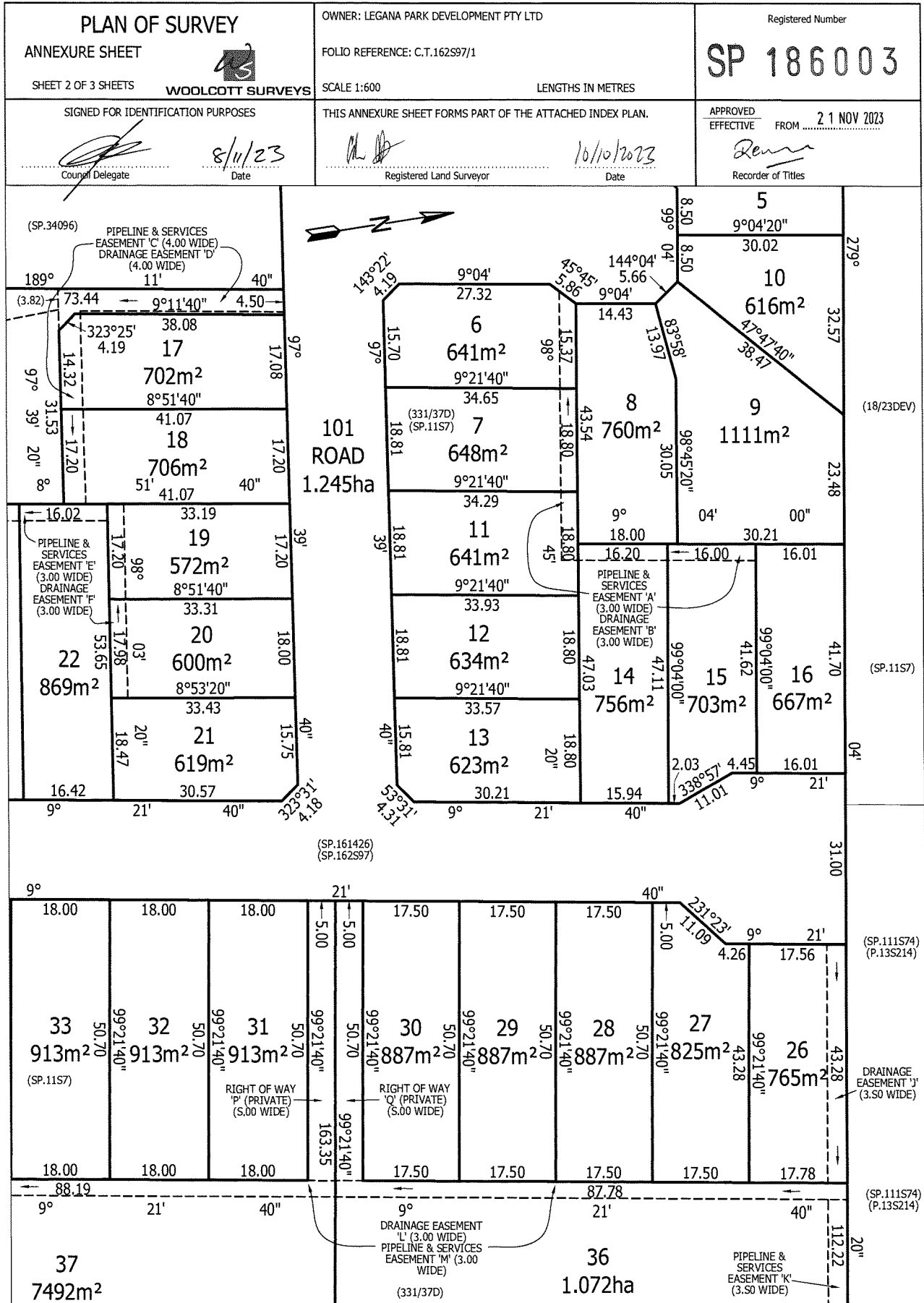
OWNER: LEGANA PARK DEVELOPMENT PTY LTD	PLAN OF SURVEY  WOOLCOTT SURVEYS BY SURVEYOR: COLIN STERLING SMITH LOCATION: Town of LEGANA SCALE 1:2000 LENGTHS IN METRES	REGISTERED NUMBER SP186003
FOLIO REFERENCE: C.T.162597/1		APPROVED EFFECTIVE FROM 21 NOV 2023  Recorder of Titles
GRANTEE: Part of 2500 Acres Granted to John Griffiths		



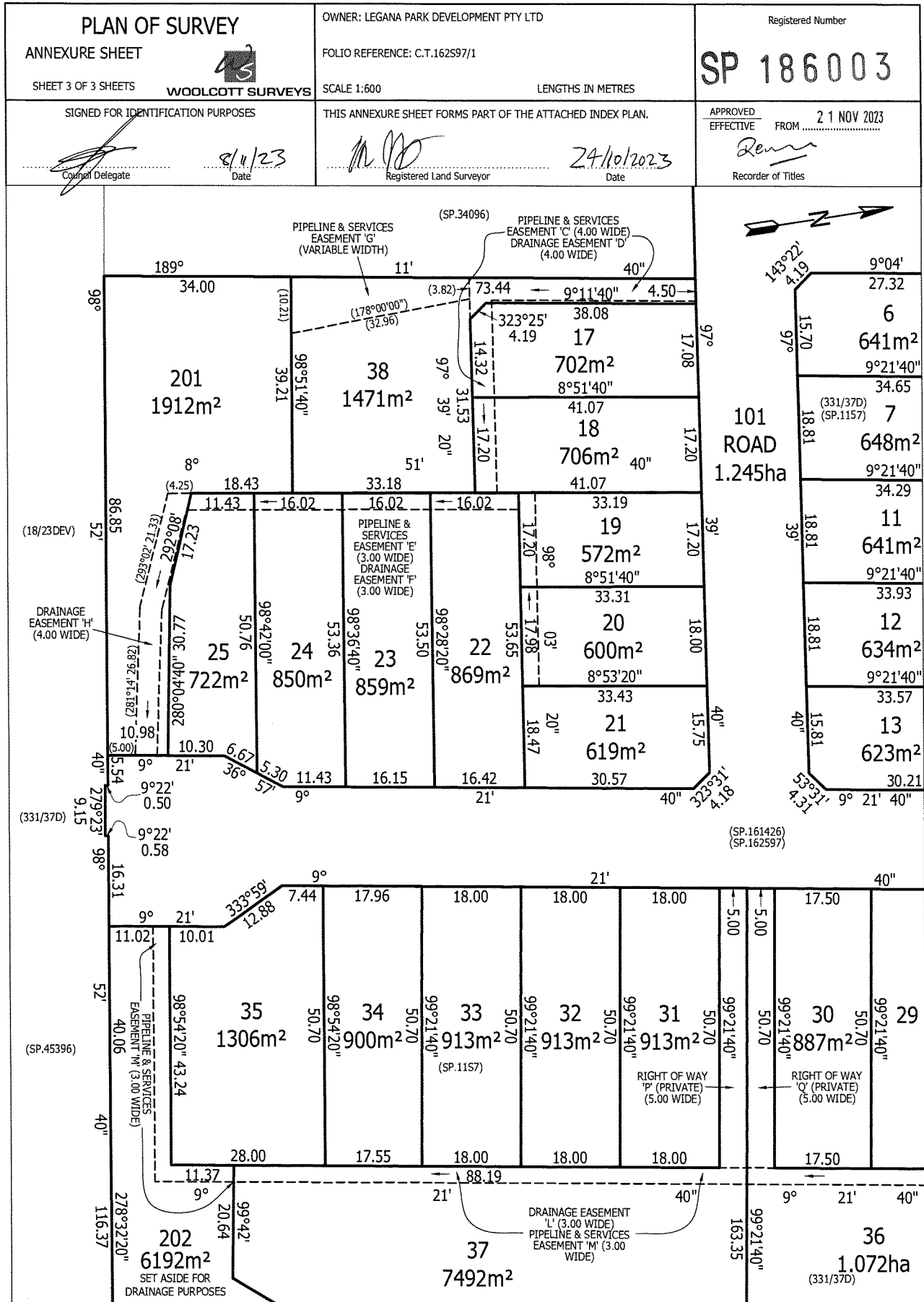
PRIORITY FINAL PLAN



PRIORITY FINAL PLAN



PRIORITY FINAL PLAN



PROJECT ADDRESS:

14 CONNEMARA CLOSE, LEGANA

OWNER:

C & S VAN DER KLEY

DATE:

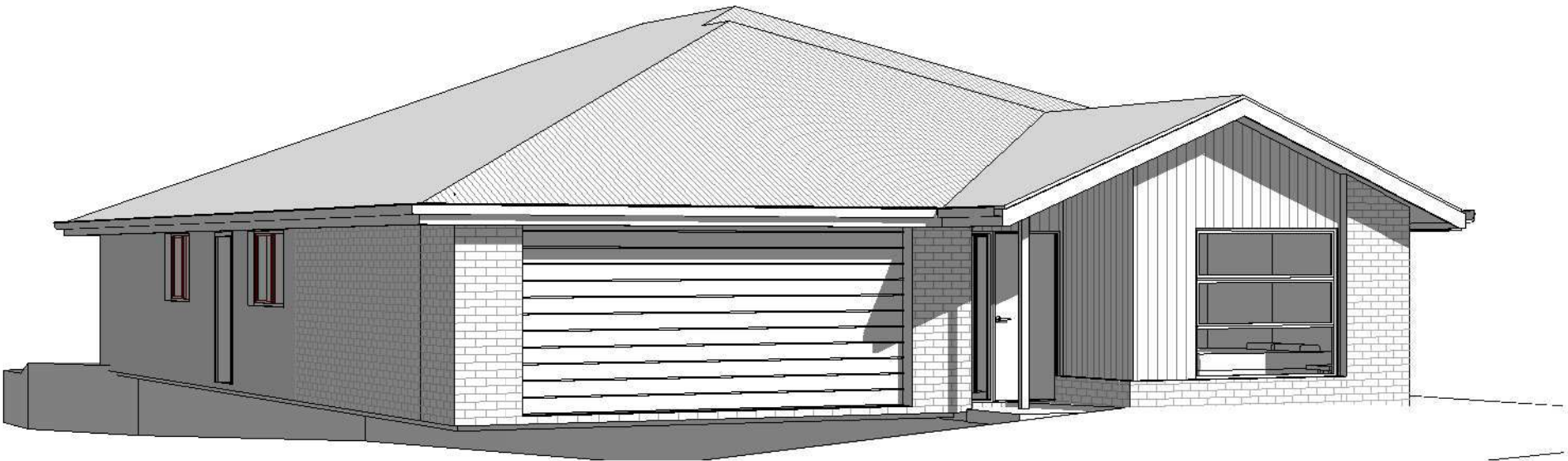
16.05.25

PROJECT No:

HHL25006

REV:

04



Drawing List

No.	Drawing	Revision
00	Cover Page	
01	Site Plan	
02	Concept Plan	
03	Floor Plan	
04	Elevations	Remove rendered sections (Selections 7/7)
05	Roof Plan	
06	Electrical Plan	
07	3D Views	
08	Plumbing Plan	

Site Classification:	H1
Wind Classification:	N2
Climate Zone:	7
BAL:	LOW

Floor Areas

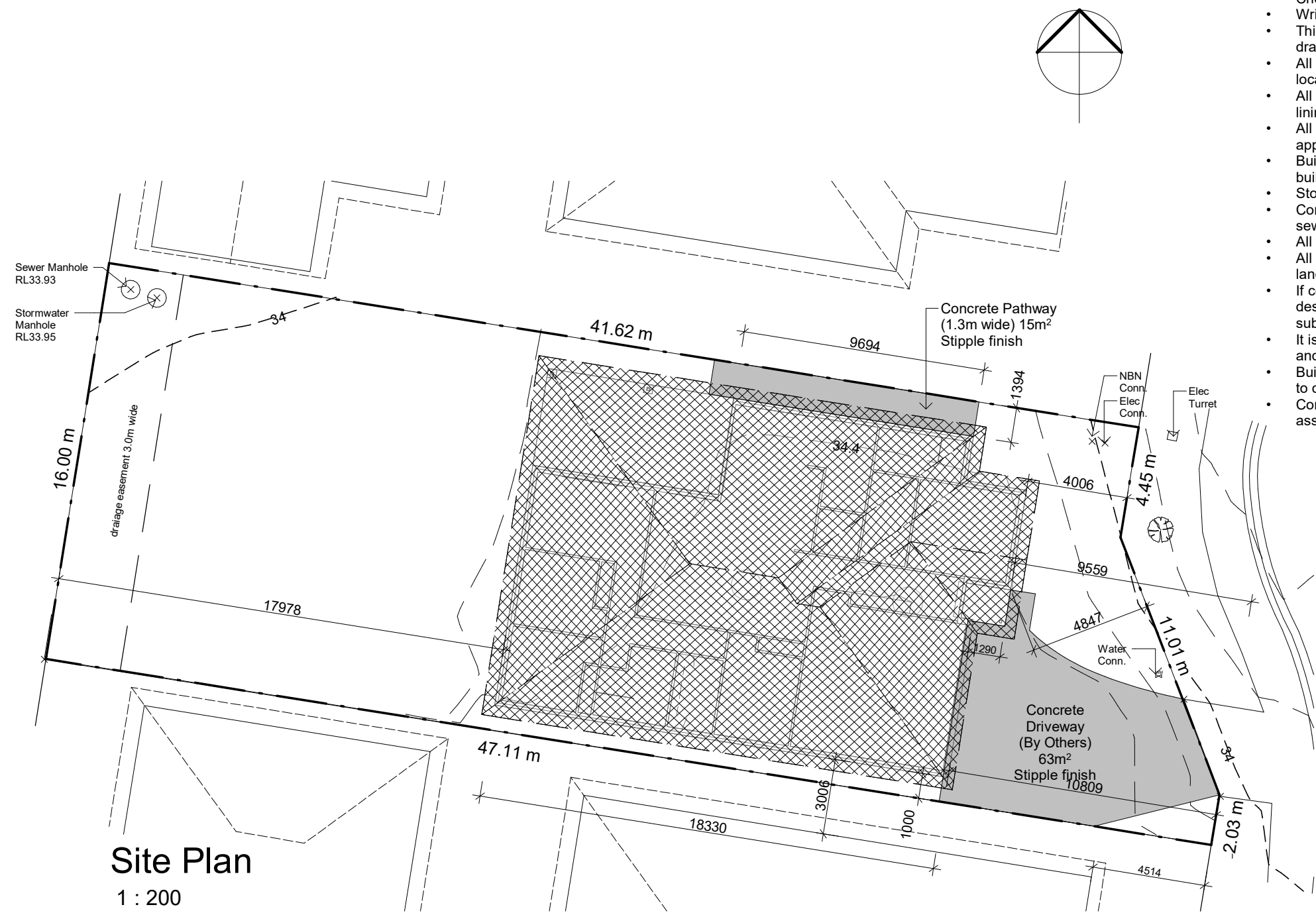
RESIDENCE	181.26
GARAGE	40.64
PORCH	3.32
ALFRESCO	29.55
TOTAL	254.77



Hotondo
Homes

PLANNING

Conceptual Design Disclaimer: These drawings are provided for conceptual design purposes only and should not be used for construction.
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Site Plan
1 : 200

- Survey Notes:**
- Survey Undertaken **24.03.25**
 - Purpose for this survey is for residential dwelling deisgn and not to be used for other purposes
 - Location: Lot 15, 14 Connemara Close, Legana**
 - Title Ref: CT. 186003/15**
 - Underground Assest not located
 - Survey conducted by *Radian Surveying*
 - Co-ordinate datum plane based on MGA2020 coords at BM Nail in kerb "B"
 - Level datum AHD83 per Smartnet GNSS connection.
 - Contour Interval 0.2m, index interval 1.0m**
 - Boundaries and easements compiled only from **SP186003**
 - Boundaries are indicative only and are subject to remark survey where proposed works are close to or along boundaries.
 - Adjoining house levels to ridge lines, gutter heights or top of window openings where shown.

PLANNING:
Zone:
General Residential
Overlays:
Natural Assets
Bushfire Prone Area

Site Coverage:
Site 703m2
House 255m2
255/703 = 0.36 (36%)

8.4.2 (P1&P2) Front Setback Variation:
Due to the shape of the site positioning of the neighboring houses the setback proposed is consistent by staggering the building profiles between the 2 existing constructed dwellings. Garage is setback 1.2m from house frontage.

8.4.2 (P3) Side Setback Variation:
The site is narrow and 2 lots of multiple dwelling developments are neighboring this site. By extending the house length to greater than 9m, it provides additional privacy to the proposed new dwelling's Private Open Space. Minimal windows are located on these wall lengths with fence of 1.8m high is separating these dwellings. Setbacks are consistent with neighboring sites. Site is flat and minimal overlooking will apply.

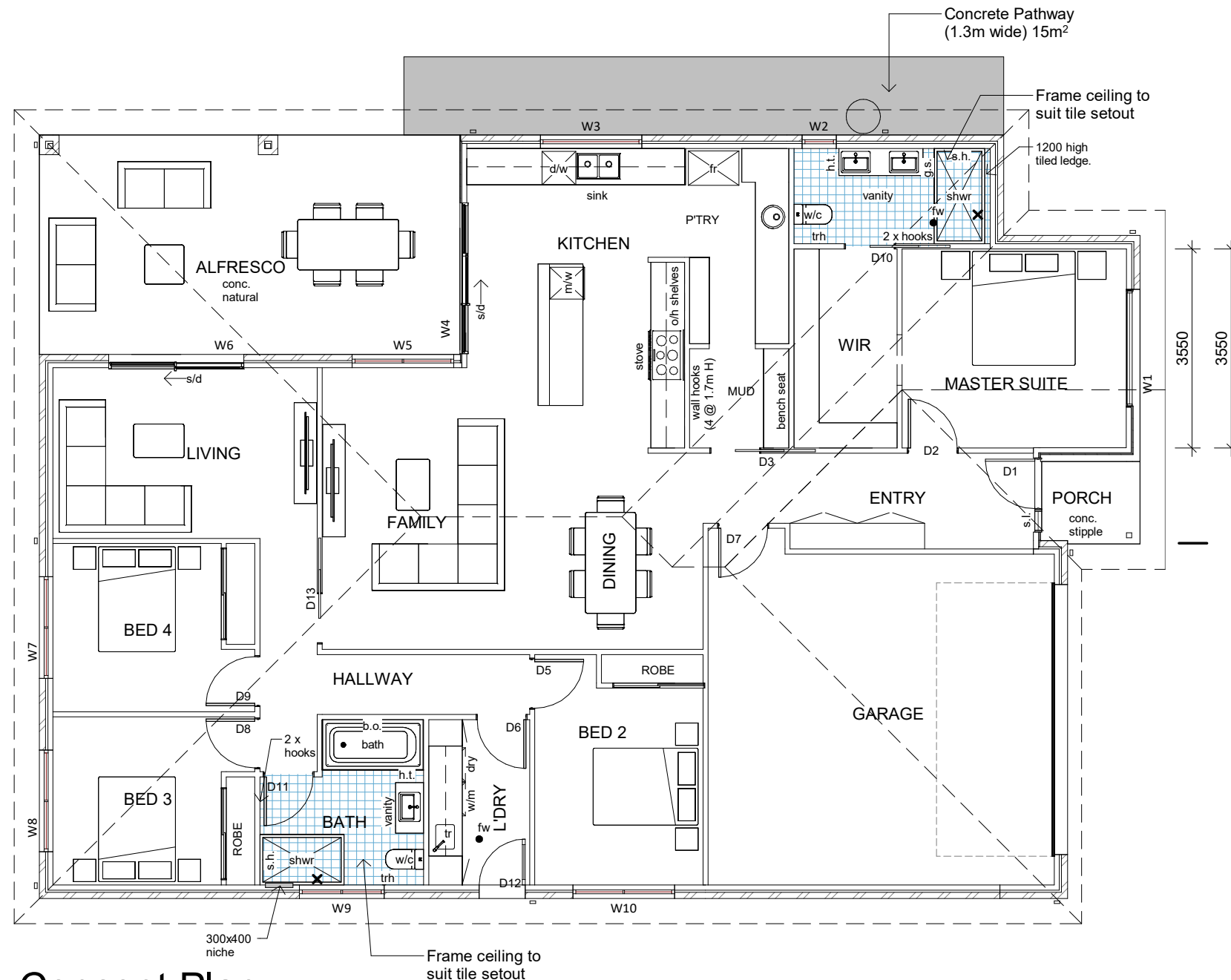
- General notes**
- Check & verify all dimensions, levels and floor areas on site
 - Written dimensions to take preference over scaled
 - This drawing is to be read in conjunction with the engineer's structural drawings
 - All work to be strictly in accordance with NCC 2019, all SAA Codes & local authority by-laws
 - All dimensions indicated are frame to frame and do not allow for wall linings
 - All plumbing works to be strictly in accordance with AS3500 & approved by council inspector
 - Builder/plumber to ensure adequate fall to site and away from buildings
 - Stormwater to be handled to avoid drainage to neighbouring sites.
 - Connection points in accordance with AS3500 for stormwater and sewer before construction commences
 - All windows and glazing to comply with AS1288 & AS2047
 - All set out of buildings & structures to be carried out by a registered land surveyor and checked prior to construction
 - If construction of the design in this set of drawings differ from the design and detail in these and any associated documents inclusive of sub-consultants reports, builder and owner are to notify designer
 - It is the builder's responsibility to comply with all planning conditions and where variations exist to contact designer
 - Builder to have stamped building approval drawings and permits prior to commencement of construction
 - Construction to comply with AS3959, read in conjunction with bushfire assessment report.

CONNEMARA CLOSE



JOB ADDRESS: 14 CONNEMARA CLOSE, LEGANA	
OWNER: C & S VAN DER KLEY	
DESIGN NAME: KIRKBY 246	
DRAWING: Site Plan	
DRAWN BY: TCP	APPROVED BY: TCP
DATE: 16.05.25	SCALE: 1 : 200
PROJECT/PAGE No: HLD25006 -01	REV: 04

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Concept Plan
1 : 100

Window Schedule

Mark	Height	Width	Description	Comments
1	1800	2050	Awning Window	
2	1000	610	Awning Window	opaque
3	715	1810	Awning Window	
4	2100	2688	Glass Sliding Door	
5	1500	1810	Awning Window	
6	2100	2410	Glass Sliding Door	
7	1000	1810	Awning Window	
8	1000	1810	Awning Window	
9	1000	1510	Awning Window	opaque
10	1000	1810	Awning Window	

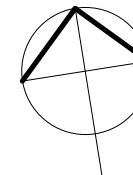
All windows to be check measured on-site prior to order and insallation. Ensure flyscreens are BAL compliant.
Glazing certification to be provided to Building Surveyor.

Door Schedule

Mark	Width	Description	Comments
1	920	Front Entry Door	350 sidelight
2	870	Internal Timber Door	
3	870	Cavity Sliding Door	
5	870	Internal Timber Door	
6	870	Internal Timber Door	
7	870	Internal Timber Door	Solid Core
8	870	Internal Timber Door	
9	870	Internal Timber Door	
10	870	Cavity Sliding Door	
11	870	Internal Timber Door	
12	820	External Glass Door	
13	870	Cavity Sliding Door	

Floor Areas

RESIDENCE	181.26
GARAGE	40.64
PORCH	3.32
ALFRESCO	29.55
TOTAL	254.77



Legend

- Painted Feature wall
- g.s. Glass Screen
- t.r. Towel Rail
- trh Toilet Roll Holder
- h.t. Hand Towel Rail
- b.o. Bath Outlet (Spout)
- s.h. Shower Head
- ✕ Mixer Tap



Hotondo
Homes

JOB ADDRESS:
14 CONNEMARA CLOSE,
LEGANA

OWNER:
C & S VAN DER KLEY

DESIGN NAME:
KIRKBY 246
DRAWING:
Concept Plan

DRAWN BY: TCP
APPROVED BY: TCP

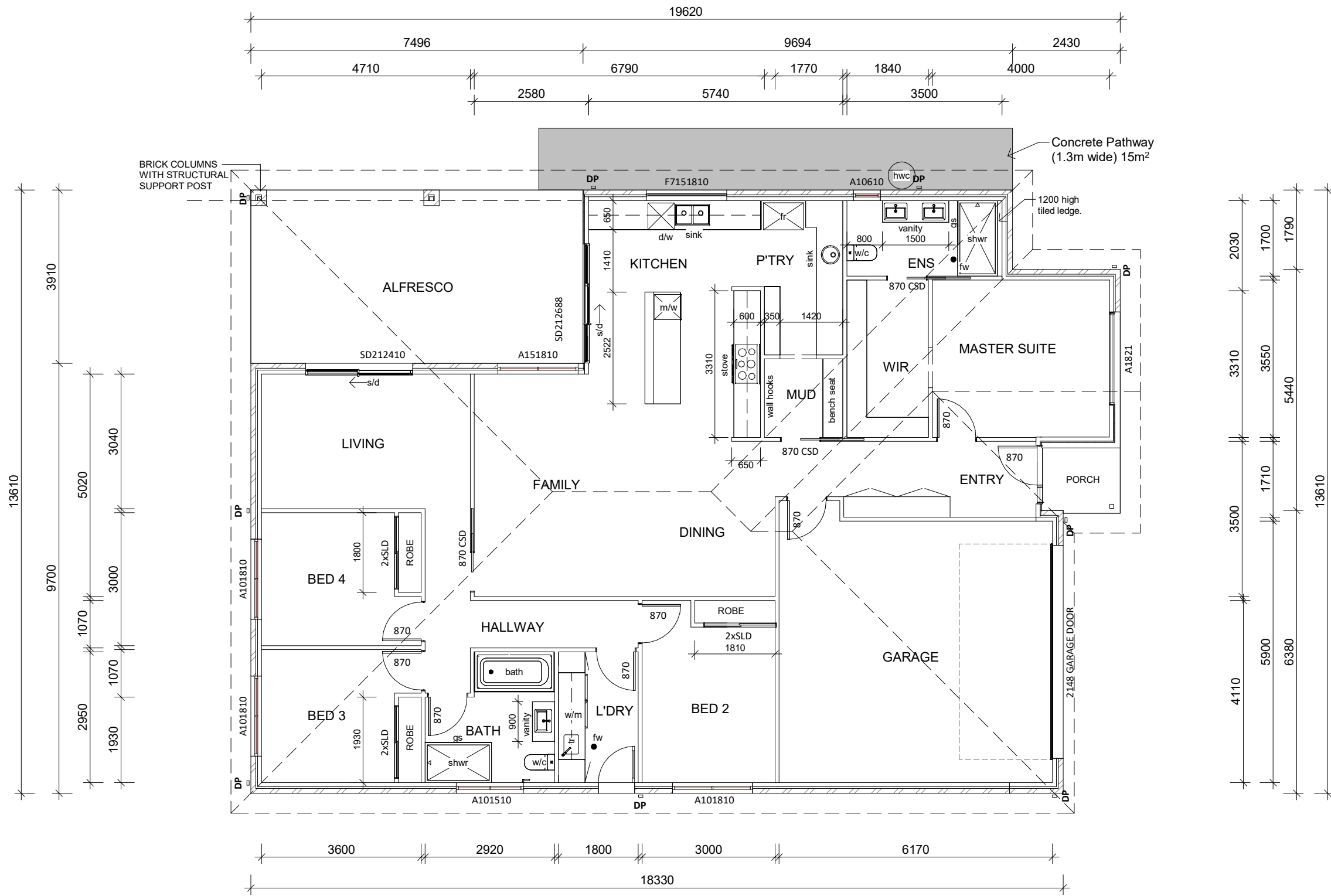
DATE: 16.05.25
SCALE: 1 : 100

PROJECT/PAGE No: HLD25006 -02
REV: 04

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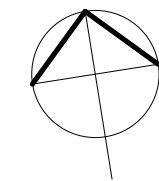


JOB ADDRESS: 14 CONNEMARA CLOSE, LEGANA	
OWNER: C & S VAN DER KLEY	
DESIGN NAME: KIRKBY 246	
DRAWING: Floor Plan	
DRAWN BY: TCP	APPROVED BY: TCP
DATE: 16.05.25	SCALE: 1 : 100
PROJECT/PAGE No: HLD25006 -03	REV: 04

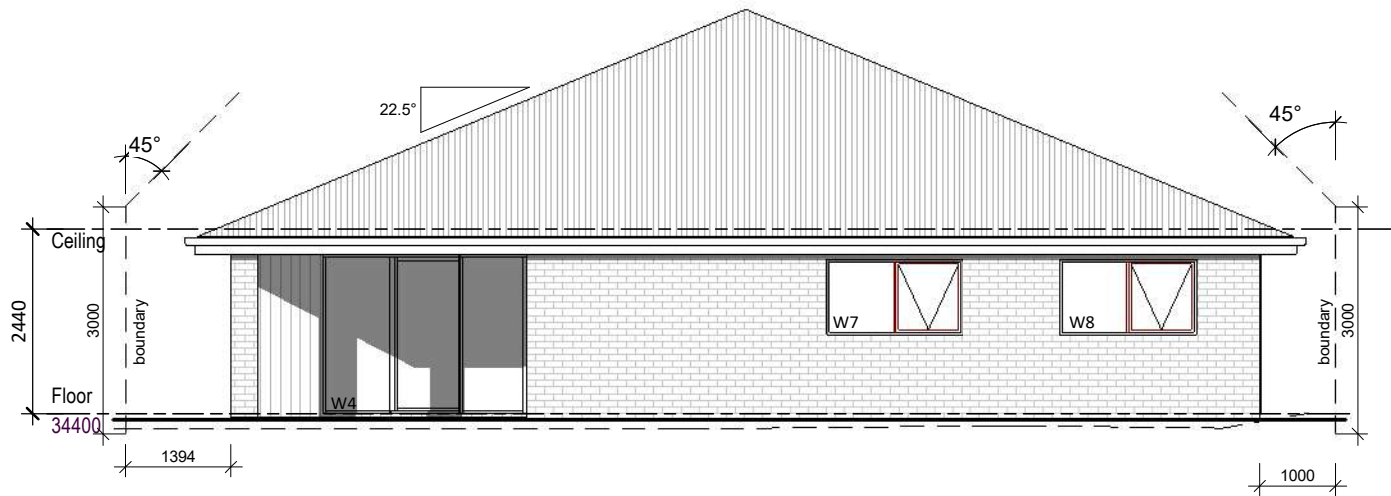


Floor Plan - Dimension
1 : 100

Floor Areas	
RESIDENCE	181.26
GARAGE	40.64
PORCH	3.32
ALFRESCO	29.55
TOTAL	254.77



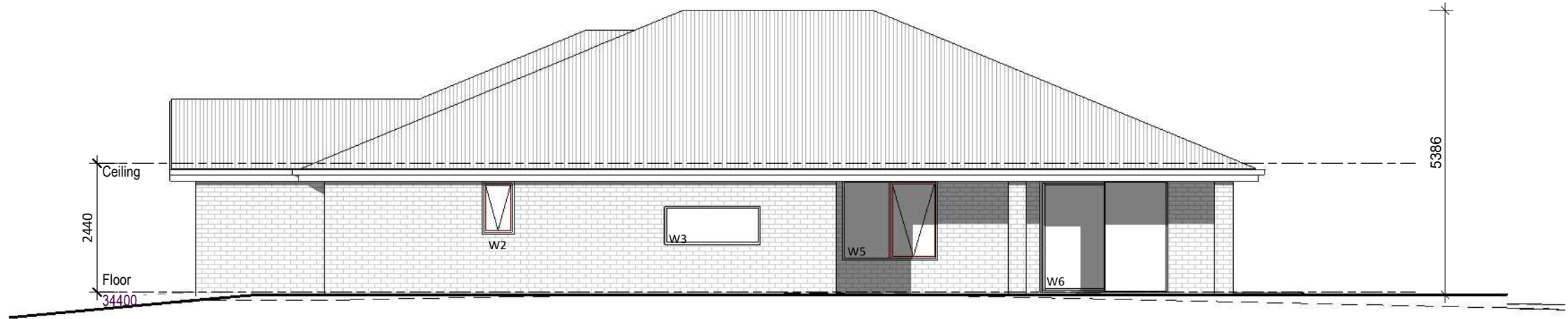
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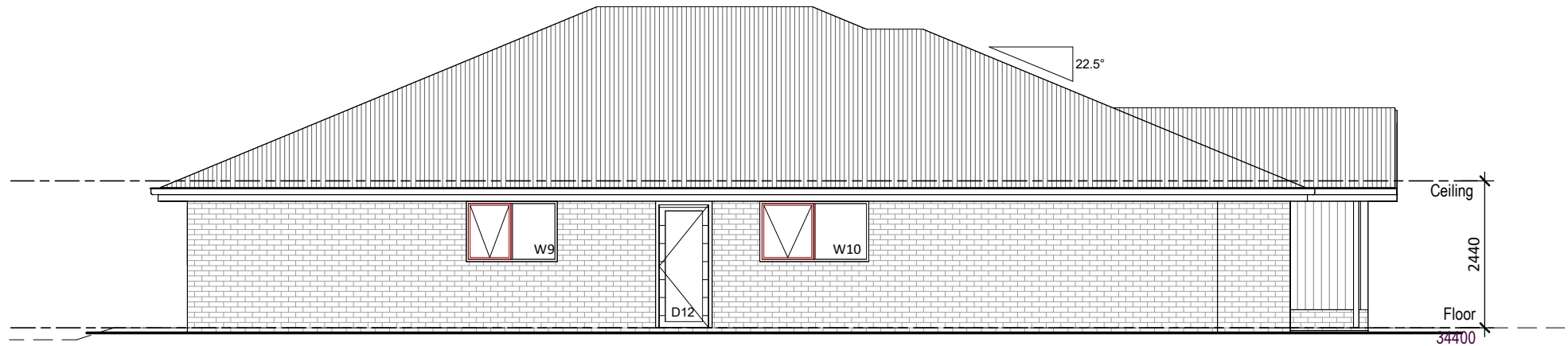
WESTERN ELEVATION
1 : 100



EASTERN ELEVATION
1 : 100



NORTHERN ELEVATION
1 : 100



SOUTHERN ELEVATION
1 : 100



Hotondo
Homes

JOB ADDRESS:
14 CONNEMARA CLOSE,
LEGANA

OWNER:
C & S VAN DER KLEY

DESIGN NAME:
KIRKBY 246
DRAWING:
Elevations

DRAWN BY: TCP	APPROVED BY: TCP
DATE: 16.05.25	SCALE: 1 : 100

PROJECT/PAGE No: HLD25006 -04	REV: 04
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**Hotondo
Homes**

JOB ADDRESS:
14 CONNEMARA CLOSE,
LEGANA

OWNER:
C & S VAN DER KLEY

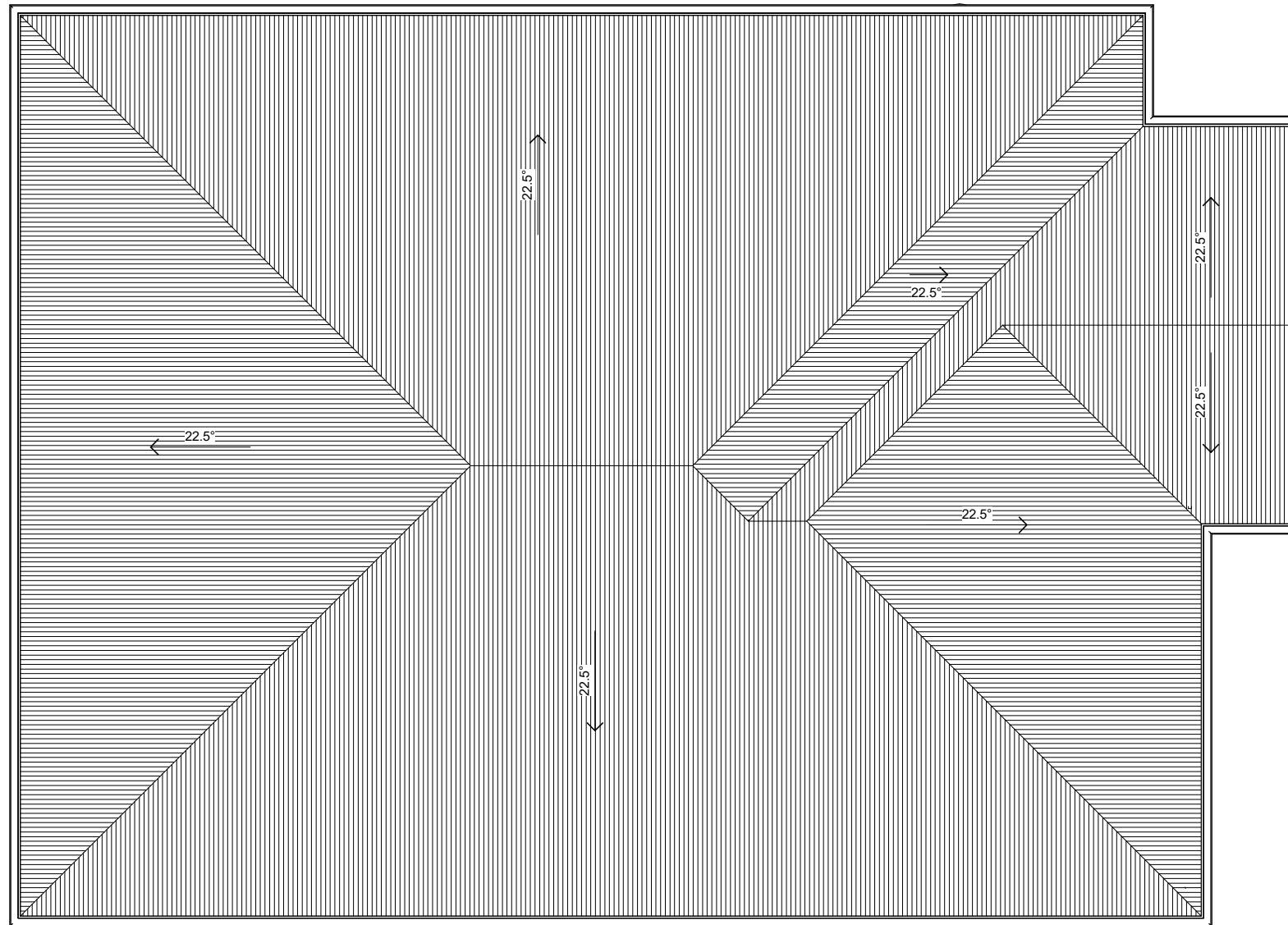
DESIGN NAME:
KIRKBY 246

DRAWING:
Roof Plan

DRAWN BY:	APPROVED BY:
TCP	TCP

DATE:	SCALE:
16.05.25	1 : 100

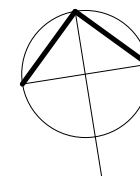
PROJECT/PAGE No:	REV:
HLD25006 -05	04



Roof Plan

1 : 100

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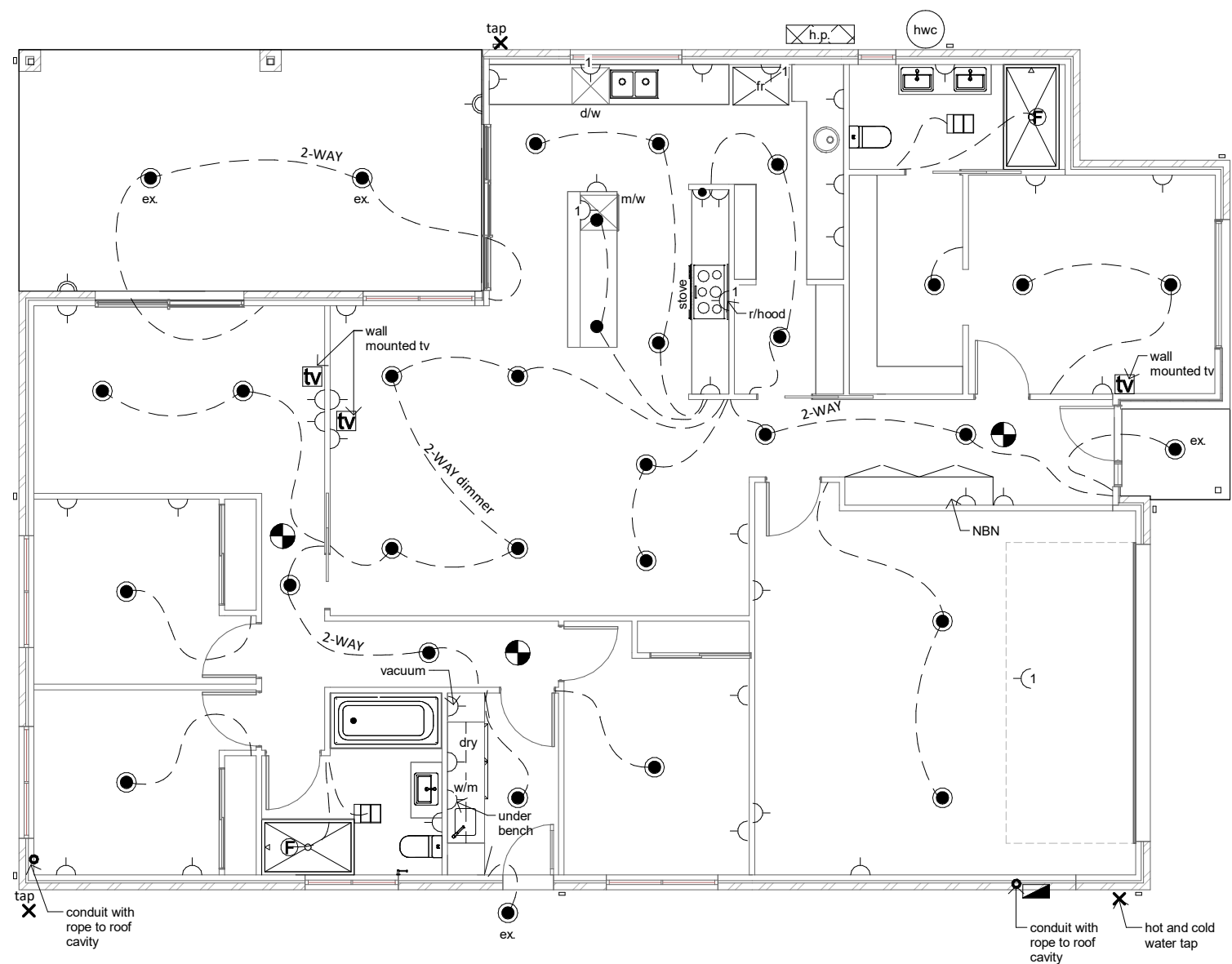


Hotondo
Homes

JOB ADDRESS: 14 CONNEMARA CLOSE, LEGANA	
OWNER: C & S VAN DER KLEY	
DESIGN NAME: KIRKBY 246	
DRAWING: Electrical Plan	
DRAWN BY: TCP	APPROVED BY: TCP
DATE: 16.05.25	SCALE: 1 : 100
PROJECT/PAGE No: HLD25006 -06	REV: 04

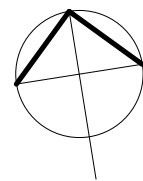
Legend

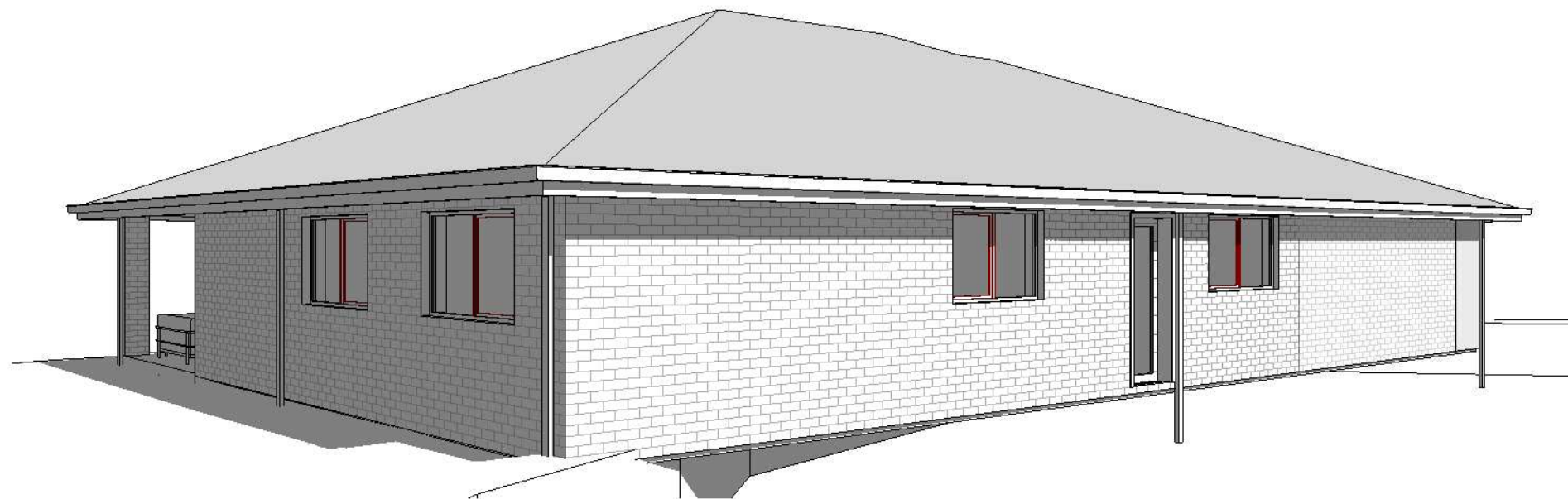
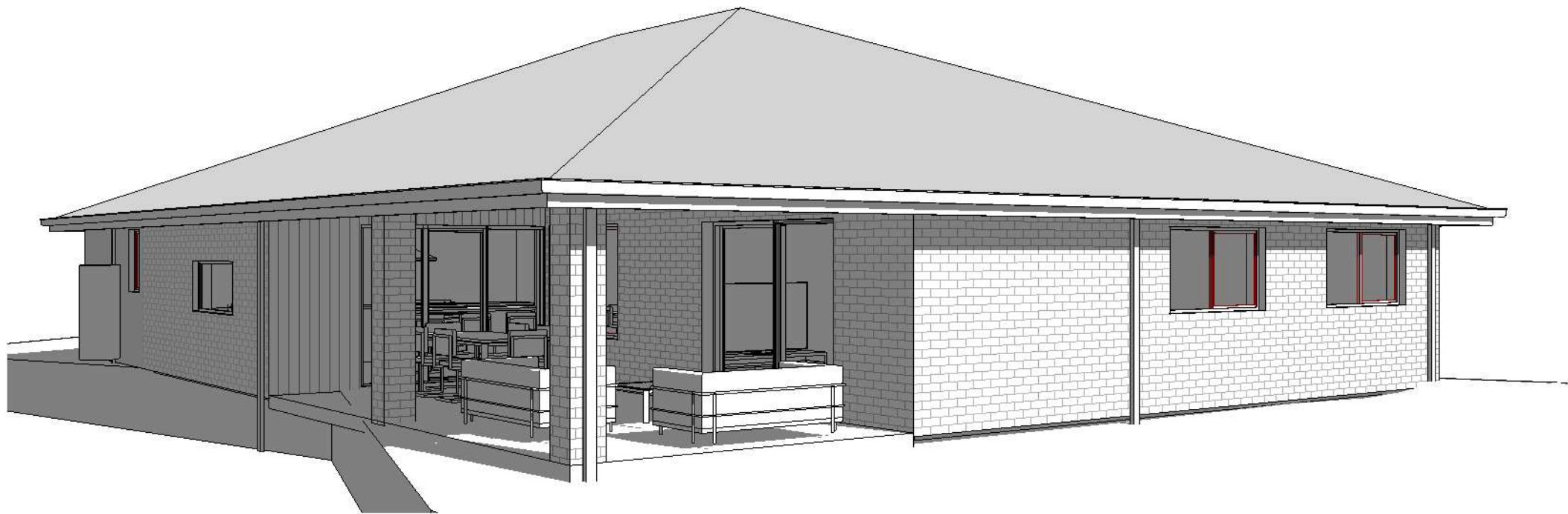
- Wall Light
(ext.=External, int.=Internal)
- Batten Fix Ceiling Light
- LED Down Light (ext. External)
(ext.=External, w.=Wet Area)
- LED Down Light
- LED Strip Lighting
- Four Light with Fan and Heat
c/w Damper exhaust to outside.
- Wall Light
(ext.=External)
- Exhaust Fan to outside
- 2 way Switch
- 1 way Switch
- Dimmer Switch
- Single General Purpose Outlet (GPO)
- Double General Purpose Outlet (GPO)
- Television Outlet
- Exhaust Fan to outside
- Heat Pump Wall Unit (internal)
- Heat Pump -Return Air Vent
- Heat Pump -Ceiling Outlet



Electrical Plan
1 : 100

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**Hotondo
Homes**

JOB ADDRESS:
14 CONNEMARA CLOSE,
LEGANA

OWNER:
C & S VAN DER KLEY

DESIGN NAME:
KIRKBY 246

DRAWING:
3D Views

DRAWN BY:	APPROVED BY:
TCP	TCP

DATE:	SCALE:
16.05.25	

PROJECT/PAGE No:	REV:
HLD25006 -07	04

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Hotondo Homes

JOB ADDRESS:
14 CONNEMARA CLOSE,
LEGANA

OWNER:
C & S VAN DER KLEY

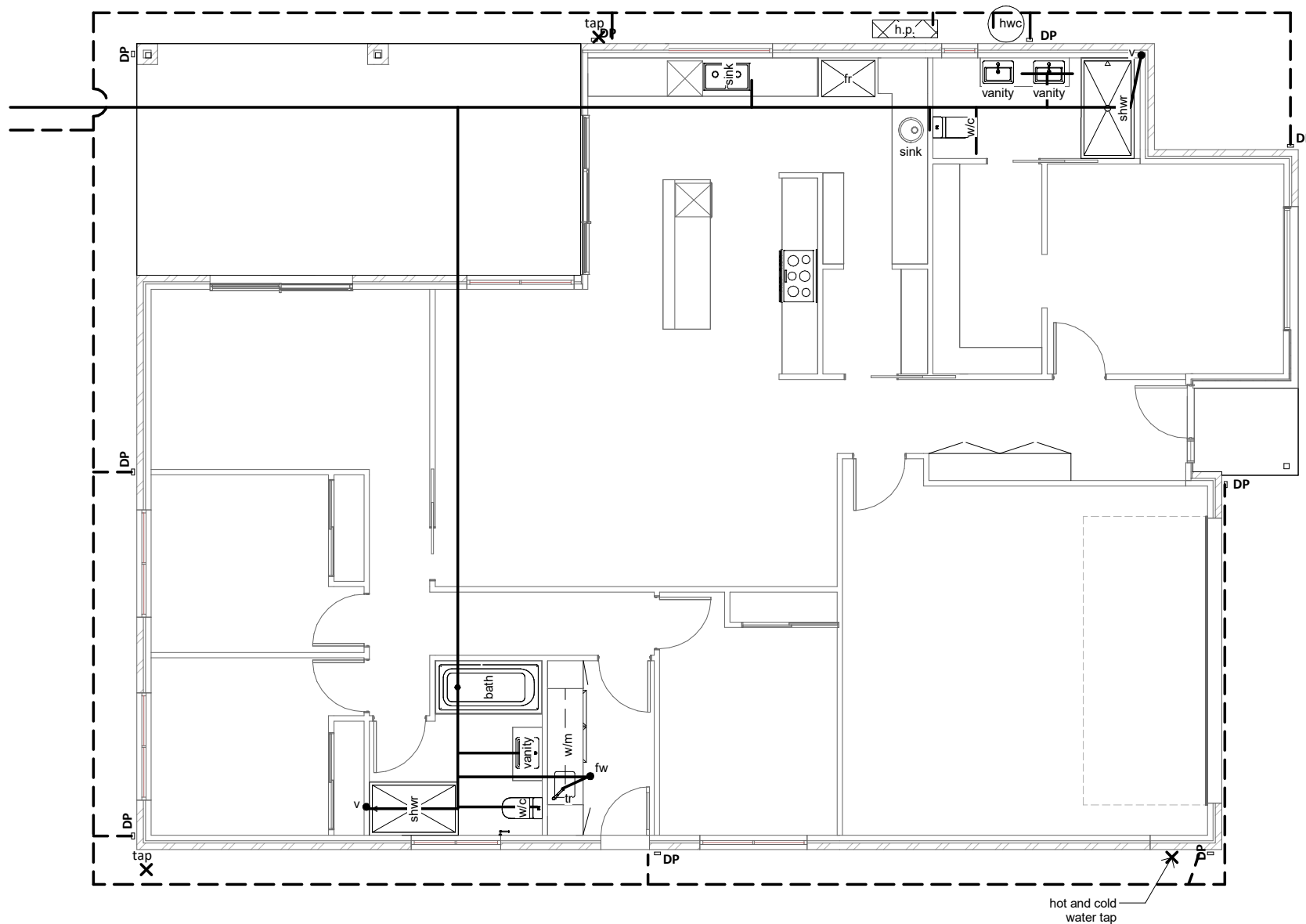
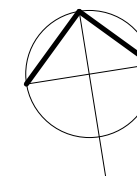
DESIGN NAME:
KIRKBY 246

DRAWING:
Plumbing Plan

DRAWN BY: TCP
APPROVED BY: TCP

DATE: 16.05.25
SCALE: 1 : 100

PROJECT/PAGE No: **HLD25006 -08**
REV: **04**



Plumbing Plan

1 : 100

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