

PLANNING APPLICATION FORM

Section 57 & 58

**OFFICE USE
ONLY**

Application Number PA2025093

Assess No: A8271

PID No: 7511161

Applicant Name:	David Denman & Associates		
Applicant Contact Name			
Postal Address:			
Contact Phone:	Home	Work	Mobile
Email Address:			

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☐
2. A completed application form including a detailed description of the proposal ☐
3. A complete plan set: ☐
 - a) Floor plans ☐
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☐
 - c) Site Plan showing: ☐
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other: ☐

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: David Denman & Associates, 7/59 William St, Launceston 7250

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

 Owner/Authority Name:
(as per certificate of title) GRANT RICHARD TODD

Location / Address: 30 Top Rd, Greens Beach 7270.

 Title Reference: ~~2005~~ 200215 / 1

Zone(s): Low Density Residential Zone

Existing Development/Use: Residential Vacant Land.

Existing Developed Area:

 Are any of the components in this Application seeking retrospective approval?
E.g. Use and/or development that has commenced without a Planning Permit. YES ☐
NO ☒

(If yes please specify the relevant components):

DEVELOPMENT APPLICATION DETAILS

 Proposed Use: Residential: ☒ Visitor Accommodation: ☐ Commercial: ☐ Other: ☐
Description of Use: Residential Use

 Development Type: Building work: ☐ Demolition: ☐ Subdivision: ☐ Other: ☐
Description of development: New Dwelling & Garage

New or Additional Area:	Dwelling 58m ²	Garage 73m ²
Estimated construction cost of the proposed development:	Dwelling 200,000	Garage 150,000
Building Materials:	Wall Type: Metal	Colour: Surfmist
	Roof Type: Metal	Colour: Surfmist

Application Number: «Application Number»

VISITOR ACCOMMODATION

N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION

N/A

Subdivision creating additional lots ☐

Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	
Existing Car Parking:				
Proposed Car Parking:				
Number of Employees: (Existing)				
Number of Employees: (Proposed)				
Type of Machinery installed:				
Details of trade waste and method of disposal:				

Application Number: «Application Number»

APPLICANT DECLARATION**Owner:**

As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

GRANT RICHARD TODD

Name (print)



Signed

01.04.2025

Date

Applicant:
(if not the owner)

As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

GEOFF CURRY

Name (print)



Signed

01.04.25

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**Chief
Executive
Officer**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

OWNER FOLIO REFERENCE CT 2053/83 GRANTEE		PLAN OF TITLE LOCATION DEVON - STOCKPORT FIRST SURVEY PLAN No. 210/35 L.O COMPILED BY LTO SCALE 1: 500 LENGTHS IN METRES		Registered Number P200215 APPROVED 08 MAY 1996 <i>Michael Dine</i> Recorder of Titles	
MAPSHEET MUNICIPAL CODE No. 129	LAST UPI No 4101326	LAST PLAN No.	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		

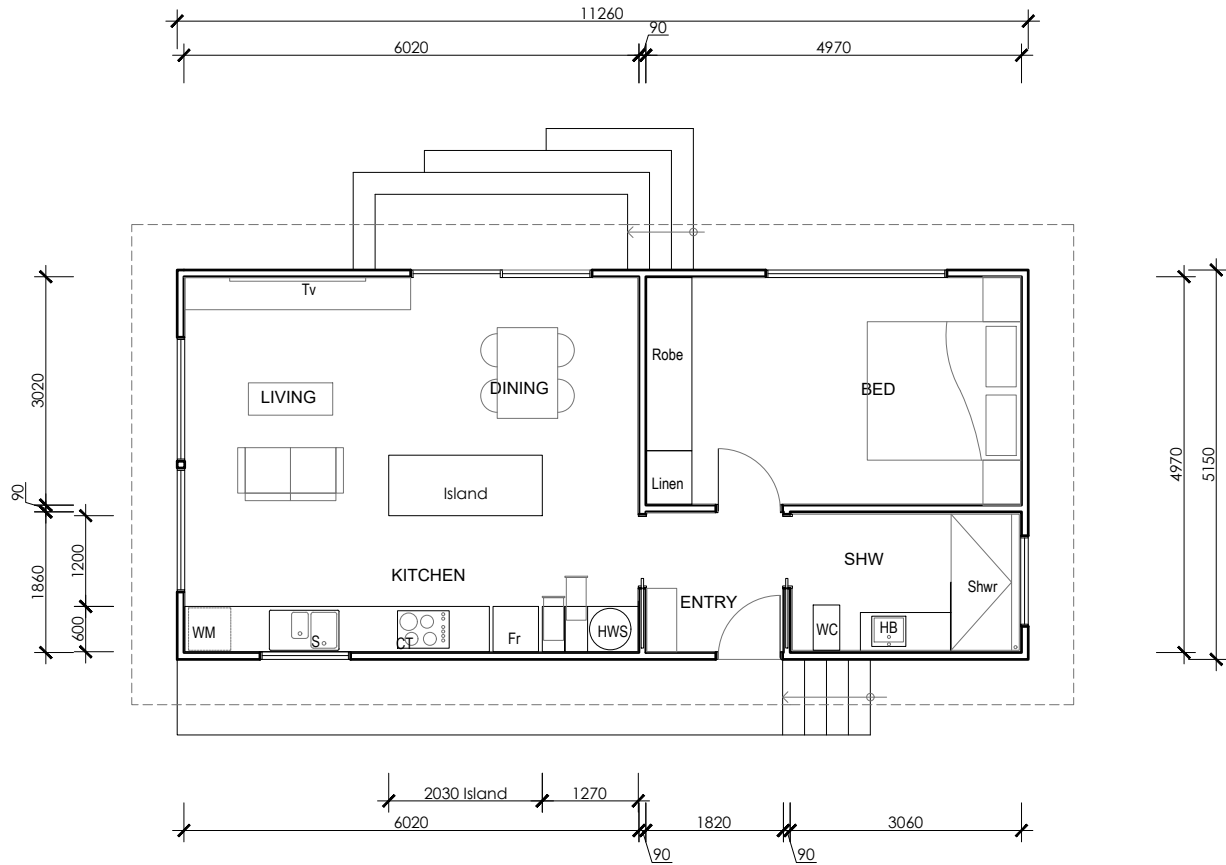
BALANCE PLAN

A 111 CK

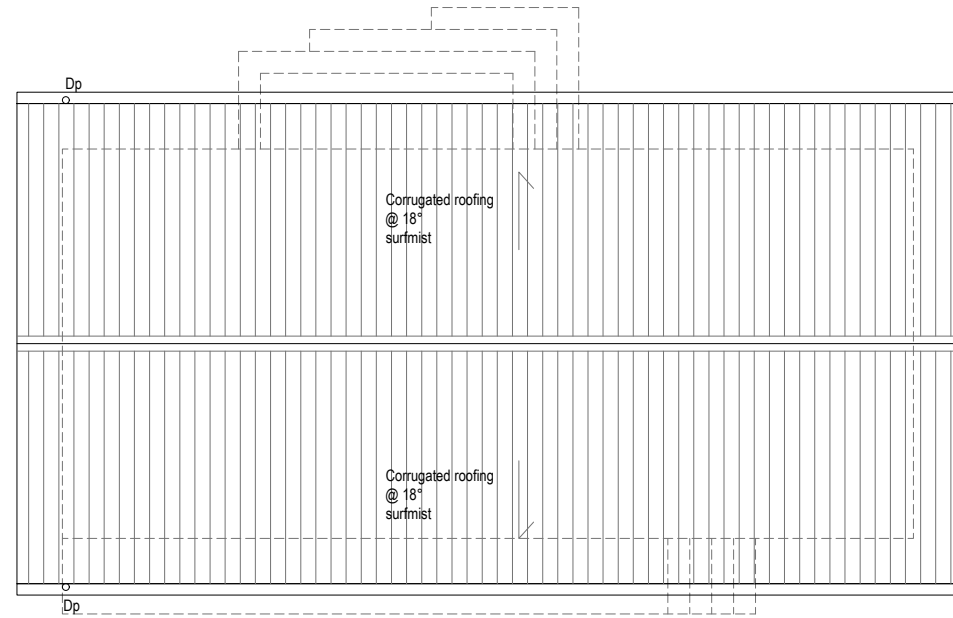
DESIGN DEVELOPMENT
NEW RESIDENCE
30 Top Rd, Greens Beach 7270

NO.	DATE	ISSUE	DRAWING	COMMENT
DA - 00	13.11.25	01	COVER PAGE	
DA - 01	13.11.25	01	PROPOSED SITE PLAN	
DA - 02	01.04.25	01	PROPOSED PLANS	
DA - 03	01.04.25	01	PROPOSED ELEVATIONS	
DA - 04	01.04.25	01	PROPOSED OUTBUILDING PLANS	
DA - 05	01.04.25	01	PROPOSED OUTBUILDING ELEVATIONS	

NOT FOR CONSTRUCTION



PROPOSED FLOOR PLAN



PROPOSED ROOF PLAN



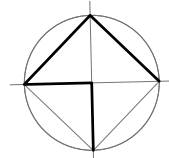
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Issue ID	Revision ID	Description	Date
01	-	FOR DA	01.04.25

PROJECT: NEW RESIDENCE

ADDRESS: 30 Top Rd, Greens Beach 7270

CLIENT: Grant and Lorraine Todd

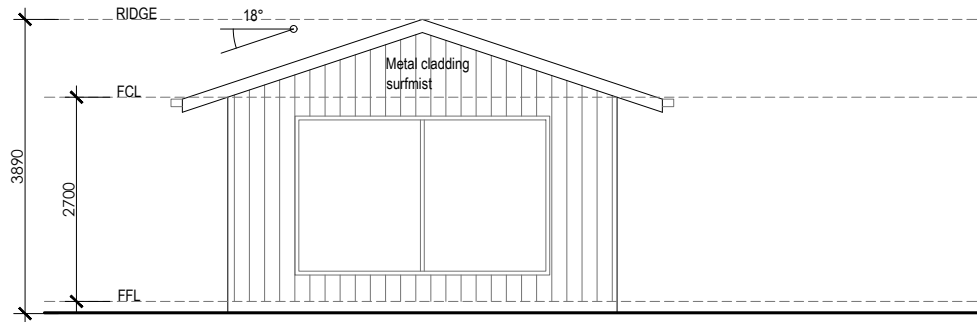


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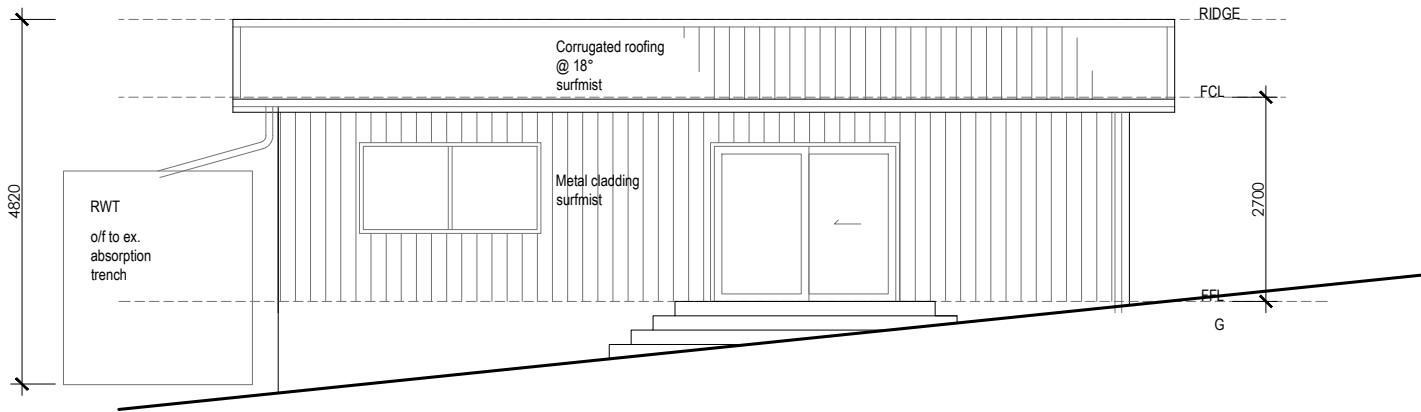


drawing: PROPOSED PLANS
scale: 1:100 @ A3
date: 01.04.25

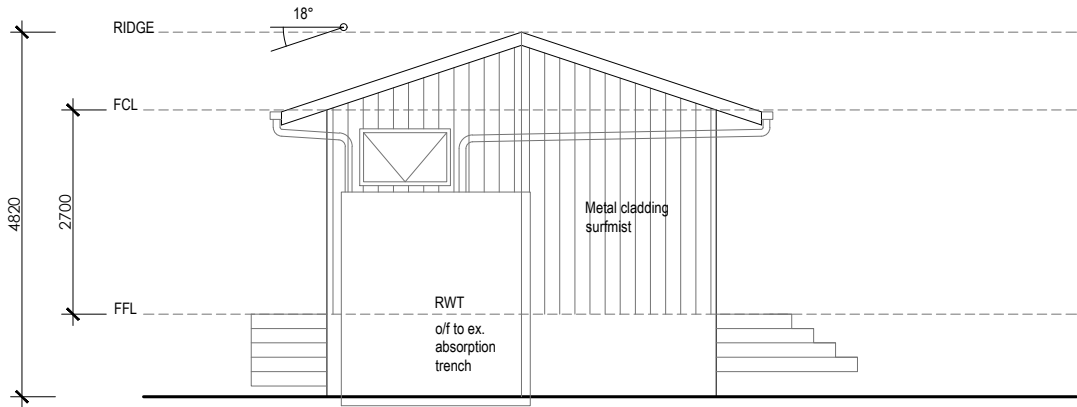
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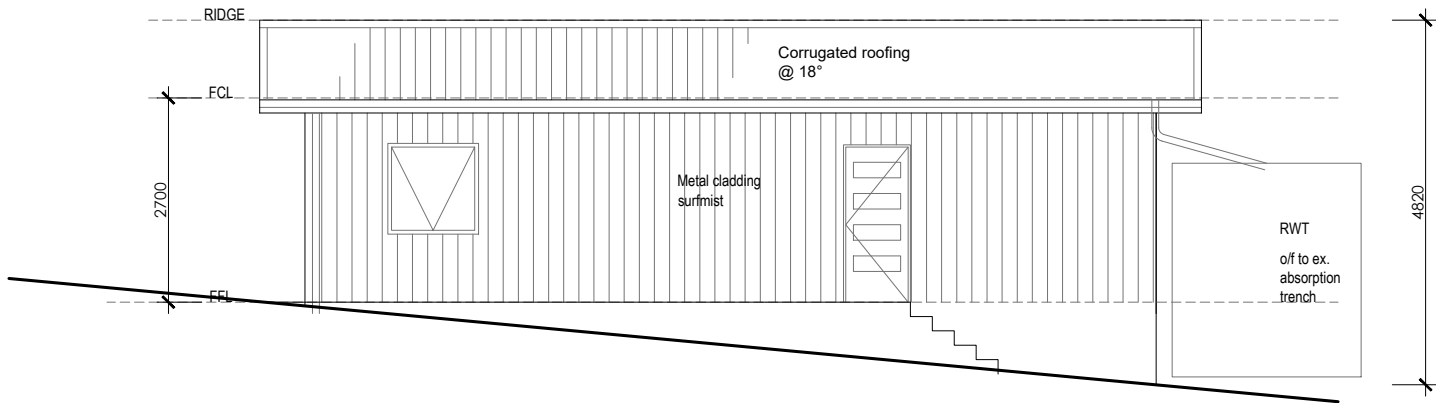
WEST



NORTH

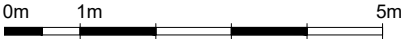


EAST



SOUTH

PROPOSED ELEVATIONS



NOT FOR CONSTRUCTION

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01	-	FOR DA	01.04.25

PROJECT: NEW RESIDENCE

ADDRESS: 30 Top Rd, Greens Beach 7270

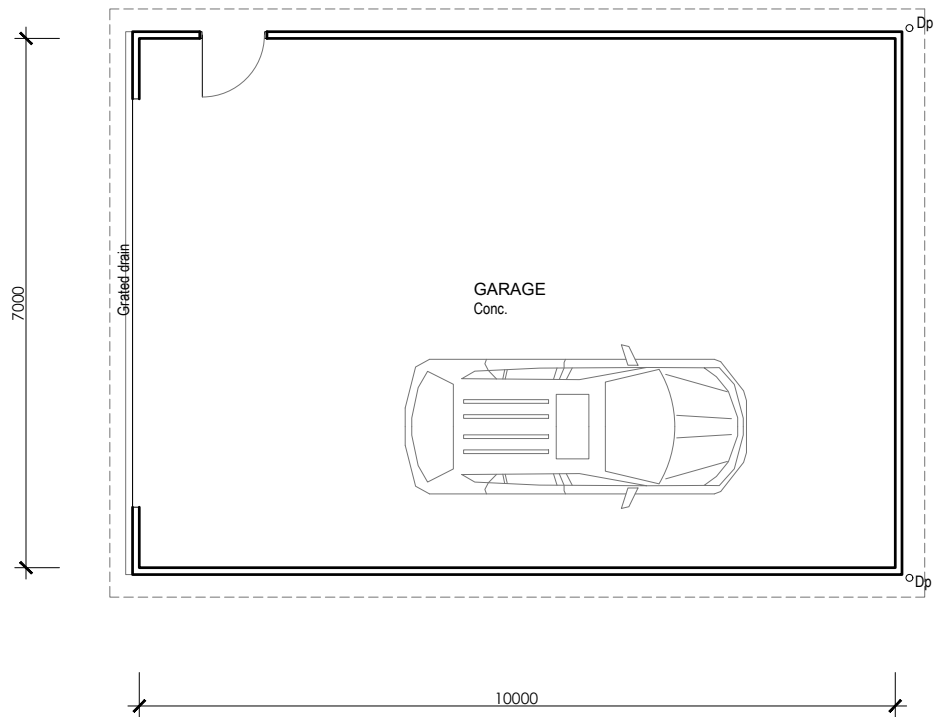
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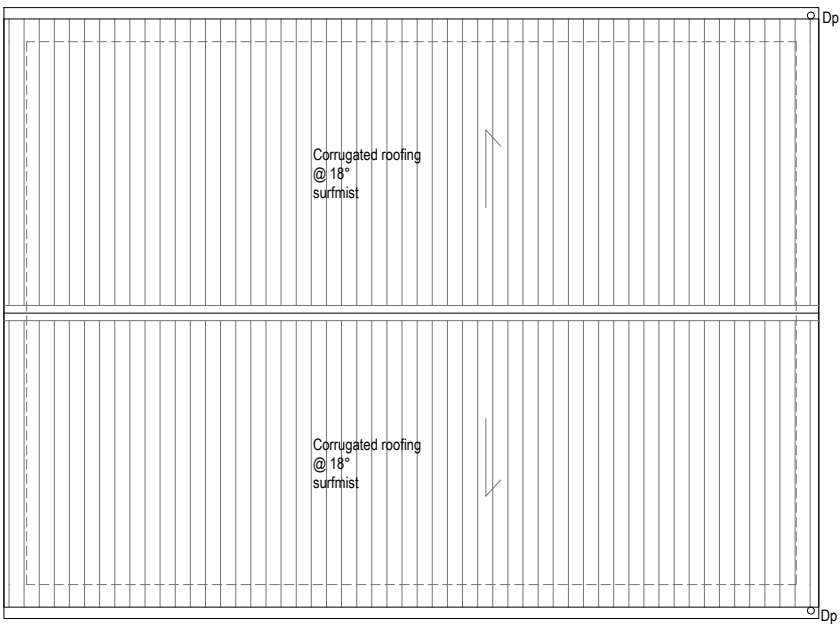


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scale: 1:100 @ A3
date: 01.04.25

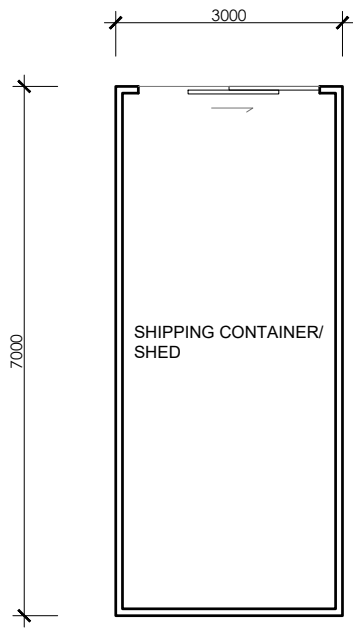
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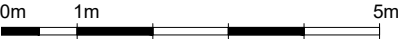
PROPOSED GARAGE FLOOR PLAN



PROPOSED GARAGE ROOF PLAN



PROPOSED SHED



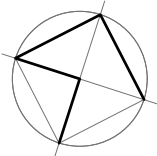
NOT FOR CONSTRUCTION

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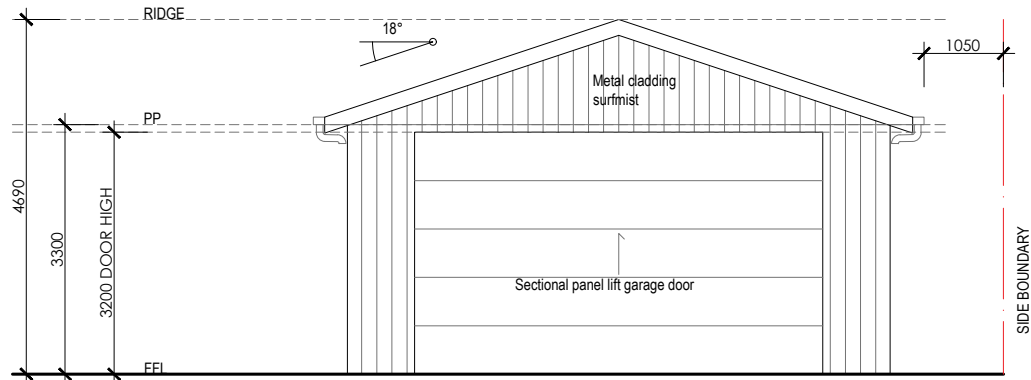


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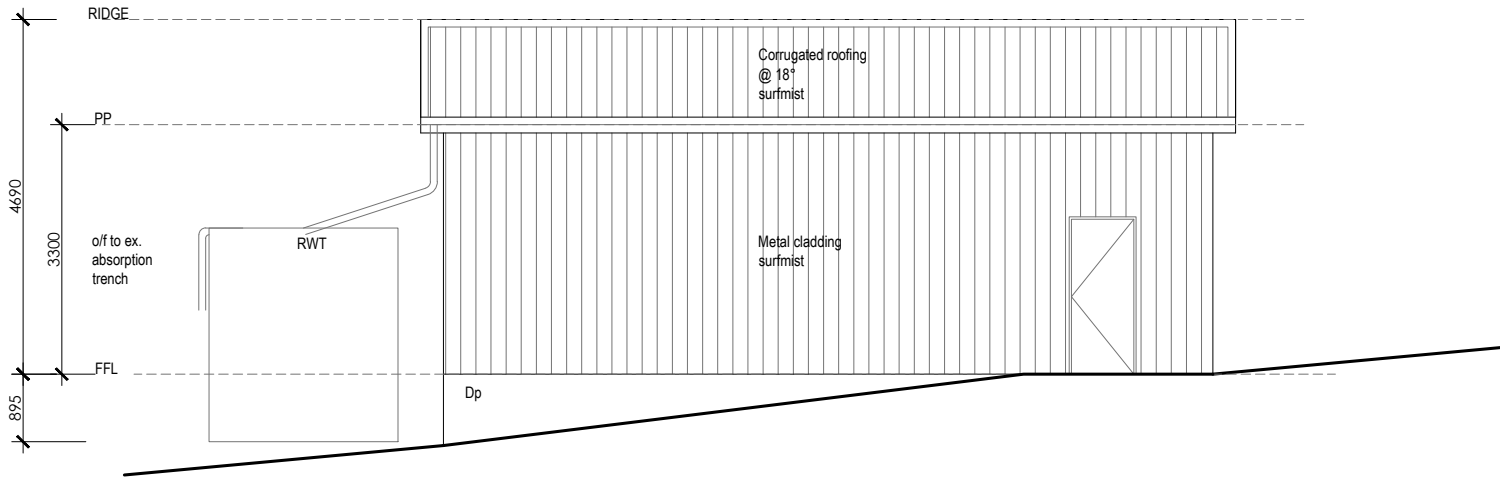


drawing: PROPOSED OUTBUILDING
scale: PLANS
date: 1:100 @ A3
01.04.25

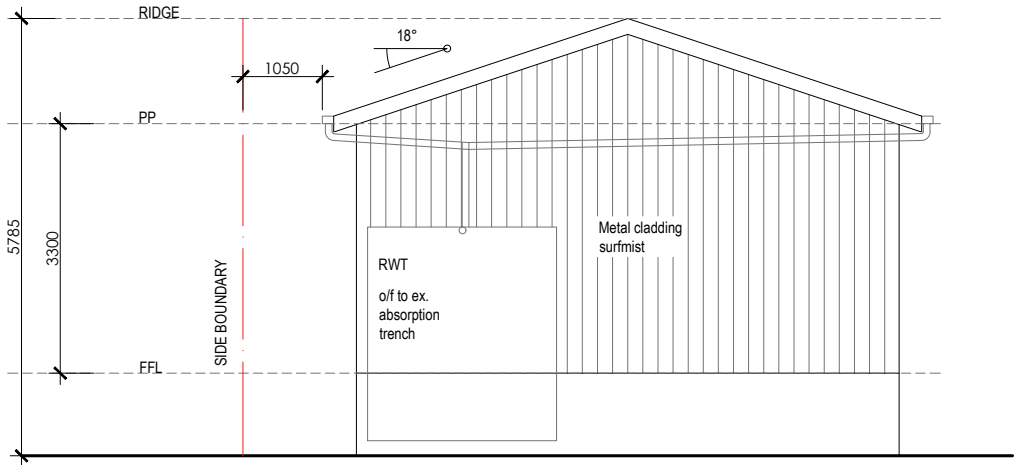
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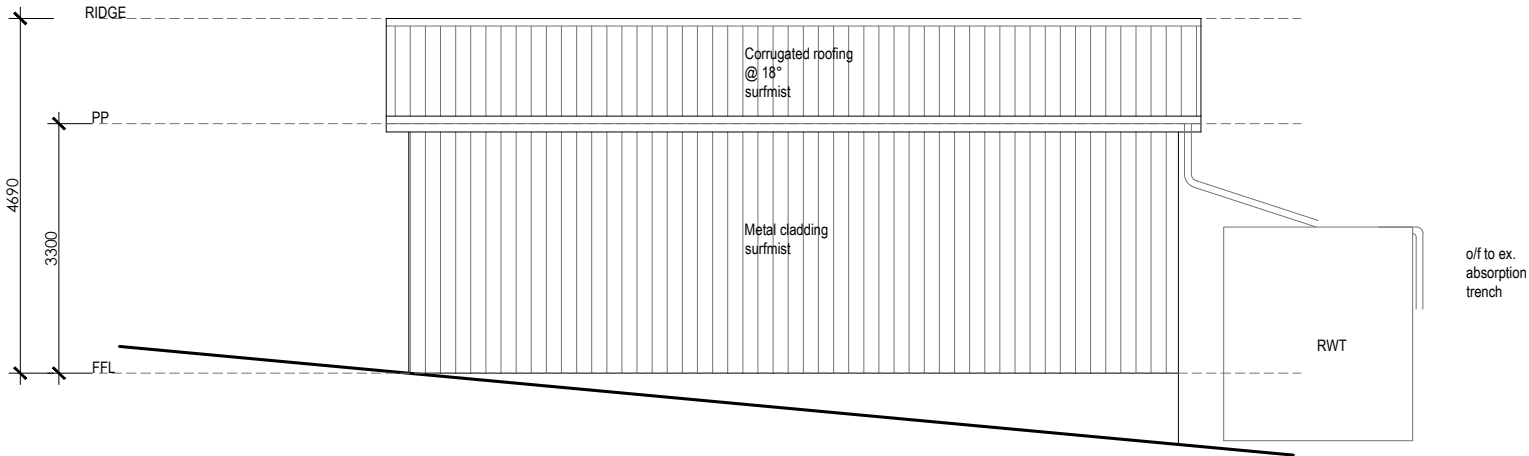
WEST



NORTH



EAST



SOUTH

GARAGE ELEVATIONS



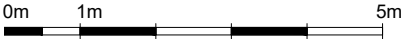
WEST

NORTH

EAST

SOUTH

SHIPPING CONTAINER/ SHED ELEVATIONS



NOT FOR CONSTRUCTION

Issue ID	Revision ID	Description	Date
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PROJECT: NEW RESIDENCE

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PROPOSED OUTBUILDING ELEVATIONS

drawing: 1:100 @ A3

scale: 01.04.25

date:

dwg #: DA05_01