

PLANNING APPLICATION FORM

Section 57 & 58

**OFFICE USE
ONLY**

Application Number PA2025305
Assess No: A1316
PID No: 6042770

Applicant Name:	Plans To Build					
Applicant Contact Name						
Postal Address:						
Contact Phone:	Home		Work		Mobile	
Email Address:						

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☐
2. A completed application form including a detailed description of the proposal ☐
3. A complete plan set: ☐
 - a) Floor plans ☐
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☐
 - c) Site Plan showing: ☐
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other: ☐

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

Application Number: PA2025305

APPLICANT DETAILS

Applicant Name: Plans to Build

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

 Owner/Authority Name:
(as per certificate of title) Tara Ruby Bailey

Location / Address: 19 Glencoe Avenue TREVALLYN 7250

 Title Reference: 11236/17
/
/

Zone(s): GENERAL RESIDENTIAL.

Existing Development/Use: EX DWELLING AND CARPORT

Existing Developed Area: 139.

 Are any of the components in this Application seeking retrospective approval?
E.g. Use and/or development that has commenced without a Planning Permit.
YES ☐NO ☒

(If yes please specify the relevant components):

DEVELOPMENT APPLICATION DETAILS

 Proposed Use: Residential: ☐ Visitor Accommodation: ☐ Commercial: ☐ Other: ☐
Description of Use: OUTBUILDING - SHED / GARAGE

 Development Type: Building work: ☐ Demolition: ☐ Subdivision: ☐ Other: ☐
Description of development: DEMOLITION AND BUILDING WORK.

New or Additional Area:

Estimated construction cost of the proposed development: \$ 45,000

 Building Materials: Wall Type: CB Colour: GREY
Roof Type: CB Colour: GREY.

VISITOR ACCOMMODATION

☐ N/A

WEST TAMAR COUNCIL



Application Number: PA2025305

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION ☐ N/A

Subdivision creating additional lots ☐
 Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE ☐ N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: (Existing)	
Number of Employees: (Proposed)	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: PA2025305

APPLICANT DECLARATION**Owner:**

As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant:**(if not the owner)**

As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

Plans to Build

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent***(if required)*

Name (print)

Signed

Date

**Chief
Executive
Officer***(if required)*

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

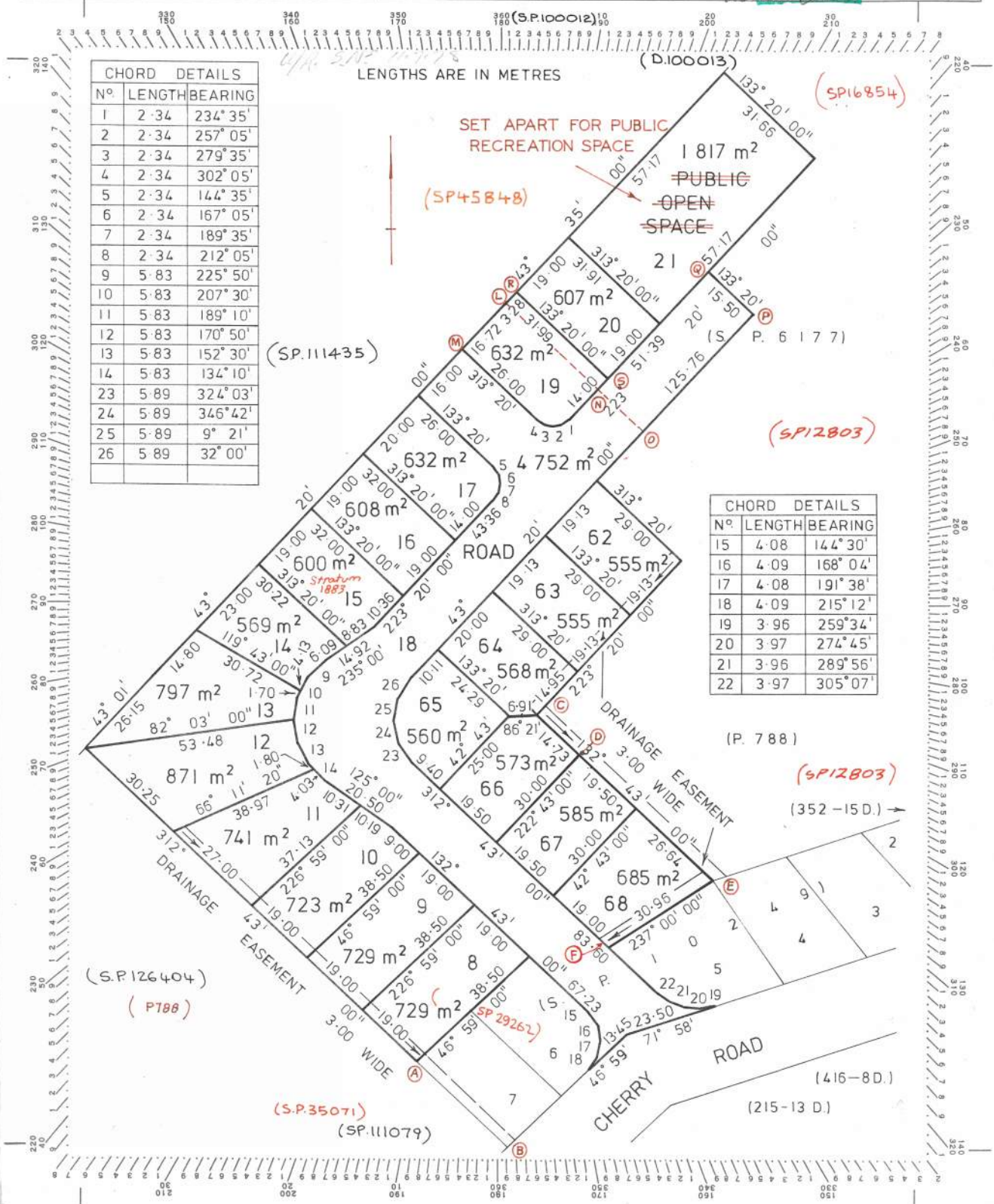
As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

Owner: John Butler Proprietary Limited. <i>C.T. Vol. 3682 Fol. 25 &</i>	PLAN OF SURVEY by Surveyor <i>C.J. Cohen</i> of land situated in the TOWN OF RIVERSIDE Scale 1:1 000	Registered Number: S.P11236 Effective from: 26 SEP 1978 <i>Deputy Recorder</i> ACTING DEPUTY Recorder of titles
Title Reference: <i>C.T. Vol. 3557 Fol. 12-;</i> <i>C.T. Vol. 3557 Fol. 13-8;</i> <i>C.T. Vol. 3427 Fol. 74.</i>		
Grantee: Part of 2 130 acres granted to William Barnes.		





SCHEDULE OF EASEMENTS

PLAN NO. 11236

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

NOTE — THIS FORM IS NOT TO BE USED WHERE NO EASEMENTS ARE SHOWN ON THE PLAN. IN THAT CASE THE BLANK FORM MUST BE USED.

EASEMENTS

Rights of Drainage

Each lot on the plan is together with such rights of drainage over the drainage easements shewn on the plan as may be necessary to drain the stormwater and other surplus water from such lot.

Each lot on the plan is subject to such rights of drainage over the drainage easements (if any) shewn on the plan as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

Lots 8 to 12 are each together with a right of drainage over the drainage easement marked "A.B" Hereon.

Lots 8 to 17, 62 to 68, Lot 18 except the land marked "N.O.P.Q" hereon and that part of Lot 19 marked "L.M.N." hereon (all hereafter called "the said land") are each SUBJECT TO the right of the owners and occupiers of the land adjoining Lots 29 to 32 on Plan No. 788 to drain their respective lands by ordinary agricultural pipe drains and by open drains and to discharge the water collected by such drains through over or across the said land following as nearly as may be the natural direction of the flow of such water doing thereby no damage that can reasonably be avoided.

Lots 20 & 21 that part of Lot 19 marked "R.S.N.L." hereon and that part of Lot 18 marked "N.O.P.Q." hereon (all hereafter called "the Servient Land") are each SUBJECT TO the right for John Frederick Peters, Sophia Emily Peters and Arthur Kitchener Peters and the persons claiming through or under them him or her (appurtenant to Lots 29, 30, 31 and 32 on Plan No. 788) to drain the said Lots by ordinary agricultural pipe drains and by open drains and to discharge the water collected by such drains and any soil coming with the same through channels and drains through over or across the servient land following as nearly as may be the natural direction of the flow of such water doing thereby no damage that can reasonably be avoided.

Lots 62 to 64 and 68 are each subject to a right of drainage for the balance of the land comprised in Certificate of Title 3682/25 and 3427/74 over such portions of the drainage easement shown passing through such lots.

Lots 62 to 64 and 66 are each together with a right of drainage over the drainage easement marked "C.D.E.F" hereon.

Lot 67 is together with a right of drainage over the drainage easement marked "D.E.F" hereon.

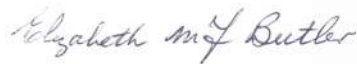
COVENANTS

The owner of each lot shewn on the plan covenants with the Vendor (John Butler Pty. Ltd.) that the Vendor shall not be required to fence.

THE COMMON SEAL of JOHN BUTLER
PTY. LTD. the Registered
Proprietor of the land comprised
in Certificates of Title Volume
3557 Folio 12, Volume 3557 Folio
13 and Volume 3427 Folio 74 was
hereunto affixed in the presence
of:-



Director



Secretary

SP. 11236.

This is the schedule of easements attached to the plan of.....

.....comprising part of the land in

(Insert Title Reference)

Sealed by MUNICIPALITY OF BEACONSFIELD on 27th June, 1978



A/Council Clerk/~~Town Clerk~~

56158

REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY

NEW OUTBUILDING

at 19 GLENCOE AVENUE, TREVALLYN TAS 7250

for T. R. BAILEY

PROJECT NUMBER:
25106

PROPERTY ID:
6042770

LAND TITLE, VOLUME & FOLIO
CT - 11236/17

SITE AREA:
632m2

FLOOR AREAS:
EXISTING DWELLING FLOOR AREA APPROX. - 125m²
EXISTING OUTBUILDINGS COMBINED
FLOOR AREAS - 14m²
NEW OUTBUILDING FLOOR AREA - 49m²

COUNCIL:
WEST TAMAR

SCHEME / ZONE:
8.0 GENERAL RESIDENTIAL

SCHEME / ZONE OVERLAYS:
N/A

SITE CLASSIFICATION:

WIND CLASSIFICATION: **

BUSHFIRE ATTACK LEVEL: N/A

TERRAIN CLASSIFICATION: TC**

WIND REGION: A3

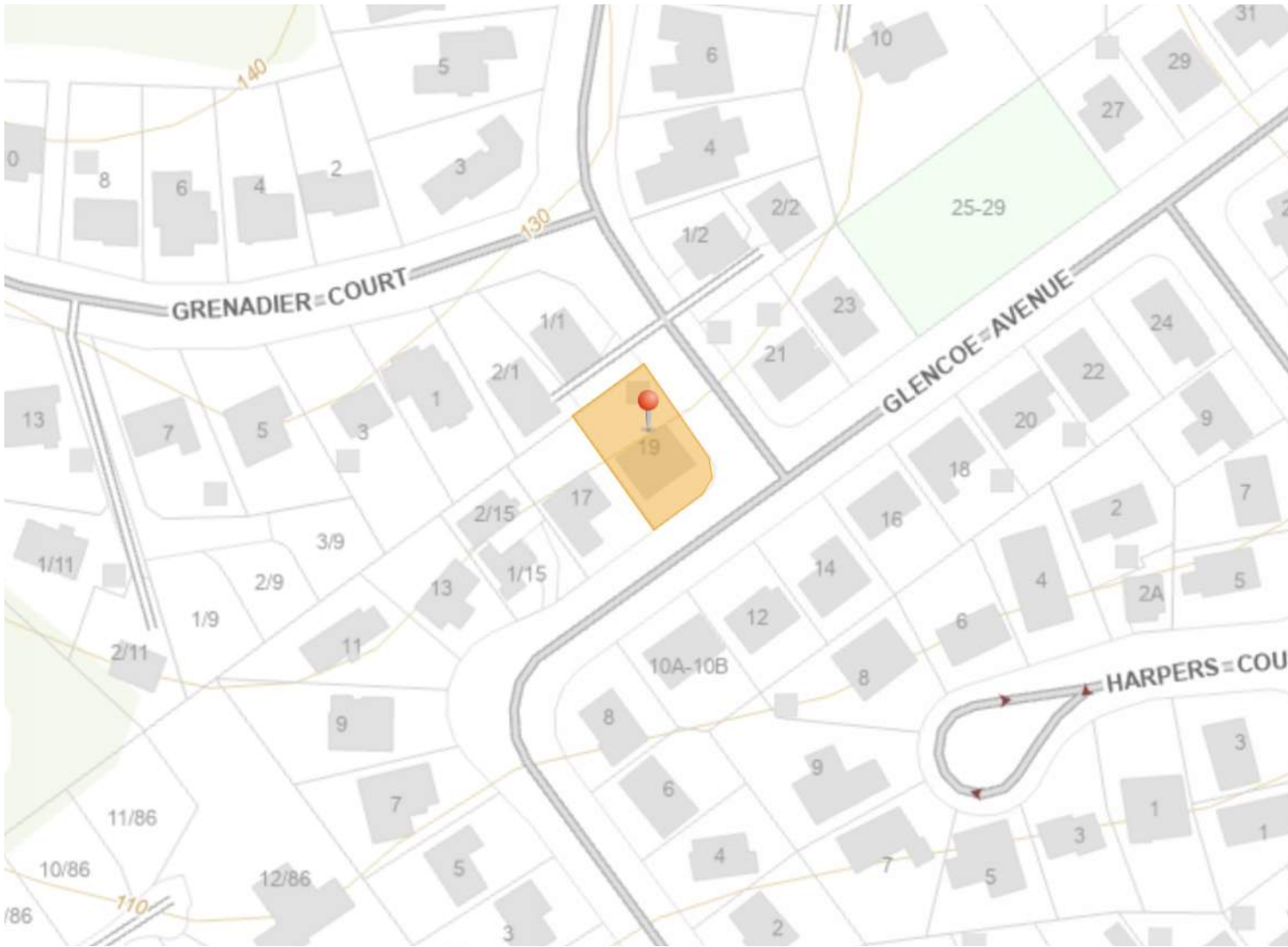
CLIMATE ZONE: 7

CORROSION ENVIRONMENT: LOW

ALPINE AREA: N/A

PRINT DATE:

24/09/2025



LOCATION PLAN

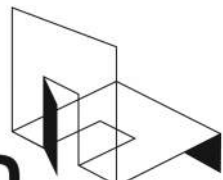
DRAWING SCHEDULE

- A00 COVER PAGE
- A01 SITE DEMOLITION PLAN
- A02 SITE PLAN



MEMBER
you're in good hands

PLANS
TO BUILD



ABN 23 269 055 701
Level 1, Holyman House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
Tel - 6388 9287 - Mob - 0400 655 771
Email - leigh@planstobuild.com.au
L.M.DELL LIC. No. CC5932 G

GENERAL NOTES:

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL BUILDING WORK SHALL BE IN STRICT COMPLIANCE WITH COUNCIL LAWS, REFERENCED AUSTRALIAN STANDARDS, BUILDING ACTS & REGULATIONS REFER ALSO TO THE GENERAL REQUIREMENTS PAGE.

THE BUILDER SHALL SECURE AND MAKE SAFE THE WORKSITE IN ACCORDANCE WITH WORK SAFE TASMANIA & WHS GUIDELINES & REGULATIONS.

THE BUILDER SHALL CARRY OUT DIAL BEFORE YOU DIG REFERRAL FOR LOCATIONS OF ALL UNDERGROUND SERVICES PRIOR TO COMMENCING ANY EARTHWORKS.

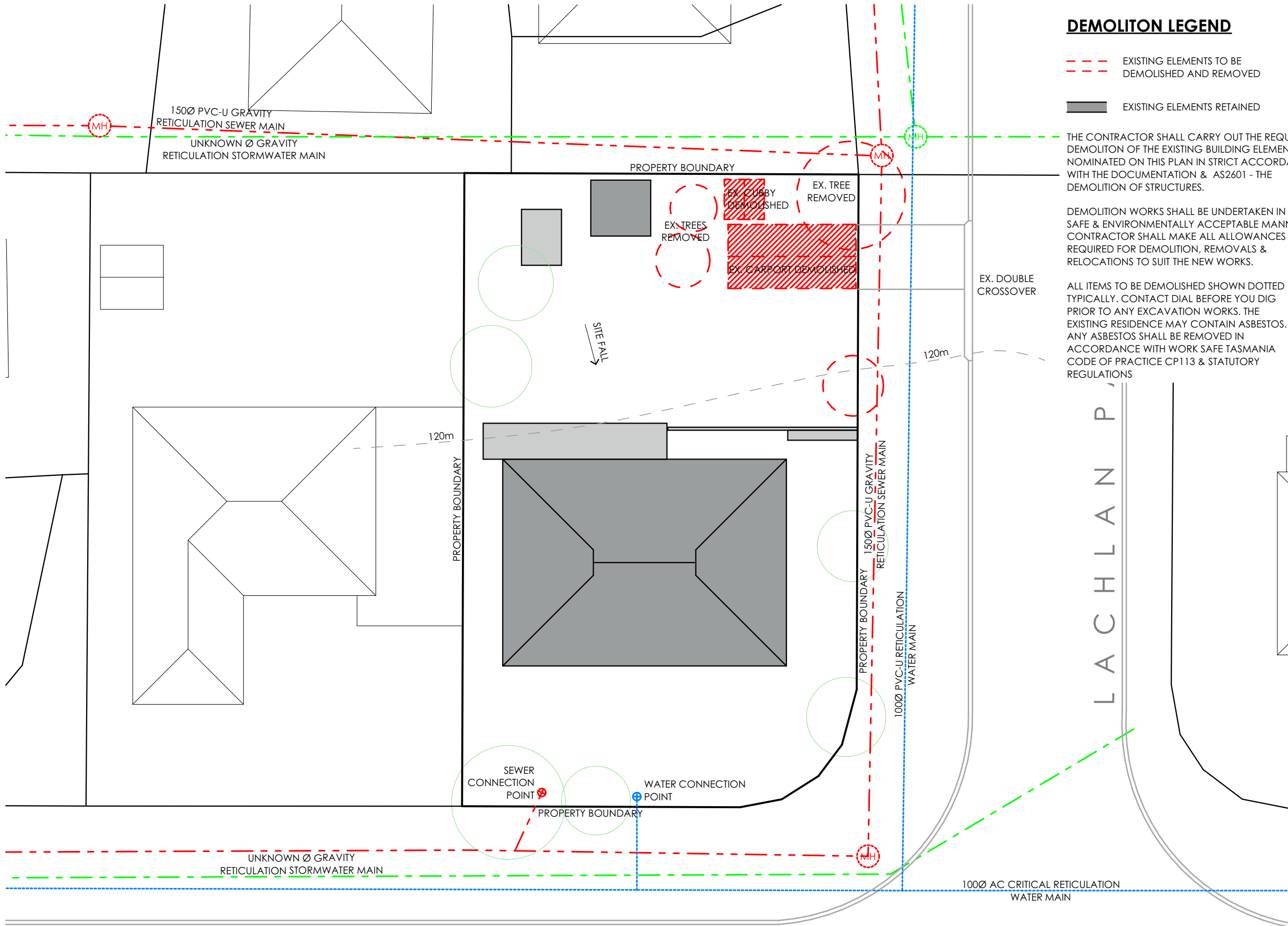
THE BUILDER SHALL INSTALL SILT TRAPS & SCREENS AT THE PROPERTY BOUNDARY TO PREVENT SILT RUNOFF INTO THE COUNCIL MAIN SYSTEM FOR THE DURATION OF SITE WORKS.

THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SETOUT OF ALL WORKS. A LAND SURVEYOR IS RECOMMENDED BY THE DESIGNER FOR ALL SETOUT. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS.

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING DRAWINGS AND SPECIFICATIONS. THE DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES WITH THE DRAWINGS.

ALL FITTINGS & FIXTURES INSTALLED SHALL BE PURCHASED AS NEW CONDITION & QUALITY & CARRY THE RELEVANT AUSTRALIAN STANDARD, AND CODEMARK & WATERMARK COMPLIANCES.

rev. Amendment		Date
DRAWING No:		ISSUE: APPROVAL
A00		REV: 0
1 of 3		



DEMOLITON LEGEND

- EXISTING ELEMENTS TO BE DEMOLISHED AND REMOVED
- EXISTING ELEMENTS RETAINED

THE CONTRACTOR SHALL CARRY OUT THE REQUIRED DEMOLITON OF THE EXISTING BUILDING ELEMENTS NOMINATED ON THIS PLAN IN STRICT ACCORDANCE WITH THE DOCUMENTATION & AS2601 - THE DEMOLITION OF STRUCTURES.

DEMOLITION WORKS SHALL BE UNDERTAKEN IN A SAFE & ENVIRONMENTALLY ACCEPTABLE MANNER. CONTRACTOR SHALL MAKE ALL ALLOWANCES AS REQUIRED FOR DEMOLITION, REMOVALS & RELOCATIONS TO SUIT THE NEW WORKS.

ALL ITEMS TO BE DEMOLISHED SHOWN DOTTED TYPICALLY. CONTACT DIAL BEFORE YOU DIG PRIOR TO ANY EXCAVATION WORKS. THE EXISTING RESIDENCE MAY CONTAIN ASBESTOS. ANY ASBESTOS SHALL BE REMOVED IN ACCORDANCE WITH WORK SAFE TASMANIA CODE OF PRACTICE CP113 & STATUTORY REGULATIONS

SITE PLAN NOTES

SURFACE AND SUBSURFACE DRAINAGE SYSTEMS
IN ACCORDANCE WITH PART D2. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A STORMWATER DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3

SOIL AND WATER MANAGEMENT
PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT WORKS THE APPLICANT OR BUILDER MUST INSTALL ALL NECESSARY SILT FENCES AND CUT-OFF DRAINS TO PREVENT THE SOIL, GRAVEL AND OTHER DEBRIS FROM ESCAPING THE SITE. ADDITIONAL WORKS MAY BE REQUIRED ON COMPLEX SITES.

NO MATERIAL OR DEBRIS IS TO BE TRANSPORTED ONTO THE ROAD RESERVE (INCLUDING THE NATURE STRIP, FOOTPATH AND ROAD PAVEMENT). ANY MATERIAL THAT IS DEPOSITED ONTO THE ROAD RESERVE AS A RESULT OF THE DEVELOPMENT ACTIVITY IS TO BE REMOVED BY THE APPLICANT OR BUILDER.

THE SILT FENCING, CUT-OFF DRAINS AND OTHER WORKS TO MINIMISE EROSION ARE TO BE MAINTAINED ON THE SITE UNTILL SUCH TIME AS THE SITE HAS REVEGETATED SUFFICIENTLY TO MITIGATE EROSION AND SEDIMENT TRANSPORT.

North

SITE DEMOLITION PLAN

SCALE 1:200

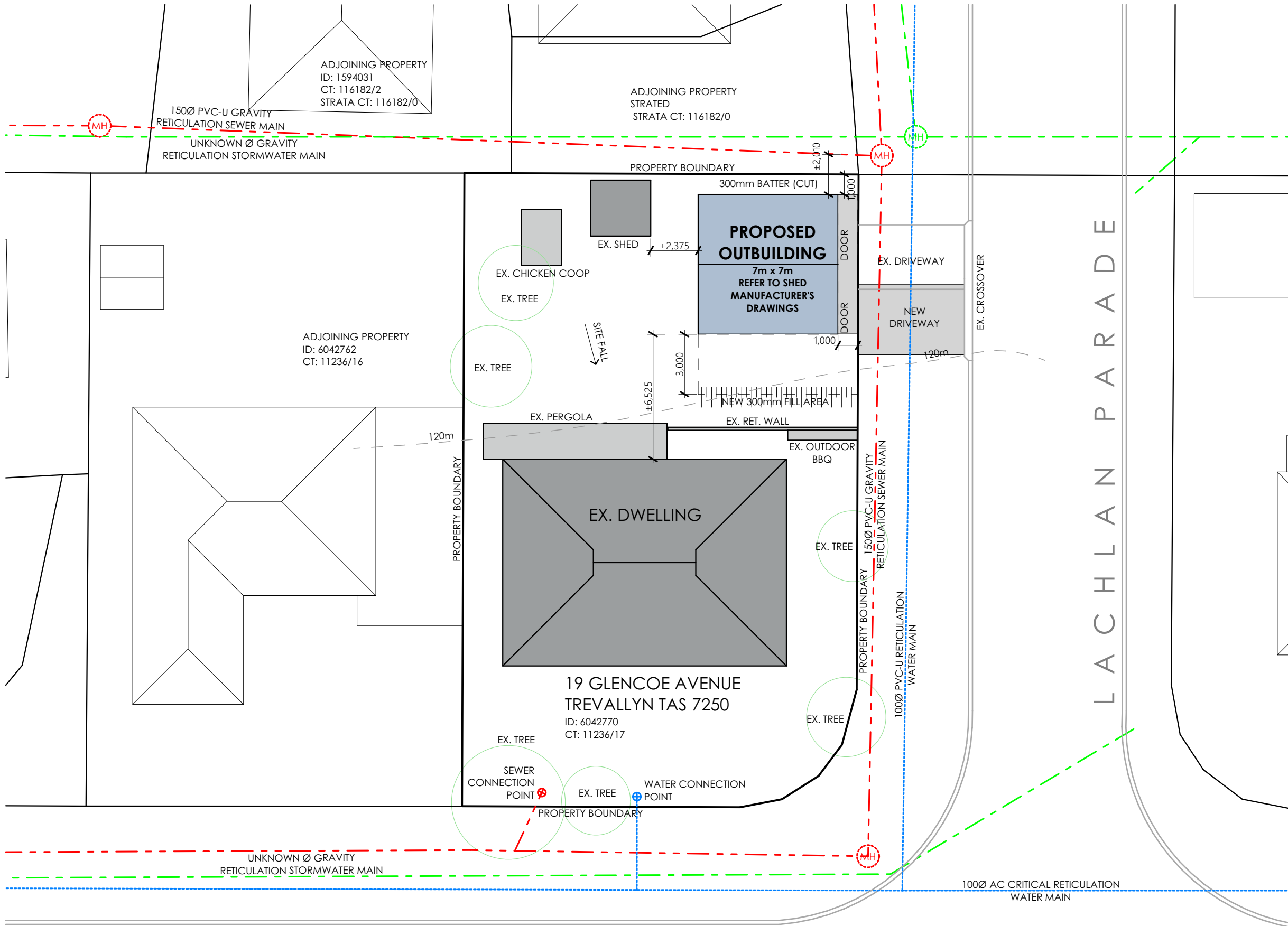
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NEW OUTBUILDING

19 GLENCOE AVENUE, TREVALLYN TAS 7250

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

PROJECT NUMBER:		SCALE: IF IN DOUBT ASK		PRINT DATE:		DRAWING No:		ISSUE: APPROVAL	
25106		SCALE @ A3		24/09/2025		A01		2 of 3	
								REV: 0	



SITE PLAN NOTES

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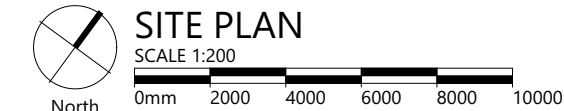


PLANS TO BUILD

ABN 23 269 055 701
Level 1, Holyman House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
Tel - 6388 9287 - Mob - 0400 655 771
Email - leigh@planstobuild.com.au
L.M.DELL LIC. No. CC5932 G

Owner:
T. R. BAILEY

		Date
rev.	Amendment	
DRAWING No:	A02	
ISSUE: APPROVAL		REV: 0



SITE PLAN
SCALE 1:200
0mm 2000 4000 6000 8000 10000

NEW OUTBUILDING

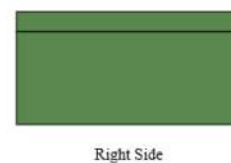
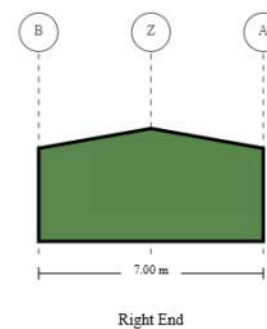
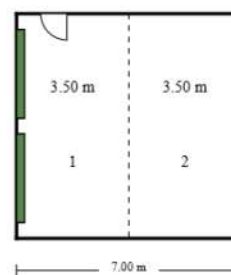
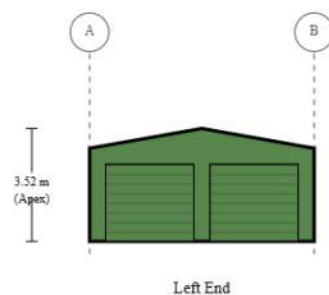
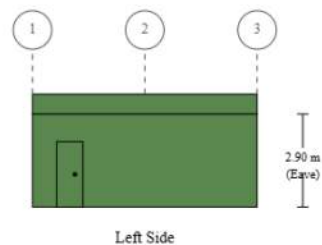
19 GLENCOE AVENUE, TREVALLYN TAS 7250

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PROJECT NUMBER:	SCALE: IF IN DOUBT ASK	PRINT DATE:
25106	SCALE @ A3	24/09/2025



www.shedsnhomes.com.au



Purchaser Name: Moorey Constructions

Site Location:

Ref # rebtl2509001

Print Date: 01/09/25

Building Layout

Ref# rebtl2509001

Seller: Sheds n Homes Launceston

Name: Rebecca Thomson

Phone: 0437 120 410

Fax:

Email: rebecca.thomson@shedsnhomes.com.au

