

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number

PA2025314

Assess No:

A153

PID No:

6034068

Applicant Name:	BVZ Designs				
Postal Address:					
Contact Phone:	Home		Work		Mobile
Email Address:					

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☐
2. A completed application form including a detailed description of the proposal ☐
3. A complete plan set: ☐
 - a) Floor plans ☐
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☐
 - c) Site Plan showing: ☐
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: Bradley van Zetten

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) **BRYN NORTON**

Location / Address: **19 ANTHONY ST TREVALLYN 7250**

Title Reference: **72339/11**

Zone(s): **GEN RES**

Existing Development/Use: **RESIDENTIAL DWELLING**

Existing Developed Area: Area **80**

DEVELOPMENT APPLICATION DETAILS

Proposed Use: Residential: ☒ Visitor Accommodation: ☐ Commercial: ☐ Other: ☐
Description of Use: **RESIDENTIAL EXTENSION**

Development Type: Building work: ☒ Demolition: ☐ Subdivision: ☐ Other: ☐
Description of development: **21**

New or Additional Area: Area **77.1**

Estimated construction cost of the proposed development: \$ **150,000**

Building Materials: Wall Type: **CEMENT SHEET** Colour: Neutrals/ grays
Roof Type: **COLORADO** Colour: Neutrals/ grays

WEST TAMAR COUNCIL



Application Number: «Application Number»

SUBDIVISION		N/A
		☐ Subdivision creating additional lots ☐ Boundary adjustment with no additional lots created
Number of Lots (existing) :		Number of Lots (proposed) :
Description:		
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:		
1.		
2.		
3.		

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE					N/A
Hours of Operation:	Monday / Friday:		To		
	Saturday:		To		
	Sunday:		To		
Existing Car Parking:					
Proposed Car Parking:					
Number of Employees: (Existing)					
Number of Employees: (Proposed)					
Type of Machinery installed:					
Details of trade waste and method of disposal:					

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

(if not the owner)

Bradley van Zetten

Name (print)



Signed

27/9/25

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**General
Manager**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date



BRADLEY VAN ZETTEN

4 EDEN HILLS DRIVE

RIVERSIDE 7250

P. 0407 272 381

E. BVZDESIGNS@GMAIL.COM

LICENCE NUMBER 957699796

Reply to the planning scheme for
19 Anthony Street Trevallyn 7250 72339/11

8.4 Development Standards for Dwellings

8.4.1 Residential density for multiple dwellings

A1 – Acceptable solution compliant

8.4.2 Setbacks and building envelope for all dwellings

P1

The proposed extension is designed to ensure a setback from the frontage that is compatible with the streetscape, taking into account the site's unique topographical constraints. The extension is positioned 4 metres from the front boundary at its closest point, which is 0.5 metres within the acceptable solution of 4.5 metres. This minor deviation is necessitated by the irregularly shaped block, which features two front boundary dimensions due to its location at the end of a cul-de-sac. The unusual block configuration, with no square boundaries, presents a topographical constraint that justifies this approach.

At the kink in the boundary, the extension achieves a compliant setback of 4.5 metres, with a maximum setback of 5.7 metres elsewhere, resulting in an average setback exceeding the acceptable solution. This ensures the dwelling maintains a harmonious relationship with the streetscape, blending seamlessly with neighbouring properties. Given the cul-de-sac's curved layout, the 4-metre setback at one corner is unlikely to be visually prominent or disrupt the streetscape's aesthetic. The design respects the topographical challenges while aligning with the established character of the area, ensuring compatibility with surrounding dwellings.

A2 – Acceptable solution compliant

A3 – Acceptable solution compliant

8.4.3 Site coverage and private open space for all dwellings

A1 – Acceptable solution compliant

A2 – Acceptable solution compliant

8.4.4 Sunlight to private open space of multiple dwellings

A1 – Acceptable solution compliant

8.4.5 Width of openings for garages and carports for all dwellings

A1 – Acceptable solution compliant



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8.4.6 Privacy for all dwellings

A1 – Acceptable solution compliant

P2

The proposed development includes one window (W6) that does not meet the acceptable solution, as it is located in a habitable room (a bedroom) with a floor level more than 1 metre above existing ground level. However, the design ensures compliance with the performance criterion by minimising direct views to neighbouring properties. A substantial hedge along the property boundary at 17 Anthony Street provides a natural screen, effectively obstructing views from W6 into any windows, glazed doors, or private open spaces of the neighbouring dwelling. This existing vegetation ensures privacy for both the proposed dwelling and the neighbouring property, mitigating any potential overlooking concerns

Additionally, W6 is located within a bedroom, a habitable room used less frequently than communal areas like living rooms, reducing the likelihood of privacy impacts. The window's placement and the hedge's screening align with the streetscape's character, maintaining neighbourly amenity. No additional screening is required, as the existing hedge adequately addresses the criterion's requirements, ensuring minimal direct views and preserving privacy for both properties.

A3 – Acceptable solution compliant

8.4.7 Frontage fences for all dwellings

A1 – Acceptable solution compliant

8.4.8 Waste storage for multiple dwellings

A1 – Acceptable solution compliant

Kind Regards

A handwritten signature in blue ink, appearing to read 'BVZ', followed by a stylized flourish.

Bradley Van Zetten

163
116

DIAGRAM FR 72339

REGISTERED NUMBER

TOWN OF RIVERSIDE

Part of 2130ac Granted to W Barnes

No. OF APPLICATION

J. A. Butler
Owner

330/330

LETTERS C.A.B. ADDED TO
SUPPORT TITLE AUTOMATICALLY
5 OCT 1993

Subdivision approved and

263
26

The Common Seal of the Council of the Municipality of the Town of Riverside is hereunto affixed in the presence of this day of June 1952 and fifty five in pursuance of the authorisation given at a meeting of the said Council held on the 16th day of June 1952

C. R. C. Warden

Council Clerk

REFERENCE TO CORNERS

COR.	BEARING	DISTANCE IN LINKS	FROM

Scale 80 feet to an inch (416/8°)

LANDS TITLES OFFICE
1 - AUG 1952
TAS. 9 am

To be filled in by Surveyor

Date of Instructions

Survey commenced 2 II. 51.

Survey finished 27 II. 51.

Error of close 1 in Nil

Plot Regulations Checked

Computations checked

Examination as to Boundaries

Entered on Diagrams

Entered on General Plan

State Permanent Marks

Finally examined

Report

1, Edward McRae Pedley, of Launceston, Registered Surveyor, of Tasmania, do hereby certify that this plan has been made from surveys executed by me or under my own personal supervision, inspection, and field check, and that both plan and survey are correct, and have been made in accordance with the Land Surveyors' By-Law No. 2, dated 3rd July, 1948.

Dated this 7th day of December 1951.

Authorized Surveyor

May be acted upon

Acted upon

LEGEND

PAGE 1#	COVER PAGE
PAGE 2#	LOCALITY PLAN
PAGE 3#	SITE PLAN
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PAGE 6#	PROPOSED FLOOR PLAN
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PAGE 10#	SECTION B----B
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PAGE 13#	PLUMBING PLAN
PAGE 14#	WET AREA ENLARGEMENT PLAN
PAGE 15#	SOIL AND WATER MANAGEMENT PLAN
PAGE 16#	PLUMBING DETAILS
PAGE 17#	LIVABLE HOUSING DESIGN
PAGE 18#	LIVABLE HOUSING DESIGN
PAGE 19#	WINDOWS AND DOORS
PAGE 20#	INSULATION PLAN
PAGE 21#	ENERGY EFFICIENCY DETAILS
PAGE 22#	CONDENSATION MANAGEMENT
PAGE 23#	GENERAL NOTES
PAGE 24#	CORROSION PROTECTION
PAGE 25#	SAFETY NOTES
PAGE 26#	STAIRS AND BALUSTRADES
PAGE 27#	WET AREA DETAILS
PAGE 28#	WET AREA DETAILS
PAGE 29#	WET AREA DETAILS
PAGE 30#	FLOOR FRAMING PLAN
PAGE 31#	ROOF FRAMING PLAN
PAGE 32#	FOOTING LAYOUT
PAGE 33#	ENGINEERING DETAILS

COUNCIL – WEST TAMAR COUNCIL
ZONE – GENERAL RESIDENTIAL
CODE – NIL
LANDSLIDE BAND – NIL

TITLE REF. = 72339/11

WIND CLASSIFICATION N2
DESIGN GUST SPEED (VU) 40M/S

SITE CLASS H1 AS PER AS2870

BUSHFIRE–PRONE AREA BAL RATING N/A

CLIMATE ZONE FOR THERMAL DESIGN = 7

ALPINE AREA – N/A LESS THAN 900m AHD

CORROSION ENVIRONMENT – MODERATE

OTHER HAZARDS – N/A

PROPOSED EXTENSION FOR B NORTON AT 19 ANTHONY STREET TREVALLYN 7250

ALPINE AREA – N/A LESS THAN 900m AHD

OTHER HAZARDS – N/A

ALL DIMENSIONS SHOWN ARE TO OUTSIDE OF
BRICKWORK CLADDING OR TIMBER FRAMING ON CLAD
HOUSES UNLESS NOTED OTHERWISE

CONFIRM ALL DIMENSIONS AND SERVICES ON SITE
PRIOR TO COMMENCEMENT OF WORKS

IF IN ANY DOUBT ABOUT BEARING AND BOUNDARIES
THEN THESE MUST BE CONFIRMED ONSITE BY A
SURVEYOR PRIOR TO SETOUT

ENSURE DRAWINGS USED ONSITE ARE STAMPED
'APPROVED' PLANS BY BUILDING SURVEYOR AND
PERMIT AUTHORITY

H4D9 CONDENSATION MANAGEMENT TO BE
COMPLIANT WITH NCC PART 10.8 CONDENSATION
MANAGEMENT.

NOTES
(1)REFER TO THE GUIDANCE IN THE "CONDENSATION IN
BUILDINGS TASMANIAN DESIGNERS' GUIDE" – CURRENT VERSION
AVAILABLE AT WWW.CBOS.TAS.GOV.AU. THIS GUIDE MUST BE
READ IN CONJUNCTION WITH THE NCC.

IF ANY DISCREPANCIES, APPARENT ERROR,
ANOMALY OR AMBIGUITY WITHIN THE
DOCUMENTATION IS FOUND. THE DESIGNER IS TO BE
CONTACTED PRIOR TO ANY MORE CONSTRUCTION
CONTINUING.

ENSURE THAT DRAWINGS ARE NOT SCALED AND
THAT THE NOTED DIMENSIONS ARE USED FOR
ACCURACY. IF IN ANY DOUBT CONTACT DESIGNER

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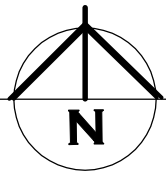
C BRADLEY VAN ZETTEN 2025

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ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY
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LOCALITY PLAN



DESIGNS

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PROJECT: PROPOSED EXTENSION FOR
B NORTON
AT 19 ANTHONY STREET
TREVALLYN 7250

DRAWING: LOCALITY PLAN

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 27 / 09 / 25

SCALE: 1:500.

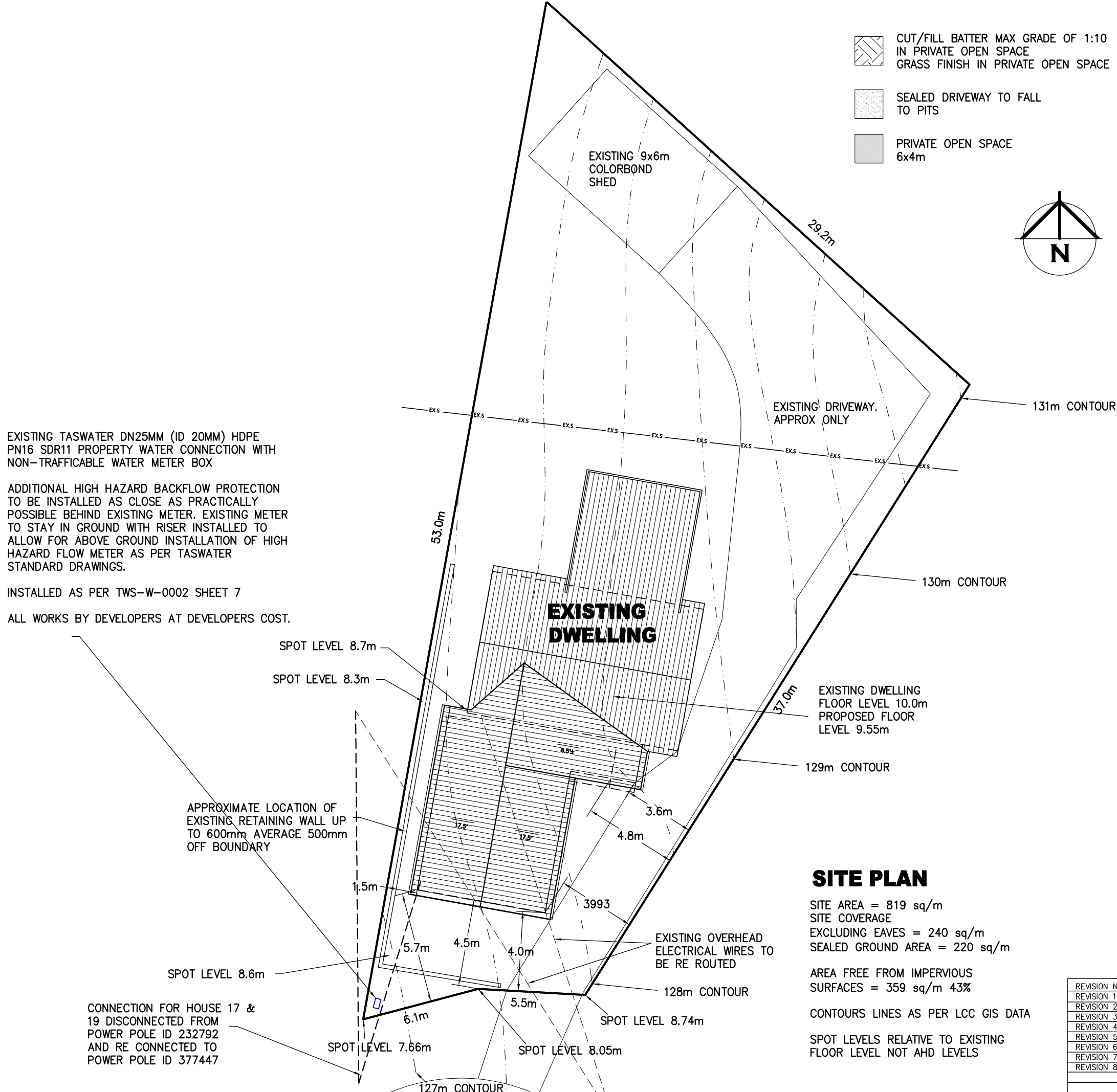
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A3.

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EXISTING TASWATER DN25MM (ID 20MM) HDPE PN16 SDR11 PROPERTY WATER CONNECTION WITH NON-TRAFFICABLE WATER METER BOX

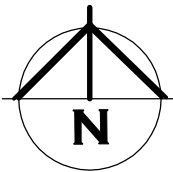
ADDITIONAL HIGH HAZARD BACKFLOW PROTECTION TO BE INSTALLED AS CLOSE AS PRACTICALLY POSSIBLE BEHIND EXISTING METER. EXISTING METER TO STAY IN GROUND WITH RISER INSTALLED TO ALLOW FOR ABOVE GROUND INSTALLATION OF HIGH HAZARD FLOW METER AS PER TASWATER STANDARD DRAWINGS.

INSTALLED AS PER TWS-W-0002 SHEET 7
ALL WORKS BY DEVELOPERS AT DEVELOPERS COST.

APPROXIMATE LOCATION OF EXISTING RETAINING WALL UP TO 600mm AVERAGE 500mm OFF BOUNDARY

CONNECTION FOR HOUSE 17 & 19 DISCONNECTED FROM POWER POLE ID 232792 AND RE CONNECTED TO POWER POLE ID 377447

- CUT/FILL BATTER MAX GRADE OF 1:10 IN PRIVATE OPEN SPACE
GRASS FINISH IN PRIVATE OPEN SPACE
- SEALED DRIVEWAY TO FALL TO PITS
- PRIVATE OPEN SPACE 6x4m



SITE PLAN

SITE AREA = 819 sq/m
SITE COVERAGE
EXCLUDING EAVES = 240 sq/m
SEALED GROUND AREA = 220 sq/m

AREA FREE FROM IMPERVIOUS SURFACES = 359 sq/m 43%

CONTOURS LINES AS PER LCC GIS DATA

SPOT LEVELS RELATIVE TO EXISTING FLOOR LEVEL NOT AHD LEVELS

UNPROTECTED EMBANKMENTS 3.1.1.1



SOIL TYPE		EMBANKMENT SLOPES H:L	
		COMPACTED FILL	CUT
STABLE ROCK		2:3	8:1
SAND		1:2	1:2
SILT		1:4	1:4
CLAY	FIRM CLAY	1:2	1:1
	SOFT CLAY	NOT SUITABLE	2:3
SOFT SOILS		NOT SUITABLE	NOT SUITABLE

EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT THE END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR TO PREVENT SOIL EROSION

FALL PREVENTION
WHERE A PERSON IS EXPOSED TO THE HAZARD OF FALLING FROM A STRUCTURE DURING CONSTRUCTION, CLEANING OR MAINTENANCE WORK THE BUILDER SHALL PROVIDE;
(A) A WORK SYSTEM DESIGNED TO PREVENT SUCH A FALL
(B) WHERE SAFETY BELT ANCHORAGE POINTS ARE USED THEY MUST BE POSITIONED SUCH THAT THE SAFETY LINE CAN BE ATTACHED BEFORE PROCEEDING TO THE AREA WHERE A FALL IS POSSIBLE
(C) ANCHORAGE POINTS MUST COMPLY WITH AS2626 AND BE ABLE TO WITHSTAND A FORCE OF 1500KG
(D) INFORM THE OWNER PRIOR TO OCCUPANCY THE NATURE OF THE FALL ARREST SYSTEM AND USE ACCORDING TO AS2626.



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DRAWING: SITE PLAN

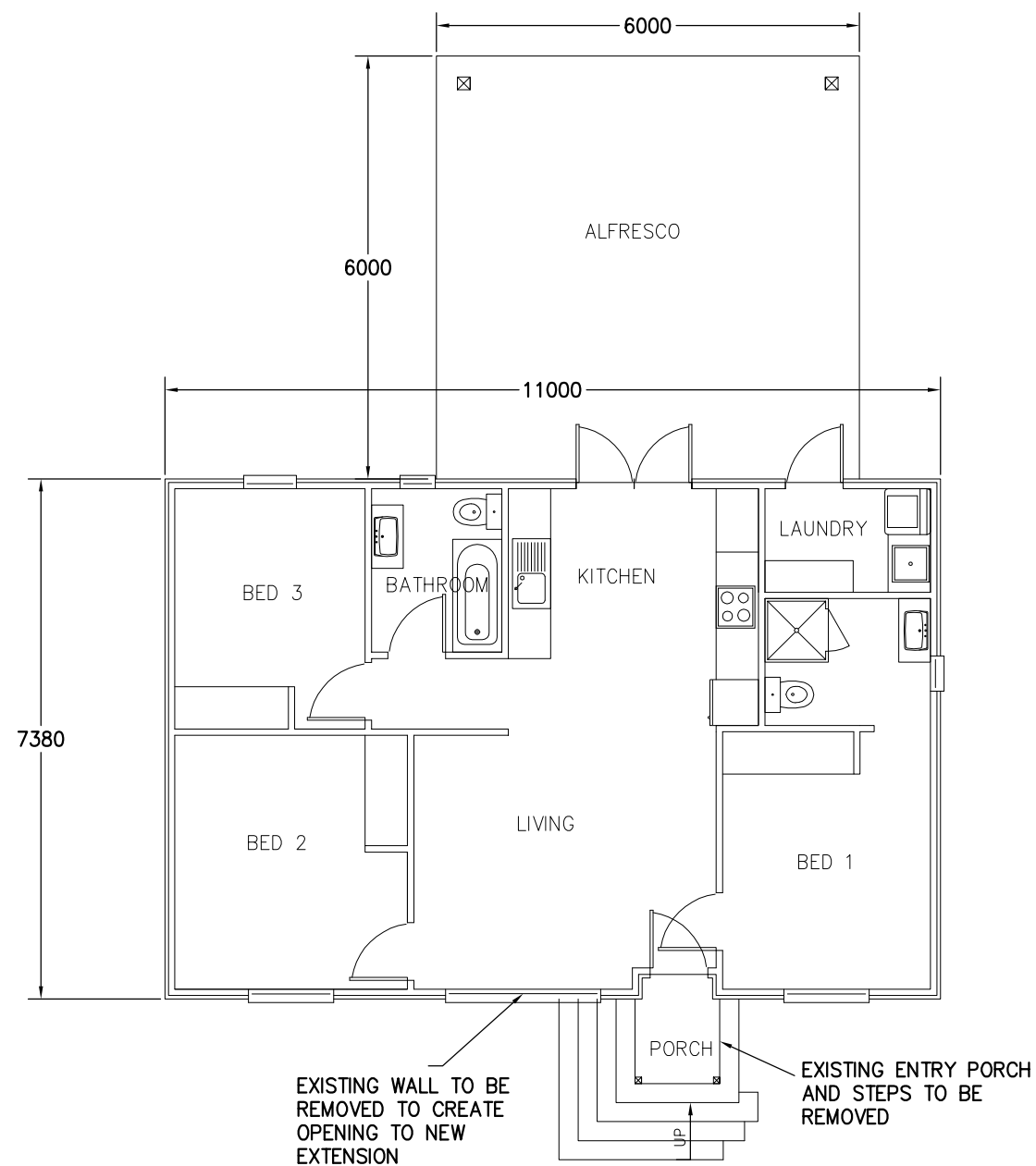
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APPROVED.
DATE: 27 / 09 / 25

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EXISTING FLOOR PLAN

EXISTING FLOOR AREA = 80.7 sq/m
EXISTING ALFRESCO AREA = 36.0 sq/m
EXISTING DIMENSIONS TO BE CONFIRMED ONSITE



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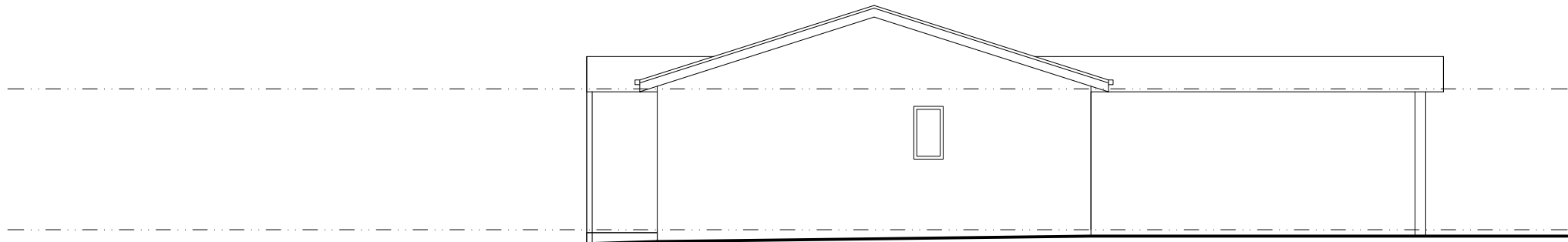
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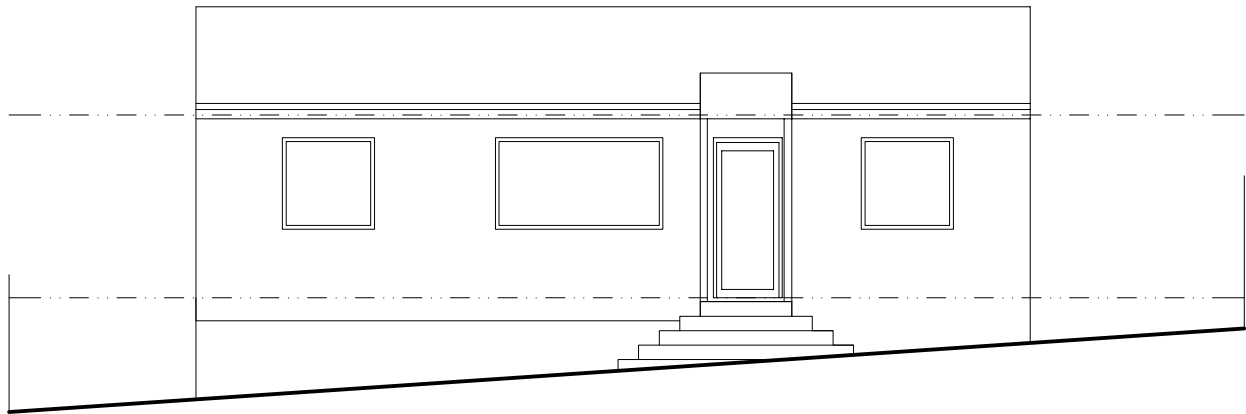
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DRAWING No.:
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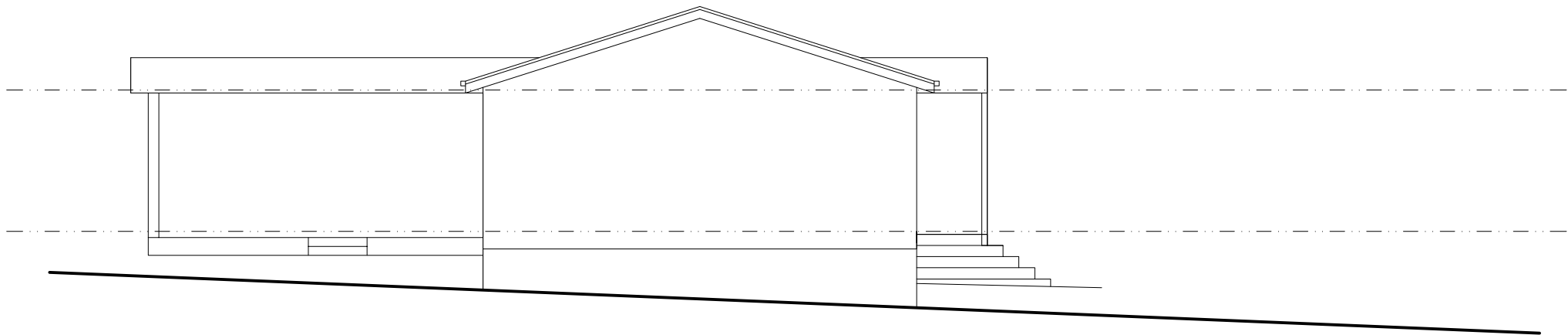
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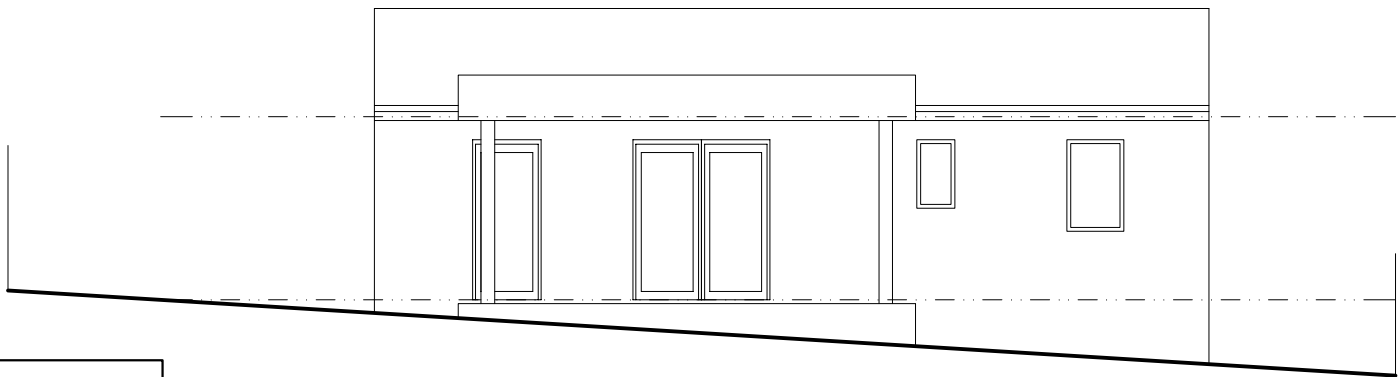
EXISTING EAST ELEVATION



EXISTING SOUTH ELEVATION



EXISTING WEST ELEVATION



EXISTING NORTH ELEVATION

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DRAWING: EXISTING ELEVATIONS

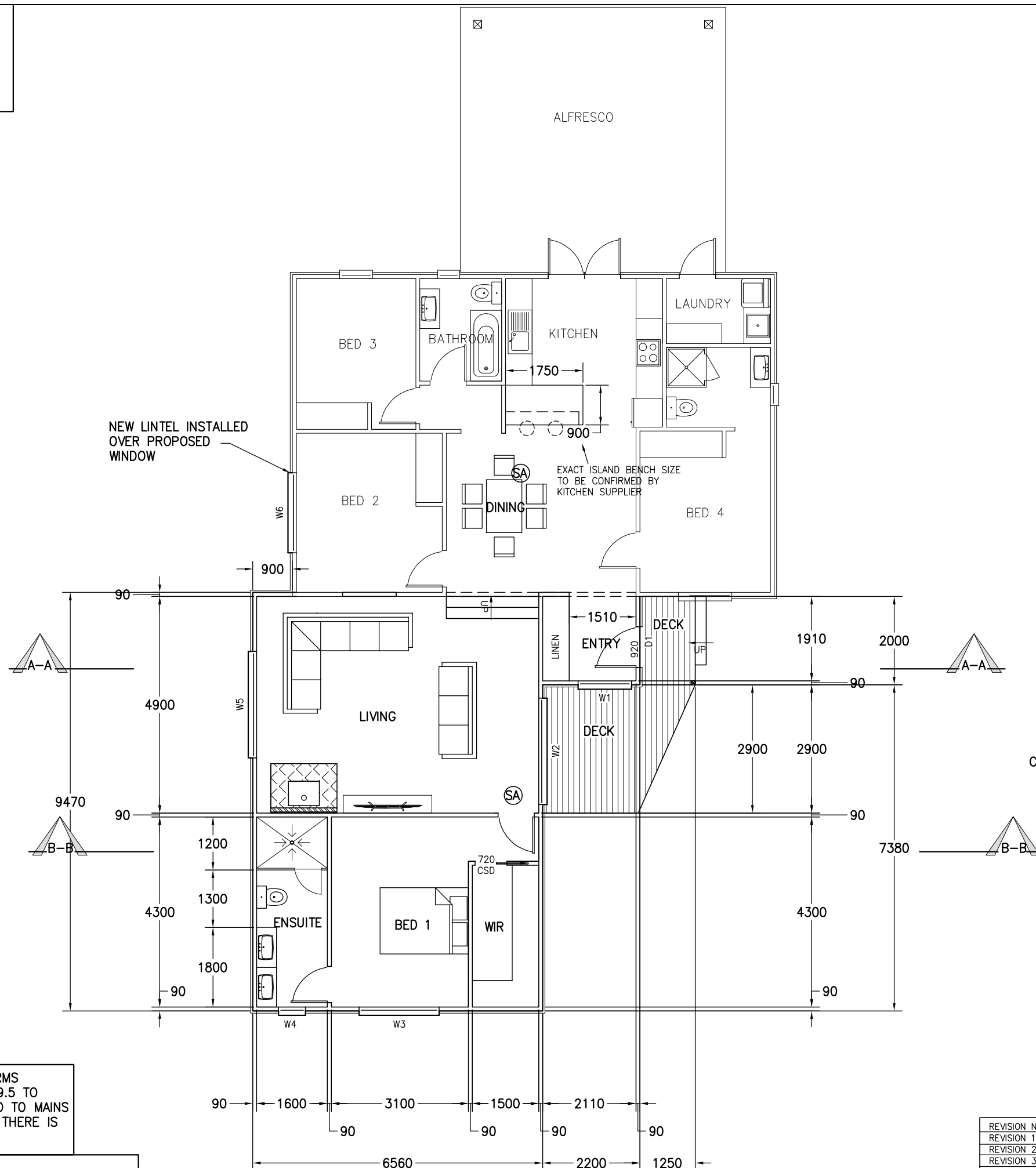
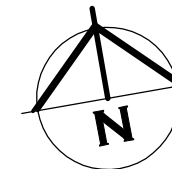
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SCALE: 1:100.
A3.

DRAWING No.:
NOR0522 – 5/33

- 90mm TIMBER FRAMED WALL WITH CEMENT SHEET CLADDING
- 90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)



FLOOR PLAN

EXISTING FLOOR AREA = 80.7 sq/m
EXISTING ALFRESCO AREA = 36.0 sq/m
PROPOSED FLOOR AREA = 66.7 sq/m
PROPOSED DECK AREA = 10.4 sq/m

EXISTING DIMENSIONS TO BE CONFIRMED ONSITE

CLAD FRAME – DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING. CLADDING IN ADDITION TO DIMENSIONS



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AT 19 ANTHONY STREET
TREVALLYN 7250

DRAWING: FLOOR PLAN

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DRAWN: B. v. Z.

APPROVED.
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NOR0522 – 6/33

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SA – 240V HARD WIRED SMOKE ALARMS
INSTALLED IN ACCORDANCE WITH NCC9.5 TO
COMPLY WITH AS3786, BE CONNECTED TO MAINS
POWER AND INTERCONNECTED WHERE THERE IS
MORE THAN ONE ALARM

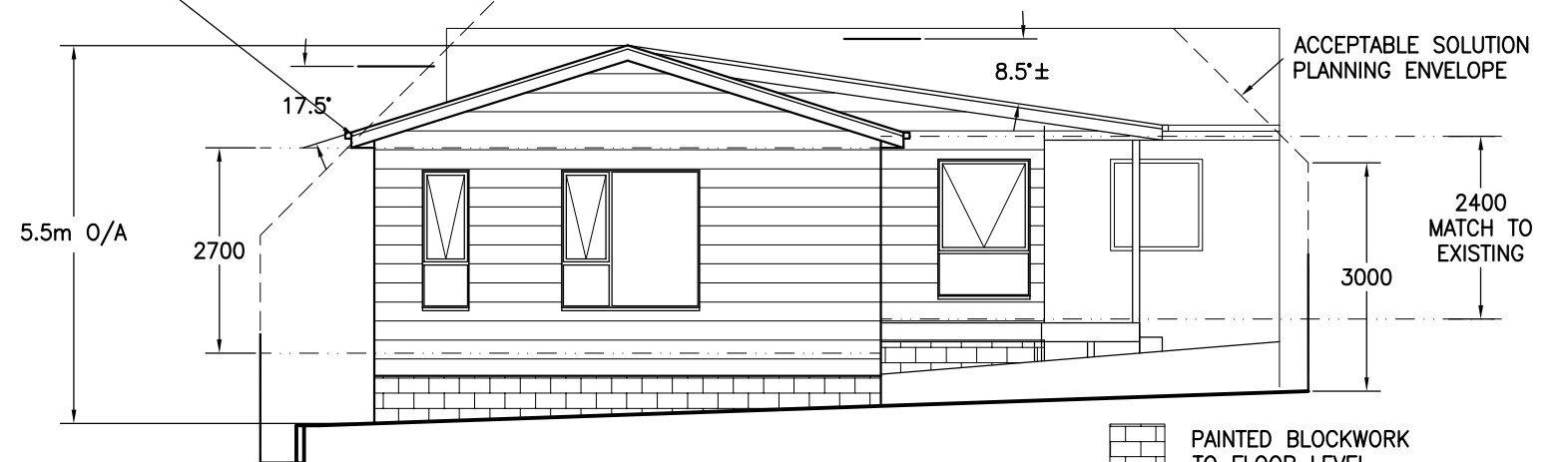
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PROPOSED EAST ELEVATION

ELEVATION GROUND LEVEL SHOWN AT FACADE OF ENTRY. LIVING ROOM SECTION ABOVE GROUND LEVEL AT FACADE OF LIVING ROOM

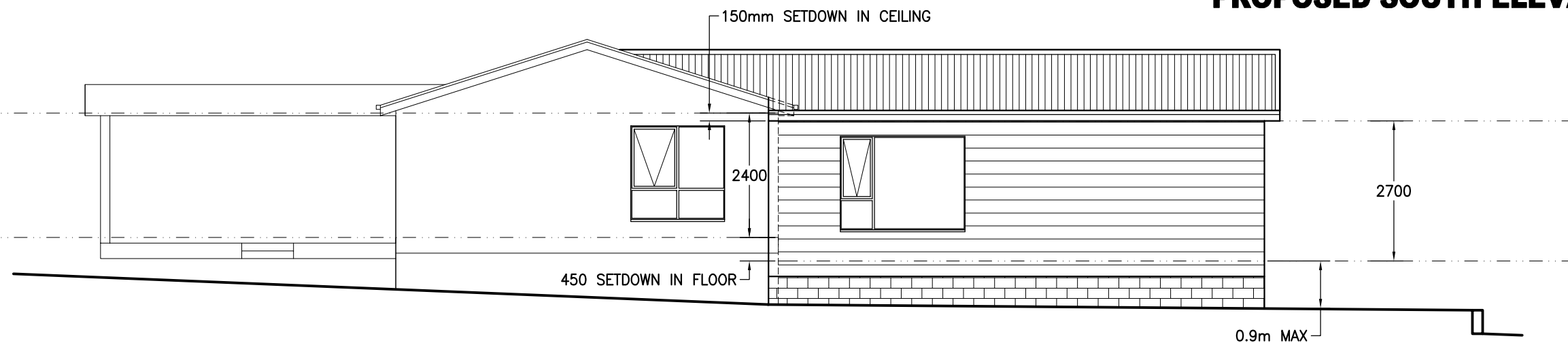
MINOR PROTRUSION LESS THAN 900mm OUTSIDE ENVELOPE



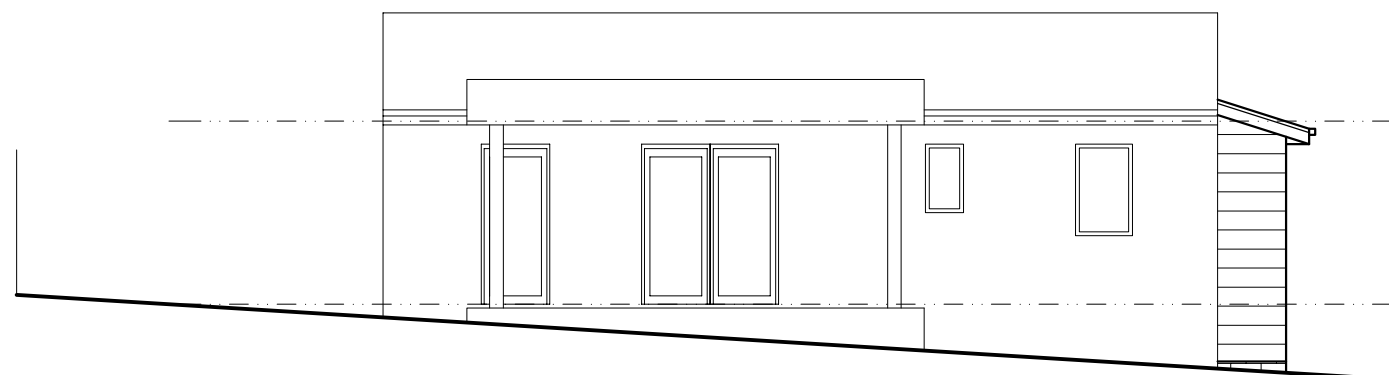
PROPOSED SOUTH ELEVATION

-  PAINTED BLOCKWORK TO FLOOR LEVEL
-  JAMES HARDIES LINEA WEATHERBOARD. OR OTHER JAMES HARDIES CODEMARK PRODUCT
-  COLORBOND CUSTOM ORB SHEET ROOFING

PROPOSED WEST ELEVATION



PROPOSED NORTH ELEVATION



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PROJECT: PROPOSED EXTENSION FOR
B NORTON
AT 19 ANTHONY STREET
TREVALLYN 7250

DRAWING: ELEVATIONS

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 27 / 09 / 25

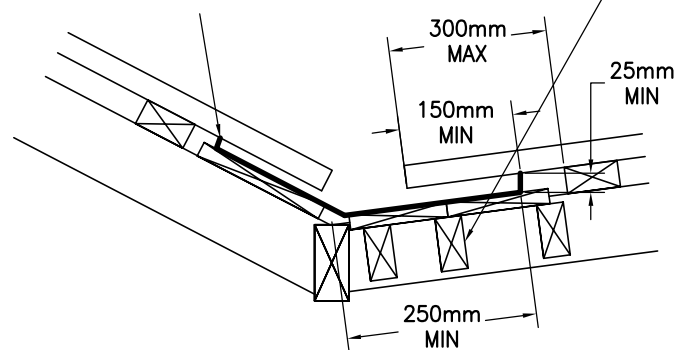
SCALE: 1:100.

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A3.

TOP OF FLASHING ON STEEPER SIDE OF ROOF PITCH MAY BE REDUCED TO 15mm DEEP MINIMUM WITH TOP OF FLASHING HIGHER THAN FLATTER ROOF SECTION

VALLEY BOARDS INSTALLED BETWEEN TRUSSES WITH BLOCKING TO ALLOW ADDITION DEPTH ON VALLEY GUTTER. ALTERNATIVELY STEP DOWN IN TOP CHORD OF TRUSSES TO ALLOW VALLEY BOARDS TO SIT ON TOP OF TOP CHORD



VALLEY GUTTER FROM WITH UNEQUAL ROOF SLOPE. DESIGNED AS BOX GUTTER

NEW PITCH SCOTCH VALLEY ROOF OVER EXISTING ROOFING AREA. INSTALLED AT ROOF PITCH TO MATCH GUTTER TO NEW RIDGE LEVEL. FLASHED TO SUIT.

90x45mm MGP12 CEILING JOISTS AT 450mm crs MAX SPAN
SINGLE SPAN WITH OVER BATTEN 2300mm
140x45mm MGP10 CEILING JOISTS AT 900mm crs MAX SPAN 3000mm
90x45mm MGP12 CONTINUOUS RAFTERS AT 900mm crs MAX SPAN
2600mm SINGLE SPAN RAFTER 2200mm MAX SPAN
2/90x45mm MGP12 CONTINUOUS UNDER PURLIN MAX SPAN 3.0m
140x45mm LVL13 MIN RIDGE MAX SPAN 3.0m
140x45mm LVL13 MIN HIP RAFTERS PROPPED AT UNDER PURLIN LOCATION
35x70mm MGP12 BATTENS AT 900mm crs
30x0.8mm TENSIONED GALV STRAP BRACING

ALL MEMBERS TO BE CONTINUOUS WHERE POSSIBLE OVER TWO SPANS

ROOF PLAN

SHEET ROOF
75x38mm HARD WOOD OR 70x35mm MGP12
BATTENS AT 900mm MAX 900mm CRS AND SPAN.

RANGEHOOD AND BATHROOM EXTRACTION FANS
DUCTED TO EAVE VENT

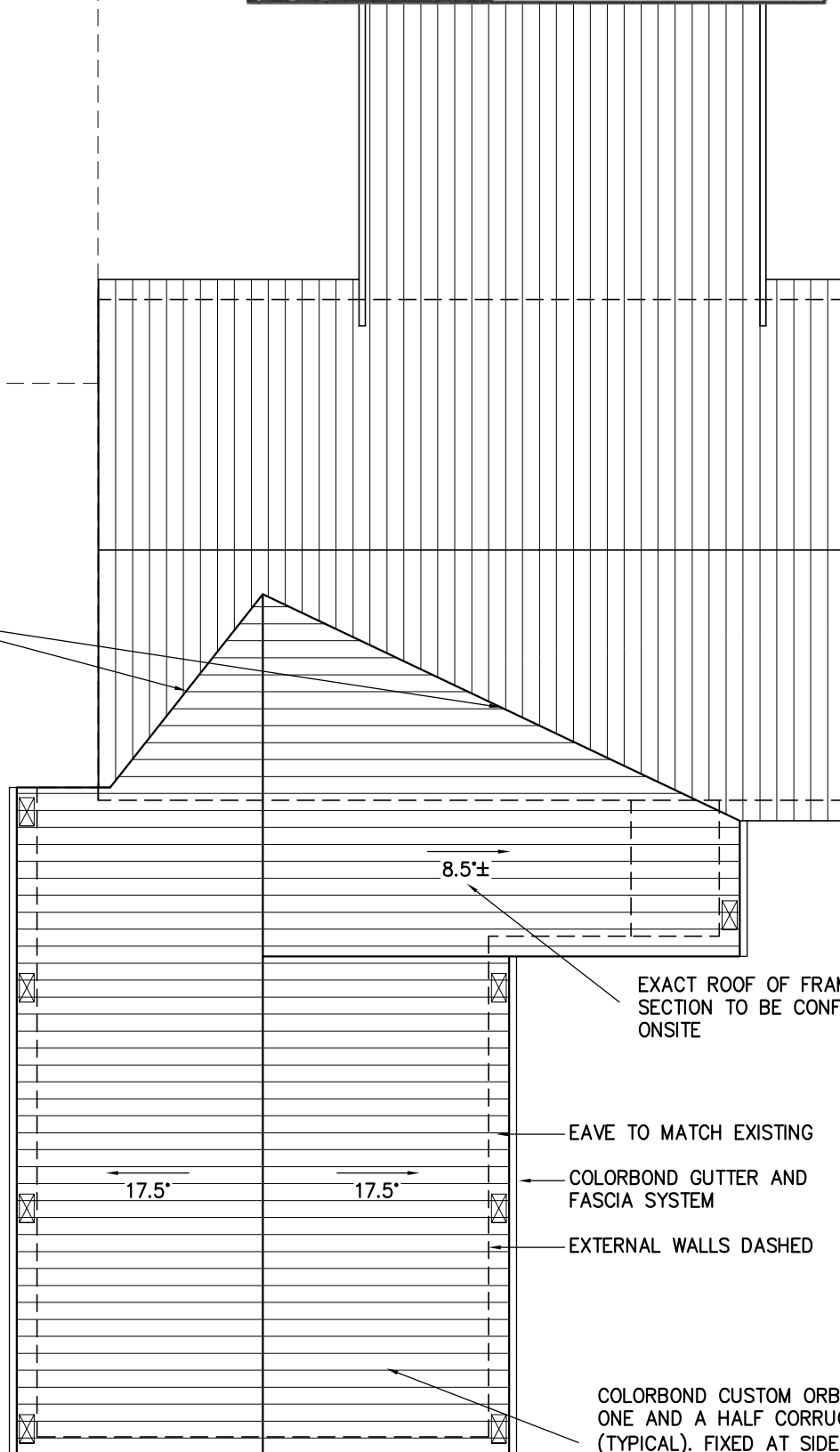
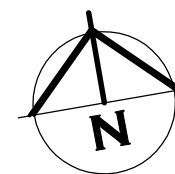
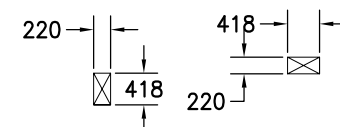
ROOF OVER 15 DEGREES

NON BAL ZONE – BRADFORD 418x220mm POLY VENT WITH 0.0237sq/m
OPENING PER VENT– THEREFORE ONE VENT INSTALLED PER 3.2m LINEAR
METER OF WALL

HIP/RIDGE VENTILATION
NON BAL ZONE – CONTINUOUS GAP AT RIDGE IN ROOF WRAP WITH AT
MINIMUM 5mm GAP AND/OR 5000mm²/m GABLE VENT IN GABLE ROOF
BAL ZONE – AS ABOVE BUT WITH EMBER RESISTANT STEEL MESH AS PER
DETAIL

ONE VENT INSTALLED WITHIN 1m OF EACH INTERNAL AND EXTERNAL
CORNER IN EAVE AND SPACED EQUALLY ALONG LENGTH OF EAVE WITH
SPACING AS PER DETAILS ABOVE

BRADFORD 418x220mm VENTS



COLORBOND CUSTOM ORB ROOF SHEETING
ONE AND A HALF CORRUGATION SIDE LAP
(TYPICAL). FIXED AT SIDE LAPS. 3
FIXINGS FOR INTERNAL SPANS AND
5 FOR END SPANS. FIXED WITH ROOFZIPS
M6–11x50mm FOR SOFTWOOD AND STEEL
0.55–1.0mm BMT BATTENS
12–14x35 METAL TEK 1.0–3.0mm BMT
STEEL BATTENS
12–11x50mm FOR HARDWOOD

ROOF CLADDING TO COMPLY WITH NCC PART 7.1–7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4

GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN

- 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS

WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION
MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF
OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW
MEASURERS OR THE LIKE

DOWNPIPES MUST—

(A)NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH
DOWNPIPE; AND

(B)BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS;
AND

(C)BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES
GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B
AND TABLE 7.4.3C.

FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPIPE MEDIUM
RECTANGULAR GUTTERS OR 115MM 'D' GUTTERS MAY BE USED
WITH 90ØMM DOWNPIPES

EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR
1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

(1) FOR A FRONT FACE SLOTTED GUTTER WITH—

A MINIMUM SLOT OPENING AREA OF 1200 MM² (A) PER METRE OF
GUTTER; AND

(a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25
MM BELOW THE TOP OF THE FASCIA,

THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M,
CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.

(2) FOR A CONTROLLED BACK GAP WITH—

(a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE
GUTTER BACK AND THE FASCIA; AND

(b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN
50 MM WIDE; AND

(c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM
BELOW THE TOP OF THE FASCIA,

THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M,
CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.

(3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE
A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED
OFFSET OF

THE GUTTER FROM THE FASCIA.



**BRADLEY
VAN ZETTEN**
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REVISION NUMBER	DATE
REVISION 1	01 / 05 / 2022
REVISION 2	23 / 05 / 2022
REVISION 3	05 / 06 / 2022
REVISION 4	11 / 09 / 2022
REVISION 5	18 / 04 / 2023
REVISION 6	07 / 09 / 2025
REVISION 7	15 / 09 / 2025
REVISION 8	27 / 09 / 2025