

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number PA2025363

Assess No: A2133

Cert of Title/ PID No: 189212/6

Applicant Name:	Design To Live				
Postal Address:					
Contact Phone:	Home		Work		Mobile
Email Address:					

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements
2. A completed application form including a detailed description of the proposal
3. A complete plan set:
 - a) Floor plans
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level)
 - c) Site Plan showing:
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:



*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: Design To Live Denika McDonald-Hodges

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) ASHLEY & ABBY PAGE

Location / Address: LOT 6, TENNYSON DRIVE, RIVERSIDE

Title Reference: 113572/100

Zone(s): GENERAL RESIDENTIAL

Existing Development/Use: VACANT

Existing Developed Area: Area

DEVELOPMENT APPLICATION DETAILS

Proposed Use: Residential: ☒ Visitor Accommodation: ☐ Commercial: ☐ Other: ☐
Description of Use:
RESIDENTIAL

Development Type: Building work: ☒ Demolition: ☐ Subdivision: ☐ Other: ☐
Description of development:
PROPOSED DWELLING

New or Additional Area: Area REFER PLANS

Estimated construction cost of the proposed development: \$ 800,000

Building Materials:
Wall Type: REFER PLANS Colour: REFER PLANS
Roof Type: REFER PLANS Colour: REFER PLANS

Application Number: «Application Number»

SUBDIVISION	N/A
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Subdivision creating additional lots ☐
 Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE	N/A
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Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: <i>(Existing)</i>	
Number of Employees: <i>(Proposed)</i>	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

(if not the owner)

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**General
Manager**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

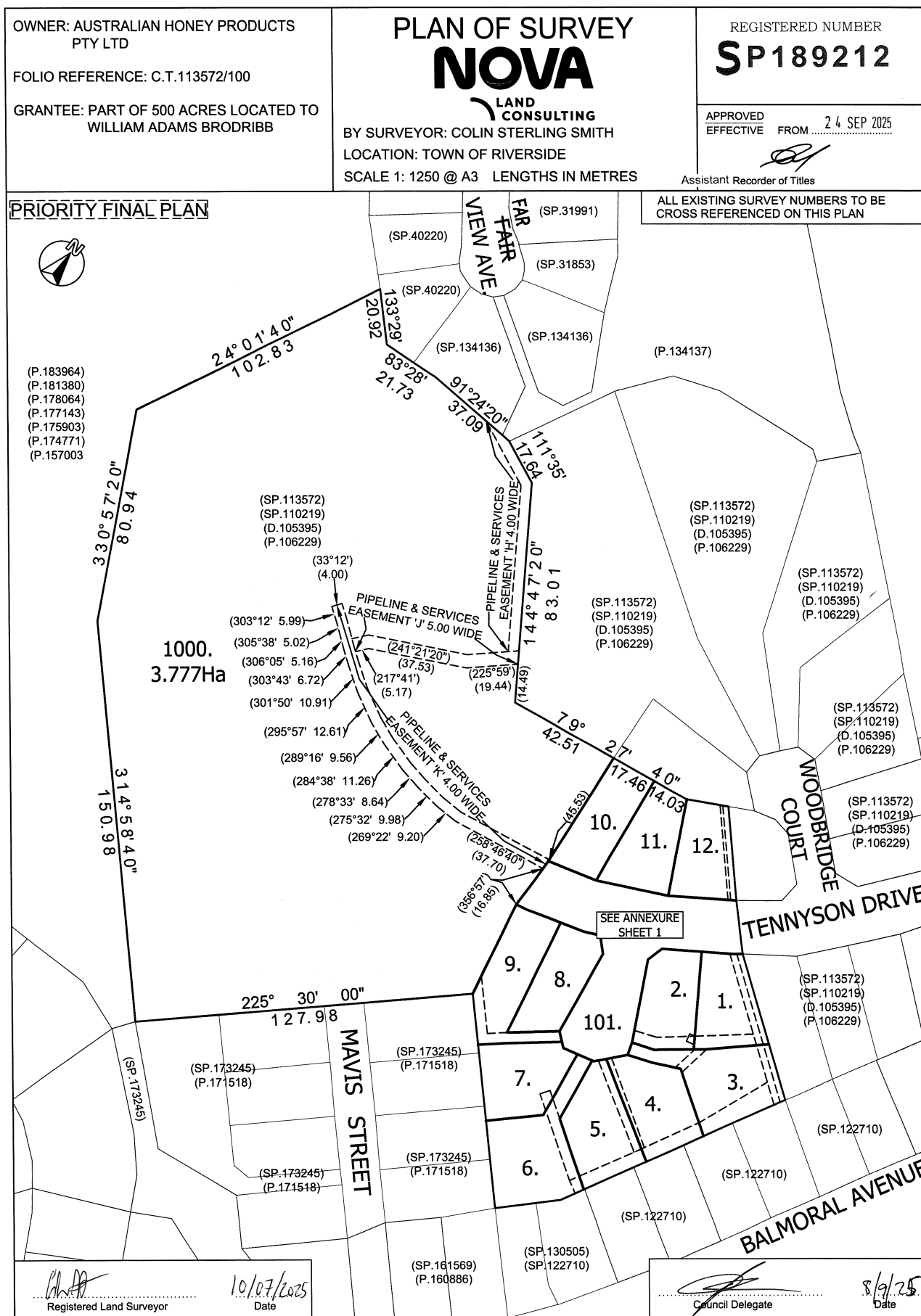
Right of Way Owner:

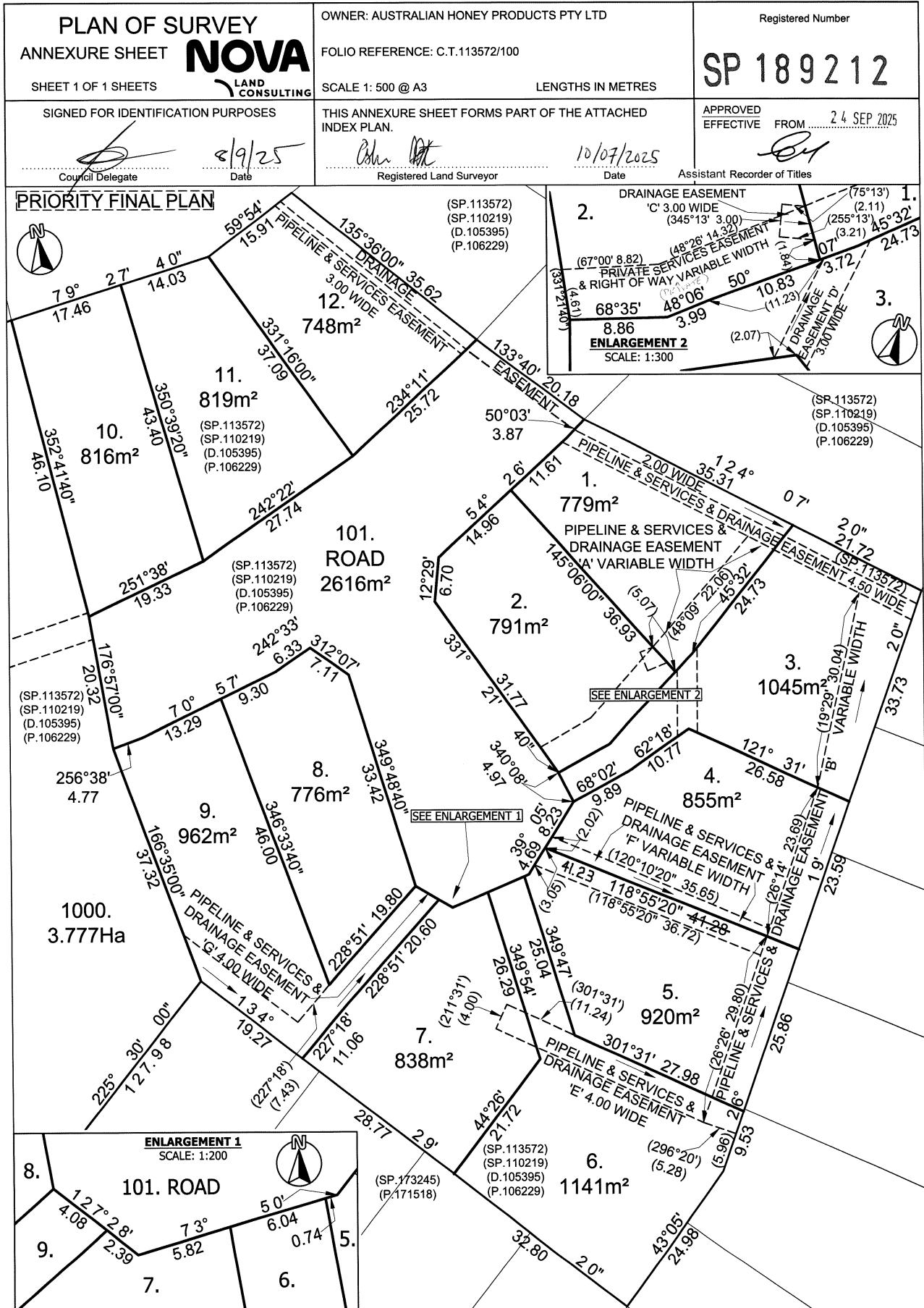
As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date





UNREGISTERED DEALINGS REPORT

SEARCH DATE : 05-Nov-2025

SEARCH TIME : 01:36 pm

CT: 189212/6

N292206 PRIORITY NOTICE reserving priority for 90 days
TRANSFER AUSTRALIAN HONEY PRODUCTS PTY LTD to ASHLEY
NEIL PAGE and ABBY DAWN PAGE
MORTGAGE ASHLEY NEIL PAGE and ABBY DAWN PAGE to
COMMONWEALTH BANK OF AUSTRALIA Lodged by DOBSON
MITCHELL on 08-Oct-2025 BP: N292206

SCHEDULE OF EASEMENTS	Registered Number SP 189212
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 5 PAGES

EASEMENTS AND PROFITS

- (a) Each lot on the plan is together with:
- (1) Such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
 - (2) Any easements or profits a prendre described hereunder.
- (b) Each lot on the plan is subject to:
- (1) Such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
 - (2) Any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lots 4 & 5 on the Plan are each subject to a Pipeline and Services Easement in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT 'F' VARIABLE WIDTH shown on the Plan.

Lots 1, 3 and 12 on the Plan are subject to a Right of Drainage in gross in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 2.00 WIDE (SP 113572)" created by and more fully set forth in SP 113572 as shown on the plan.

Lots 1 and 3 on the Plan are subject to a Pipeline and Services Easement ~~and Right of Drainage in gross~~ in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 4.50 WIDE" shown on the plan.

Lots 1 and 3 on the Plan are subject to a ~~Pipeline and Services Easement and~~ Right of Drainage in gross in favour of the West Tamar Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 4.50 WIDE" shown on the plan.

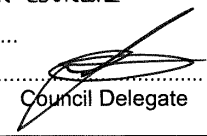
Lots 1 on the Plan is subject to a Pipeline and Services Easement ~~and Right of Drainage in gross~~ in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 'A' VARIABLE WIDTH" shown on the plan.

Lots 1 on the Plan is subject to a ~~Pipeline and Services Easement and~~ Right of Drainage in gross in favour of the West Tamar Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 'A' VARIABLE WIDTH" shown on the plan.

Lots 3,4,5 and 6 on the Plan are subject to a Pipeline and Services Easement ~~and Right of Drainage in gross~~ in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 'B' VARIABLE WIDTH" shown on the plan.

Lots 4 & 5 on the Plan are each subject to a Right of Drainage in favour of the West Tamar Council over the land marked PIPELINE AND SERVICES EASEMENT 'F' VARIABLE WIDTH shown on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: AUSTRALIAN HONEY PRODUCTS PTY LTD FOLIO REFERENCE: VOLUME 113572 FOLIO 100 SOLICITOR: BISHOPS BARRISTERS & SOLICITORS & REFERENCE: FENTON JONES FHJ :240053	PLAN SEALED BY: WEST TAMAR COUNCIL DATE: 8/9/25 PA2022229 REF NO.	 Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.		

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 5 PAGES	Registered Number SP 189212
SUBDIVIDER: AUSTRALIAN HONEY PRODUCTS PTY LTD FOLIO REFERENCE: VOLUME 113572 FOLIO 100	

Lots 3,4,5 and 6 on the Plan are subject to a ~~Pipeline and Services Easement and Right of Drainage~~ in gross in favour of the West Tamar Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 'B' VARIABLE WIDTH" shown on the plan.

Lot 2 on the Plan is subject to a Private Services Easement and Right of Carriageway in favour of Lot 1 over the land marked "~~PRIVATE~~ SERVICES EASEMENT AND RIGHT OF WAY,VARIABLE WIDTH" shown on the plan.
(PRIVATE)

Lot 1 on the Plan is together with a Private Services Easement and Right of Carriageway, ~~(appurtenant to Lot 2)~~ over the land marked "~~PRIVATE~~ SERVICES EASEMENT AND RIGHT OF WAY,VARIABLE WIDTH" shown on the plan passing through ~~such~~ lot. 2
(PRIVATE)

Lot 2 on the Plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'C' 3.00 WIDE" shown on the plan.

Lot 3 on the Plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'D' 3.00 WIDE" shown on the plan.

Lots 6 and 7 on the Plan ^{are} subject to a Pipeline and Services Easement ~~and Right of Drainage in gross~~ in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 'E' 4.00 Wide" shown on the plan.

Lots 6 and 7 on the Plan ^{are} ~~is~~ subject to a Pipeline and Services Easement ~~and Right of Drainage in gross~~ in favour of the West Tamar Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 'E' 4.00 Wide" shown on the plan.

Lots 9 on the Plan is subject to a Pipeline and Services Easement ~~and Right of Drainage in gross~~ in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 'G' 4.00 Wide" shown on the plan.

Lots 9 on the Plan is subject to a Pipeline and Services Easement ~~and Right of Drainage in gross~~ in favour of the West Tamar Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 'G' 4.00 Wide" shown on the plan.

Lots 12 on the Plan is subject to a Pipeline and Services Easement ~~and Right of Drainage in gross~~ in favour of TasWater over the land marked "PIPELINE AND SERVICES ~~AND DRAINAGE~~ EASEMENT 3.00 Wide" shown on the plan.

Lot 1,000 on the Plan is subject to a Pipeline and Services Easement in gross in favour of TasWater over the land marked "PIPELINE AND SERVICES EASEMENT 'K' 4.00 Wide" shown on the plan.

Lot 1,000 on the Plan is subject to a Pipeline and Services Easement in gross in favour of TasWater over the land marked "PIPELINE AND SERVICES EASEMENT 'J' 5.00 Wide shown on the plan.

Lot 1,000 on the Plan is subject to a Pipeline and Services Easement in gross in favour of TasWater over the land marked "PIPELINE AND SERVICES EASEMENT 'H' 4.00 Wide" shown on the plan.

"Pipeline and Services Easement" is defined as follows:

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and their employees, contractors, agents and all other persons duly authorised by it, at all times to:

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 5 PAGES	Registered Number SP 189212
SUBDIVIDER: AUSTRALIAN HONEY PRODUCTS PTY LTD FOLIO REFERENCE: VOLUME 113572 FOLIO 100	

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

"Private Services Easement" is defined as follows:

The full and free right for every person who is at any time entitled to an estate or interest in possession in the land herein indicated as a dominant tenement or any part thereof with which the right shall be capable of enjoyment to make or lay or install pipes, wires, cables, or other apparatus and equipment for the purposes of conveying or carrying water, electricity, gas, cables, telephone services and other conducting media and all and any other kind of services to or from the dominant tenement or any such parts thereof under, through, over or along the land herein indicated as the land over which the right is to subsist and through all pipes, wires, cables, other apparatus and equipment which are now or may hereafter be made or laid or installed or passing under, through, over and along the last mentioned land and the right for every such person and every person authorised by him:

1. to maintain and use the pipes, wires, cables, other apparatus and equipment for any of those purposes;
2. to inspect, alter, repair and replace all or any part of the pipes, wires, cables, other apparatus and equipment when and where necessary;
3. to break the surface of, dig, open up and use the servient tenement for any of those purposes;
4. to enter the servient tenement at any time (if necessary with vehicles, equipment, workman, materials and specialist services) for any of those purposes; and
5. to do all necessary works and things for any of those purposes without doing unnecessary damage to the servient tenement and leaving the same in a clear and tidy condition.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 5 PAGES	Registered Number SP 189212
SUBDIVIDER: AUSTRALIAN HONEY PRODUCTS PTY LTD FOLIO REFERENCE: VOLUME 113572 FOLIO 100	

THIRDLY, THE FULL AND FREE RIGHT AND LIBERTY for West Tamar Council and their employees, contractors, agents and all other persons duly authorised by it, at all times to:

1. enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
2. investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that West Tamar Council is authorised to do or undertake;
3. install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
4. run and pass sewage, water and electricity through and along the Infrastructure;
5. do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
6. if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities West Tamar Council may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
7. use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, West Tamar Council reinstating any damage that it causes in doing so to any boundary fence of the Lot.

FOURTHLY, the benefit of a covenant in gross for the West Tamar Council with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of the West Tamar Council to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

"Private Services Easement" is defined as follows:

The full and free right for every person who is at any time entitled to an estate or interest in possession in the land herein indicated as a dominant tenement or any part thereof with which the right shall be capable of enjoyment to make or lay or install pipes, wires, cables, or other apparatus and equipment for the purposes of conveying or carrying water, electricity, gas, cables, telephone services and other conducting media and all and any other kind of services to or from the dominant tenement or any such parts thereof under, through, over or along the land herein indicated as the land over which the right is to subsist and through all pipes, wires, cables, other apparatus and equipment which are now or may hereafter be made or laid or installed or passing under, through, over and along the last mentioned land and the right for every such person and every person authorised by him:

1. to maintain and use the pipes, wires, cables, other apparatus and equipment for any of those purposes;
2. to inspect, alter, repair and replace all or any part of the pipes, wires, cables, other apparatus and equipment when and where necessary;
3. to break the surface of, dig, open up and use the servient tenement for any of those purposes;
4. to enter the servient tenement at any time (if necessary with vehicles, equipment, workman, materials and specialist services) for any of those purposes; and

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 5 PAGES	Registered Number SP 189212
SUBDIVIDER: AUSTRALIAN HONEY PRODUCTS PTY LTD FOLIO REFERENCE: VOLUME 113572 FOLIO 100	

5. to do all necessary works and things for any of those purposes without doing unnecessary damage to the servient tenement and leaving the same in a clear and tidy condition.

COVENANTS

The Owner of each Lot shown in the Plan covenants with the Vendor that the Vendor shall not be required to fence.

Each Lot on the Plan is subject to the Restrictive Covenants created by and more fully set forth in SP 113572 (subject to the conditions (if any) more fully set forth in that Sealed Plan).

There are no other Easements, Covenants or Profits a prendre to benefit or burden the said land

INTERPRETATION

"Infrastructure" means infrastructure owned or for which TasWater or the West Tamar Council is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

"West Tamar Council" means West Tamar Council, its successors and assigns.

"The Easement Land" means each of Lots 1,2,3,4,5,6,7,8,9,10,11,12 and 1000.

"Vendor" means Australian Honey Products Pty Ltd.

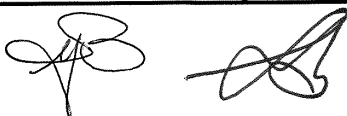
EXECUTED by Australian Honey Products Pty Ltd (ACN 009 519 591) the registered proprietors of the land comprised in Certificate of Title Volume 113672 Folio 100 in accordance with Section 127 of the Corporations Act 2001 by being signed by two directors:


 Director – Lindsay Jon Bourke


 Director/Secretary – Yeon Soon Bourke

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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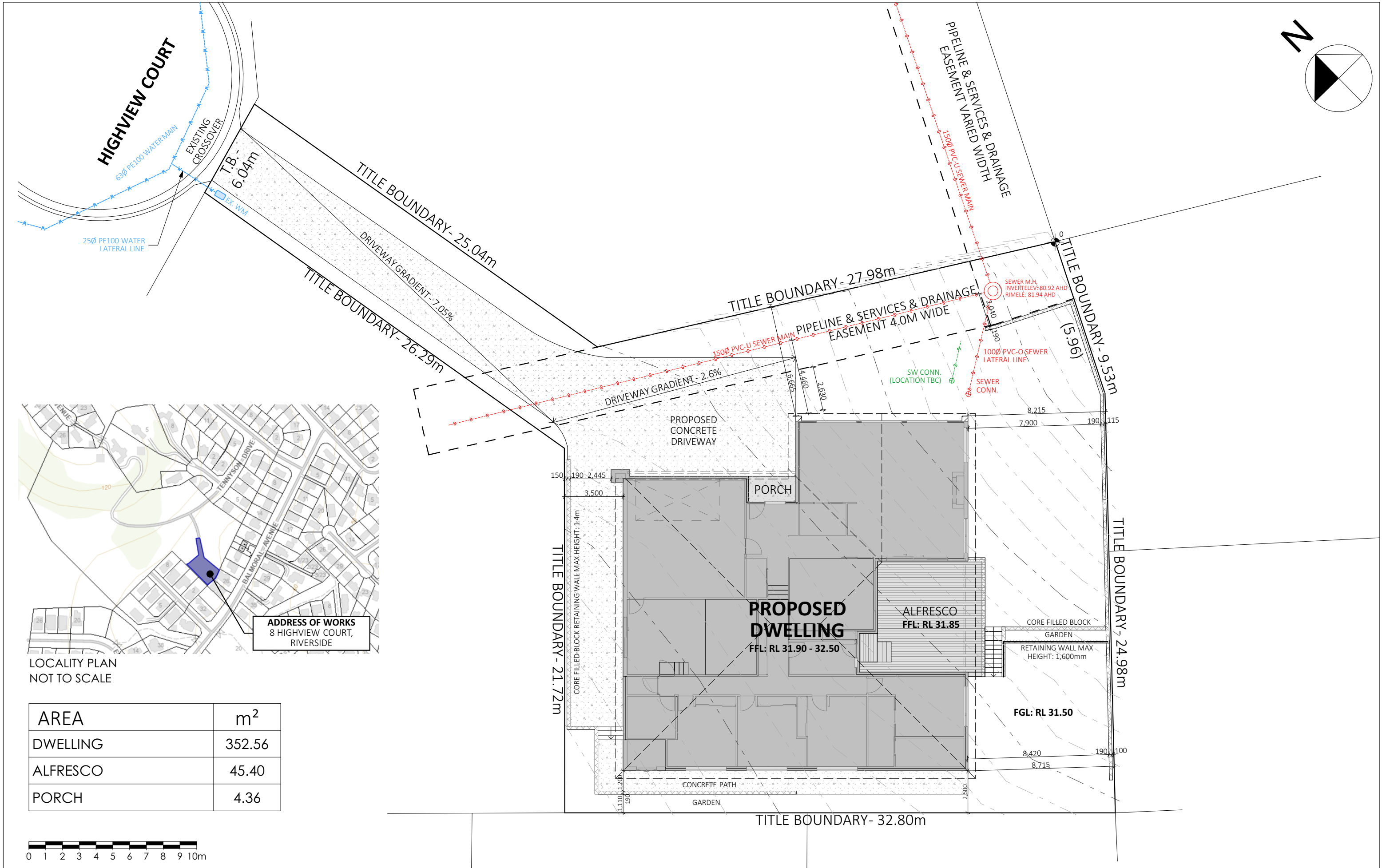
PROPOSED DWELLING
8 HIGHVIEW COURT,
RIVERSIDE, 7250.

DRAWING #	DRAWING
TNNY06-1	COVER PAGE
TNNY06-2	SITE PLAN
TNNY06-3	FLOOR PLAN
TNNY06-4	EXTERNAL SERVICES
TNNY06-5	ELEVATIONS NTH-STH
TNNY06-6	ELEVATIONS EST-WST
TNNY06-7	PERSPECTIVES



AREAS		COUNCIL		ZONE	
	(m²)	WEST TAMAR		GENERAL RESIDENTIAL	
DWELLING	352.56	LAND TITLE REFERENCE	1 13572/100	ENERGY STAR RATING	TBC
ALFRESCO	45.40	PROPERTY ID	1534661	CLIMATE ZONE	7
PORCH	4.36	LOT SIZE (M²)	1 148	ALPINE AREA	N/A
		BAL RATING	TBC	CORROSION ENV'	LOW
		DESIGN WIND CLASS	TBC	SITE HAZARDS	BUSHFIRE PRONE AREAS
		SOIL CLASSIFICATION	TBC		
		PLANNING OVERLAY	PRIORITY VEGETATION AREA, BUSHFIRE PRONE AREAS		

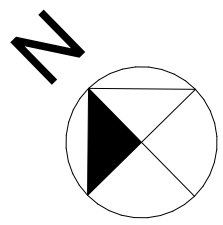
 ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: ASHLEY & ABBY PAGE	DRAWING COVER PAGE	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	TNNY06
	R1				25/09/2025	FOR REVIEW	DRAWN	H.K.	DRAWING	1/7	
	R2				17/11/2025	PLANNING RFI					
							CHECKED	M.L.	SCALE (@A3)	NTS	
	SITE ADDRESS: 8 HIGHVIEW COURT, RIVERSIDE, 7250.		SIGNATURE:	DATE:							
			SIGNATURE:	DATE:							



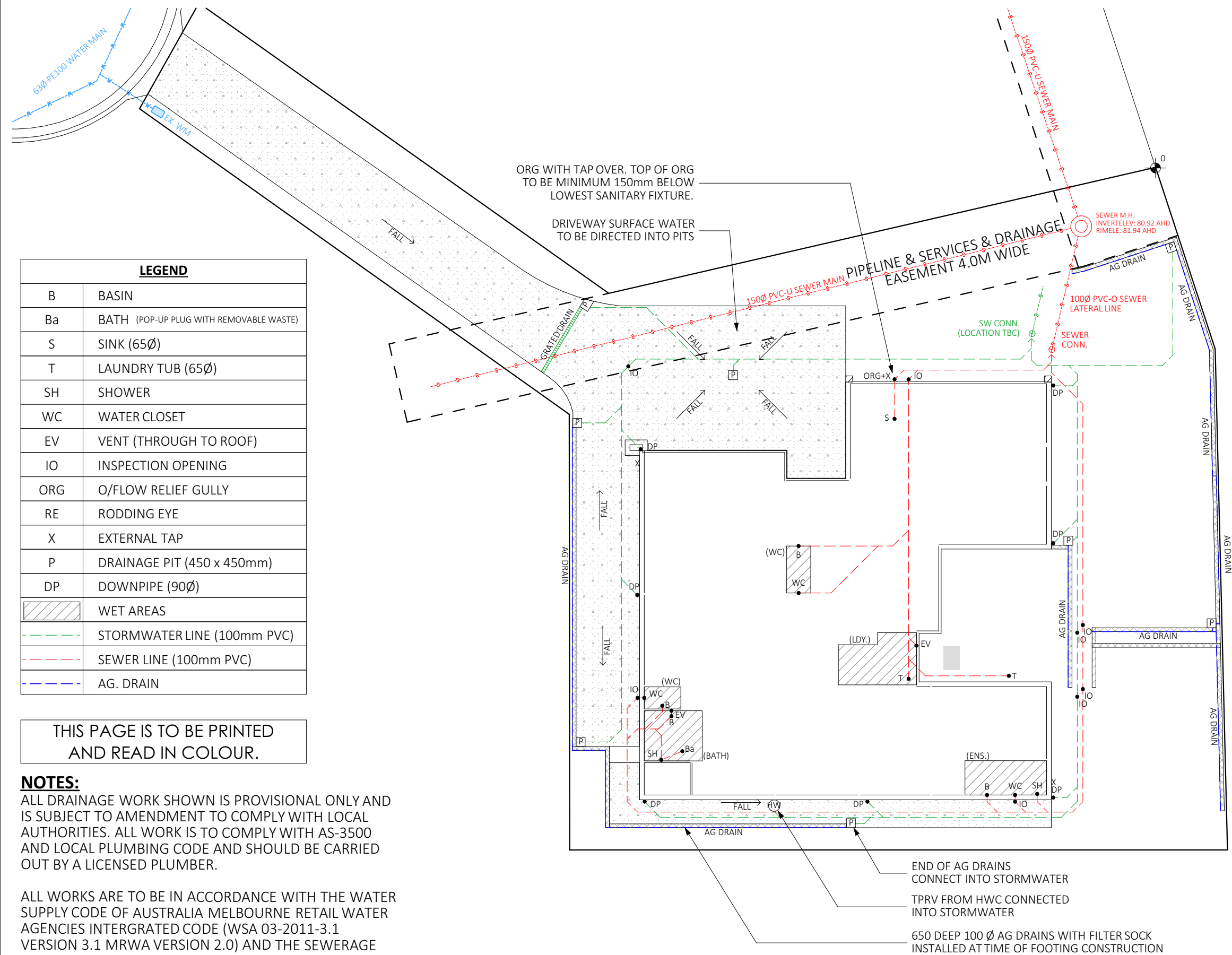
LOCALITY PLAN
NOT TO SCALE

AREA	m ²
DWELLING	352.56
ALFRESCO	45.40
PORCH	4.36

	ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: ASHLEY & ABBY PAGE SITE ADDRESS: 8 HIGHVIEW COURT, RIVERSIDE, 7250.	DRAWING SITE PLAN	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT. SIGNATURE: _____ SIGNATURE: _____	DATE: _____ DATE: _____	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	TNNY06
							R1	25/09/2025	FOR REVIEW	DRAWN	H.K.	DRAWING	2/7
							R2	17/11/2025	PLANNING RFI	CHECKED	M.L.	SCALE (@A3)	1:200



REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	TNNY06	
R1	25/09/2025	FOR REVIEW	DRAWN	H.K.	DRAWING	3/7	
R2	17/11/2025	PLANNING RFI		CHECKED	M.L.	SCALE (@A3)	1:100



LEGEND	
B	BASIN
Ba	BATH (POP-UP PLUG WITH REMOVABLE WASTE)
S	SINK (65Ø)
T	LAUNDRY TUB (65Ø)
SH	SHOWER
WC	WATER CLOSET
EV	VENT (THROUGH TO ROOF)
IO	INSPECTION OPENING
ORG	O/FLOW RELIEF GULLY
RE	RODDING EYE
X	EXTERNAL TAP
P	DRAINAGE PIT (450 x 450mm)
DP	DOWNPIPE (90Ø)
	WET AREAS
	STORMWATER LINE (100mm PVC)
	SEWER LINE (100mm PVC)
	AG. DRAIN

THIS PAGE IS TO BE PRINTED
AND READ IN COLOUR.

NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH AS-3500 AND LOCAL PLUMBING CODE AND SHOULD BE CARRIED OUT BY A LICENSED PLUMBER.

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 03-2011-3.1 VERSION 3.1 MRWA VERSION 2.0) AND THE SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 02-2014-3.1 MRWA VERSION 2.0) AND TASWATER'S SUPPLEMENTS TO THESE CODES.

INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

SERVICES
THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF THE NCC VOLUME THREE- PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST:
A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND
B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING ; AND
C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

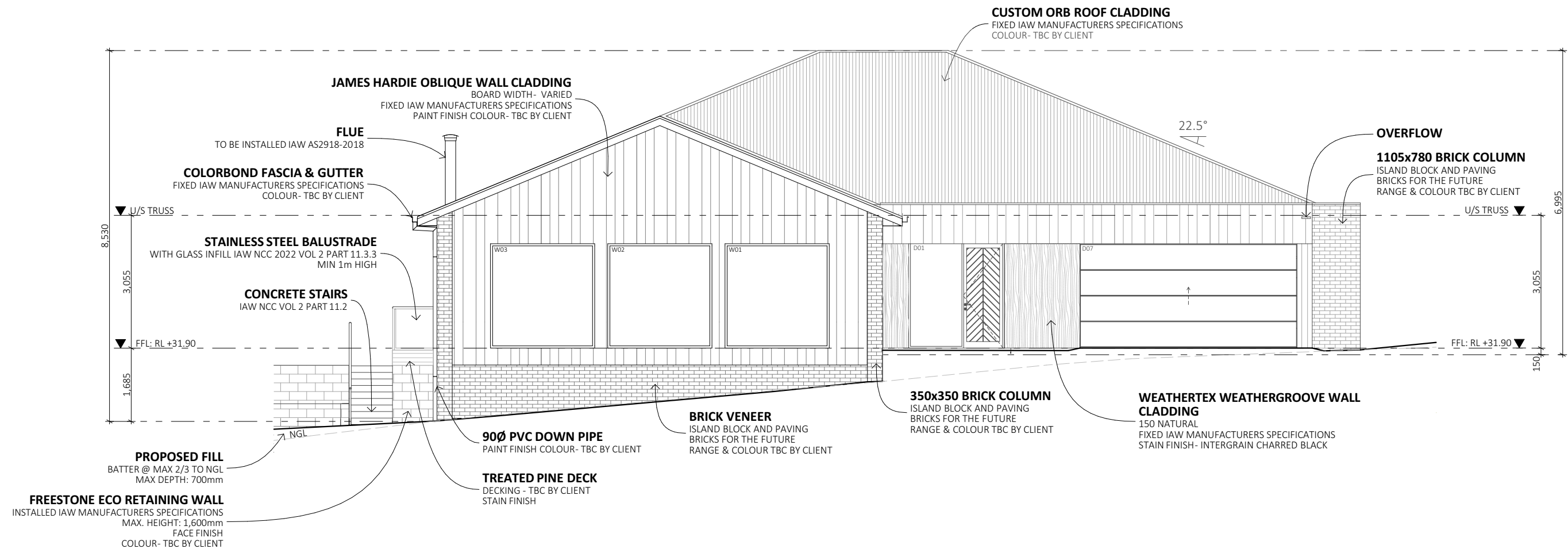
HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

- 1. INTERNAL PIPING**
a) ALL FLOW AND RETURN INTERNAL PIPING THAT IS-
i) WITHIN AN UNVENTILATED WALL SPACE
ii) WITHIN AN INTERNAL FLOOR BETWEEN STOREYS; OR
iii) BETWEEN CEILING INSULATION AND A CEILING
MUST HAVE A MINIMUM R-VALUE OF 0.2

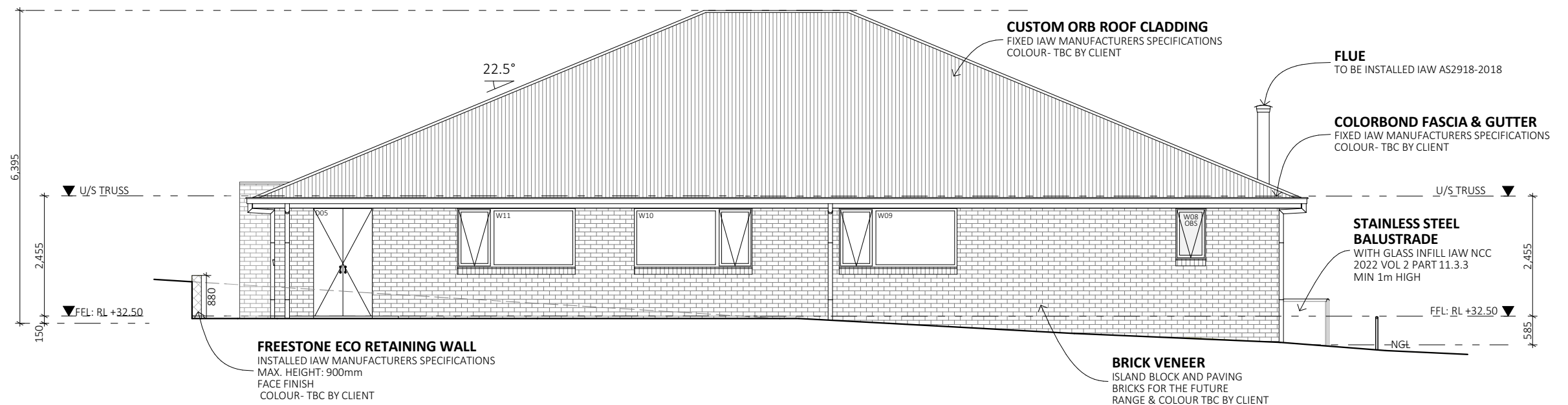
- 2. PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE**
a) ALL FLOW AND RETURN PIPING
b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM,
MUST HAVE A MINIMUM R-VALUE OF 0.45

- 3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB FLOOR OR ROOF SPACE**
a) ALL FLOW AND RETURN PIPING
b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM
MUST HAVE A MINIMUM R-VALUE OF 0.6

PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.



NORTH-EASTERN ELEVATION



SOUTH-WESTERN ELEVATION



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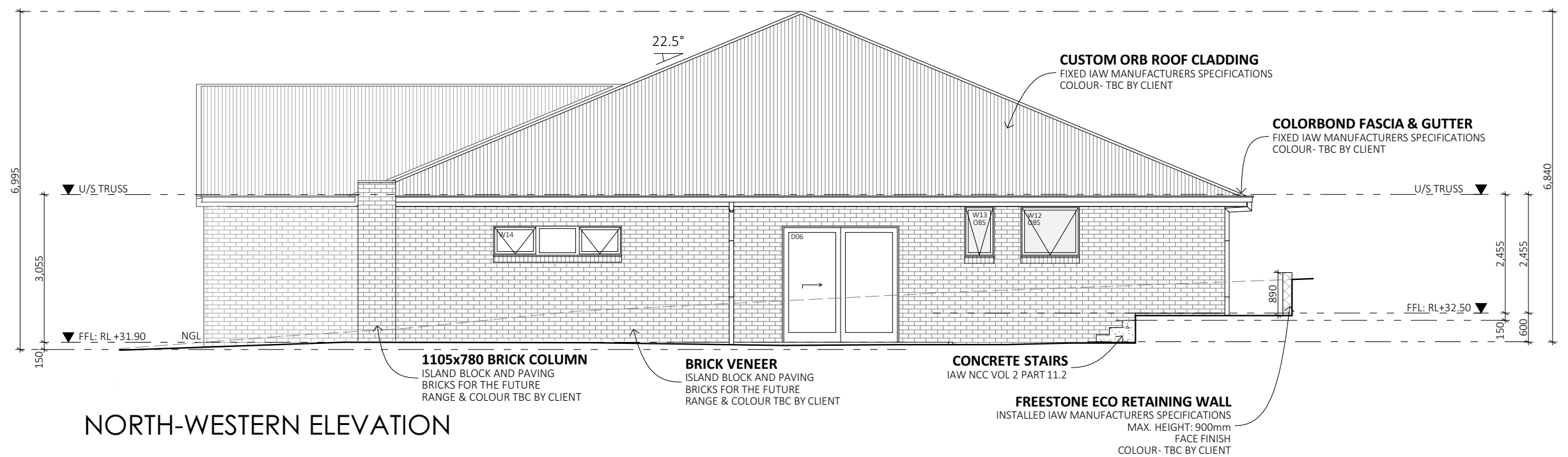
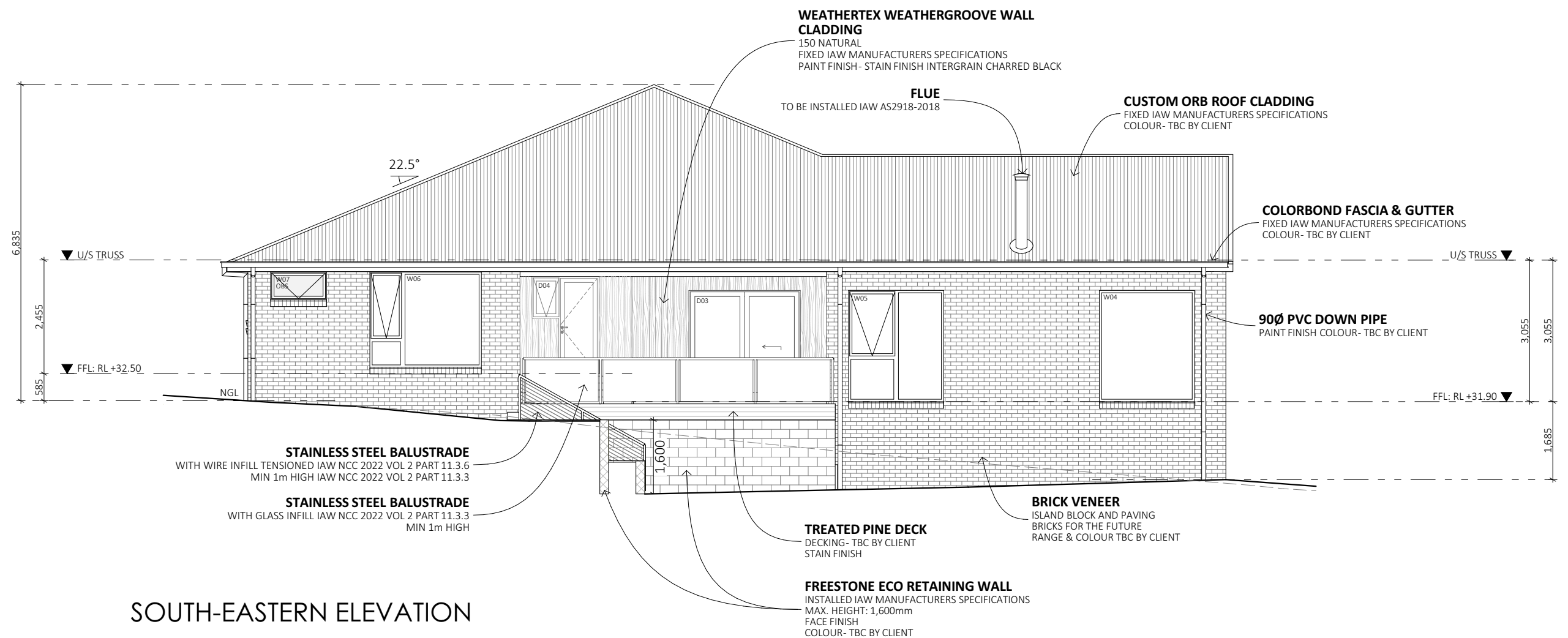
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R1	25/09/2025	FOR REVIEW				
R2	17/11/2025	PLANNING RFI				
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R2	17/11/2025	PLANNING RFI				
			CHECKED	M.L.	SCALE (@A3)	NTS