

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number

PA2025297

Assess No:

A8828

PID No:

6099646

Applicant Name:	My Build Collective				
Postal Address:					
Contact Phone:	Home		Work		Mobile
Email Address:					

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☐
2. A completed application form including a detailed description of the proposal ☐
3. A complete plan set: ☐
 - a) Floor plans ☐
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☐
 - c) Site Plan showing: ☐
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other: ☐

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: My Build Collective

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) Lucia Plane

Location / Address: 62 Bower Street, Manly NSW 2095

Title Reference: 64037/7

Zone(s): Low Density Residential

Existing Development/Use:

Existing Developed Area: Vacant block

Are any of the components in this Application seeking retrospective approval?
E.g. Use and/or development that has commenced without a Planning Permit.

YES ☐

NO ☒

(If yes please specify the relevant components):

Proposed Use:

Residential: ☐

Visitor Accommodation: ☐

Commercial: ☐

Other: ☒

Description of Use:
Proposed Jetty and stargazing deck

Development Type:

Building work: ☒

Demolition: ☐

Subdivision: ☐

Other: ☐

Description of development:

New or Additional Area:

Refer to plans for all details

Estimated construction cost of the proposed development:

\$ 10,000

Building Materials:

Wall Type:

Colour:

Roof Type:

Colour:

Application Number: «Application Number»

SUBDIVISION	<input type="checkbox"/> N/A
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Subdivision creating additional lots ☐

Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE	<input type="checkbox"/> N/A
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Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: <i>(Existing)</i>	
Number of Employees: <i>(Proposed)</i>	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

(if not the owner)

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**Chief
Executive
Officer**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

REGISTERED NUMBER

64037

N.S.

86/1
75244
-NOV 1937

DIAGRAM FROM
P/T
COUNTY OF

COUNTY OF DEVON

PARISH OF WELLS

No. OF APPLICATION

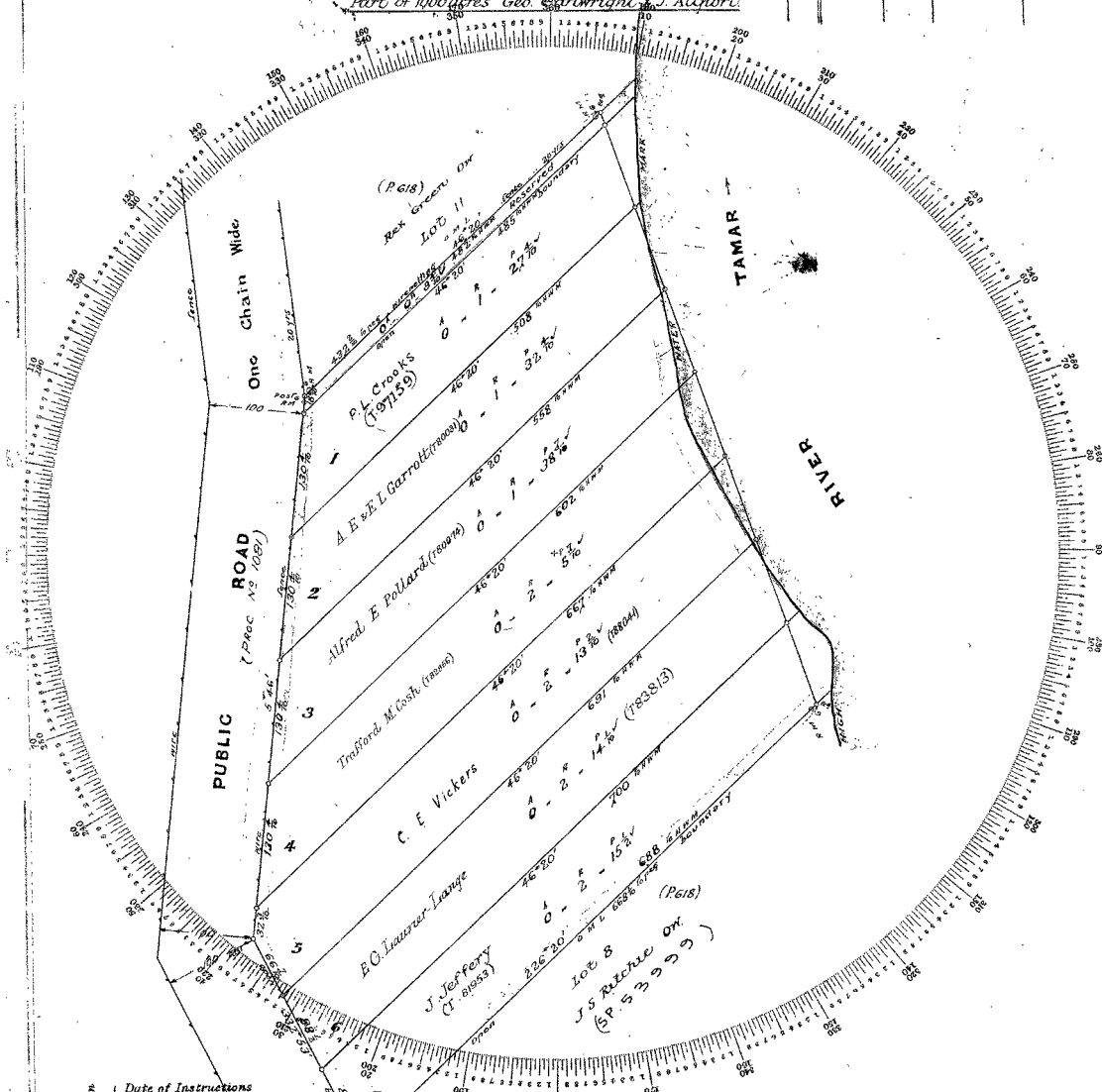
REFERENCE TO CORNERS

Scale. One Chain to an inch.

Subdivision of Lots 9 & 10 the Property of R. J. McFarley - S.B. Hayward.

Part of 1000 acres Geo. Cartwright & J. Allport

COA.	BEARING	DISTANCE IN LINKS	FROM
wood, 11/1/18			



To be filled in
by Surveyor

Date of Instructions	
Survey commenced	15 9 33
Survey finished	22 9 33
Error of close I in	

LOTS 1 (1663) 2 (12887) 3 (Nil) 4. (1534) 5. (1572) 6. (Nil)
Plotted by 7. (10930)

Examined as to boundaries

Mathematically checked

Entered on card by *CAH*

LALGed William Martin Brewer of *Liverpool*
 Authorised Surveyor, of Tasmania, do solemnly and sincerely declare that
 this plan has been made from surveys executed by me or under my own
 personal supervision, inspection, and field check, and that both plan and
 survey are correct, and have been made in accordance with the by-laws of
 the Surveyor's Board, dated 1st May, 1913.

~~And I make this solemn declaration by virtue of Section 132 of "The Evidence Act, 1910."~~

A. W. M. Hewer
Authorised Surveyor.

Declared at Dated this 30th day of September 1933,
before me,

~~Justice of the Peace~~



347-349 Wellington Street
South Launceston TAS 7249

P: (03) 6326 7686

E: info@mybuildcollective.com.au
www.mybuildcollective.com.au

Drawing Schedule

- A 01 Cover Page
- A 02 Proposed Site Plan
- A 03 Proposed Floor Plan

PROPOSED JETTY FOR MR S. & MRS L. PLANE 420 DEVIOT ROAD, DEVIOT

LOCAL COUNCIL:
WEST TAMAR COUNCIL

ACCREDITATION COMPLIANCE:
MURRAY GRIFFITHS CC 11171

PROJECT:
PROPOSED JETTY
420 DEVIOT ROAD,
DEVIOT

TITLE REFERENCE: 64037/7
CLIMATE ZONE: 7
SOIL CLASSIFICATION: P
DESIGN WIND SPEED: N3
BAL RATING: TBC
SITE HAZARDS: REFER TO SITE PLAN

JOB No: MBD-418
DATE: 18.09.25

planning

REVISION NO. DRAWING NO.
Rev09 A01

PLEASE REFER TO INDICATED DIMENSIONS ONLY, DRAWINGS ARE NOT SUITABLE TO BE SCALED FROM.

DISCLAIMER: THESE PLANS SHOULD BE READ IN CONJUNCTION WITH ACCREDITED ENGINEERING DRAWINGS. STRUCTURAL ENGINEERS CERTIFICATES MAY BE REQUIRED CERTIFY STRUCTURAL DESIGN, WIND CLASSIFICATIONS AND/OR SOIL CONDITIONS, THIS WORK IS OUTSIDE THE SCOPE OF THIS DRAFTING SERVICE. THE DRAFTER DOES NOT ACCEPT ANY RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE PLANS DUE TO WRONGLY SUPPLIED INFORMATION, NOR FOR MISCONSTRUCTION OR INTERPRETATION.

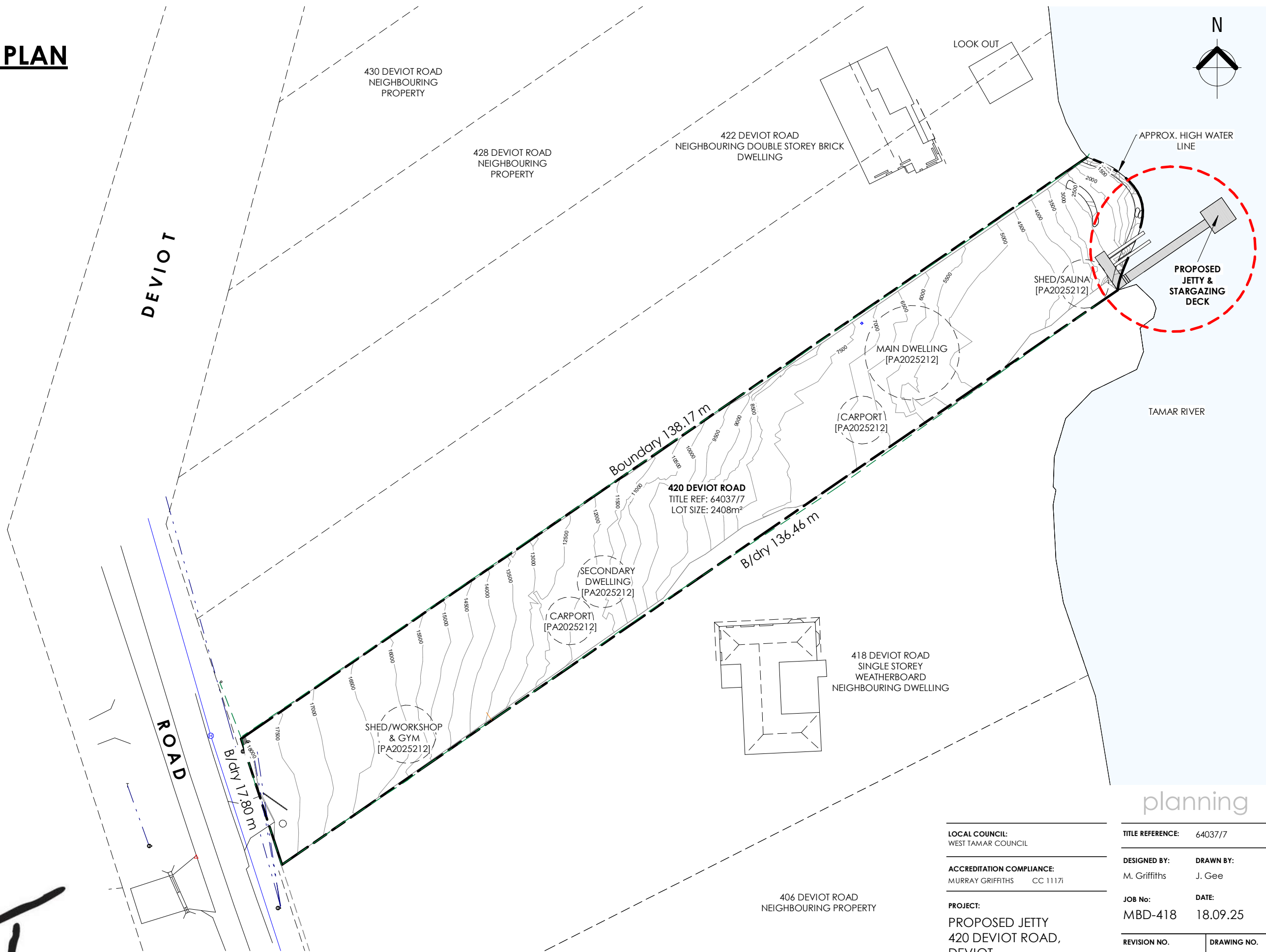
PROPOSED SITE PLAN

1 : 500



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ACCREDITATION COMPLIANCE:
MURRAY GRIFFITHS CC 11171

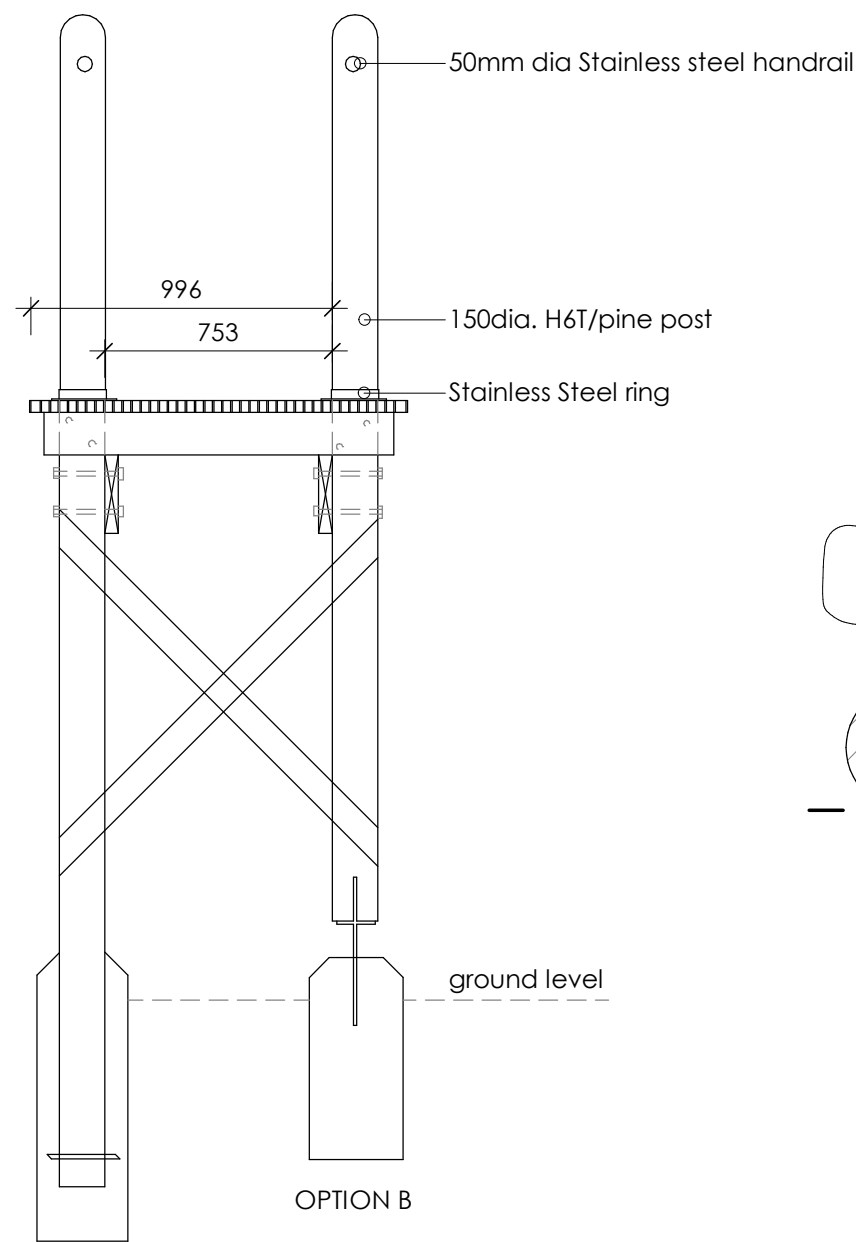
PROJECT:
PROPOSED JETTY
420 DEVIOT ROAD,
DEVIOT
FOR MR S. & MRS L. PLANE

TITLE REFERENCE: 64037/7

DESIGNED BY: M. Griffiths
DRAWN BY: J. Gee

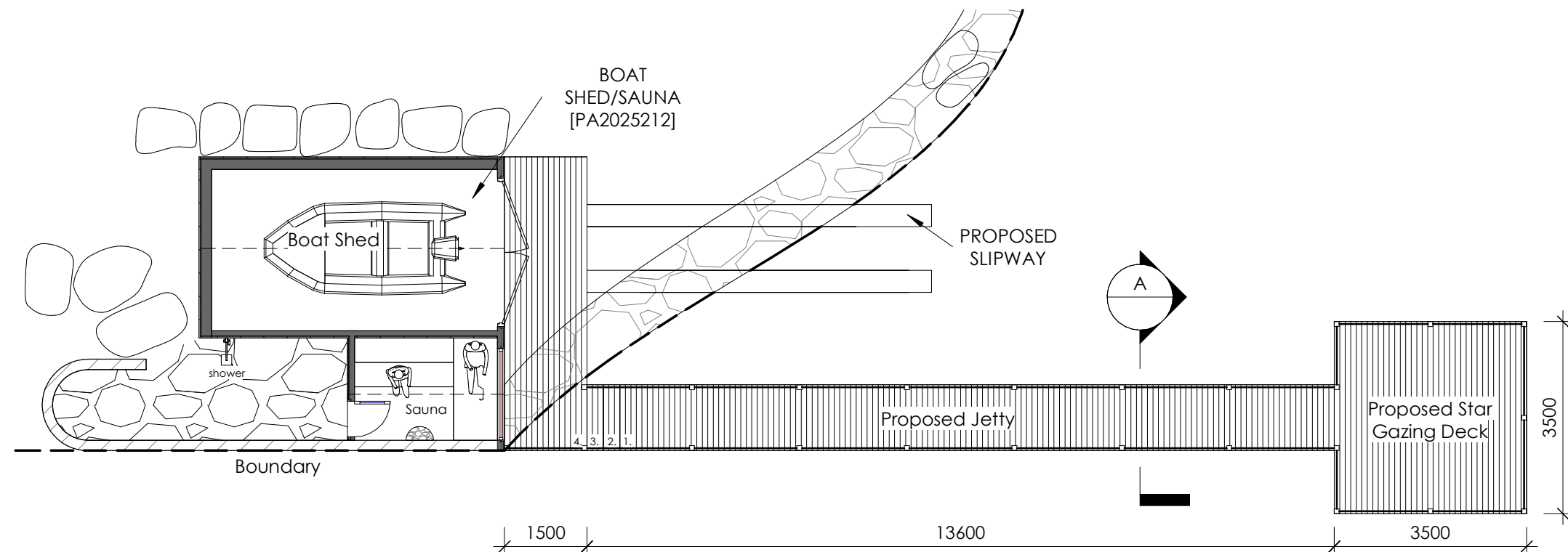
JOB No: MBD-418
DATE: 18.09.25

REVISION NO. Rev09
DRAWING NO. A02



OPTION A

A **SECTION A**
1 : 25



PROPOSED FLOOR PLAN

1 : 100



planning

LOCAL COUNCIL:
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PROJECT:
PROPOSED JETTY
420 DEVIOT ROAD,
DEVIOT
FOR MR S. & MRS L. PLANE

TITLE REFERENCE: 64037/7

DESIGNED BY: M. Griffiths
DRAWN BY: J. Gee

JOB No: MBD-418
DATE: 18.09.25

REVISION NO. Rev09
DRAWING NO. A03



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