

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number **PA2025335**
Assess No: **A13456**
PID No: **9914614**

Applicant Name:	BVZ Designs					
Postal Address:						
Contact Phone:	Home		Work		Mobile	
Email Address:						

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☐
2. A completed application form including a detailed description of the proposal ☐
3. A complete plan set: ☐
 - a) Floor plans ☐
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☐
 - c) Site Plan showing: ☐
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours

4. Other:

If submitting plans in over the counter please ensure they are A3.

All plans must be to scale.

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: Bradley van Zetten

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) J DE SOUSA / L KIRKMAN

Location / Address: 23 COUNTRYSIDE COURT RIVERSIDE

Title Reference: 184385/59

Zone(s): GEN RES

Existing Development/Use: VACANT LAND

Existing Developed Area: Area 731

DEVELOPMENT APPLICATION DETAILS

Proposed Use: Residential: ☒ Visitor Accommodation: ☐ Commercial: ☐ Other: ☐
Description of Use: RESIDENTIAL DWELLINGS

Development Type: Building work: ☒ Demolition: ☐ Subdivision: ☐ Other: ☐
Description of development: LL

New or Additional Area: Area 219

Estimated construction cost of the proposed development: \$ 500,000

Building Materials: Wall Type: BRICK/CEMENT SHEET Colour: Neutrals/ grays
Roof Type: COLORBOND Colour: Neutrals/ grays

WEST TAMAR COUNCIL



Application Number: «Application Number»

SUBDIVISION

☐ N/A

Subdivision creating additional lots ☐
Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

☐ N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	
Existing Car Parking:				
Proposed Car Parking:				
Number of Employees: (Existing)				
Number of Employees: (Proposed)				
Type of Machinery installed:				
Details of trade waste and method of disposal:				

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

(if not the owner)

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**General
Manager**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

OWNER JOCHRO PTY LTD FOLIO REFERENCE C.T. 181255/1000 GRANTEE PART OF 500^{AC} GRANTED TO WILLIAM ADAMS BRODRIBB		PLAN OF SURVEY BY SURVEYOR R. M. PECK LOCATION TOWN OF RIVERSIDE SCALE 1:2000 LENGTHS IN METRES		REGISTERED NUMBER SP184385 APPROVED EFFECTIVE FROM - 8 FEB 2023 <i>Ren</i> Recorder of Titles			
MAPSHEET MUNICIPAL CODE No (129)		LAST UPI No		LAST PLAN No. SP 181255		ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

LOT 1000, LOT 67 & LOT 50 COMPILED FROM CT 181255 AND THIS SURVEY

INSERT 1:750

ECCLESTONE ROAD

117 980m²

62 3367m²

28° 50' 00" 9.96 28° 11' 00" 6.60 142° 04' 40" 59.35 142° 03' 00" 17.23 142° 03' 00" 61.10 15° 24' 23" 08 20' 15.24

(SP183011) (SP110328)

R.M. Peck

REGISTERED LAND SURVEYOR

21/12/22

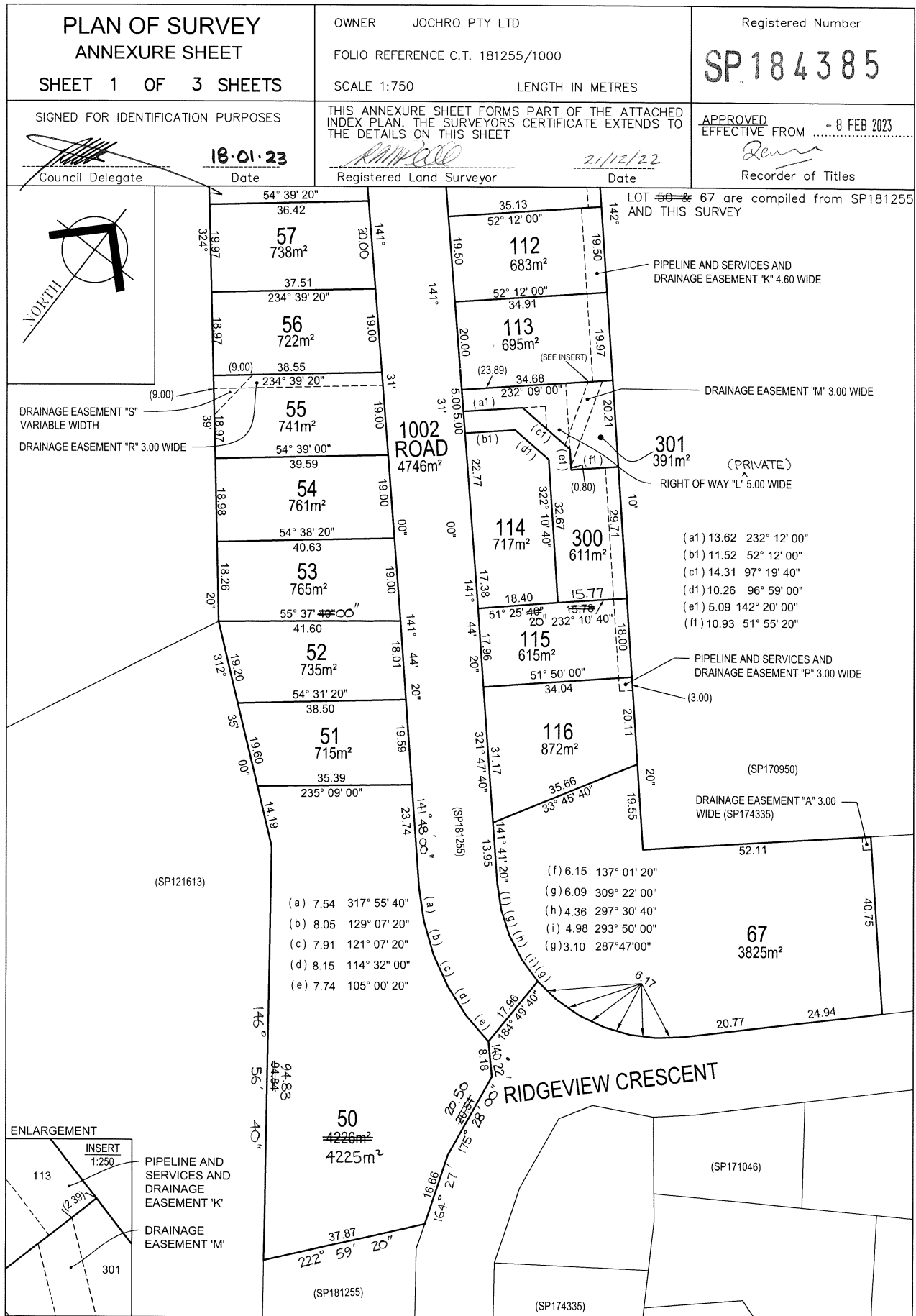
DATE

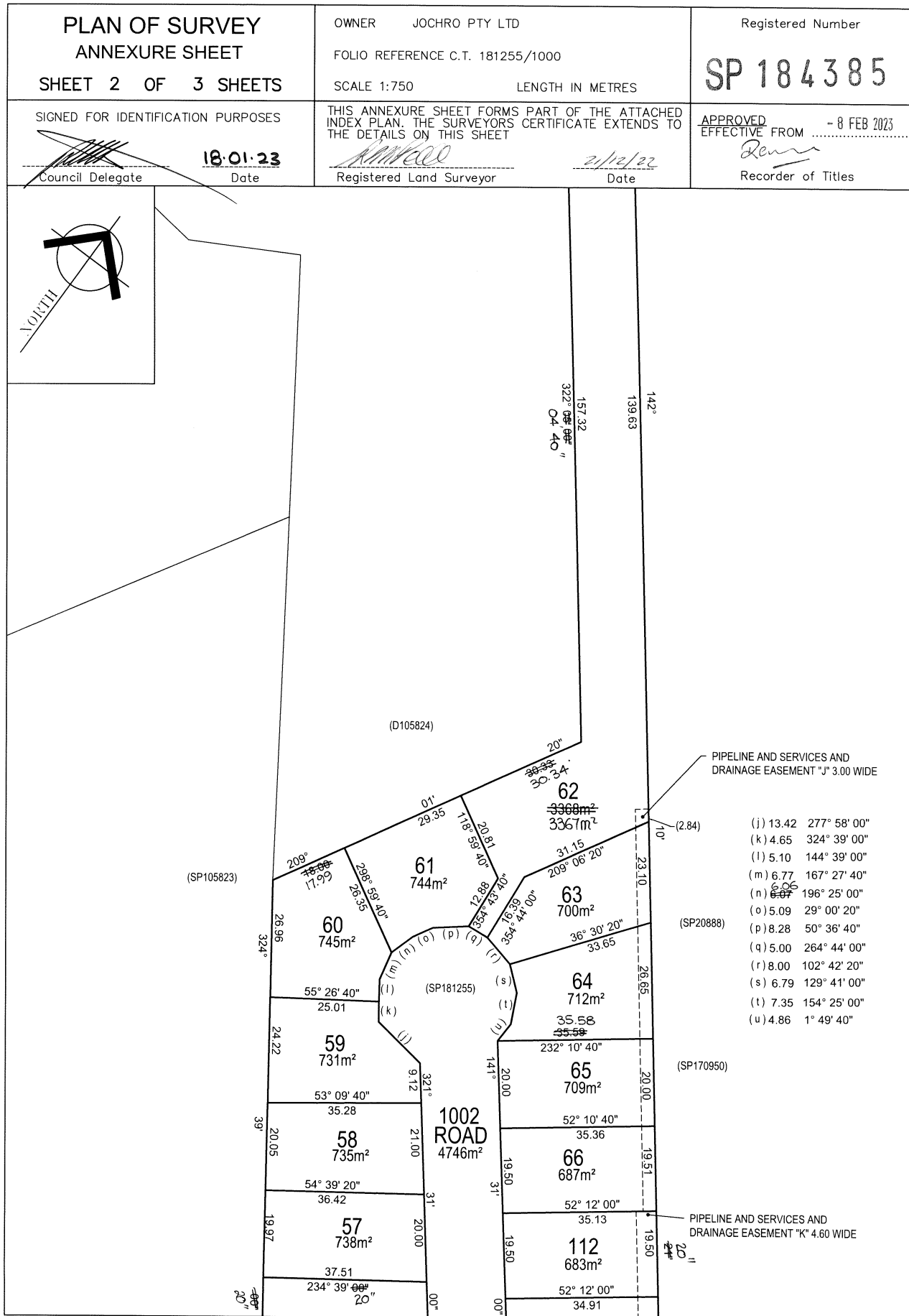
[Signature]

COUNCIL DELEGATE

18.01.23

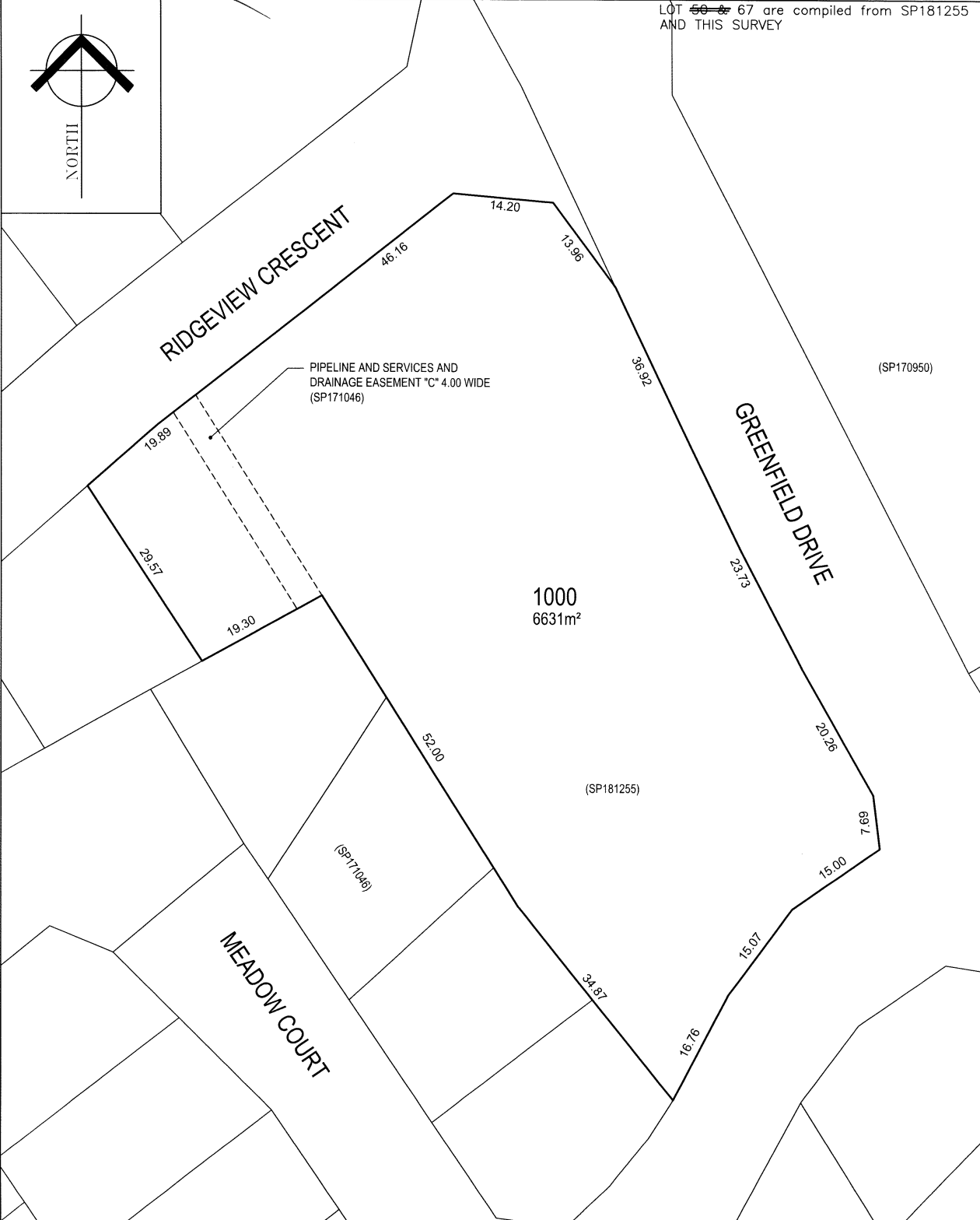
DATE





PLAN OF SURVEY ANNEXURE SHEET SHEET 3 OF 3 SHEETS	OWNER JOCHRO PTY LTD FOLIO REFERENCE C.T. 181255/1000 SCALE 1:500 LENGTH IN METRES	Registered Number SP 184385
SIGNED FOR IDENTIFICATION PURPOSES  Council Delegate Date 18.01.23	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET  Registered Land Surveyor Date 21/12/22	APPROVED EFFECTIVE FROM - 8 FEB 2023  Recorder of Titles

LOT ~~50 & 67~~ are compiled from SP181255 AND THIS SURVEY



1000
6631m²

PIPELINE AND SERVICES AND DRAINAGE EASEMENT "C" 4.00 WIDE (SP171046)

MEADOW COURT

GREENFIELD DRIVE

RIDGEVIEW CRESCENT

Measurements: 14.20, 13.96, 36.92, 23.73, 20.26, 7.69, 15.00, 15.07, 16.76, 34.87, 52.00, 19.30, 29.57, 19.89, 46.16

(SP170950)

(SP181255)

(SP171046)

NORTH

SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP 184385
---	---

PAGE 1 OF 5 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

1. Lot 67 is subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "DRAINAGE EASEMENT "A" 3.00 WIDE (SP174335)" as shown on the plan.
2. Lot 67 ("the Lot") is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "DRAINAGE EASEMENT "A" 3.00 WIDE (SP174335)" as shown on the plan ("the Easement Land").
3. Lot 1000 is subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT "C" 4.00 WIDE (SP171046)" as shown on the plan.
4. Lot 1000 ("the Lot") is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT "C" 4.00 WIDE (SP171046)" as shown on the plan ("the Easement Land").
5. Lot 55 is subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "DRAINAGE EASEMENT "R" 3.00 WIDE" as shown on the plan.
6. Lot 55 is subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "DRAINAGE EASEMENT "S" VARIABLE WIDTH" as shown on the plan.


Director
Director/Secretary

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: JOCHRO PTY LTD	PLAN SEALED BY: West Tamar Council
FOLIO REF: Volume 181255 Folio 1000	DATE: 18.01.2023
SOLICITOR: Rae & Partners Clare Broadhurst	PA2020092
REFERENCE: SPB:CMB:224512	REF NO. Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

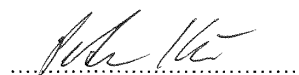
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 5 PAGES	Registered Number SP 184385
SUBDIVIDER: JOCHRO PTY LTD FOLIO REFERENCE: VOLUME 181255 FOLIO 1000	

7. Lots 62, 63, 64, 65 and 66 are subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT "J" 3.00 WIDE" as shown on the plan.
8. Lots 62, 63, 64, 65 and 66 ("the Lots") are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT "J" 3.00 WIDE" as shown on the plan ("the Easement Land").
9. Lots 112 and 113 are subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT "K" 4.60 WIDE" as shown on the plan.
10. Lots 112 and 113 ("the Lots") are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT "K" 4.60 WIDE" as shown on the plan ("the Easement Land").
11. Lots 115, 116 and 300 are subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT "P" 3.00 WIDE" as shown on the plan.
12. Lots 115, 116 and 300 ("the Lots") are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT "P" 3.00 WIDE" as shown on the plan ("the Easement Land").
13. Lot 301 is subject to a right of carriageway in favour of West Tamar Council over the land marked "RIGHT OF WAY"^(PRIVATE) "L" 5.00 WIDE" as shown on the plan.
14. Lot 301 is subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "DRAINAGE EASEMENT "M" 3.00 WIDE" as shown on the plan.

DEFINITIONS

"Drainage Easement" means a right of drainage in gross in favour of West Tamar Council ("the Council") and in conjunction with the exercise of that right the Council will have the power set out in the statutory definition of a "right of drainage" in Schedule 8 of the *Conveyancing and Law of Property Act 1884*.


Director


Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 5 PAGES	Registered Number SP 184385
SUBDIVIDER: JOCHRO PTY LTD FOLIO REFERENCE: VOLUME 181255 FOLIO 1000	

"Pipeline and Services Easement" is defined as follows:

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.


Director


Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 5 PAGES	Registered Number SP 184385
SUBDIVIDER: JOCHRO PTY LTD FOLIO REFERENCE: VOLUME 181255 FOLIO 1000	

INTERPRETATION

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

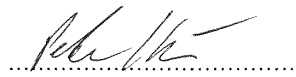
- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

FENCING COVENANT

1. The owner of each lot on the plan covenants with Jochro Pty Ltd ("the Vendor") that the Vendor will not be required to fence any lot on the plan.
2. The owner of Lot 116 ("the Lot") on the plan covenants with the West Tamar Council to the intent that the burden of these covenants shall run with and bind the covenantor's lot and each and every part thereof and the benefit shall be in favour of the said West Tamar Council to observe the following stipulations, namely that it will not:
 - (a) construct a boundary fence, on any boundary bordering Lot 67 ("Subject Boundary"), other than of solid construction which will prevent intrusion or incursion into the habitat of threatened species; and
 - (b) cause or allow any fence on the Subject Boundary of the Lot to fall into disrepair.


Director


Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 5 PAGES	Registered Number SP 184385
SUBDIVIDER: JOCHRO PTY LTD FOLIO REFERENCE: VOLUME 181255 FOLIO 1000	

COVENANT

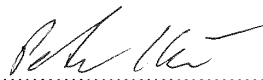
The owners of Lots 112, 113, 114, 115 and 116 covenant with the West Tamar Council to the intent that the burden of this covenant may run with and bind the covenantor's lot and every part thereof and that the benefit shall be annexed to and devolve with the said West Tamar Council to observe the following stipulation, namely:

- (a) not to erect any habitable building on Lots 112, 113, 114, 115 and 116 with a floor level below 73.15 metres on the Australian Height Datum (Tasmania) 1983; and
- (b) not to erect any non-habitable building or structure on Lots 112, 113, 114, 115 and 116 with a floor level below 73.00 metres on the Australian Height Datum (Tasmania) 1983.

Each Lot on the Plan is burdened by the covenants created by and more fully set forth in Sealed Plan 181255.

EXECUTED by **JOCHRO PTY LTD (ACN 065 179 213)** as registered proprietor of the property comprised in Folio of the Register Volume 181255 Folio 1000 in accordance with Section 127 of the Corporations Act in the presence of:


.....
Director


.....
Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

LEGEND
PAGE 1# COVER PAGE
PAGE 2# LOCALITY PLAN
PAGE 3# EXISTING SITE SURVEY PLAN
PAGE 4# SITE PLAN
PAGE 5# SOIL AND WATER MANAGEMENT PLAN
PAGE 6# FLOOR PLAN
PAGE 7# FLOOR PLAN WITH DIMENSIONS
PAGE 8# ELEVATIONS
PAGE 9# ELEVATIONS
PAGE 10# ELEVATIONS
PAGE 11# ROOF PLAN

COUNCIL – WEST TAMAR COUNCIL
ZONE – GENERAL RESIDENTIAL
CODE – BUSHFIRE PRONE AREA
LANDSLIDE BAND – NIL/LOW

TITLE REFERENCE – 184385/59
PROPERTY ID – 9914614

WIND CLASSIFICATION N2
DESIGN GUST SPEED (VU) 40M/S

SITE CLASS H2 AS PER TASMAN
REPORT NO. TG25150/1

BUSHFIRE-PRONE AREA BAL RATING BAL19
AS PER SUBDIVISION BHMR

CORROSION ENVIRONMENT – MEDIUM

CLIMATE ZONE FOR THERMAL DESIGN = 7
REFER TO ENERGY REPORT BY 2DR

ALPINE AREA – N/A LESS THAN 900m AHD

OTHER HAZARDS – N/A

ALL DIMENSIONS SHOWN ARE TO OUTSIDE OF
BRICKWORK CLADDING OR TIMBER FRAMING ON CLAD
HOUSES UNLESS NOTED OTHERWISE

CONFIRM ALL DIMENSIONS AND SERVICES ON SITE
PRIOR TO COMMENCEMENT OF WORKS

IF IN ANY DOUBT ABOUT BEARING AND BOUNDARIES
THEN THESE MUST BE CONFIRMED ONSITE BY A
SURVEYOR PRIOR TO SETOUT

ENSURE DRAWINGS USED ONSITE ARE STAMPED
'APPROVED' PLANS BY BUILDING SURVEYOR AND
PERMIT AUTHORITY

H4D9 CONDENSATION MANAGEMENT TO BE
COMPLIANT WITH NCC PART 10.8 CONDENSATION
MANAGEMENT.

NOTES
(1)REFER TO THE GUIDANCE IN THE "CONDENSATION IN
BUILDINGS TASMANIAN DESIGNERS' GUIDE" – CURRENT VERSION
AVAILABLE AT WWW.CBOS.TAS.GOV.AU. THIS GUIDE MUST BE
READ IN CONJUNCTION WITH THE NCC.

IF ANY DISCREPANCIES, APPARENT ERROR,
ANOMALY OR AMBIGUITY WITHIN THE
DOCUMENTATION IS FOUND. THE DESIGNER IS TO BE
CONTACTED PRIOR TO ANY MORE CONSTRUCTION
CONTINUING.

ENSURE THAT DRAWINGS ARE NOT SCALED AND
THAT THE NOTED DIMENSIONS ARE USED FOR
ACCURACY. IF IN ANY DOUBT CONTACT DESIGNER

PROPOSED DWELLING FOR J DE SOUSA AND L KIRKMAN AT 23 COUNTRYSIDE CLOSE RIVERSIDE 7250

©

BRADLEY VAN ZETTEN 2025

THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN
ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY
OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.

REVISION NUMBER	DATE
REVISION 1	20 / 09 / 2025
REVISION 2	28 / 09 / 2025
REVISION 3	01 / 10 / 2025
REVISION 4	07 / 10 / 2025
REVISION 5	14 / 10 / 2025
REVISION 6	23 / 10 / 2025

BVZ

DESIGNS

BRADLEY
VAN ZETTEN

4 EDEN HILLS DRIVE
RIVERSIDE 7250
P. 0407 272 381
E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796



LOCALITY PLAN

REVISION NUMBER	DATE
REVISION 1	20 / 09 / 2025
REVISION 2	28 / 09 / 2025
REVISION 3	01 / 10 / 2025
REVISION 4	07 / 10 / 2025
REVISION 5	14 / 10 / 2025
REVISION 6	23 / 10 / 2025

BASE IMAGE OBTAINED FROM WWW.THELIST.TAS.GOV.AU
©STATE OF TASMANIA
"THE LIST" (LAND INFORMATION SYSTEM TASMANIA)
COPYRIGHT TO LAND TASMANIA AS THE CREATOR



**BRADLEY
VAN ZETTEN**
4 EDEN HILLS DRIVE
RIVERSIDE 7250
P. 0407 272 381
E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796

PROJECT: PROPOSED DWELLING FOR
J DE SOUSA AND L KIRKMAN
AT 23 COUNTRYSIDE CLOSE
RIVERSIDE 7250

DRAWING: LOCALITY PLAN

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 23 / 10 / 25

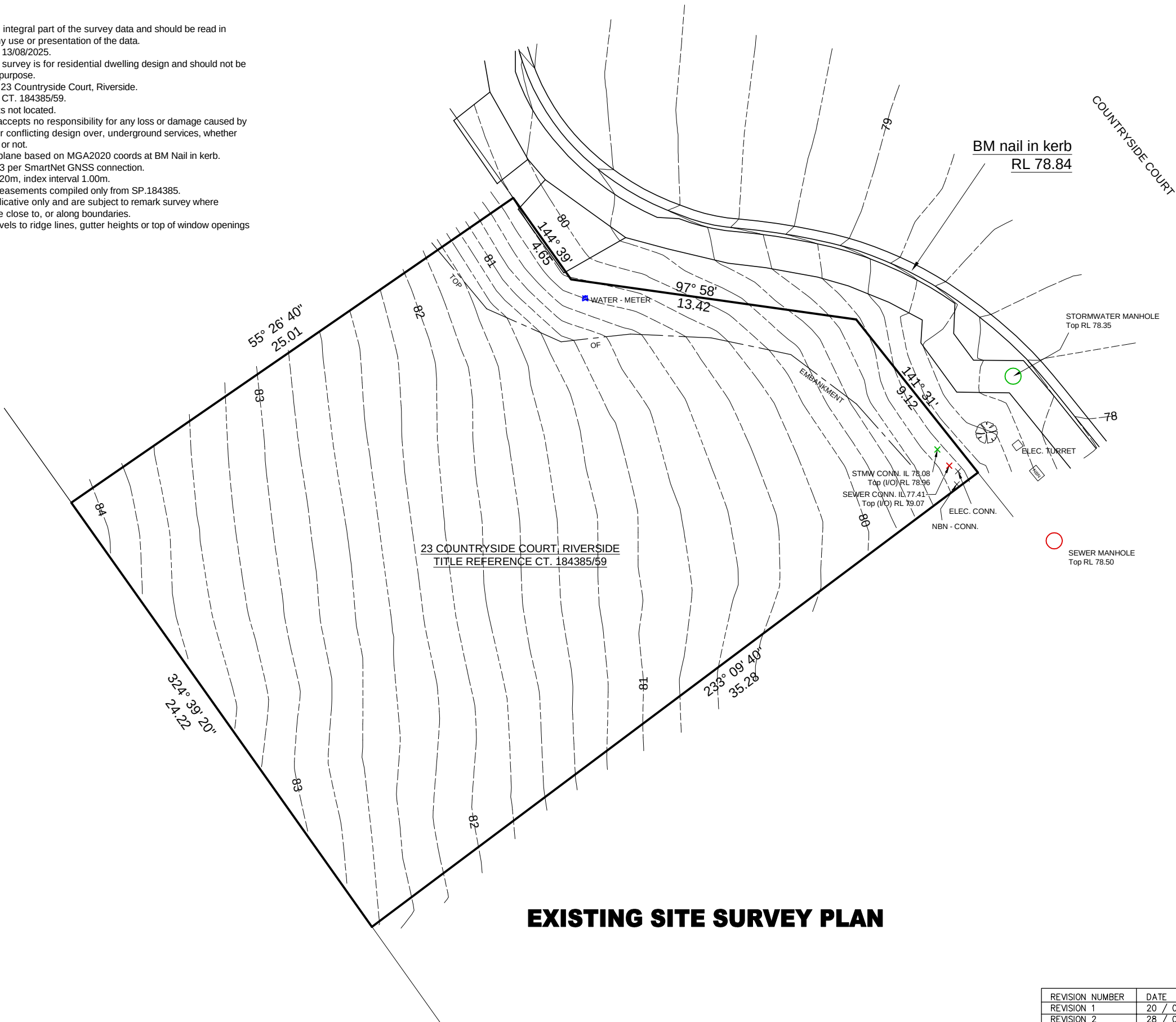
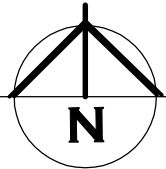
SCALE – A3 – 1:500.

DRAWING No.:
SOU0925 – 2/11

THIS PAGE FEATURES COLORED LINES
AND SHOULD ONLY BE PRINTED IN
COLOR. GREEN TEXT IN THE NOTE
SECTION SERVES AS A REFERENCE

notes:

1. This note forms an integral part of the survey data and should be read in conjunction with any use or presentation of the data.
2. Survey undertaken 13/08/2025.
3. The purpose of the survey is for residential dwelling design and should not be used for any other purpose.
4. Location: 23 Countryside Court, Riverside.
5. Title reference: CT. 184385/59.
6. Underground assets not located.
7. Radian Surveying accepts no responsibility for any loss or damage caused by interference with, or conflicting design over, underground services, whether shown in this data, or not.
8. Coordinate datum plane based on MGA2020 coords at BM Nail in kerb.
9. Level datum AHD83 per SmartNet GNSS connection.
10. Contour interval 0.20m, index interval 1.00m.
11. Boundaries & any easements compiled only from SP.184385.
12. Boundaries are indicative only and are subject to remark survey where proposed works are close to, or along boundaries.
13. Adjoining house levels to ridge lines, gutter heights or top of window openings where shown.



EXISTING SITE SURVEY PLAN

© BRADLEY VAN ZETTEN 2025

THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN
ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY
OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.



DESIGNS

**BRADLEY
VAN ZETTEN**

4 EDEN HILLS DRIVE
RIVERSIDE 7250
P. 0407 272 381
E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796

PROJECT: PROPOSED DWELLING FOR
J DE SOUSA AND L KIRKMAN
AT 23 COUNTRYSIDE CLOSE
RIVERSIDE 7250

DRAWING: EXISTING SITE SURVEY PLAN

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 23 / 10 / 25

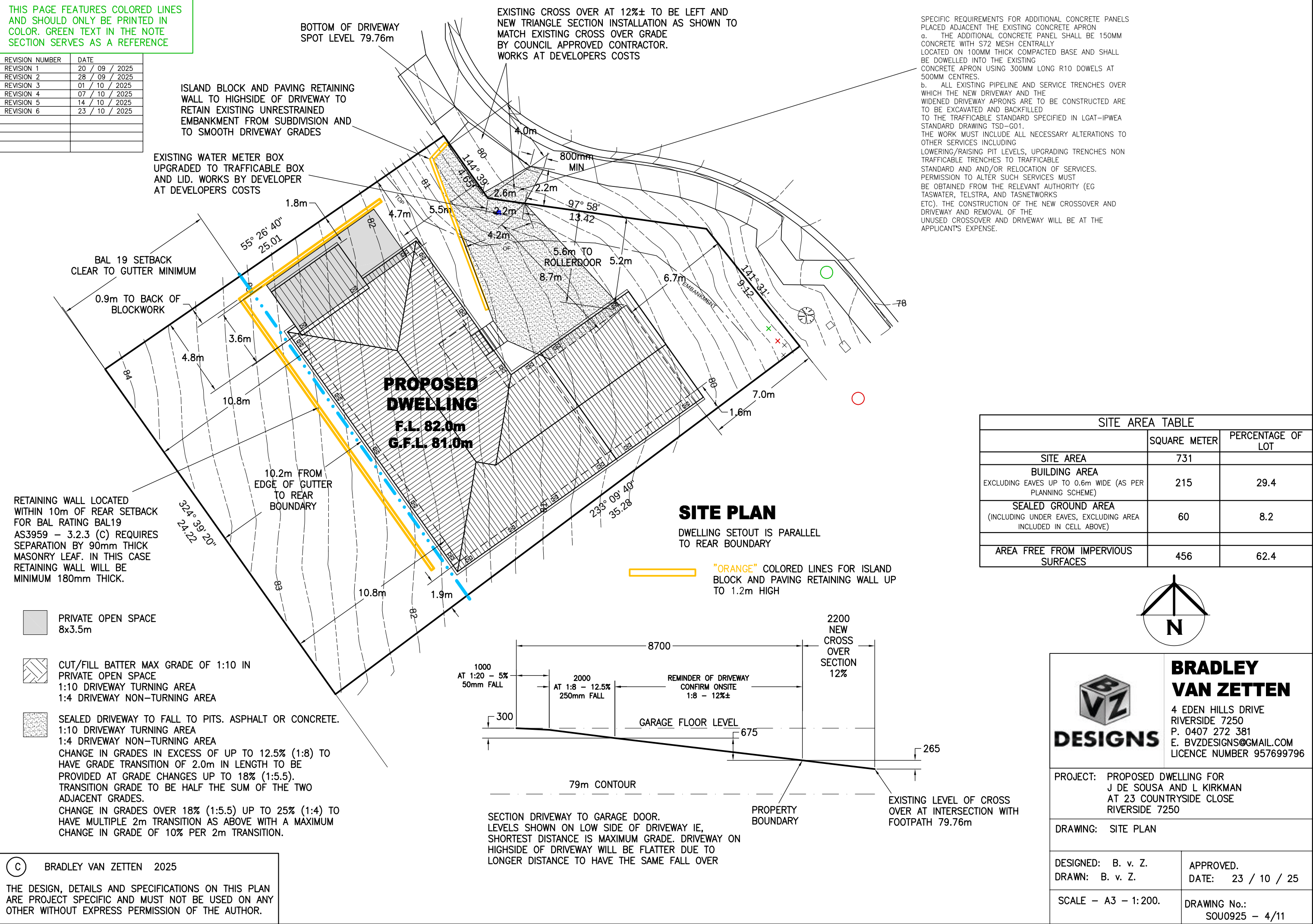
SCALE – A3 – 1:200.

DRAWING No.:
SOU0925 – 3/11

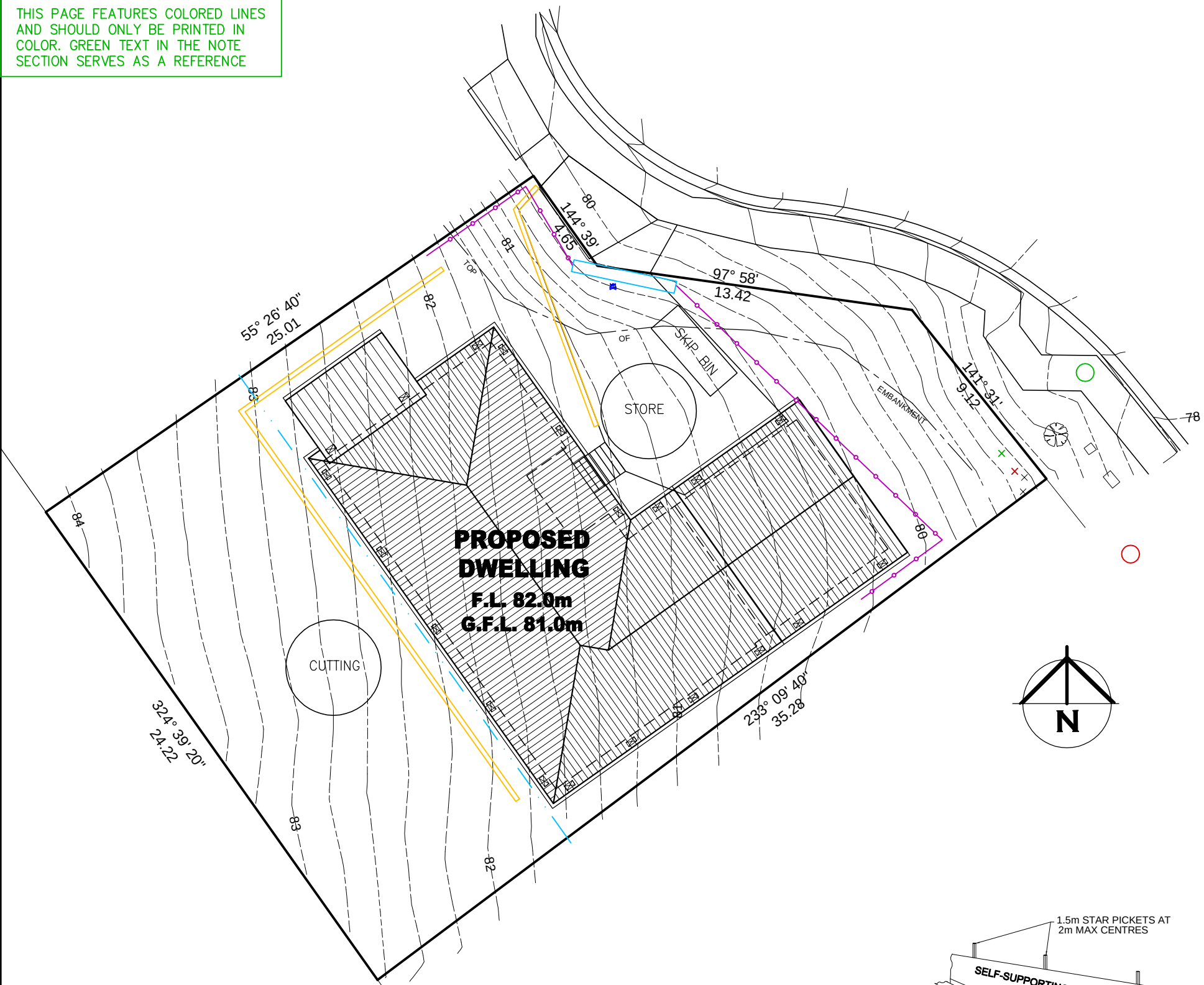
REVISION NUMBER	DATE
REVISION 1	20 / 09 / 2025
REVISION 2	28 / 09 / 2025
REVISION 3	01 / 10 / 2025
REVISION 4	07 / 10 / 2025
REVISION 5	14 / 10 / 2025
REVISION 6	23 / 10 / 2025

THIS PAGE FEATURES COLORED LINES AND SHOULD ONLY BE PRINTED IN COLOR. GREEN TEXT IN THE NOTE SECTION SERVES AS A REFERENCE

REVISION NUMBER	DATE
REVISION 1	20 / 09 / 2025
REVISION 2	28 / 09 / 2025
REVISION 3	01 / 10 / 2025
REVISION 4	07 / 10 / 2025
REVISION 5	14 / 10 / 2025
REVISION 6	23 / 10 / 2025



THIS PAGE FEATURES COLORED LINES AND SHOULD ONLY BE PRINTED IN COLOR. GREEN TEXT IN THE NOTE SECTION SERVES AS A REFERENCE



SOIL AND WATER MANAGEMENT PLAN

- SILT FENCE AS PER DETAIL
- DIVERSION HUMPS FOR ROAD ACCESS

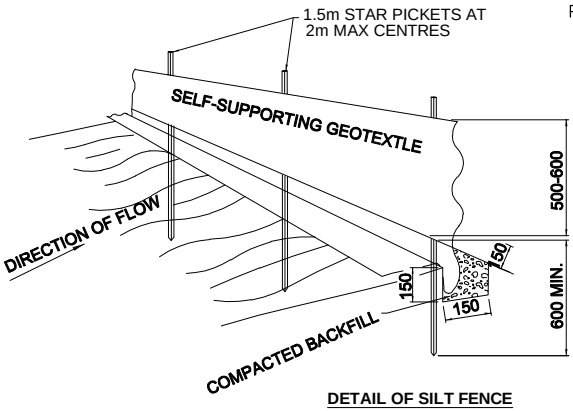
REVISION NUMBER	DATE
REVISION 1	20 / 09 / 2025
REVISION 2	28 / 09 / 2025
REVISION 3	01 / 10 / 2025
REVISION 4	07 / 10 / 2025
REVISION 5	14 / 10 / 2025
REVISION 6	23 / 10 / 2025

DOWNPipes TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED

INSTALL AG DRAIN (IF SHOWN) PRIOR TO FOOTING EXCAVATION

EXCAVATED MATERIAL PLACED UP SLOPE OF CUT OFF DRAIN. TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE AND USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL

- SKIP BIN SKIP BIN
- STORE MATERIAL STORAGE
- CUTTING CONCRETE, BRICK AND TILE CUTTING AREA



SEDIMENT FENCE NOTES:

1. SURVEY AND MARK OUT LOCATION OF SEDIMENT FENCE, ENSURE IT IS PARALLEL TO THE CONTOURS OF THE SITE AND TO DRAIN IN THE CORRECT DIRECTION
2. DIG A 150 MM TRENCH IMMEDIATELY ABOVE THE PROPOSED FENCE LINE.
3. PLACE THE BOTTOM OF THE FABRIC TO THE BASE OF THE TRENCH AND RUN FABRIC UP THE DOWN-SLOPE SIDE OF THE TRENCH.
4. BACKFILL THE TRENCH AND COMPACT TO SECURE ANCHORAGE OF THE FABRIC.
5. DRIVE 1.5 M STAR PICKETS INTO GROUND, 2 M APART TO SUPPORT THE SEDIMENT FENCE FABRIC. TENSION AND FASTEN FABRIC TO PICKETS USING UV STABILISED ZIP TIES OR WIRE TIES.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 2 M OVERLAP.
7. ANGLE THE ENDS OF THE SEDIMENT FENCE UPSLOPE TO REDUCE SCOURING

BUILDING SITE DURING CONSTRUCTION TO COMPLY WITH EPA TASMANIA, SOIL AND WATER MANAGEMENT ON BUILDING SITES WHERE POSSIBLE. REFER TO FACT SHEETS 1-19
EPA.TAS.GOV.AU/ENVIRONMENT/WATER/STORMWATER/SOIL-AND-WATER-MANAGEMENT-ON-BUILDING-SITES

FACT SHEET 3 – SOIL AND WATER MANAGEMENT.
PLAN TO BE KEPT ONSITE AND ALL TIMES AND ALL WORKERS UNDERSTAND THE SWMP

FACT SHEET 4 – DISPERSIVE SOILS, NOT APPLICABLE.

FACT SHEET 5 – MINIMISE SOIL DISTURBANCE.
DO TRACK MACHINERY UP AND DOWN THE SLOPE TO CREATE GROOVES FROM THE WHEELS/ OR TRACKS THAT WILL CATCH RAINFALL. THE GROOVES WILL ROUGHEN THE SURFACE IN A WAY THAT WILL SLOW RUNOFF. AS PER FACT SHEET CLEARING FOR WORKS TO BE LIMITED TO WITHIN 5 METRES FROM THE EDGE OF ANY ESSENTIAL CONSTRUCTION ACTIVITY. NO TOPSOIL SHALL BE REMOVED FROM LAND OUTSIDE THE AREAS OF GROUND DISTURBANCE SHOWN. ALL AREAS OF GROUND DISTURBANCE MUST BE DRESSED WITH TOP SOIL AND WHERE APPROPRIATE REVEGETATED AND STABILISED TO PREVENT FUTURE EROSION OR SILTATION.

FACT SHEET 6 – PRESERVE VEGETATION.
WHERE EXISTING TREES ARE TO REMAIN ON THE SITE, ESTABLISH NO GO AREA AROUND TREES OF BRIGHT TAPE ON STAR PICKETS MINIMUM 1m AWAY FROM BASE OF TREE
EXISTING GROUND VEGETATION TO BE RETAINED WHEN EVER POSSIBLE. MINIMUM 400mm WIDE GRASS STRIPS TO BE RETAINED ON BACK OF KERB FOR FILTERING RUNOFF. INSTALLED AS PER FACT SHEET

FACT SHEET 7 – DIVERT UP-SLOPE WATER
DIVERSION CHANNEL TO BE CONSTRUCTED ON HIGHSIDE OF SITE MINIMUM 150MM DEEP WITH 10% MAX FALL WITH A CURVED SHAPE WITH EXCAVATED SOIL FROM THE CHANNEL ON THE DOWN-SLOPE SIDE TO INCREASE DIVERSION CHANNEL CAPACITY. LEVEL SPREADER TO END OF DIVERSION CHANNEL TO ENSURE WATER DISCHARGE IS SLOW MOVING MINIMUM 4M WIDE. INSTALLED AS PER FACT SHEET

FACT SHEET 8 – EROSION CONTROL MATS AND BLANKETS
WHERE FINISHED BATTERS ARE PROPOSED TO BE STEEPER THAN 1:3 EROSION CONTROL BLANKETS TO BE INSTALLED ON BATTER FOR SITE REHABILITATION. INSTALLED AS PER FACT SHEET

FACT SHEET 9 – PROTECT SERVICES TRENCHES AND STOCKPILES
ALL STOCKPILES TO BE POSITIONED CLEAR OF WATER COURSES AND TO ENSURE THAT NO SILT RUNOFF CAN ENTER A WATER COURSE.
TOP SOIL TO BE STOCKPILED SEPARATELY AND SPREAD OVER BACKFILLED AREAS. SPOIL TO BE STOCKPILED IN A NARROW CORRIDOR ON THE UPSTREAM SIDE OF ALL EXCAVATION. TEMPORARY CATCH DRAINS TO BE CONSTRUCTED ON THE UPSTREAM SIDE OF STOCKPILES AND EXCAVATED AREAS, DIRECTING RUNOFF TO EXISTING STORMWATER SYSTEM.
SERVICE TRENCHES TO HAVE SOIL PLACED ON TOPSIDE OF TRENCH TO DIVERT WATER FLOW AWAY FROM THE TRENCH LINE.

FACT SHEET 10 – EARLY ROOF DRAINAGE CONNECTION
DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED.
TEMPORARY DOWNPIPES TO DIRECT WATER TO TUFTED AREAS.

FACT SHEET 11 – SCOUR PROTECTION
NOT APPLICABLE AS NO NEW DAMS/ CULVERTS

FACT SHEET 12 – STABILISED SITE ACCESS
DIVERSION HUMPS INSTALLED ON ROAD ACCESS WITH WATER DIRECTED TO SEPARATE SILT FENCE.
INSTALLED AS PER FACT SHEET

FACT SHEET 13 – WHEEL WASH
EVERY EFFORT TO BE MADE TO MINIMISE SPREADING SEDIMENT ON TO SEALED AREAS WHEN VEHICLES LEAVE THE SITE, INCLUDING THE WASHING DOWN OF TYRES.

FACT SHEET 14 – SEDIMENT FENCES
SEDIMENT FENCE INSTALLED AS PER DETAIL AND FACT SHEET

FACT SHEET 15 – PROTECTION OF STORMWATER PITS
PITS INSTALLED ONSITE TO BE CONSTRUCTED WITH DRIVEWAY AT END OF JOB AFTER FINISHED CONSTRUCTION OF BUILDING. THEREFORE NO REQUIREMENTS FOR PITS.

FACT SHEET 16 – PROTECTED CONCRETE, BRICK AND TILE CUTTING
ALL CUTTING TO BE INSIDE NOMINATED AREA AS PER SWMP WITH FILTER SOCKS INSTALLED ON LOW SIDE. SLURRY TO BE DISPOSED OFF IN GEOTEXTILE LINED DITCH OR DRUMS

FACT SHEET 17 – SEDIMENT BASINS
NOT REQUIRED DUE TO SCALE OF WORKS.

FACT SHEET 18 – DUST CONTROL
DURING EXTENDED PERIODS OF DRY WEATHER, DAMPEN THE SITE SLIGHTLY WITH A LIGHT APPLICATION OF WATER DURING EXCAVATION OR WHEN DUST IS BEING RAISED

FACT SHEET 19 – SITE REVEGETATION
ALL OF SITE THAT IS NOT FINISHED IN HARD SURFACES TO BE REVEGETATION WITH GRASS OR MULCH AS PER LANDSCAPING PLAN OR TO OWNERS DETAILS

BRADLEY VAN ZETTEN
4 EDEN HILLS DRIVE
RIVERSIDE 7250
P. 0407 272 381
E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796

PROJECT: PROPOSED DWELLING FOR J DE SOUSA AND L KIRKMAN AT 23 COUNTRYSIDE CLOSE RIVERSIDE 7250

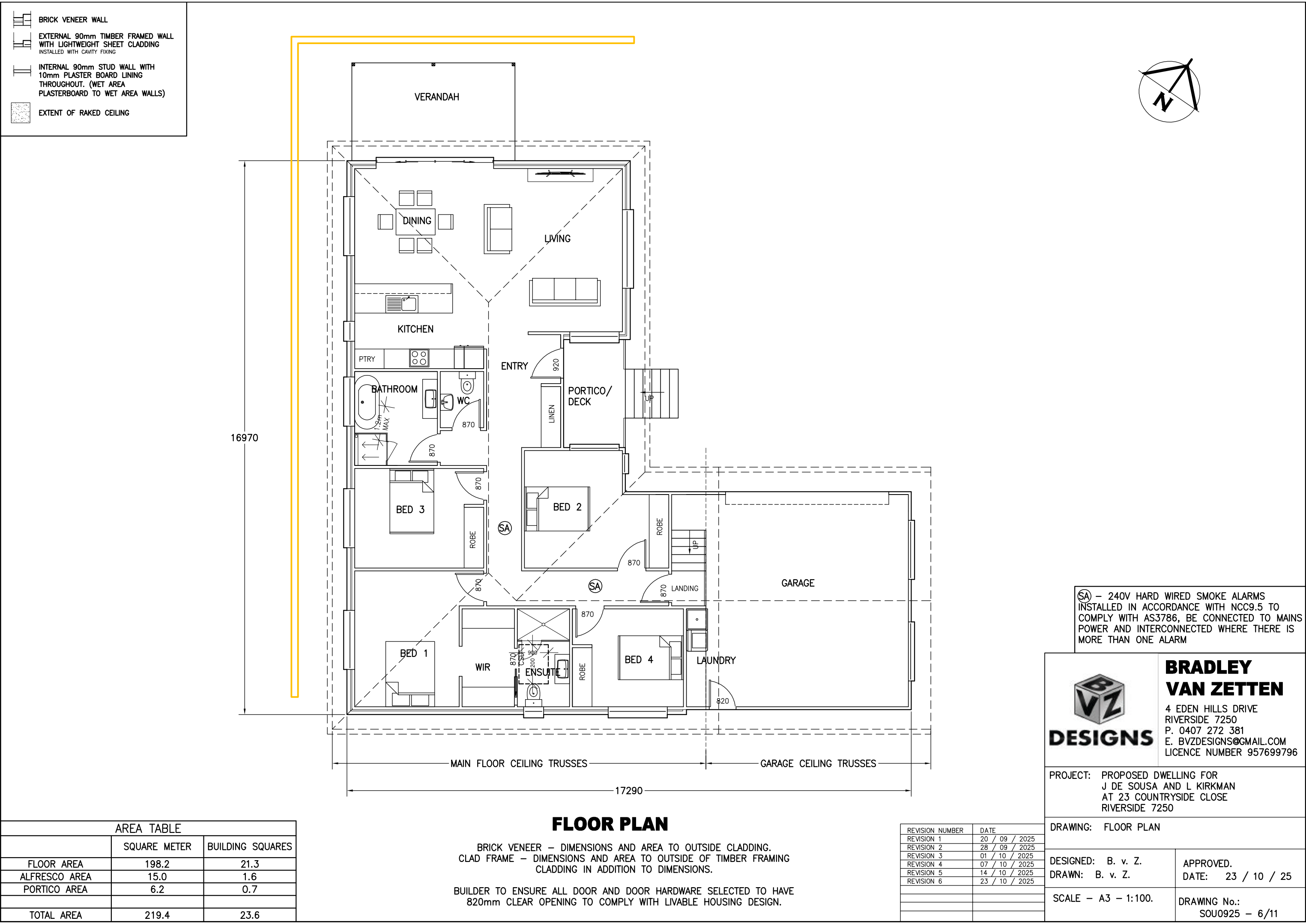
DRAWING: SOIL AND WATER MANAGEMENT PLAN

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 23 / 10 / 25

SCALE – A3 – 1:200.

DRAWING No.:
SOU0925 – 5/11

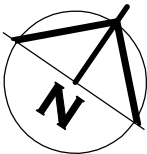


BRICK VENEER WALL

EXTERNAL 90mm TIMBER FRAMED WALL
WITH LIGHTWEIGHT SHEET CLADDING
INSTALLED WITH CAVITY FIXING

INTERNAL 90mm STUD WALL WITH
10mm PLASTER BOARD LINING
THROUGHOUT. (WET AREA
PLASTERBOARD TO WET AREA WALLS)

EXTENT OF RAKED CEILING



SA – 240V HARD WIRED SMOKE ALARMS
INSTALLED IN ACCORDANCE WITH NCC9.5 TO
COMPLY WITH AS3786, BE CONNECTED TO MAINS
POWER AND INTERCONNECTED WHERE THERE IS
MORE THAN ONE ALARM



DESIGNS

BRADLEY
VAN ZETTEN

4 EDEN HILLS DRIVE
RIVERSIDE 7250
P. 0407 272 381
E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796

PROJECT: PROPOSED DWELLING FOR
J DE SOUSA AND L KIRKMAN
AT 23 COUNTRYSIDE CLOSE
RIVERSIDE 7250

DRAWING: FLOOR PLAN

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 23 / 10 / 25

SCALE – A3 – 1:100.

DRAWING No.:
SOU0925 – 6/11

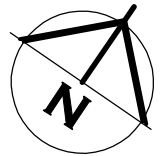
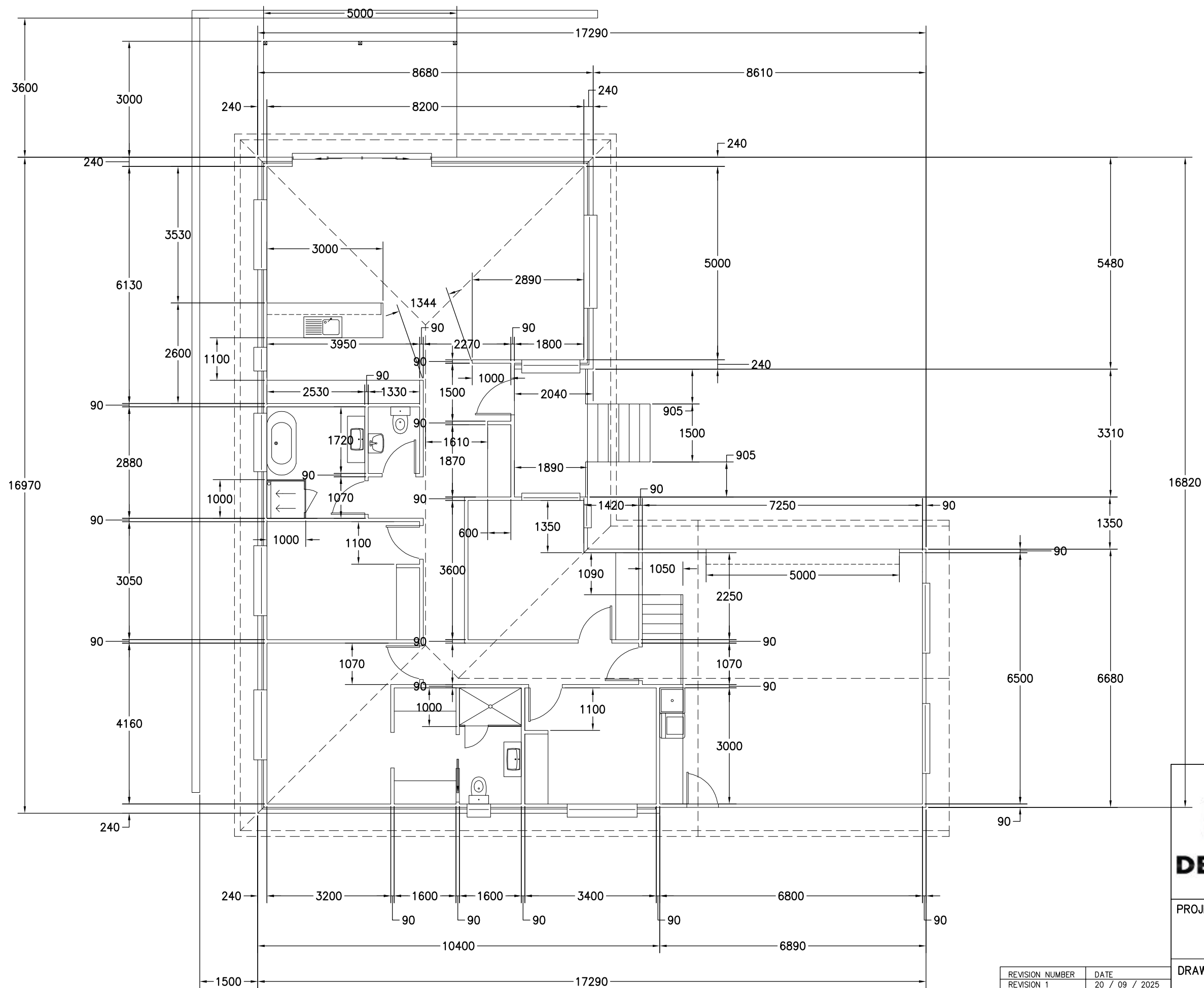
AREA TABLE		
	SQUARE METER	BUILDING SQUARES
FLOOR AREA	198.2	21.3
ALFRESCO AREA	15.0	1.6
PORTICO AREA	6.2	0.7
TOTAL AREA	219.4	23.6

FLOOR PLAN

BRICK VENEER – DIMENSIONS AND AREA TO OUTSIDE CLADDING.
CLAD FRAME – DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING
CLADDING IN ADDITION TO DIMENSIONS.

BUILDER TO ENSURE ALL DOOR AND DOOR HARDWARE SELECTED TO HAVE
820mm CLEAR OPENING TO COMPLY WITH LIVABLE HOUSING DESIGN.

REVISION NUMBER	DATE
REVISION 1	20 / 09 / 2025
REVISION 2	28 / 09 / 2025
REVISION 3	01 / 10 / 2025
REVISION 4	07 / 10 / 2025
REVISION 5	14 / 10 / 2025
REVISION 6	23 / 10 / 2025



FLOOR PLAN WITH DIMENSIONS

REVISION NUMBER	DATE
REVISION 1	20 / 09 / 2025
REVISION 2	28 / 09 / 2025
REVISION 3	01 / 10 / 2025
REVISION 4	07 / 10 / 2025
REVISION 5	14 / 10 / 2025
REVISION 6	23 / 10 / 2025



**BRADLEY
VAN ZETTEN**
4 EDEN HILLS DRIVE
RIVERSIDE 7250
P. 0407 272 381
E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796

PROJECT: PROPOSED DWELLING FOR
J DE SOUSA AND L KIRKMAN
AT 23 COUNTRYSIDE CLOSE
RIVERSIDE 7250

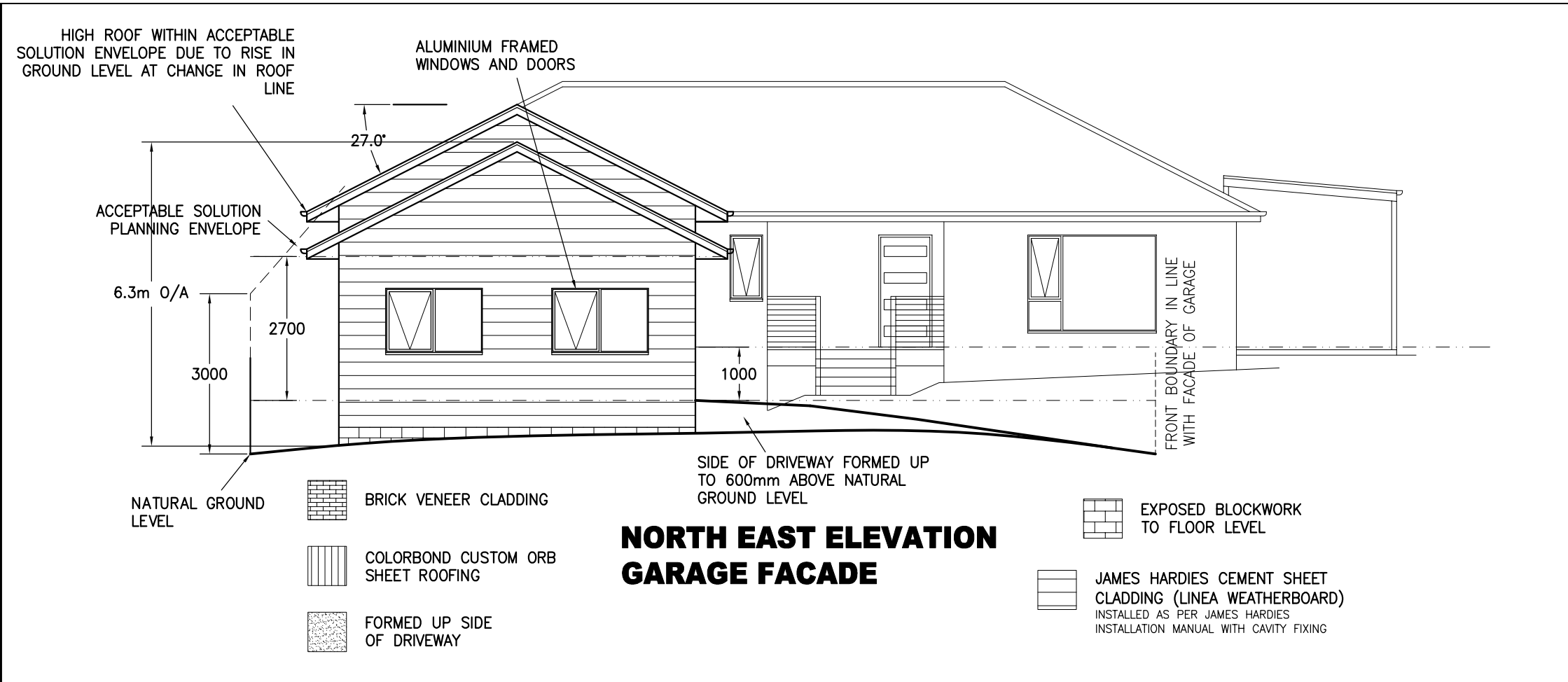
DRAWING: FLOOR PLAN WITH DIMENSIONS

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 23 / 10 / 25

SCALE – A3 – 1:100.

DRAWING No.:
SOU0925 – 7/11



**NORTH EAST ELEVATION
GARAGE FACADE**



**NORTH EAST ELEVATION
LIVING ROOM FACADE**

UN-RETAINED BULK EARTHWORKS – SITE CUT AND FILL PART 3.2.1

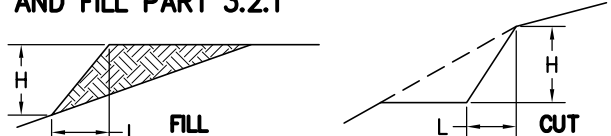


TABLE 3.2.1: SOIL TYPE EMBANKMENT SLOPES H:L

SOIL TYPE		EMBANKMENT SLOPES H:L	
		COMPACTED FILL	CUT
STABLE ROCK		3:3	8:1
SAND		1:2	1:2
CLAY	FIRM CLAY	1:2	1:1
	SOFT CLAY	NOT SUITABLE	2:3
SOFT SOILS		NOT SUITABLE	NOT SUITABLE

EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT THE END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR TO PREVENT SOIL EROSION

(1) A SITE CUT USING AN UN-RETAINED EMBANKMENT MUST BE---

- (A) WITHIN THE ALLOTMENT; AND
- (B) NOT WITHIN THE ZONE OF INFLUENCE OF ANY EXISTING STRUCTURE ON THE PROPERTY, OR THE ALLOTMENT BOUNDARY AS DEFINED IN TABLE 3.2.1 AND FIGURE 3.2.1A; AND
- (C) NOT DEEPER THAN 2 M FROM THE NATURAL GROUND LEVEL AT ANY POINT.

(2) FILL, USING AN UN-RETAINED EMBANKMENT MUST---

- (A) BE PLACED WITHIN THE ALLOTMENT; AND
- (B) BE PLACED AT A GRADIENT WHICH COMPLIES WITH TABLE 3.2.1 AND FIGURE 3.2.1B; AND
- (C) BE PLACED AND MECHANICALLY COMPACTED IN LAYERS NOT MORE THAN 150 MM; AND
- (D) BE NOT MORE THAN 2 M IN HEIGHT FROM THE NATURAL GROUND LEVEL AT ANY POINT; AND
- (E) WHERE USED TO SUPPORT FOOTINGS OR SLABS, BE PLACED AND COMPACTED IN ACCORDANCE WITH PART 4.2; AND
- (F) HAVE SURFACE WATER DIVERTED AWAY FROM ANY EXISTING STRUCTURE ON THE PROPERTY OR ADJOINING ALLOTMENT IN ACCORDANCE WITH 3.3.3.

© BRADLEY VAN ZETTEN 2025

THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.

REVISION NUMBER	DATE
REVISION 1	20 / 09 / 2025
REVISION 2	28 / 09 / 2025
REVISION 3	01 / 10 / 2025
REVISION 4	07 / 10 / 2025
REVISION 5	14 / 10 / 2025
REVISION 6	23 / 10 / 2025



**BRADLEY
VAN ZETTEN**
4 EDEN HILLS DRIVE
RIVERSIDE 7250
P. 0407 272 381
E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796

PROJECT: PROPOSED DWELLING FOR
J DE SOUSA AND L KIRKMAN
AT 23 COUNTRYSIDE CLOSE
RIVERSIDE 7250

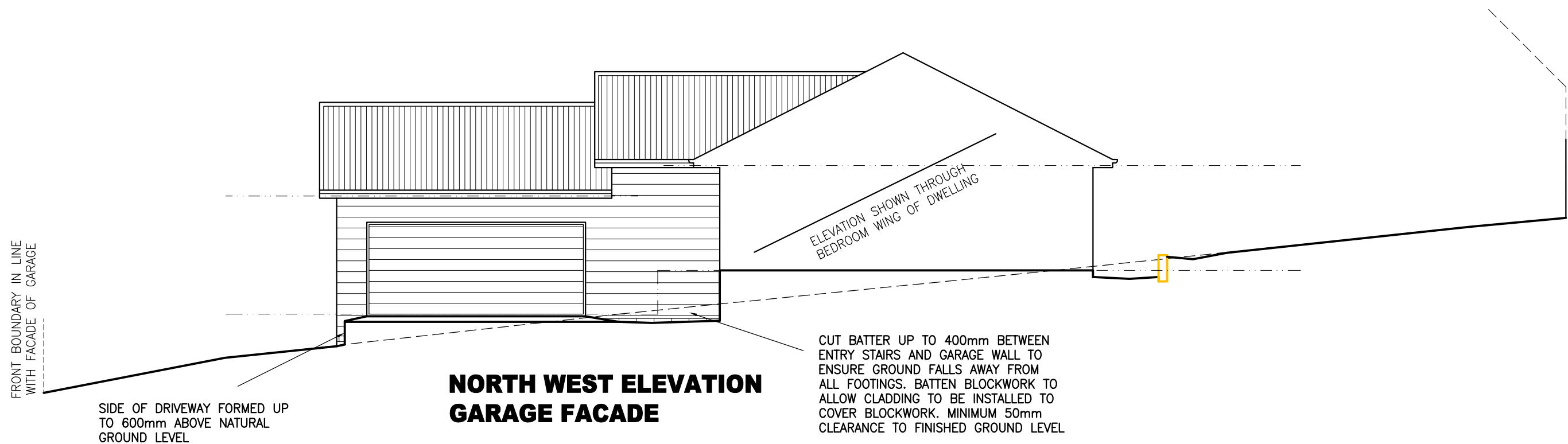
DRAWING: ELEVATIONS

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 23 / 10 / 25

SCALE – A3 – 1:100.

DRAWING No.:
SOU0925 – 8/11



NORTH WEST ELEVATION GARAGE FACADE



NORTH WEST ELEVATION LIVING ROOM FACADE

GARAGE SECTION OF DWELLING IN BACKGROUND
NOT SHOWN FOR CLARITY



**BRADLEY
VAN ZETTEN**

4 EDEN HILLS DRIVE
RIVERSIDE 7250
P. 0407 272 381
E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796

PROJECT: PROPOSED DWELLING FOR
J DE SOUSA AND L KIRKMAN
AT 23 COUNTRYSIDE CLOSE
RIVERSIDE 7250

DRAWING: ELEVATIONS

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 23 / 10 / 25

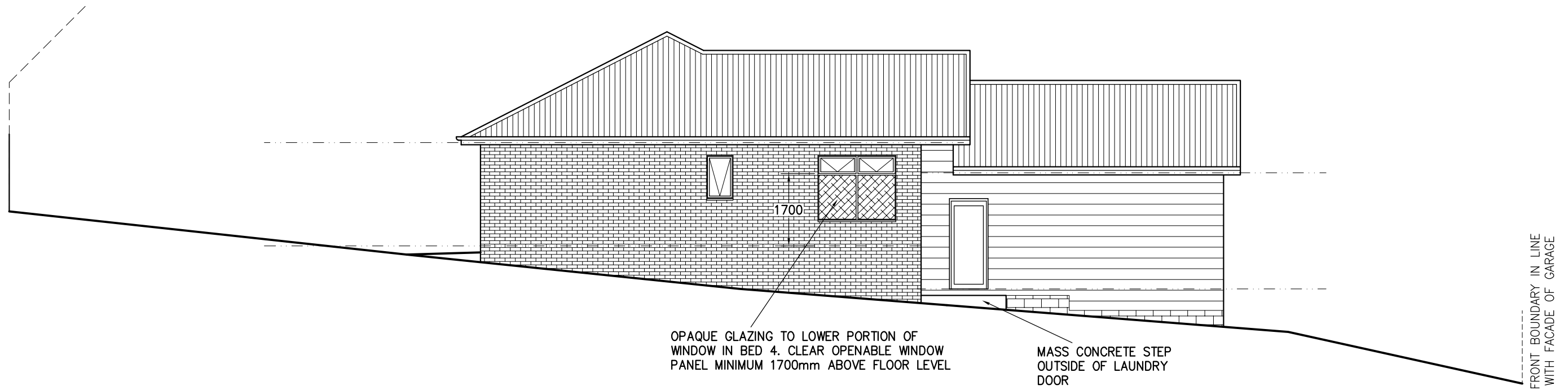
SCALE - A3 - 1:100.

DRAWING No.:
SOU0925 - 9/11

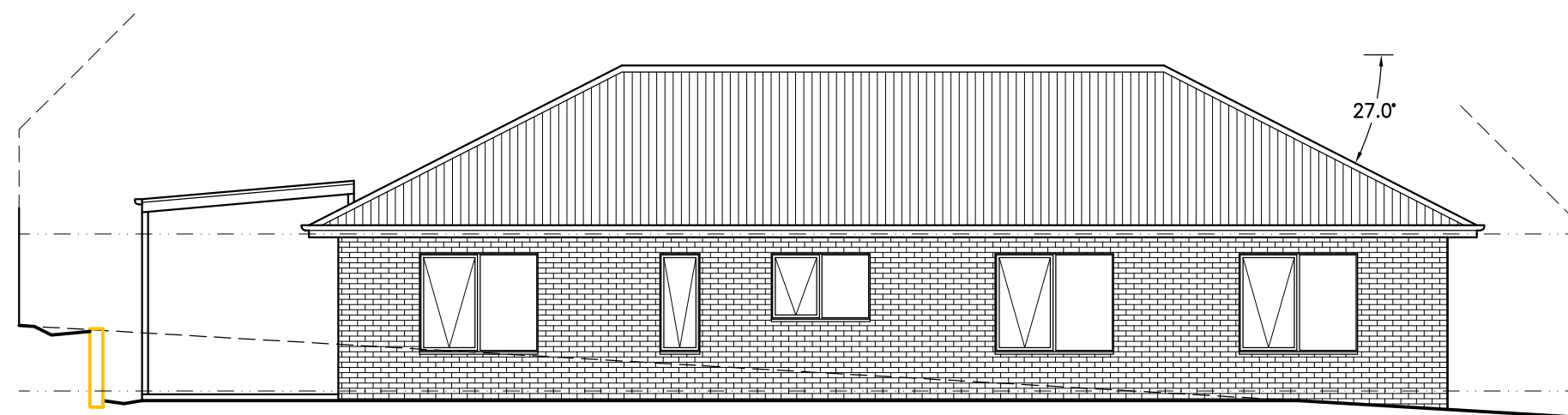
REVISION NUMBER	DATE
REVISION 1	20 / 09 / 2025
REVISION 2	28 / 09 / 2025
REVISION 3	01 / 10 / 2025
REVISION 4	07 / 10 / 2025
REVISION 5	14 / 10 / 2025
REVISION 6	23 / 10 / 2025

© BRADLEY VAN ZETTEN 2025

THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN
ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY
OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.



SOUTH EAST ELEVATION



SOUTH WEST ELEVATION



**BRADLEY
VAN ZETTEN**
4 EDEN HILLS DRIVE
RIVERSIDE 7250
P. 0407 272 381
E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796

PROJECT: PROPOSED DWELLING FOR
J DE SOUSA AND L KIRKMAN
AT 23 COUNTRYSIDE CLOSE
RIVERSIDE 7250

DRAWING: ELEVATIONS

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 23 / 10 / 25

SCALE – A3 – 1:100.

DRAWING No.:
SOU0925 – 10/11

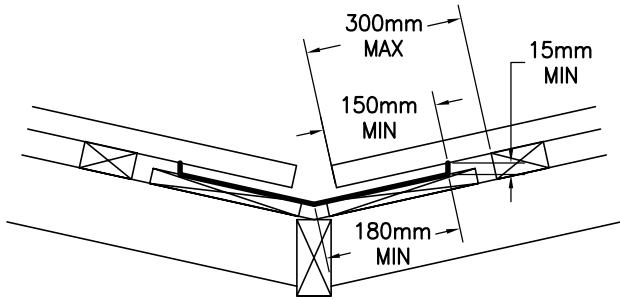
REVISION NUMBER	DATE
REVISION 1	20 / 09 / 2025
REVISION 2	28 / 09 / 2025
REVISION 3	01 / 10 / 2025
REVISION 4	07 / 10 / 2025
REVISION 5	14 / 10 / 2025
REVISION 6	23 / 10 / 2025

© BRADLEY VAN ZETTEN 2025

THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.

POLYCARBONATE ROOFING OVER ALFRESCO AT 5' MIN IN SELECTED STRIPS TO OWNERS DETAILS. CUSTOM ORB ROOFING FOR SOLID SECTIONS. SAFETY MESH INSTALLED UNDER POLYCARBONATE ROOFING WHEN DISTANCE FROM ROOFING TO FLOOR LEVEL IS OVER 3m.

EAVE VENTS SHOWN FOR MAIN ROOF



VALLEY GUTTER IS OVER 12.5 DEGREES AS PER 7.4.4

ROOF PLAN

SHEET ROOF
75x38mm HARD WOOD OR 70x35mm MGP12
BATTENS AT 900mm MAX 900mm CRS AND SPAN.

RANGEHOOD AND BATHROOM EXTRACTION FANS
DUCTED TO EAVE/WALL VENT

COLORBOND CUSTOM ORB ROOF SHEETING AT 27.0'. ONE AND A HALF CORRUGATION SIDE LAP (TYPICAL). FIXED AT SIDE LAPS. 3 FIXINGS FOR INTERNAL SPANS AND 5 FOR END SPANS. FIXED WITH ROOFZIPS M6-11x50mm FOR SOFTWOOD AND STEEL 0.55-1.0mm BMT BATTENS 12-14x35 METAL TEK 1.0-3.0mm BMT STEEL BATTENS 12-11x50mm FOR HARDWOOD

ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4

GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN

- 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS

WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW MEASURERS OR THE LIKE

DOWNPIPES MUST--

(A)NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH DOWNPIPE; AND

(B)BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS; AND

(C)BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B AND TABLE 7.4.3C.

FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPIPE MEDIUM RECTANGULAR GUTTERS OR 115MM 'D' GUTTERS MAY BE USED WITH 90MM DOWNPIPES

EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR 1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

(1) FOR A FRONT FACE SLOTTED GUTTER WITH--

A MINIMUM SLOT OPENING AREA OF 1200 MM2 (A) PER METRE OF GUTTER; AND

(a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25 MM BELOW THE TOP OF THE FASCIA,

THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.

(2) FOR A CONTROLLED BACK GAP WITH--

(a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE GUTTER BACK AND THE FASCIA; AND

(b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN 50 MM WIDE; AND

(c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM BELOW THE TOP OF THE FASCIA,

THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.

(3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED OFFSET OF THE GUTTER FROM THE FASCIA.

ROOF OVER 15 DEGREES

BAL ZONE - BRADFORD 418x220mm METAL VENT WITH 0.035sq/m OPENING PER VENT - THEREFORE ONE VENT INSTALLED PER 4.8m LINEAR METER OF WALL

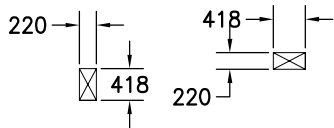
HIP/RIDGE VENTILATION

NON BAL ZONE - CONTINUOUS GAP AT RIDGE IN ROOF WRAP WITH AT MINIMUM 5mm GAP AND/OR 5000mm2/m GABLE VENT IN GABLE ROOF

BAL ZONE - AS ABOVE BUT WITH EMBER RESISTANT STEEL MESH AS PER DETAIL

ONE VENT INSTALLED WITHIN 1m OF EACH INTERNAL AND EXTERNAL CORNER IN EAVE AND SPACED EQUALLY ALONG LENGTH OF EAVE WITH SPACING AS PER DETAILS ABOVE

BRADFORD 418x220mm VENTS



DESIGNS

BRADLEY VAN ZETTEN

4 EDEN HILLS DRIVE
RIVERSIDE 7250
P. 0407 272 381
E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796

PROJECT: PROPOSED DWELLING FOR
J DE SOUSA AND L KIRKMAN
AT 23 COUNTRYSIDE CLOSE
RIVERSIDE 7250

DRAWING: ROOF PLAN

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 23 / 10 / 25

SCALE - A3 - 1:100.

DRAWING No.:
SOU0925 - 11/11

REVISION NUMBER	DATE
REVISION 1	20 / 09 / 2025
REVISION 2	28 / 09 / 2025
REVISION 3	01 / 10 / 2025
REVISION 4	07 / 10 / 2025
REVISION 5	14 / 10 / 2025
REVISION 6	23 / 10 / 2025

EXTERNAL WALLS DASHED

600mm EAVE FROM FRAME LINE

COLORBOND GUTTER AND FASCIA SYSTEM