

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number PA2025323

Assess No: A13844

PID No: 9351871

Applicant Name:	Design To Live				
Postal Address:					
Contact Phone:	Home		Work		Mobile
Email Address:					

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements
2. A completed application form including a detailed description of the proposal
3. A complete plan set:
 - a) Floor plans
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level)
 - c) Site Plan showing:
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:



*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: Design To Live

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) VOS CONSTRUCTION & JOINERY PTY LTD /

Location / Address: 1 THORNE AVENUE, LEGANA

Title Reference: 187077/175

Zone(s): GENERAL RESIDENTIAL ZONE

Existing Development/Use: VACANT

Existing Developed Area: Area 0

DEVELOPMENT APPLICATION DETAILS

Proposed Use: Residential: ☒ Visitor Accommodation: ☐ Commercial: ☐ Other: ☐
Description of Use:
RESIDENTIAL

Development Type: Building work: ☒ Demolition: ☐ Subdivision: ☐ Other: ☐
Description of development:
PROPOSED MULTIPLE DWELLINGS

New or Additional Area: Area 396.21

Estimated construction cost of the proposed development: \$ 680,000

Building Materials:
Wall Type: REF. PLANS Colour: TBC
Roof Type: COLORBOND Colour: TBC

Application Number: «Application Number»

SUBDIVISION	N/A
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Subdivision creating additional lots ☐
 Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE	N/A
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Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: <i>(Existing)</i>	
Number of Employees: <i>(Proposed)</i>	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

(if not the owner)

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**General
Manager**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

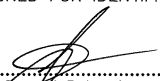
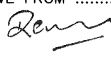
Date

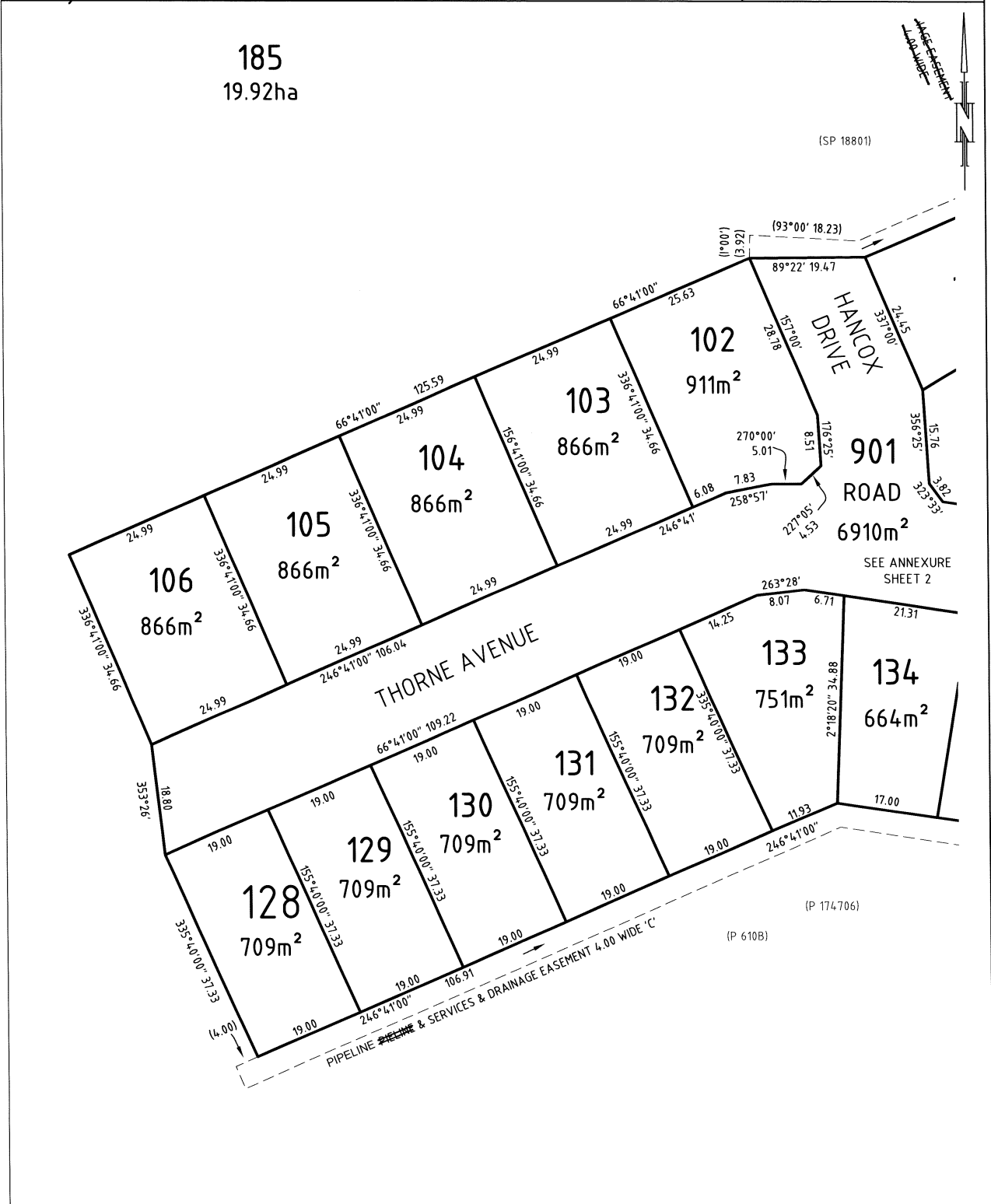
OWNER : VOS CONSTRUCTION & JOINERY PTY LTD FOLIO REFERENCE : F.R.174662/1 & 174706/1 GRANTEE : PART OF 2500 ACRES GRANTED TO JOHN GRIFFITHS	PLAN OF SURVEY BY SURVEYOR: M.R. HEATLEY of OPDA SURVEYORS, ENGINEERS & PLANNERS 3/23 BRISBANE STREET, LAUNCESTON TOWN OF LEGANA LOCATION: LAND DISTRICT OF DEVON PARISH OF STANLEY SCALE 1:2500 LENGTHS IN METRES	REGISTERED NUMBER SP187077 APPROVED 13 DEC 2024 EFFECTIVE FROM <i>Ren</i> Recorder of Titles
PRIORITY FINAL PLAN SURVEYORS REF: 51920DP ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		

INDEX PLAN
(SP21924)

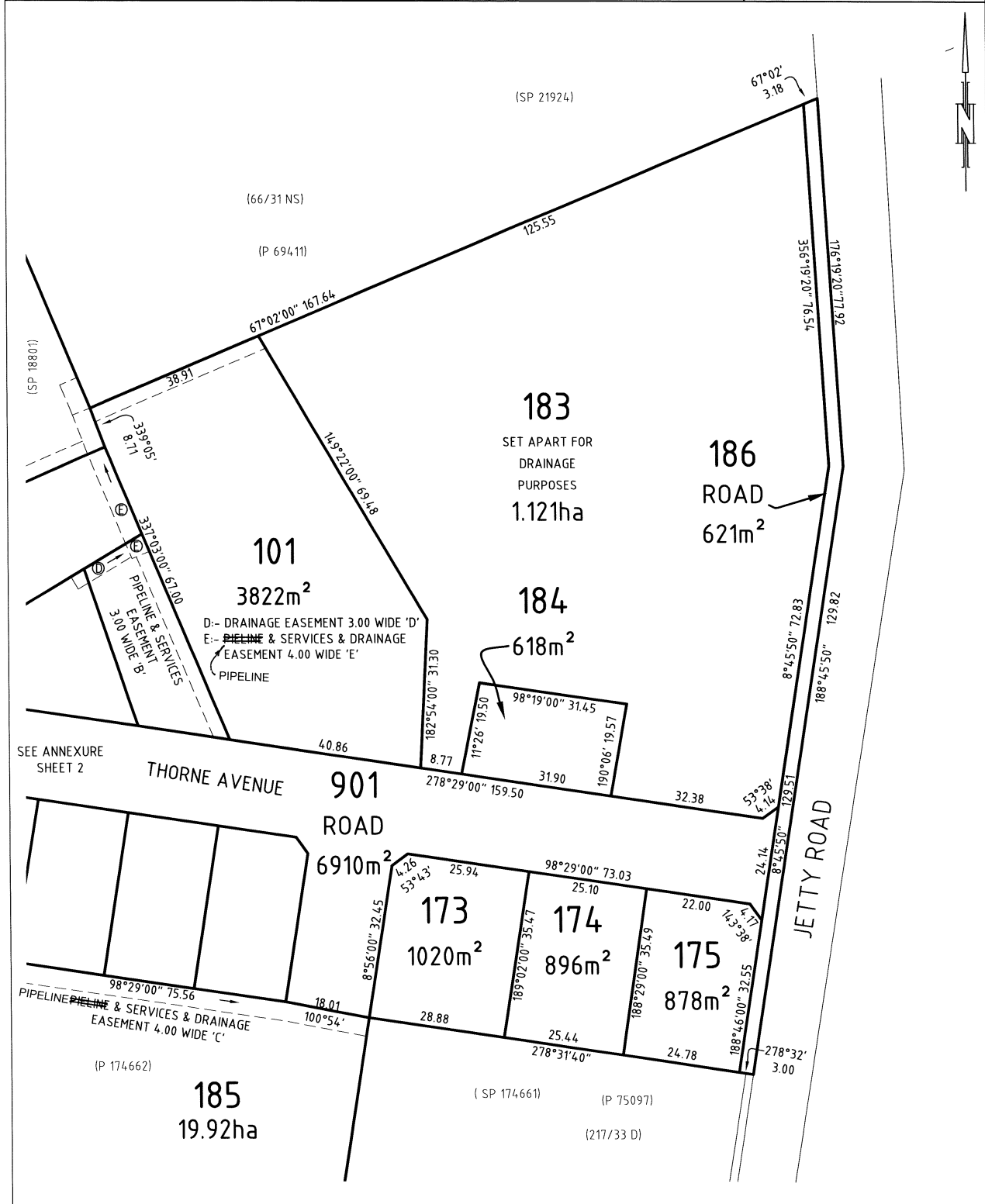
185
19.92ha

<i>[Signature]</i> Registered Land Surveyor 08/04/2024 Date	<i>[Signature]</i> Council Delegate 27/4/24 Date
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PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 3 SHEETS	OWNER: VOS CONSTRUCTION & JOINERY PTY LTD FOLIO REFERENCE: F.R.174662/1 & 174706/1 SCALE 1:600 LENGTH IN METRES	Registered Number SP 187077
SIGNED FOR IDENTIFICATION PURPOSES  Council Delegate 27/11/24 Date	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.  Registered Land Surveyor 08/04/2024 Date	APPROVED EFFECTIVE FROM 13 DEC 2024  Recorder of Titles



PLAN OF SURVEY ANNEXURE SHEET SHEET 3 OF 3 SHEETS	OWNER: VOS CONSTRUCTION & JOINERY PTY LTD FOLIO REFERENCE: F.R.174662/1 & 174706/1 SCALE 1:750 LENGTH IN METRES	Registered Number SP187077
SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> 27/11/24 Council Delegate Date	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>[Signature]</i> 08/04/2024 Registered Land Surveyor Date	APPROVED EFFECTIVE FROM 13 DEC 2024 <i>[Signature]</i> Recorder of Titles



SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP187077
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PAGE 1 OF 3 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
(2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
(2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 98, 100 and 185 on the Plan are subject to a Right of Drainage ~~of the~~ in favour of the West Tamar Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'E'" shown passing through those lots on the Plan.

Lots 98, 100 and 185 on the Plan ("the Lot") are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'E'" shown on the Plan ("the Easement Land").

Lots 99 and 100 on the Plan are subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE 'D'" shown passing through those lots on the Plan.

Lot 100 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE 'B'" shown on the Plan ("the Easement Land").

Lot 101 on the Plan is subject to a Right of Drainage ~~of the~~ in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE 'A'" shown passing through Lot 101 on the Plan.

Lot 185 on the Plan is subject to a Right of Drainage ~~of the~~ in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE & VARIABLE" shown passing through Lot 185 on the Plan.

Lot 185 on the Plan is subject to a Right of Drainage ~~of the~~ in favour of the West Tamar Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'C'" shown passing through Lot 185 on the Plan.

Lot 185 on the Plan ("the Lot") is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'C'" shown on the Plan ("the Easement Land").

Lot 185 on the Plan is subject to a Right of Drainage ~~of the~~ in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 4.00 WIDE" shown passing through Lot 185 on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Vos Construction & Joinery Pty Ltd FOLIO REF: Volume 174662 Folio 1 and Volume 174706 Folio 1 SOLICITOR & REFERENCE: Penny Sproal - 246482	PLAN SEALED BY: West Tamar Council DATE: 27/11/2024 PA2021064 REF NO. Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 3 PAGES	Registered Number SP. 187077
SUBDIVIDER: Vos Construction & Joinery Pty Ltd FOLIO REFERENCE: Volume 174662 Folio 1 and Volume 174706 Folio 1	

That part of each lot on the plan formerly comprised in Lot 1 on Plan 174662 is together with a right of carriage way over all the Roadways shown on Plan No. 610 other ~~than~~ the Roadway marked thereon as "Track from West Tamar Road to Homestead".

INTERPRETATION

In this Schedule of Easements:

"Pipeline Easement" means:

The full and free right and liberty to draw water through pipes now or to be installed as hereinafter appears within that portion of each Lot subject thereto marked pipeline easement on the plan and for that purpose to enter thereon and to lay in, under and upon the pipeline easement such pipe or pipes as shall from time to time be necessary for the purposes aforesaid and to draw water through such pipes and at all times to enter into and upon the pipeline easement for the purpose of maintaining any pumping system and inspecting, cleaning, maintaining, removing and renewing such pipes and to carry out all necessary work thereon causing as little damage as possible and making reasonable compensation for all damage done or caused thereby.

"Pipeline & Services Easement" means:

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorized by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorized to do or undertake
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure
- (4) run and pass sewerage, water and electricity through and along the Infrastructure
- (5) do all works reasonably required in connection with such activities or as may be authorized or required by any law:
 - (a) without doing unnecessary damage to the Easement Land, and
 - (b) leaving the Easement Land in a clean and tidy condition.
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorized by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land, and
- (7) use the Easement Land as a right of carriage way for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.




NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 3 PAGES	Registered Number SP 187077
SUBDIVIDER: Vos Construction & Joinery Pty Ltd FOLIO REFERENCE: Volume 174662 Folio 1 and Volume 174706 Folio 1	

Interpretation:

"Infrastructure" means infrastructure owned on for which TasWater is responsible and includes but is not limited to:

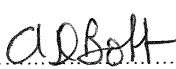
- (a) Sewer pipes and water pipes and associated valves,
- (b) Telemetry and monitoring devices,
- (c) Inspection and access pits,
- (d) Electricity assets and other conducting media (excluding telemetry and monitoring devices),
- (e) Markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure,
- (f) Anything reasonably require to support, protect or cover any other Infrastructure,
- (g) Any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewerage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity, and
- (h) Where the context permits, any part of the Infrastructure.

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

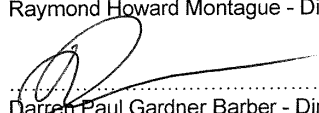
FENCING COVENANT

The Owner of each lot on the Plan covenants with the Vendor (Vos Construction & Joinery Pty Ltd) that the Vendor shall not be required to fence.

EXECUTED by VOS CONSTRUCTION & JOINERY PTY LTD (ACN 009 558 258) being the registered proprietor of the lands comprised in Folio of the Register Volume 174706 Folio 1 and Folio of the Register Volume 174662 Folio 1 in accordance with Section 127 of the Corporations Act 2001:


.....
Darren Roelf Vos - Director
.....
Adrian Donald Bott - Secretary

LEGANA ORCHARDS PTY LTD (ACN 009 520 852) as mortgagee under Mortgage No. E308992 hereby consents to this Schedule of Easements:


.....
Raymond Howard Montague - Director
.....
Darren Paul Gardner Barber - Director

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



PROPOSED MULTIPLE DWELLINGS
1 THORNE AVENUE,
LEGANA, 7277.



DRAWING #	DRAWING
THRN01-1	COVER PAGE
THRN01-2	SITE SURVEY PLAN
THRN01-3	SITE PLAN
THRN01-4	STRATA PLAN
THRN01-5	LANDSCAPE PLAN
THRN01-6	EXTERNAL SERVICES
THRN01-7	UNIT 1 FLOOR PLAN
THRN01-8	UNIT 1 ELEVATIONS NTH-STH
THRN01-9	UNIT 1 ELEVATIONS EST-WST
THRN01-10	UNIT 2 FLOOR PLAN
THRN01-11	UNIT 2 ELEVATIONS NTH-STH
THRN01-12	UNIT 2 ELEVATIONS EST-WST
THRN01-13	SHADOW DIAGRAMS UNIT 2 P.O.S
THRN01-14	PERSPECTIVES

CLASSIFICATION OF BUILDING	COUNCIL	ZONE
CLASS 1	WEST TAMAR COUNCIL	GENERAL RESIDENTIAL ZONE
AREAS (m²)	LAND TITLE REFERENCE	ENERGY STAR RATING
UNIT 1	182.04	187077/175
UNIT 1 PORCH	6.72	9351871
UNIT 1 ALFRESCO	9.39	878
UNIT 2	180.22	12.5
UNIT 2 PORCH	2.91	N2
UNIT 2 ALFRESCO	14.93	N/A
PLANNING OVERLAY	BUSHFIRE PRONE ZONE, NATURAL ASSETS CODE	

ACC # 371799313
ABN. 71 615 812 747
PH. 6344 7319
E. info@designtolive.com.au
W. designtolive.com.au

CLIENT/S:
175 JETTY ROAD INVESTMENTS
PTY LTD

SITE ADDRESS:
1 THORNE AVENUE,
LEGANA, 7277.

DRAWING
COVER PAGE

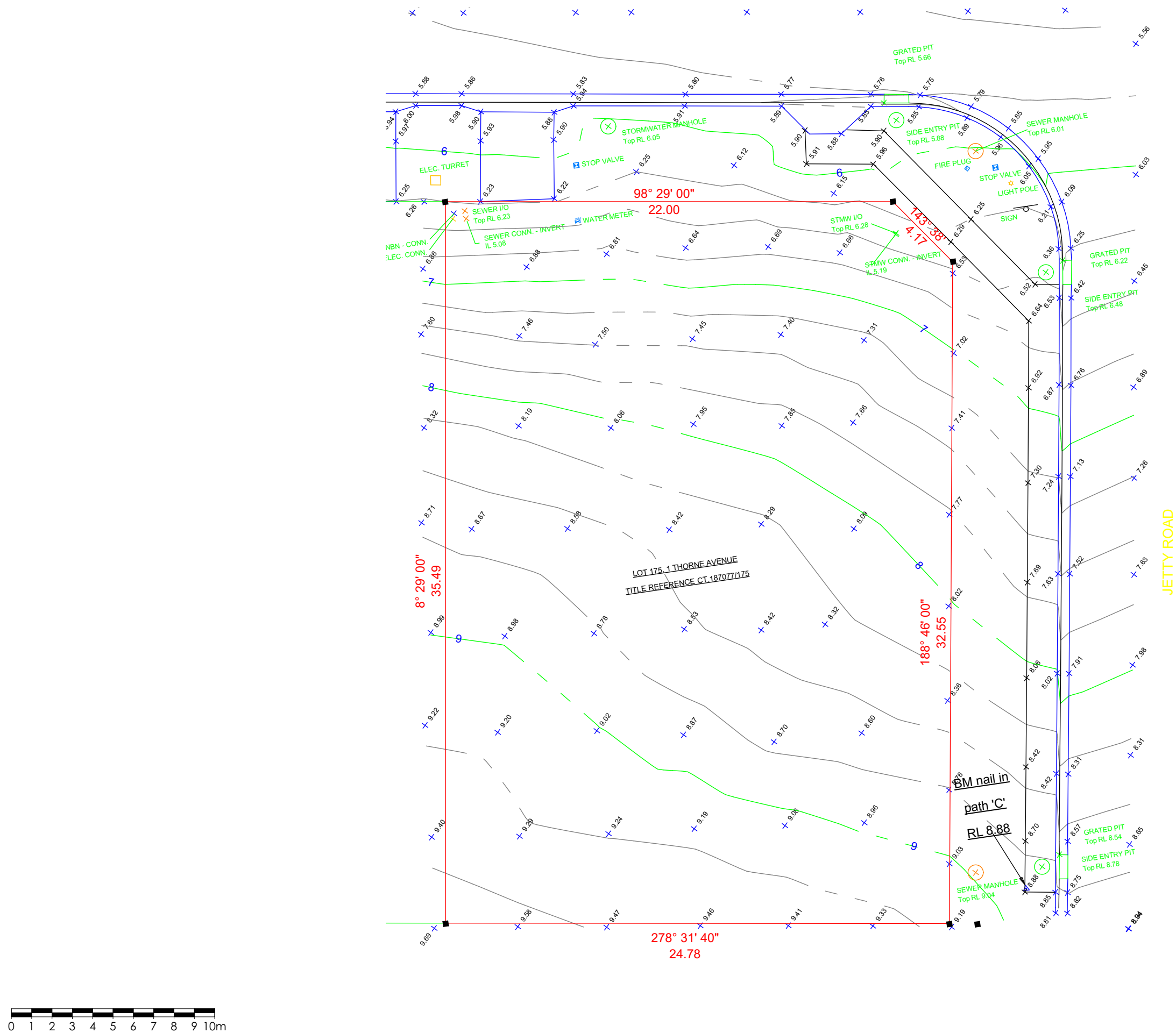
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SIGNATURE: **DATE:**

SIGNATURE: **DATE:**

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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	THRN01
R1	01/10/2025	CLIENT REVIEW	DRAWN	D.P	DRAWING	1/14
R2	06/10/2025	FOR DA				
R3	20/10/2025	RFI CHANGES	CHECKED	M.L.	SCALE (@A3)	NTS



SURVEY NOTES:

- notes:
- This note forms an integral part of the survey data and should be read in conjunction with any use or presentation of the data.
 - Survey undertaken 6/08/2025.
 - The purpose of the survey is for residential dwelling design and should not be used for any other purpose.
 - Location: Lot 175, 1 Thorne Avenue, Legana.
 - Title reference: CT. 187077/175.
 - Underground assets not located.
 - Radian Surveying accepts no responsibility for any loss or damage caused by interference with, or conflicting design over, underground services, whether shown in this data, or not.
 - Coordinate datum plane based on MGA2020 coords at BM Nail in path 'C'.
 - Level datum AHD83 per SmartNet GNSS connection.
 - Contour interval 0.25m, index interval 1.00m.
 - Boundaries & any easements compiled only from SP.187077.
 - Boundaries are indicative only and are subject to remark survey where proposed works are close to, or along boundaries.
 - Adjoining house levels to ridge lines, gutter heights or top of window openings where shown.



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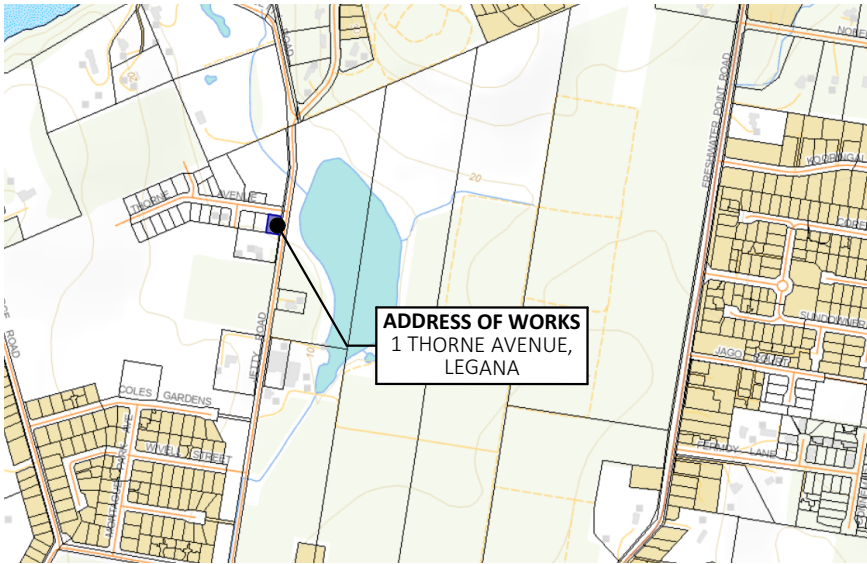
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DRAWING
SITE SURVEY
PLAN

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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	THRNO1
R1	01/10/2025	CLIENT REVIEW	DRAWN	D.P	DRAWING	2/14
R2	06/10/2025	FOR DA				
R3	20/10/2025	RFI CHANGES	CHECKED	M.L.	SCALE (@A3)	1:200



LOCALITY PLAN
NOT TO SCALE

AREA	m ²
UNIT 1	182.04
UNIT 1 PORCH	6.72
UNIT 1 ALFRESCO	9.39
UNIT 2	180.22
UNIT 2 PORCH	2.91
UNIT 2 ALFRESCO	14.93

SITE PLAN KEY	
	APPROX SITE CUT
	APPROX SITE FILL

NOTE:
VACANT LOT - NO PLANT OR TREE VEGETATION TO BE REMOVED



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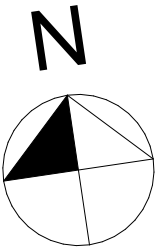
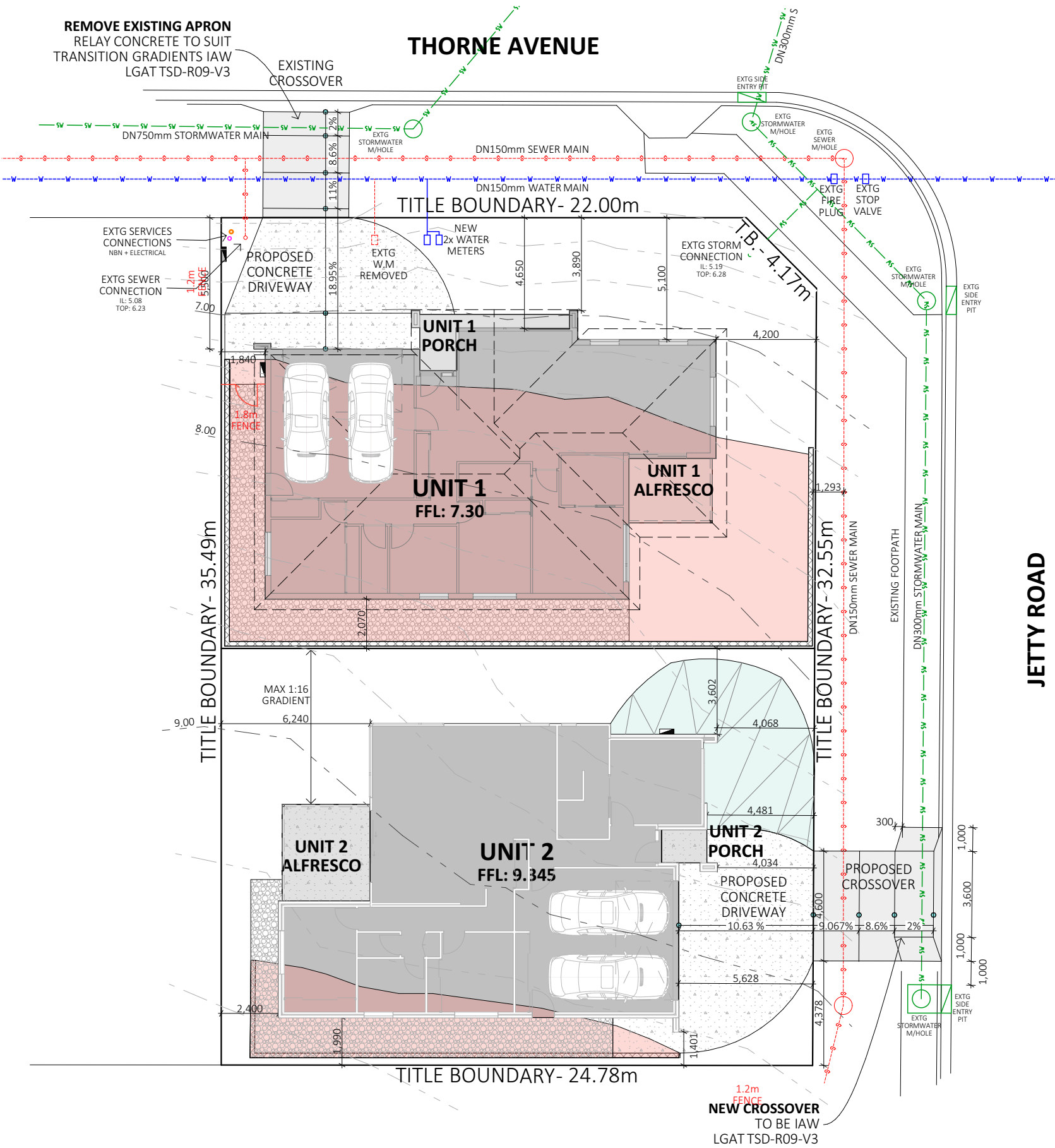
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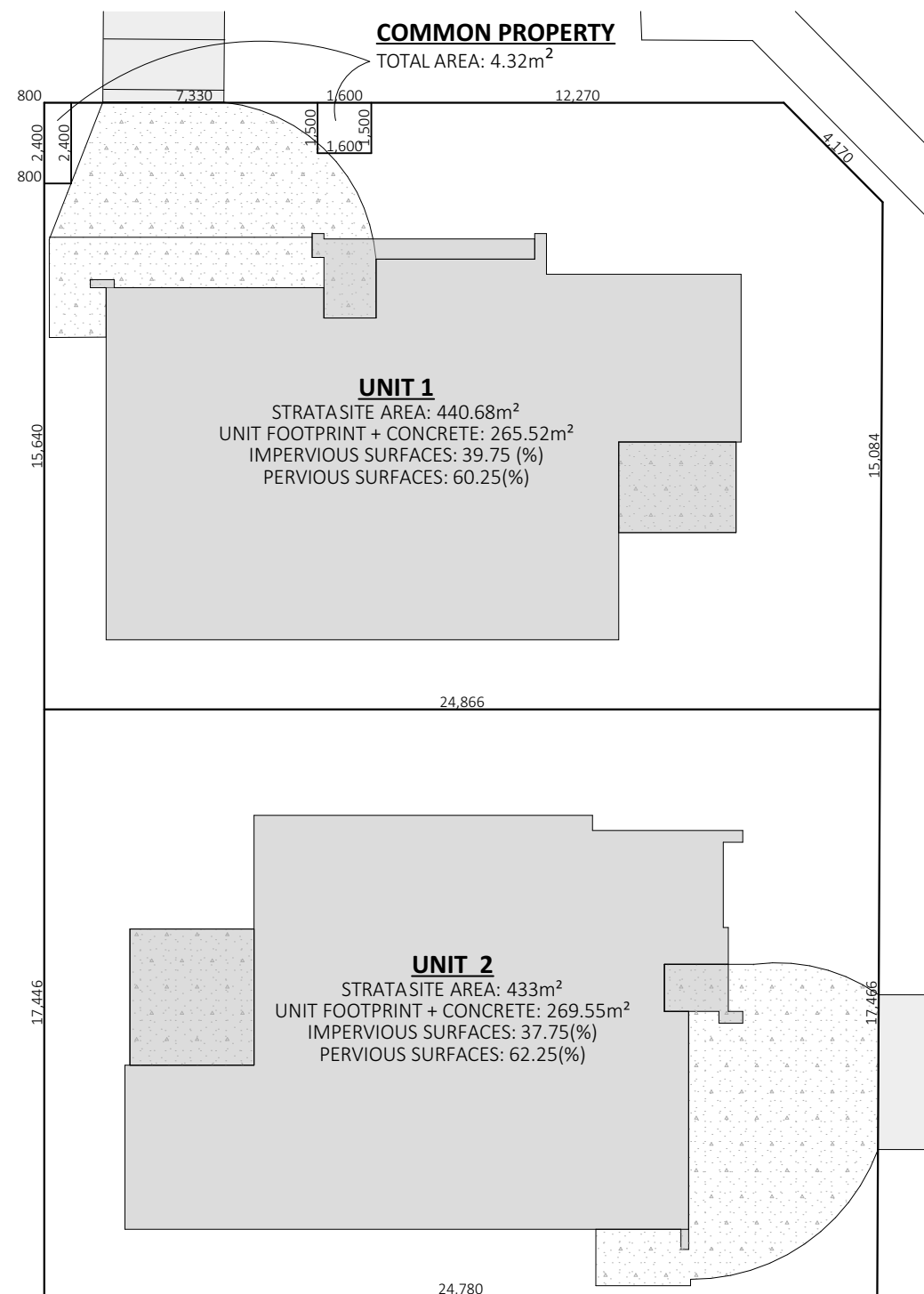
**DRAWING
SITE PLAN**

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DATE:

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R1	01/10/2025	CLIENT REVIEW	DRAWN	D.P	DRAWING	3/14
R2	06/10/2025	FOR DA				
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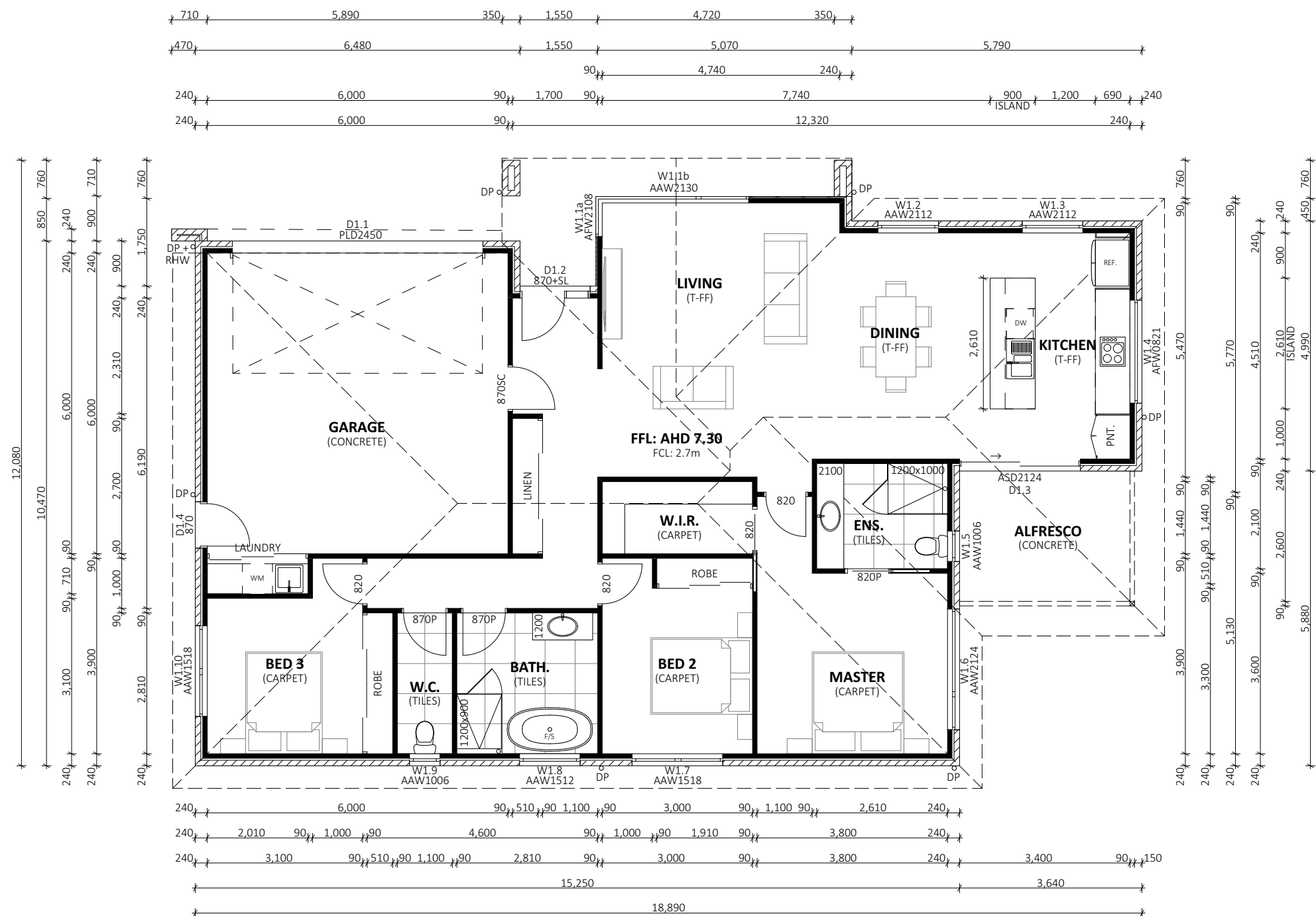
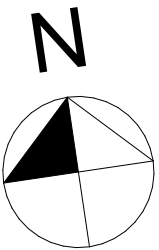
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**DRAWING
STRATA PLAN**

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SIGNATURE:
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DATE:

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R1	01/10/2025	CLIENT REVIEW	DRAWN	D.P	DRAWING	4/14
R2	06/10/2025	FOR DA				
R3	20/10/2025	RFI CHANGES	CHECKED	M.L.	SCALE (@A3)	1:200



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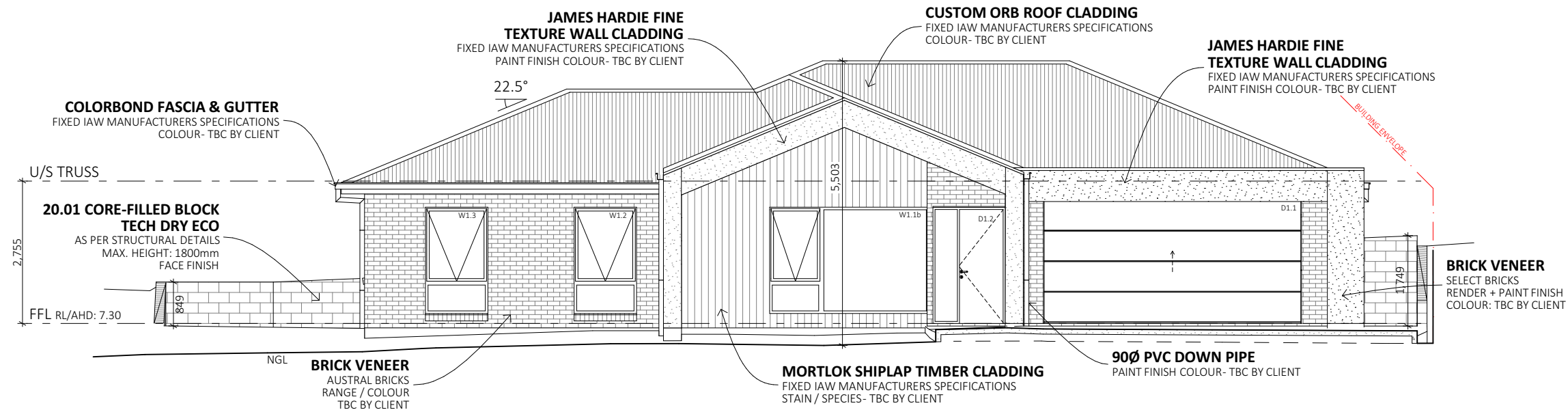
CLIENT/S:
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SITE ADDRESS:
1 THORNE AVENUE,
LEGANA, 7277.

DRAWING
UNIT 1 FLOOR
PLAN

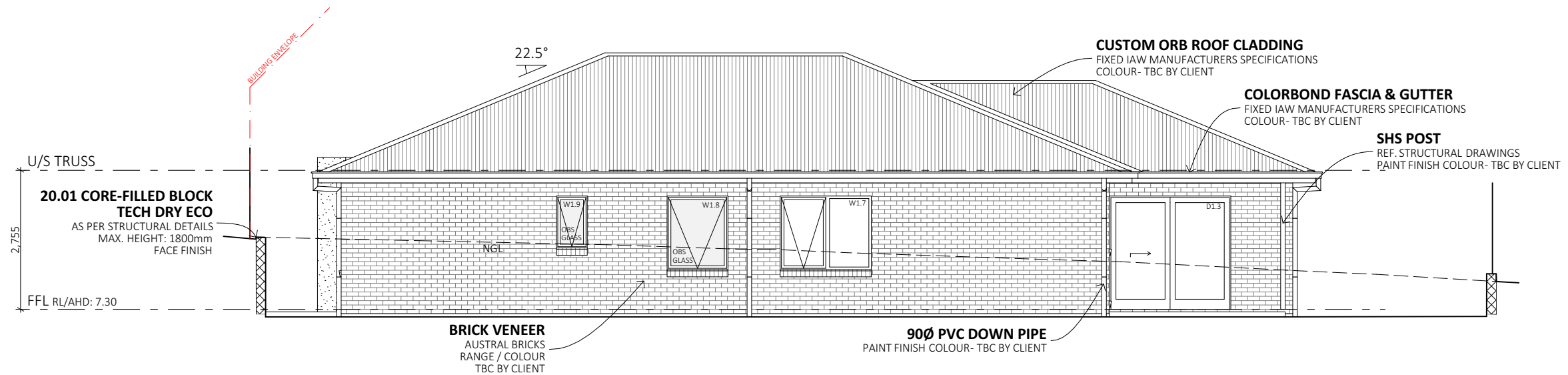
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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	THRNO1
R1	01/10/2025	CLIENT REVIEW	DRAWN	D.P	DRAWING	7/14
R2	06/10/2025	FOR DA				
R3	20/10/2025	RFI CHANGES	CHECKED	M.L.	SCALE (@A3)	1:100



NORTHERN ELEVATION



SOUTHERN ELEVATION



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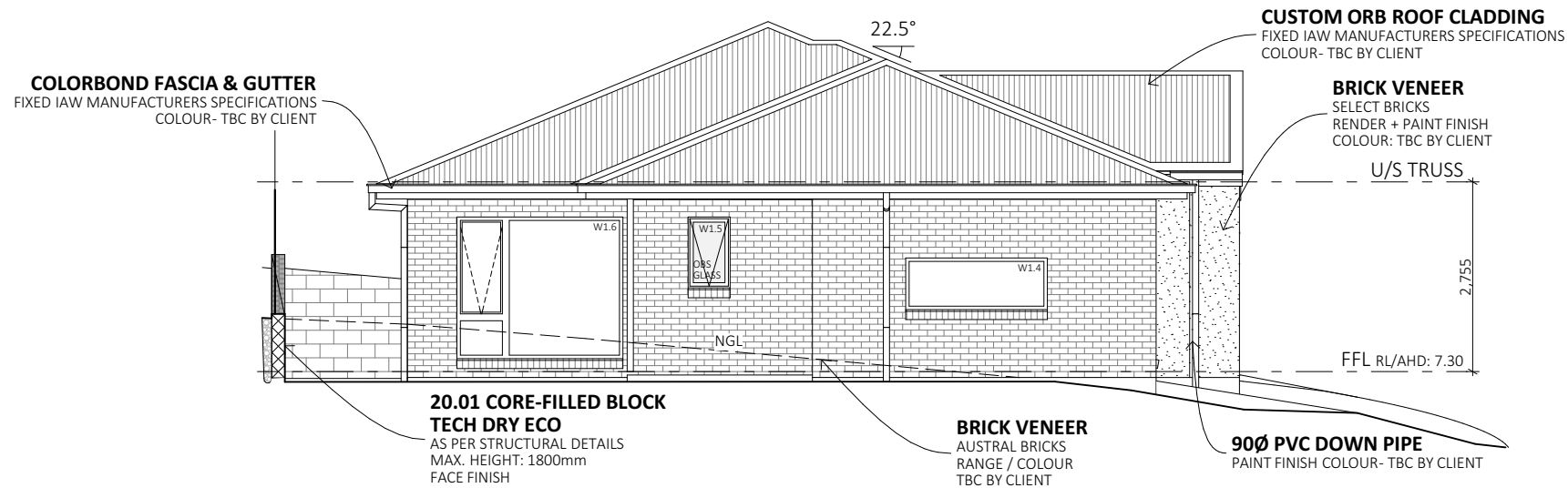
CLIENT/S:
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PTY LTD
SITE ADDRESS:
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DRAWING
UNIT 1
ELEVATIONS
NTH-STH

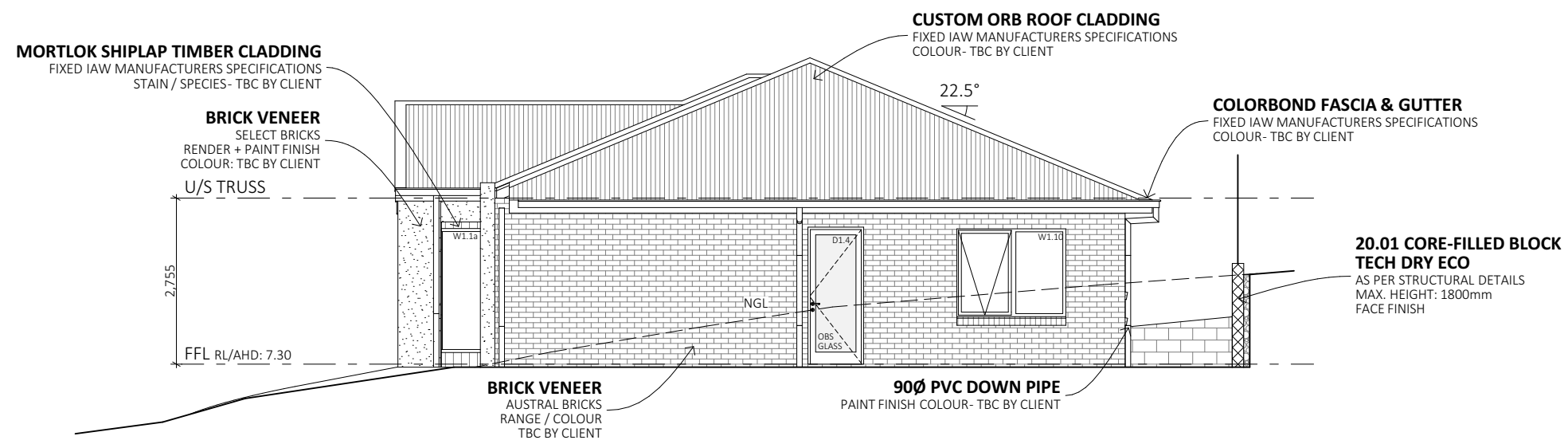
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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	THRN01
R1	01/10/2025	CLIENT REVIEW	DRAWN	D.P	DRAWING	8/14
R2	06/10/2025	FOR DA				
R3	20/10/2025	RFI CHANGES	CHECKED	M.L.	SCALE (@A3)	1:100



EASTERN ELEVATION



WESTERN ELEVATION



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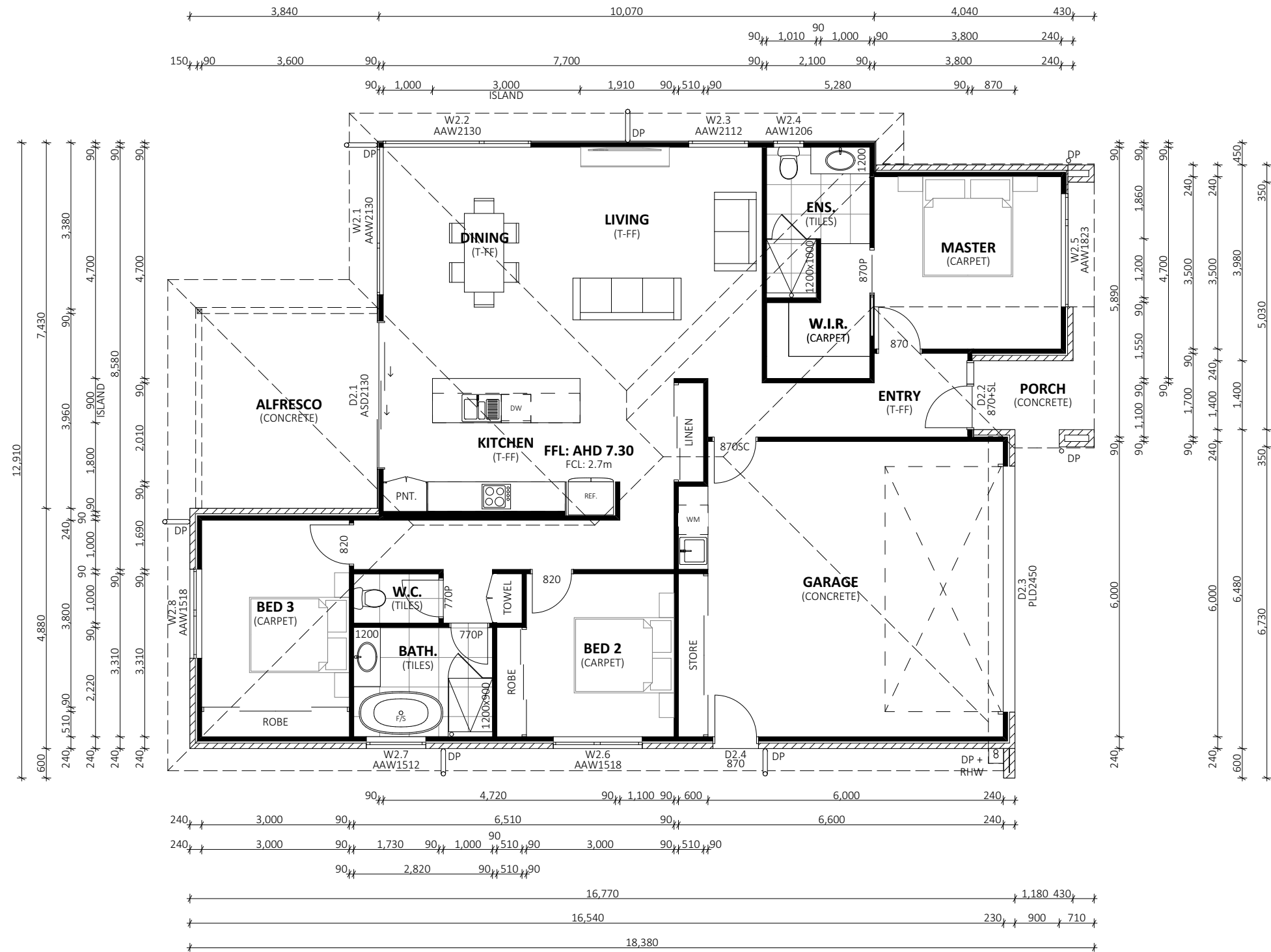
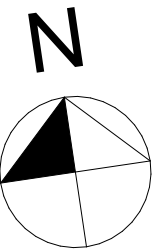
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DRAWING
UNIT 1
ELEVATIONS
EST-WST

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R1	01/10/2025	CLIENT REVIEW	DRAWN	D.P	DRAWING	9/14
R2	06/10/2025	FOR DA				
R3	20/10/2025	RFI CHANGES	CHECKED	M.L.	SCALE (@A3)	1:100



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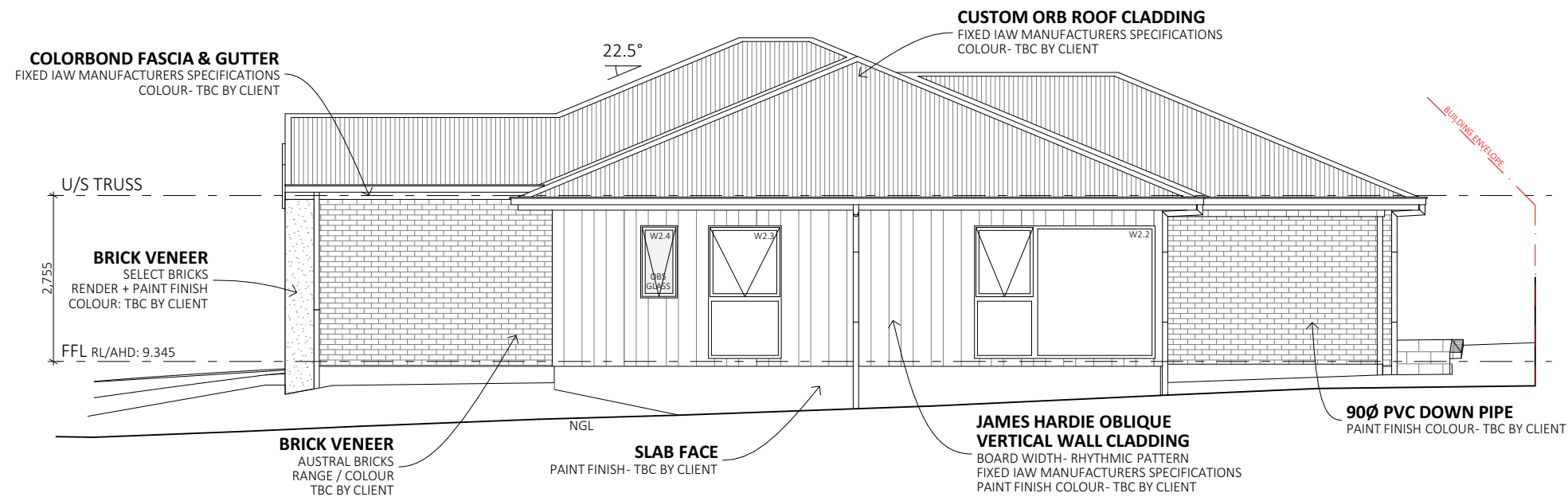
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DRAWING
UNIT 2 FLOOR
PLAN

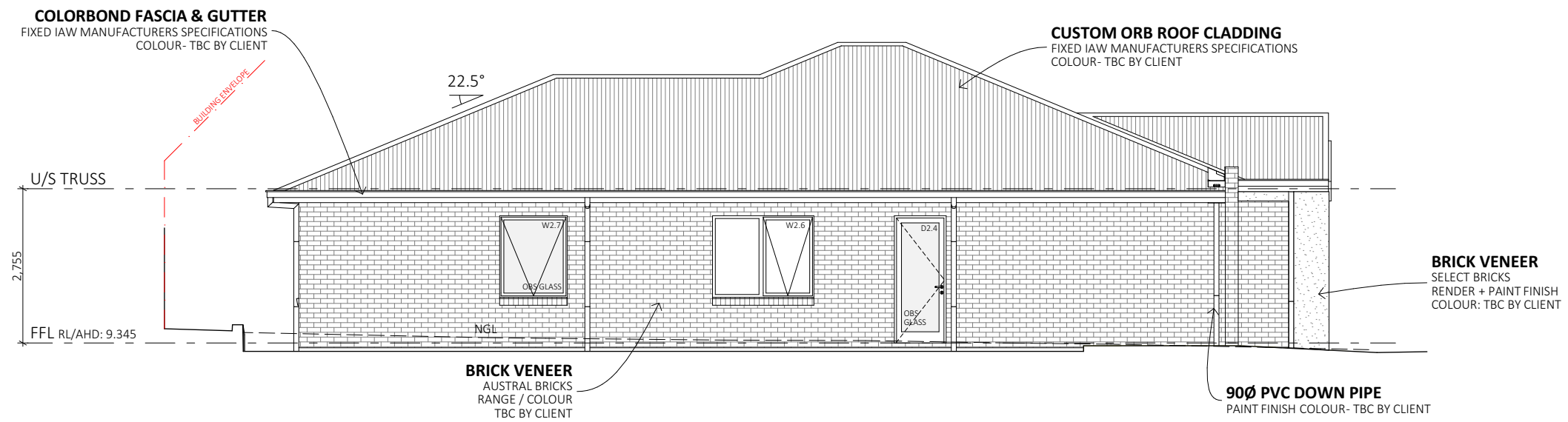
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R1	01/10/2025	CLIENT REVIEW	DRAWN	D.P	DRAWING	10/14
R2	06/10/2025	FOR DA				
R3	20/10/2025	RFI CHANGES	CHECKED	M.L.	SCALE (@A3)	1:100



NORTHERN ELEVATION



SOUTHERN ELEVATION



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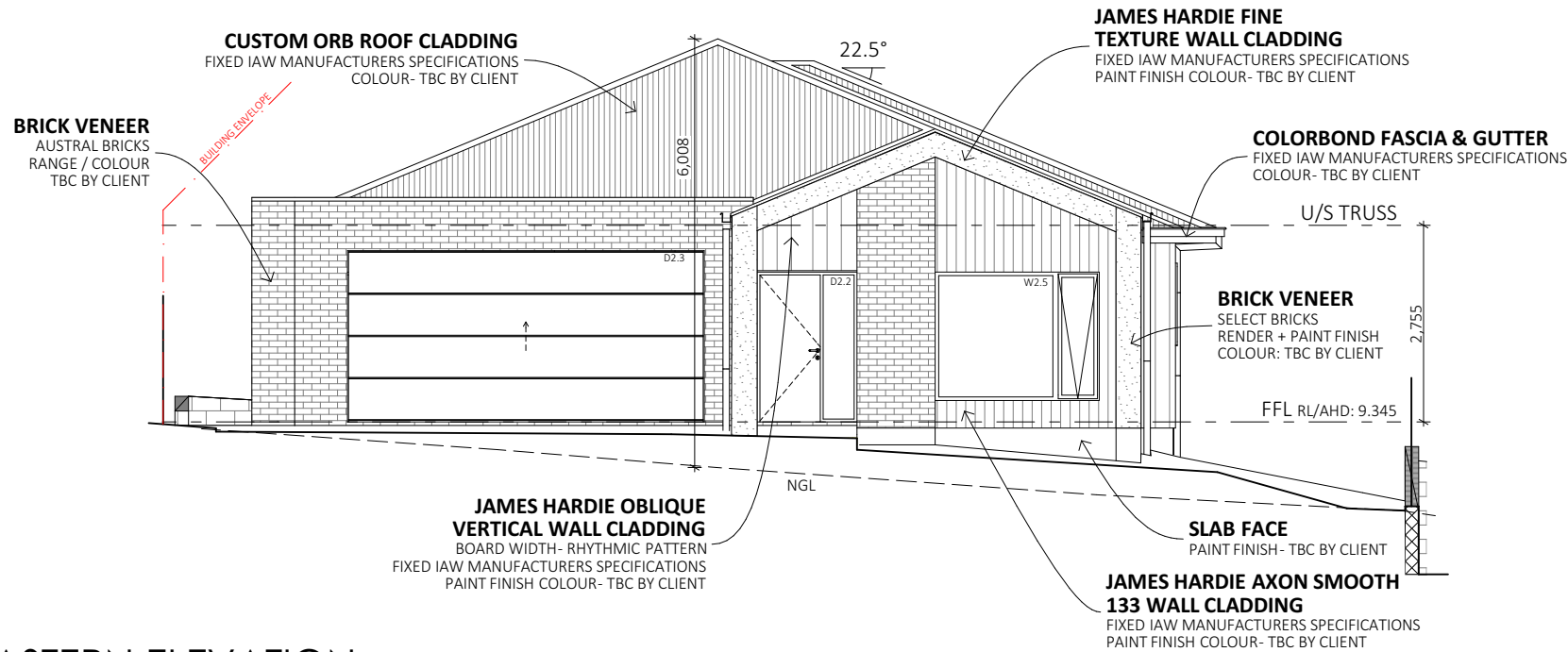
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DRAWING
UNIT 2
ELEVATIONS
NTH-STH

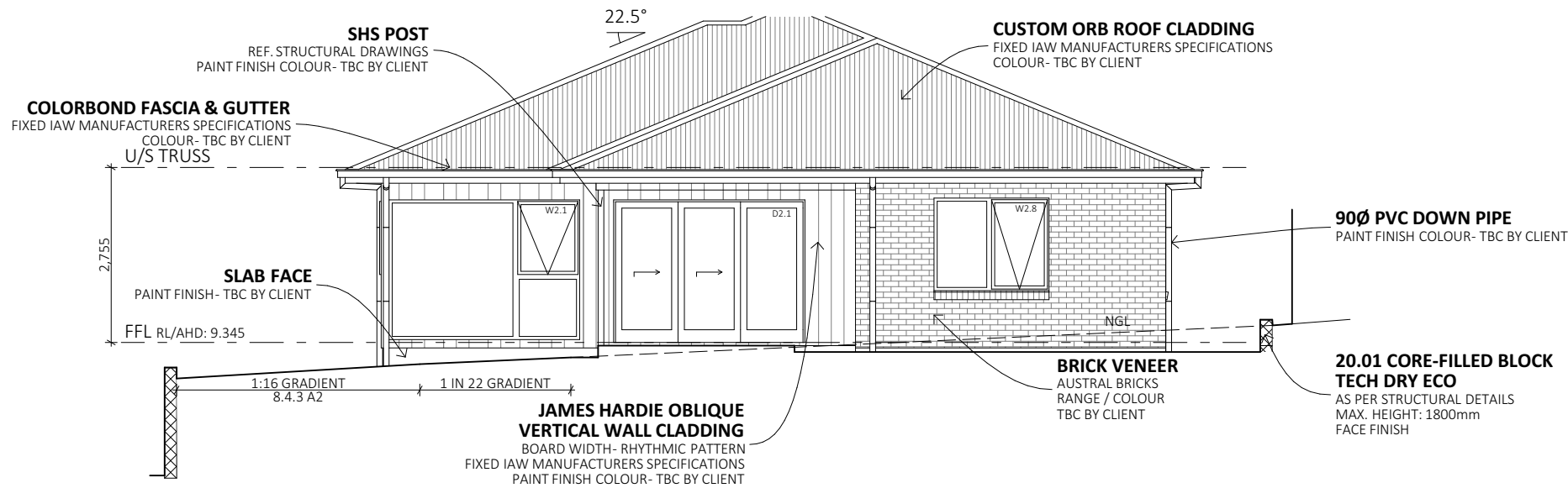
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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	THRN01
R1	01/10/2025	CLIENT REVIEW	DRAWN	D.P	DRAWING	11/14
R2	06/10/2025	FOR DA				
R3	20/10/2025	RFI CHANGES	CHECKED	M.L.	SCALE (@A3)	1:100



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WESTERN ELEVATION



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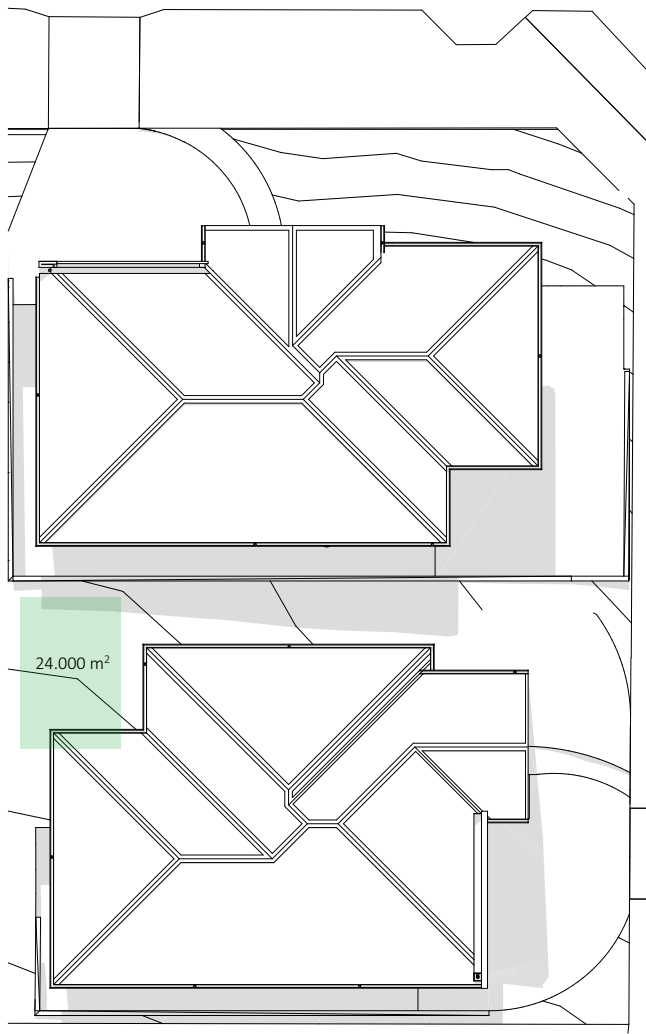
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DRAWING
UNIT 2
ELEVATIONS
EST-WST

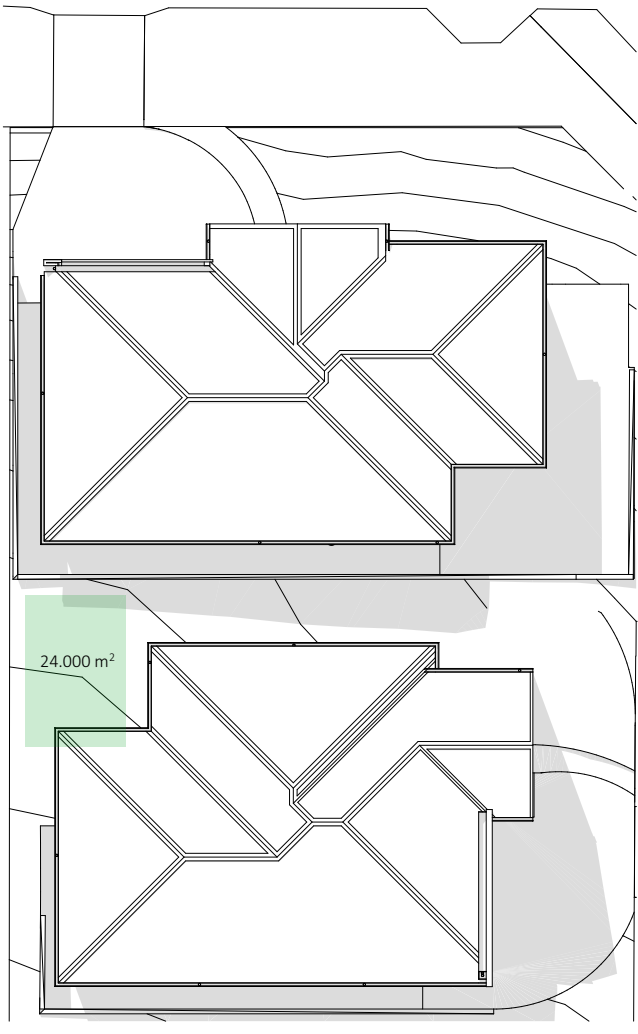
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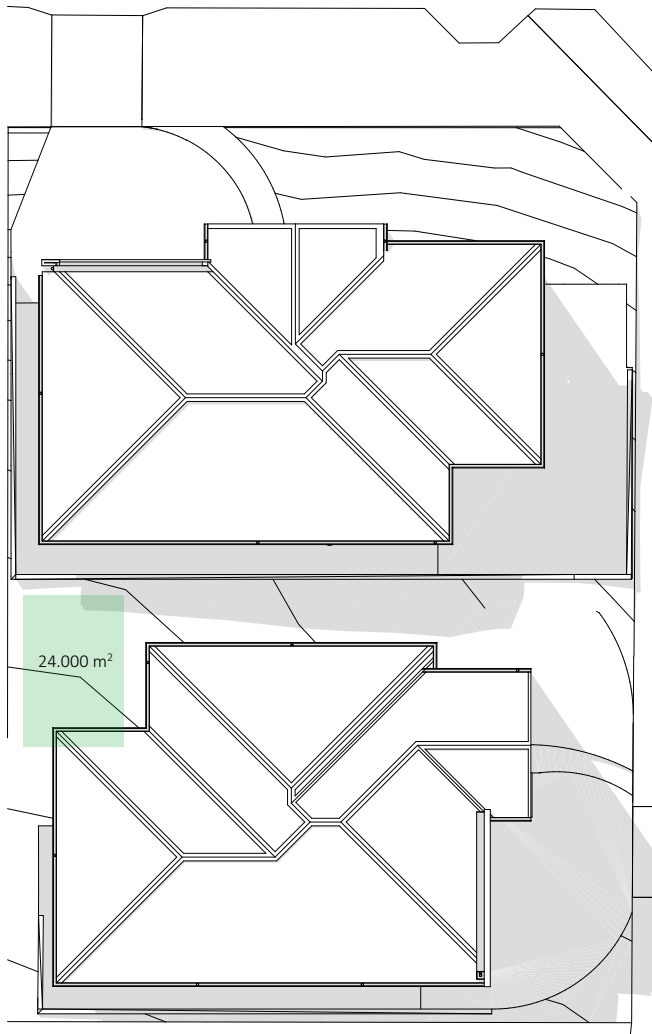
REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	THRN01
R1	01/10/2025	CLIENT REVIEW	DRAWN	D.P	DRAWING	12/14
R2	06/10/2025	FOR DA				
R3	20/10/2025	RFI CHANGES	CHECKED	M.L.	SCALE (@A3)	1:100



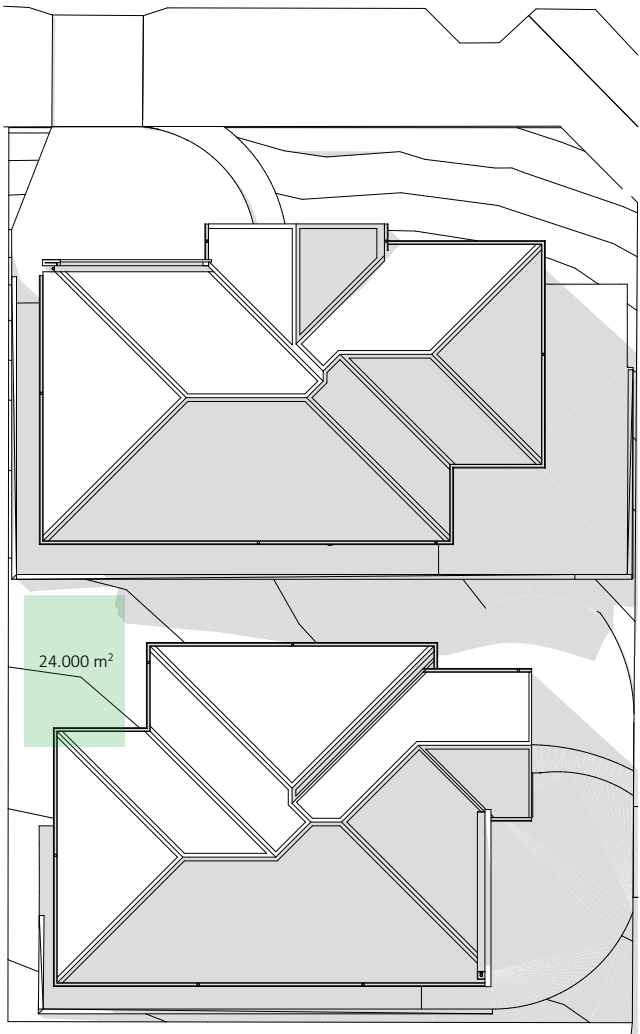
21st JUN 12pm



21st JUN 1pm



21st JUN 2pm



21st JUN 3pm



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DRAWING
SHADOW
DIAGRAMS UNIT
2 P.O.S

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R1	01/10/2025	CLIENT REVIEW	DRAWN	D.P	DRAWING	14/14
R2	06/10/2025	FOR DA				
R3	20/10/2025	RFI CHANGES	CHECKED	M.L.	SCALE (@A3)	NTS