

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number **PA2025289**

Assess No: **A8293**

PID No: **6094837**

Applicant Name:	Design To Live				
Postal Address:					
Contact Phone:	Home		Work		Mobile
Email Address:					

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements
2. A completed application form including a detailed description of the proposal
3. A complete plan set:
 - a) Floor plans
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level)
 - c) Site Plan showing:
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:



*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: Design To Live Denika McDonald-Hodges

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) JENNIFER KELLOWAY

Location / Address: 15 TOP ROAD, GREENS BEACH

Title Reference: 211443/1

Zone(s): LOW DENSITY RESIDENTIAL

Existing Development/Use: RESIDENTIAL

Existing Developed Area: Area APPROX 75M2

DEVELOPMENT APPLICATION DETAILS

Proposed Use: Residential: ☒ Visitor Accommodation: ☐ Commercial: ☐ Other: ☐
Description of Use:
RESIDENTIAL

Development Type: Building work: ☒ Demolition: ☐ Subdivision: ☐ Other: ☐
Description of development:
PROPOSED EXTENSION

New or Additional Area: Area 35m2

Estimated construction cost of the proposed development: \$ 80,000

Building Materials:
Wall Type: REF. PLANS Colour: REF. PLANS
Roof Type: REF. PLANS Colour: REF. PLANS

Application Number: «Application Number»

SUBDIVISION	N/A
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Subdivision creating additional lots ☐
 Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE	N/A
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Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: <i>(Existing)</i>	
Number of Employees: <i>(Proposed)</i>	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

(if not the owner)

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**General
Manager**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

OS-D275

ANNEXURE TO CERTIFICATE OF TITLE VOL. 2483 FOL. 36

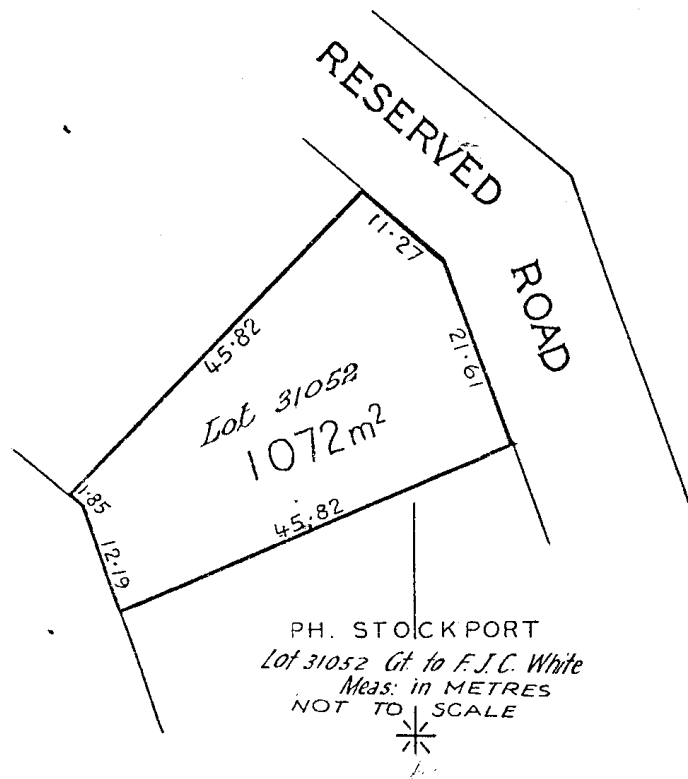
M. J. Harrison
Recorder of Titles

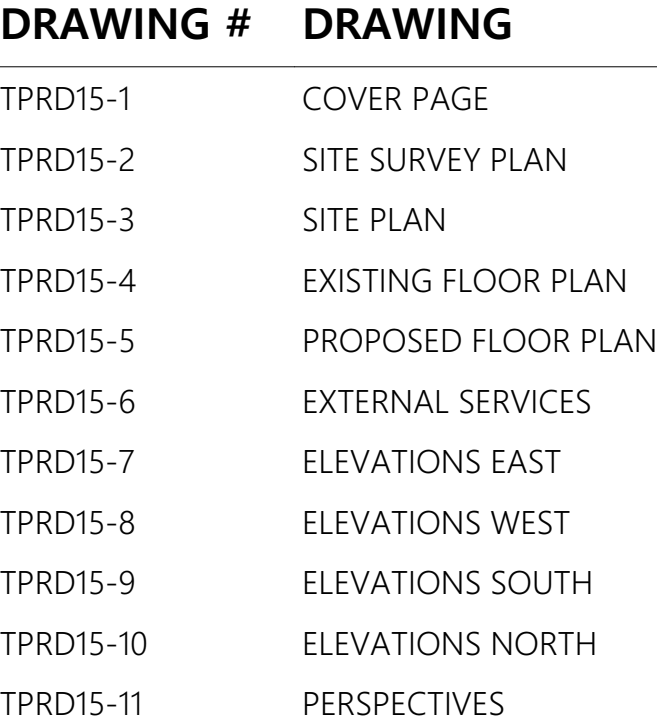
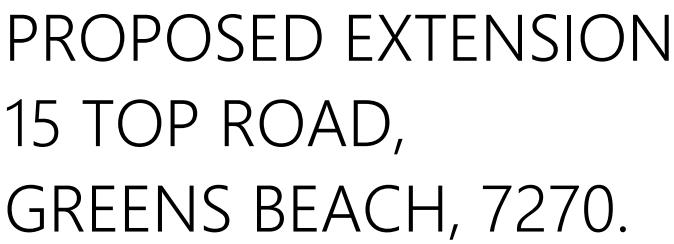


REGISTERED NUMBER

211443

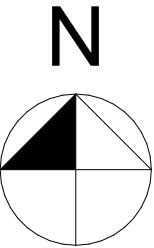
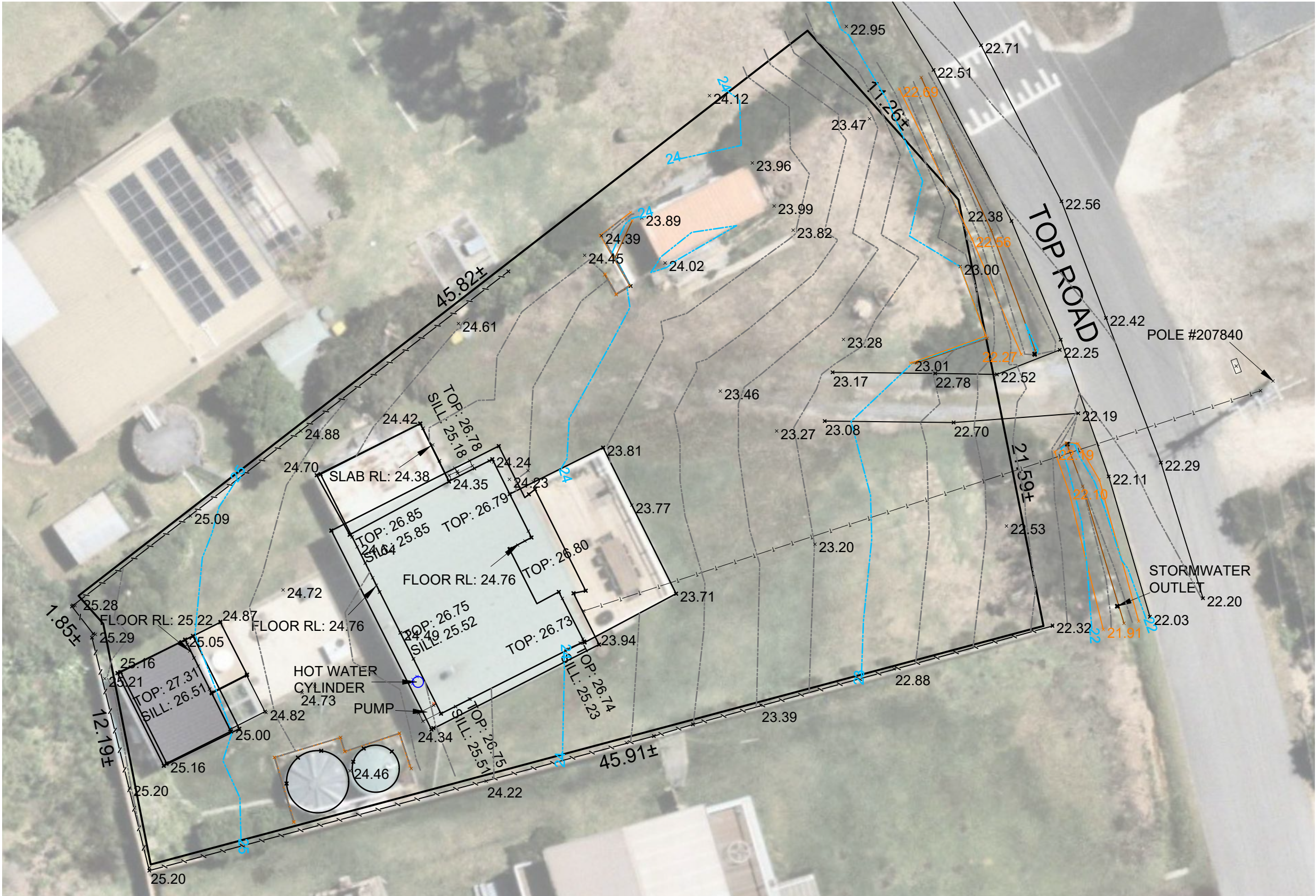
Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.





ATTACHMENTS

 ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: JENNIFER KELLOWAY	DRAWING COVER PAGE	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.	SIGNATURE: _____ DATE: _____ SIGNATURE: _____ DATE: _____	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV. DATE DESCRIPTION	DESIGNER M.L. JOB NUMBER TPRD15
	SITE ADDRESS: 15 TOP ROAD, GREENS BEACH, 7270.					R1 08/09/2025 FOR REVIEW	DRAWN D.M. DRAWING 1/11
							CHECKED M.L. SCALE (@A3) NTS



- SURVEYOR: LWB

DATE: 26/06/25
1. THIS PLAN HAS BEEN PREPARED BY NOVA LAND CONSULTING FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT USED FOR ANY OTHER PURPOSE.

2. TITLE BOUNDARIES SHOWN WERE NOT MARKED AT THE TIME OF THIS SURVEY.

3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.

4. NOVA LAND CONSULTING CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF NOVA LAND CONSULTING.

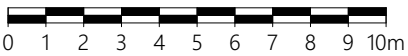
6. HORIZONTAL BEARING DATUM IS PLANE PER RTK GNSS OBSERVATIONS.

7. VERTICAL DATUM IS AHD83 AND REFERENCED TO SPM10076.

8. CONTOUR INTERVAL IS 0.20m INDEX IS 1.00m.

9. BOUNDARIES ARE COMPILED FROM 163/20LO, SP.13165 REPEG, D.38838 REPEG, R.211443/1, SIO.168491, & SIO.186182 AND ARE APPROXIMATE AND SUBJECT TO SURVEY.

10. CO-ORDINATES ARE PLANE AND REFERENCED TO MGA 2020 AT SPM10076.



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E. info@designtolive.com.au

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JENNIFER KELLOWAY

SITE ADDRESS:

15 TOP ROAD,

GREENS BEACH, 7270.

DRAWING

SITE SURVEY

PLAN

I/WE APPROVE THESE DRAWING TO BE

CORRECT PER CONTRACT.

SIGNATURE:

SIGNATURE:

DATE:

DATE:

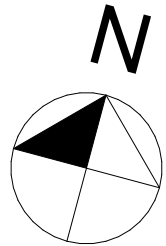
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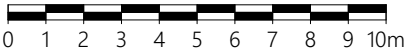
REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	TPRD15
R1	08/09/2025	FOR REVIEW				
			DRAWN	D.M.	DRAWING	2/11
			CHECKED	M.L.	SCALE (@A3)	1:1



LOCALITY PLAN
NOT TO SCALE



AREA	m ²
EXISTING DWELLING	74.71
EXISTING DECK	44.37
EXTENSION	34.93
PROPOSED DECK	19.06



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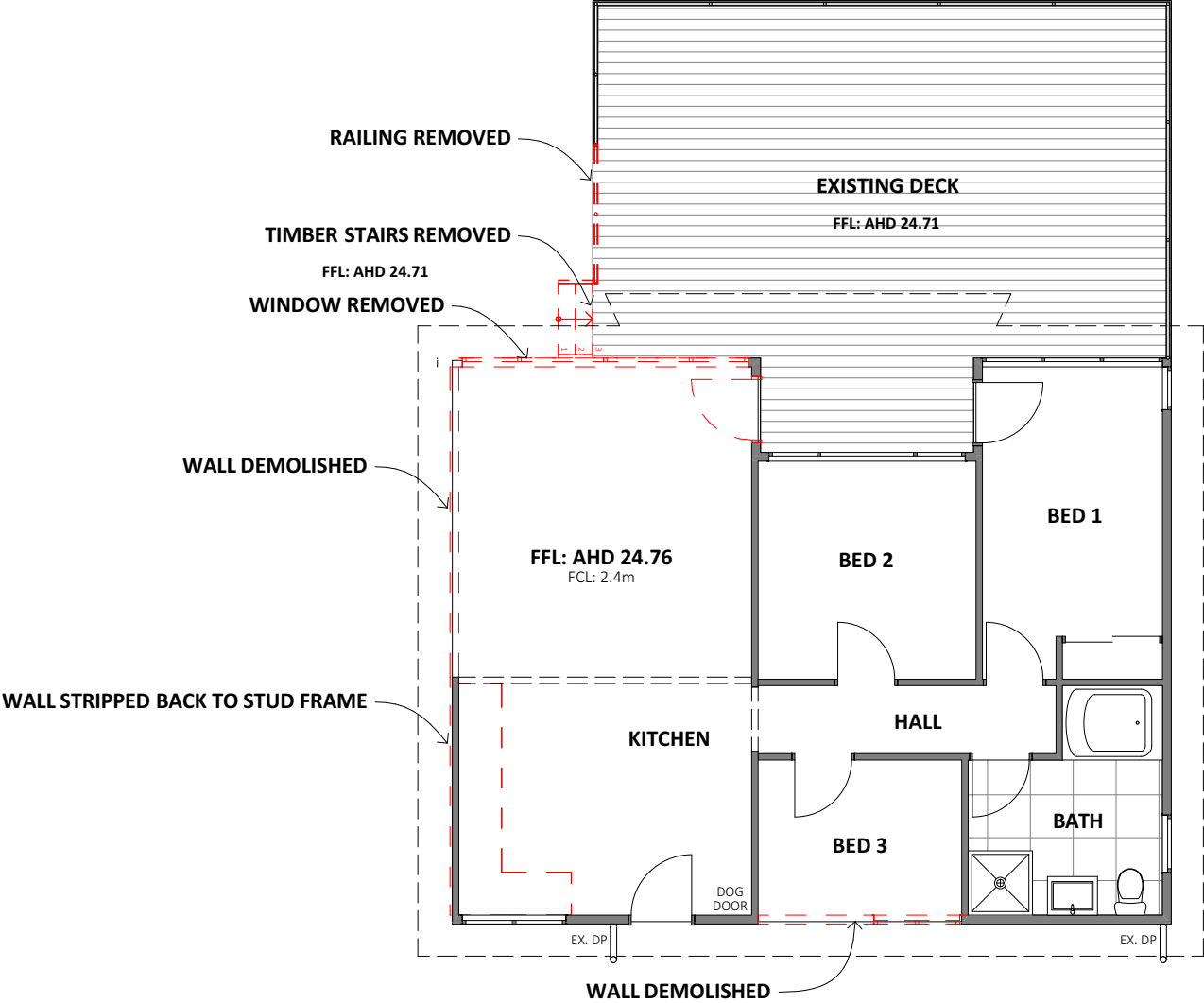
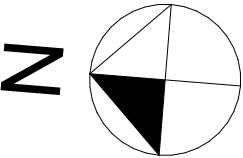
DRAWING
SITE PLAN

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R1	08/09/2025	FOR REVIEW	DRAWN	D.M.	DRAWING	3/11
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KEY:	
	NEW WALL
	WALL TO BE REMOVED
	EXISTING/UNMODIFIED



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DRAWING
EXISTING FLOOR
PLAN

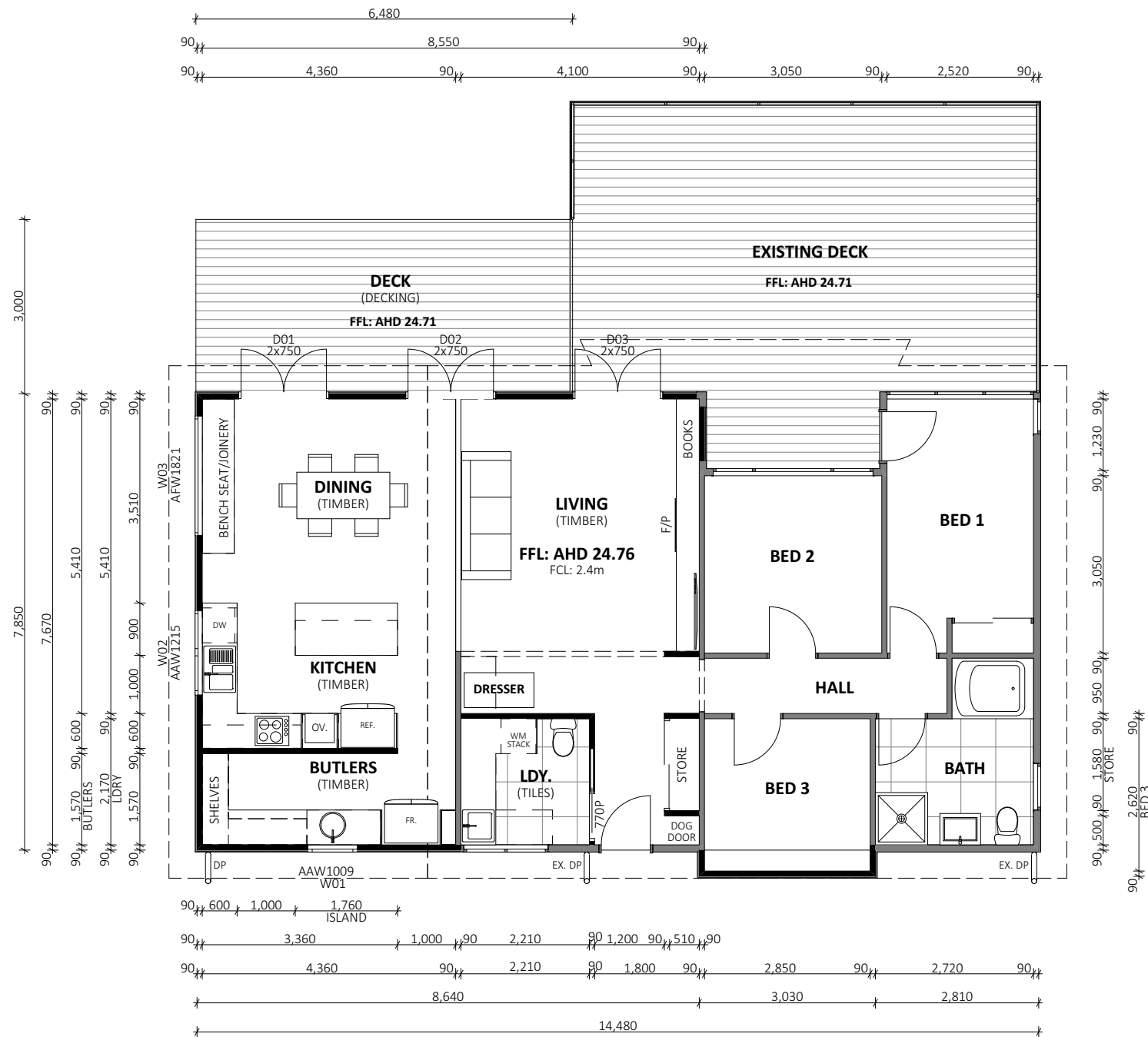
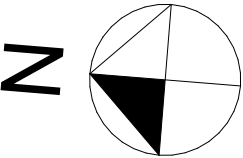
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			CHECKED	M.L.	SCALE (@A3)	1:100



KEY:	
	NEW WALL
	WALL TO BE REMOVED
	EXISTING/UNMODIFIED



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W. designtolive.com.au

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**DRAWING
PROPOSED
FLOOR PLAN**

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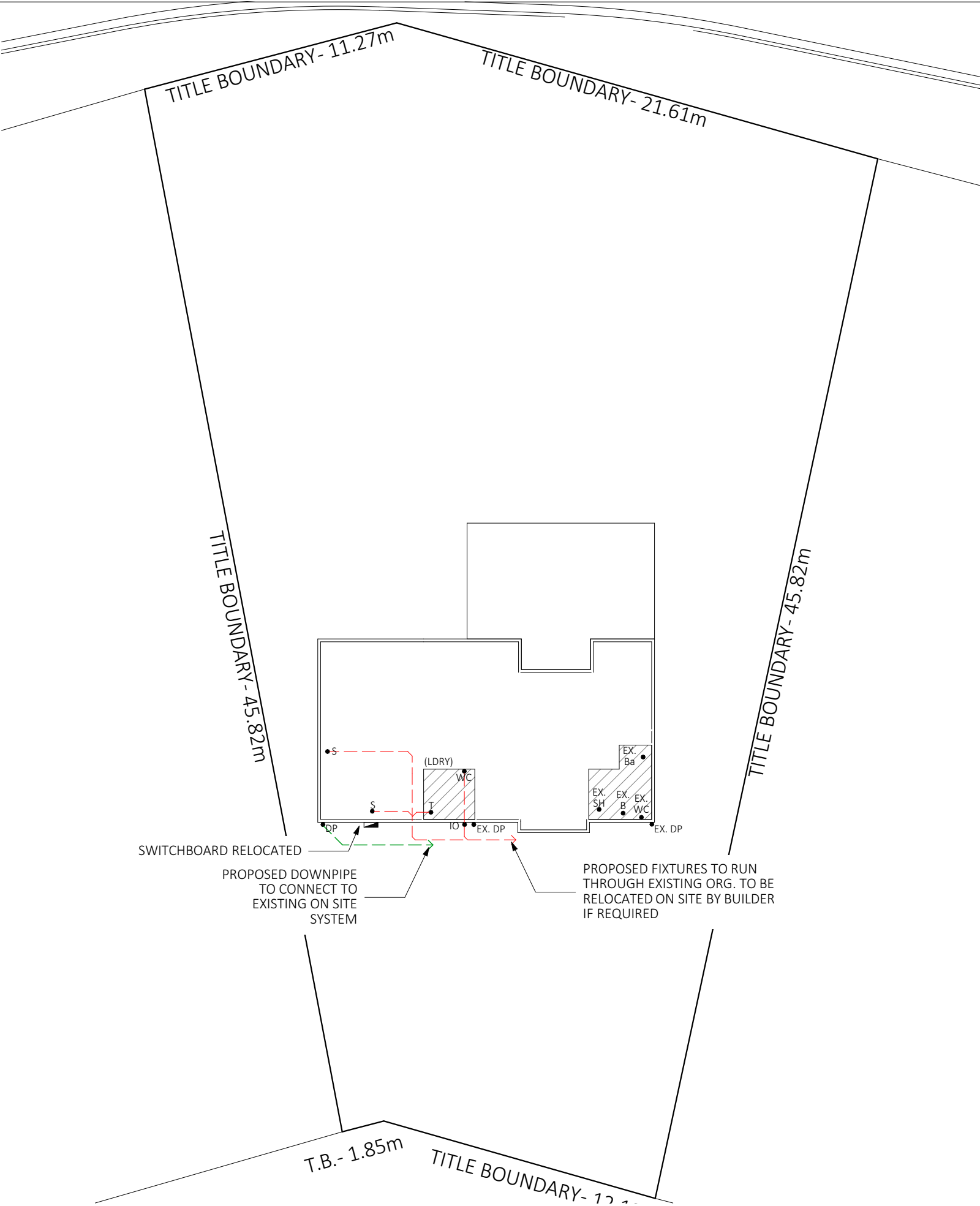
LEGEND	
B	BASIN
Ba	BATH (POP-UP PLUG WITH REMOVABLE WASTE)
S	SINK (65Ø)
T	LAUNDRY TUB (65Ø)
SH	SHOWER
WC	WATER CLOSET
FW	FLOOR WASTE
EV	VENT (THROUGH TO ROOF)
IO	INSPECTION OPENING
ORG	O/FLOW RELIEF GULLY
RE	RODDING EYE
X	EXTERNAL TAP
P	DRAINAGE PIT (450 x 450mm)
DP	DOWNPIPE (90Ø)
	WET AREAS
	STORMWATER LINE (100mm PVC)
	SEWER LINE (100mm PVC)
	AG. DRAIN

THIS PAGE IS TO BE PRINTED
AND READ IN COLOUR.

NOTE:
NEW PLUMBING FIXTURES TO RUN THROUGH EXISTING ORG. ORG TO BE UPGRADED OR NEW ORG TO BE INSTALLED TO SUIT CURRENT STANDARDS IF REQUIRED. TBC ON SITE BY LICENSED PLUMBER.

NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH AS-3500 AND LOCAL PLUMBING CODE AND SHOULD BE CARRIED OUT BY A LICENSED PLUMBER.

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 03-2011-3.1 VERSION 3.1 MRWA VERSION 2.0) AND THE SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 02-2014-3.1 MRWA VERSION 2.0) AND TASWATER'SSUPPLEMENTS TO THESE CODES.



INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

SERVICES
THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF THE NCC VOLUME THREE- PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST:
A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND
B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING ; AND
C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

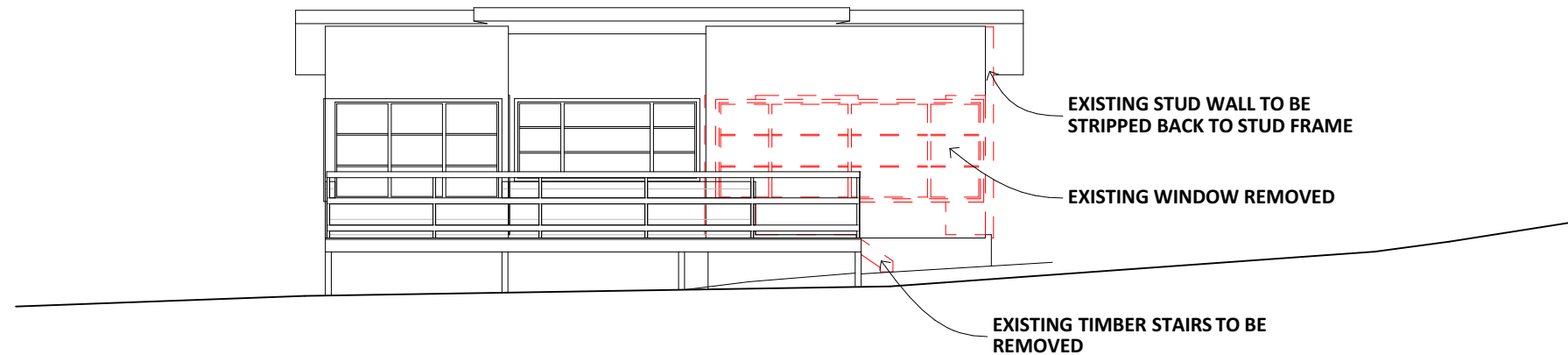
HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:
1. INTERNAL PIPING
a) ALL FLOW AND RETURN INTERNAL PIPING THAT IS-
i)WITHIN AN UNVENTILATED WALL SPACE
ii)WITHIN AN INTERNAL FLOOR BETWEEN STOREYS: OR
iii) BETWEEN CEILING INSULATION AND A CEILING MUST HAVE A MINIMUM R-VALUE OF 0.2

2.PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE
a) ALL FLOW AND RETURN PIPING
b)COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM, MUST HAVE A MINIMUM R-VALUE OF 0.45

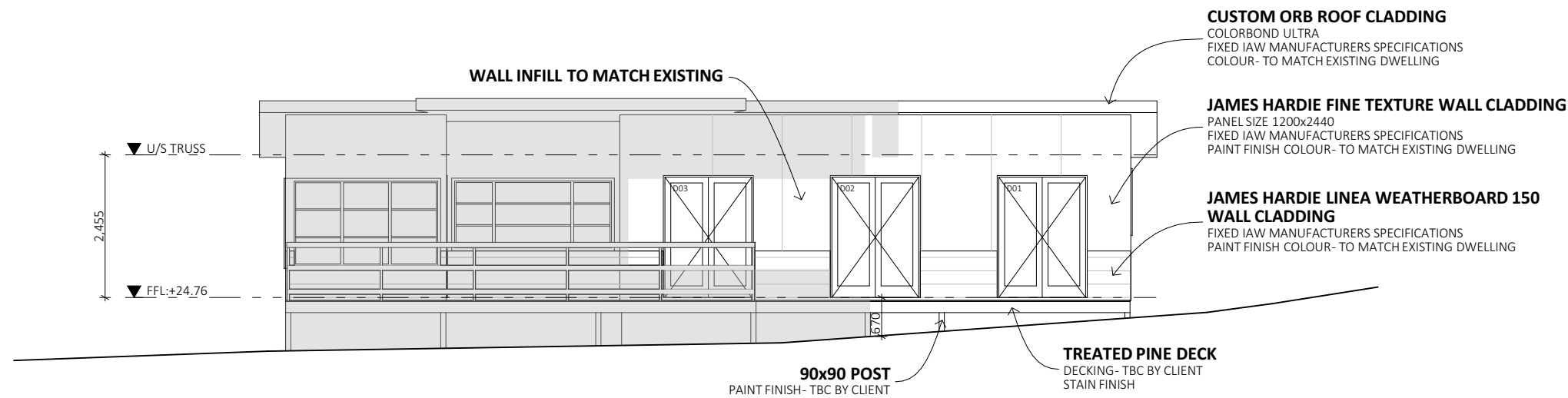
3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB FLOOR OR ROOF SPACE
a)ALL FLOW AND RETURN PIPING
b)COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM MUST HAVE A MINIMUM R-VALUE OF 0.6

PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.

	ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: JENNIFER KELLOWAY	SITE ADDRESS: 15 TOP ROAD, GREENS BEACH, 7270.	DRAWING EXTERNAL SERVICES	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.	SIGNATURE: SIGNATURE:	DATE: DATE:	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	TPRD15
									R1	08/09/2025	FOR REVIEW	DRAWN	D.M.	DRAWING	6/11
												CHECKED	M.L.	SCALE (@A3)	1:200



EXISTING



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**DRAWING
ELEVATIONS
EAST**

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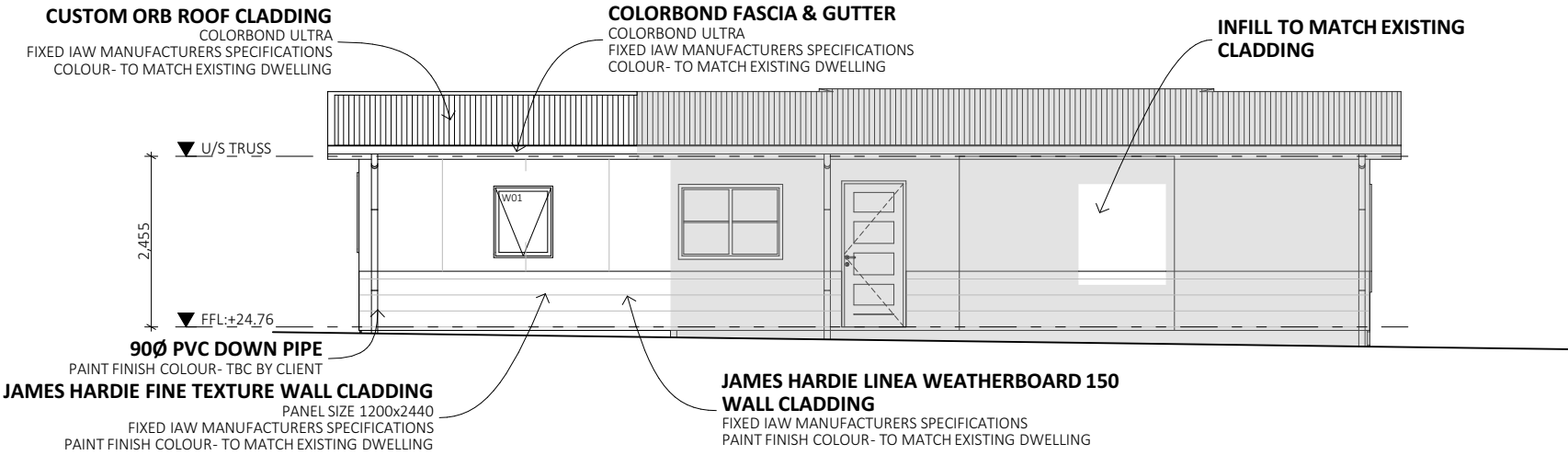
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**DRAWING
ELEVATIONS
WEST**

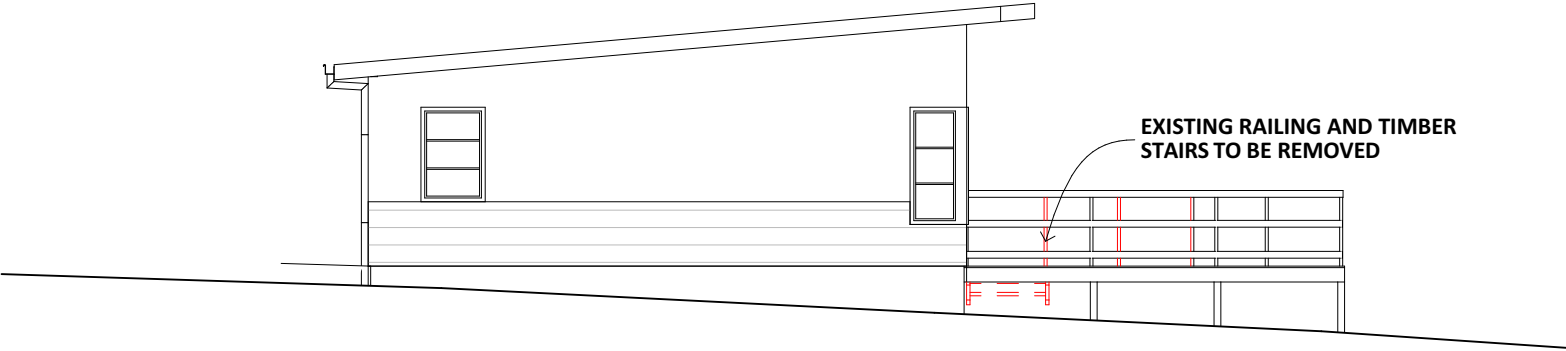
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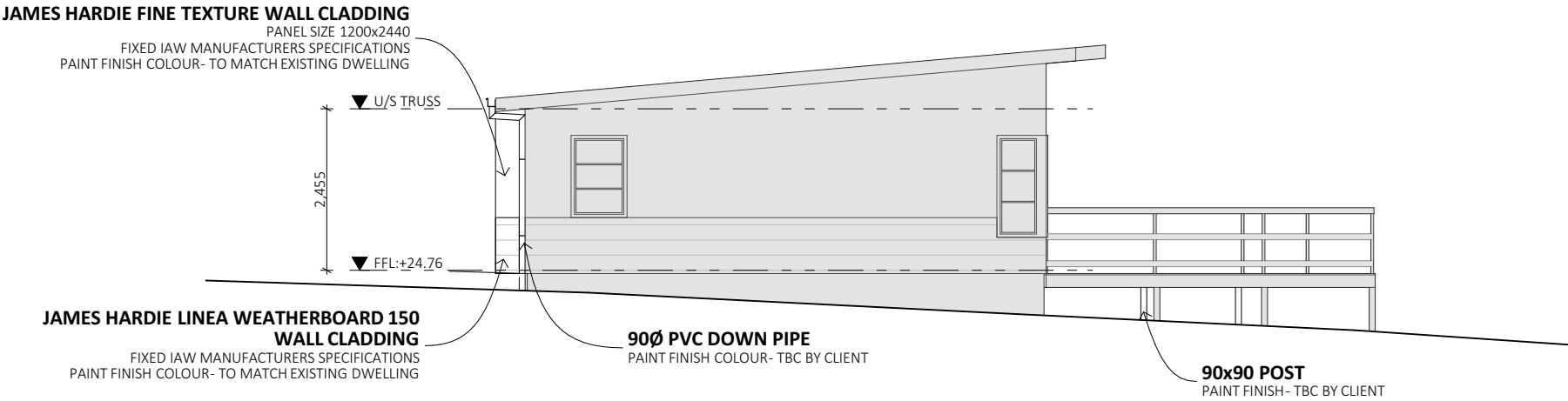
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			CHECKED	M.L.	SCALE (@A3)	1:100



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PROPOSED



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CLIENT/S:
JENNIFER KELLOWAY

SITE ADDRESS:
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**DRAWING
ELEVATIONS
SOUTH**

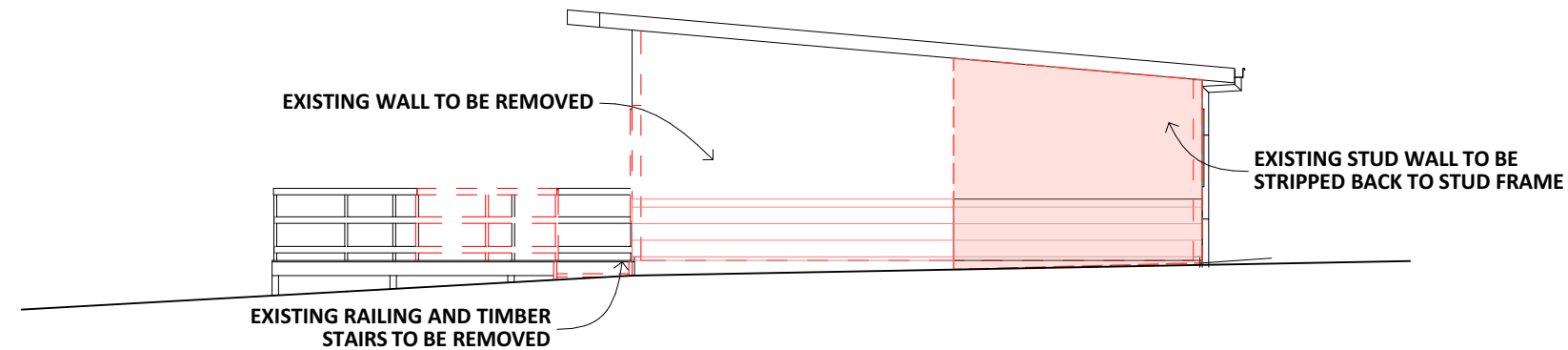
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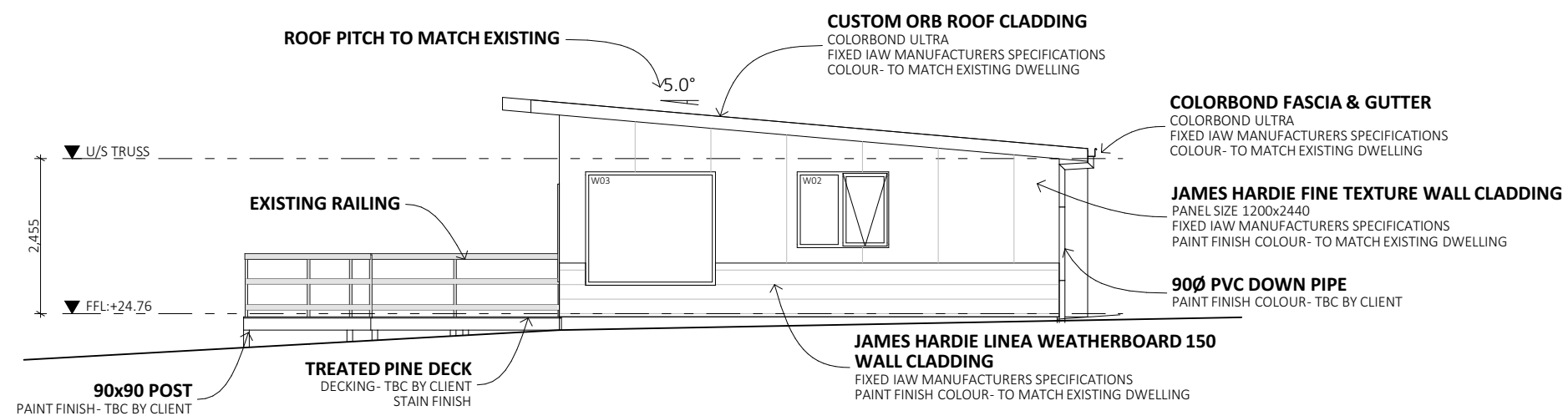
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			CHECKED	M.L.	SCALE (@A3)	1:100



EXISTING



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**DRAWING
ELEVATIONS
NORTH**

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SIGNATURE:

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DATE:

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			CHECKED	M.L.	SCALE (@A3)	1:100



 ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: JENNIFER KELLOWAY	DRAWING PERSPECTIVES	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.		COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	TPRD15
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									CHECKED	M.L.	SCALE (@A3)	NTS