

PLANNING APPLICATION FORM

Section 57 & 58

**OFFICE USE
ONLY**

Application Number PA2025375

Assess No: A6476

PID No: 6077690

Applicant Name:	R. MUCHA		
Applicant Contact Name			
Postal Address:			
Contact Phone:	Home	Work	Mobile
Email Address:			

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☒
2. A completed application form including a detailed description of the proposal ☐
3. A complete plan set:
 - a) Floor plans ☒
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☒
 - c) Site Plan showing:
 - Orientation ☒
 - All title boundaries ☒
 - Location of buildings and structure (both existing and proposed) ☒
 - Setbacks from all boundaries ☒
 - Native vegetation to be removed ☒
 - Onsite services, connections and drainage details (including sewer, water and stormwater) ☒
 - Cut and/or Fill ☒
 - Car parking and access details (including construction material of all trafficable areas) ☒
 - Fence details ☒
 - Contours ☒
4. Other: ☐

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name:

ROMAN MUCHA

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title)

ROMAN MUCHA

Location / Address:

17 MUDDY CREEK ROAD
LEGANA

Title Reference:

VOLUME 96030 FOLIO 8

Zone(s):

RURAL

Existing Development/Use:

FARM

Existing Developed Area:

Are any of the components in this Application seeking retrospective approval?
E.g. Use and/or development that has commenced without a Planning Permit.YES ☒NO ☒

(If yes please specify the relevant components):

EXISTING PLANNING PERMIT HAS EXPIRED. SO HAVE TO RE-DO THIS
PLANNING APPLICATION FORM (EMAIL FROM ERIC 13-11-25)

DEVELOPMENT APPLICATION DETAILS

Proposed Use:

Residential: ☐Visitor Accommodation: ☐Commercial: ☐Other: ☒

Description of Use:

MACHINERY STORAGE SHED / FARM EQUIPMENT

Development Type:

Building work: ☒Demolition: ☐Subdivision: ☐Other: ☐

Description of development:

CONSTRUCT A SHED.

New or Additional Area:

Estimated construction cost of the
proposed development:

\$150,000

Building Materials:

Wall Type: IRON

Colour: DARK GREY

Roof Type: IRON

Colour: DARK GREY

Application Number: «Application Number»

VISITOR ACCOMMODATION☐ N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION☐ N/ASubdivision creating additional lots ☐Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE☐ N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: (Existing)	
Number of Employees: (Proposed)	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

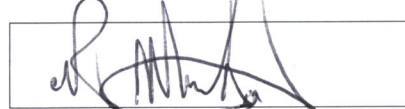
Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Roman MUEHA

Name (print)



Signed

14-11-25

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,
(if not the owner)

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**Chief
Executive
Officer**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date



D. 37833

COUNTY OF DEVON
PARISH OF STANLEY

SCALE 10 CH. TO AN INCH

COPY OF PORTION OF PLAN 610

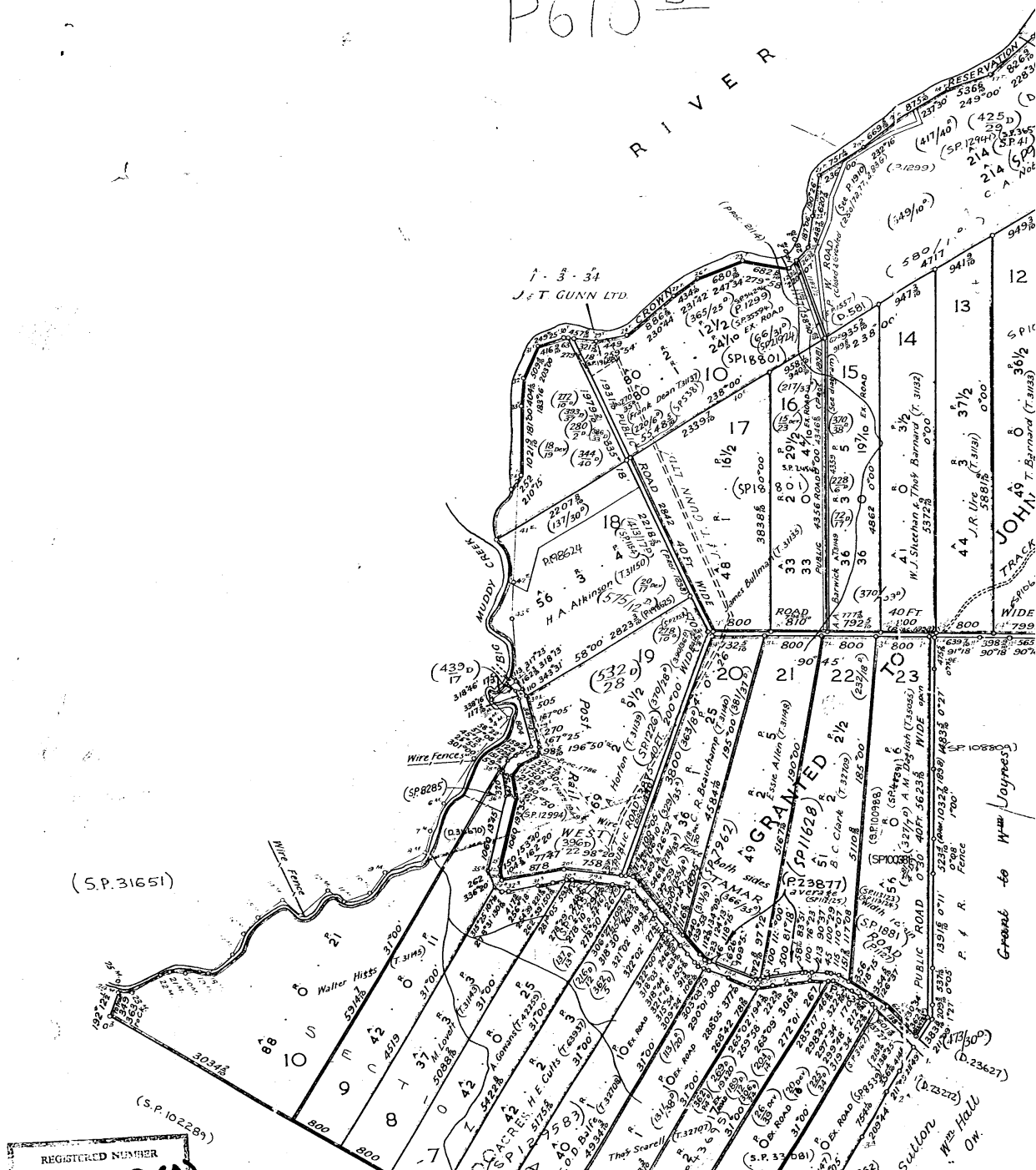
P610 B

REGISTERED NUMBER

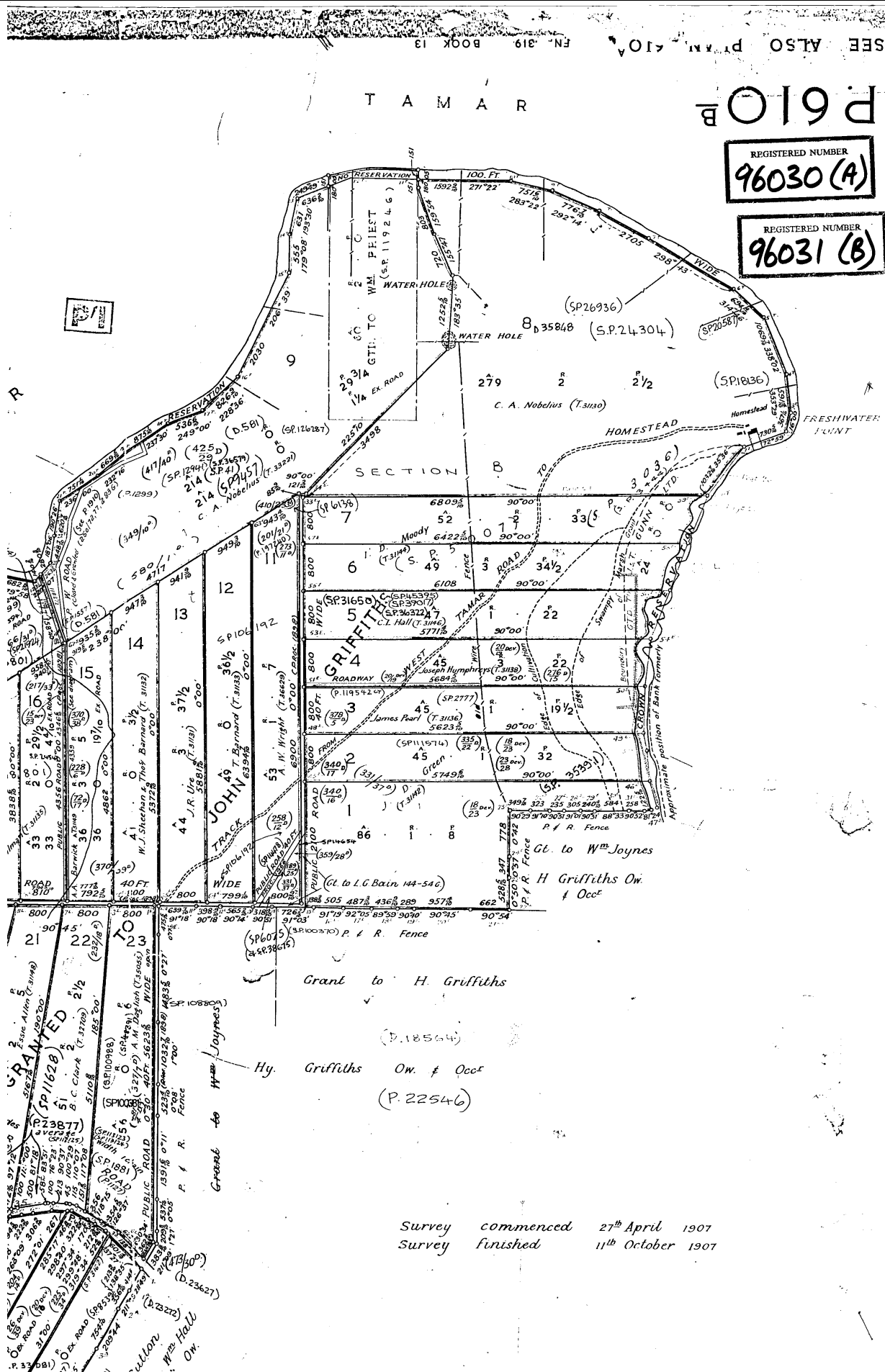
96030(A)

REGISTERED NUMBER

96031 (B)

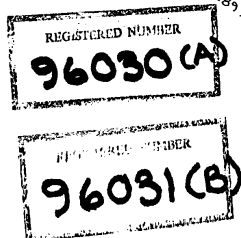


REGISTERED NUMBER



COPY OF PORTION OF PLAN 610

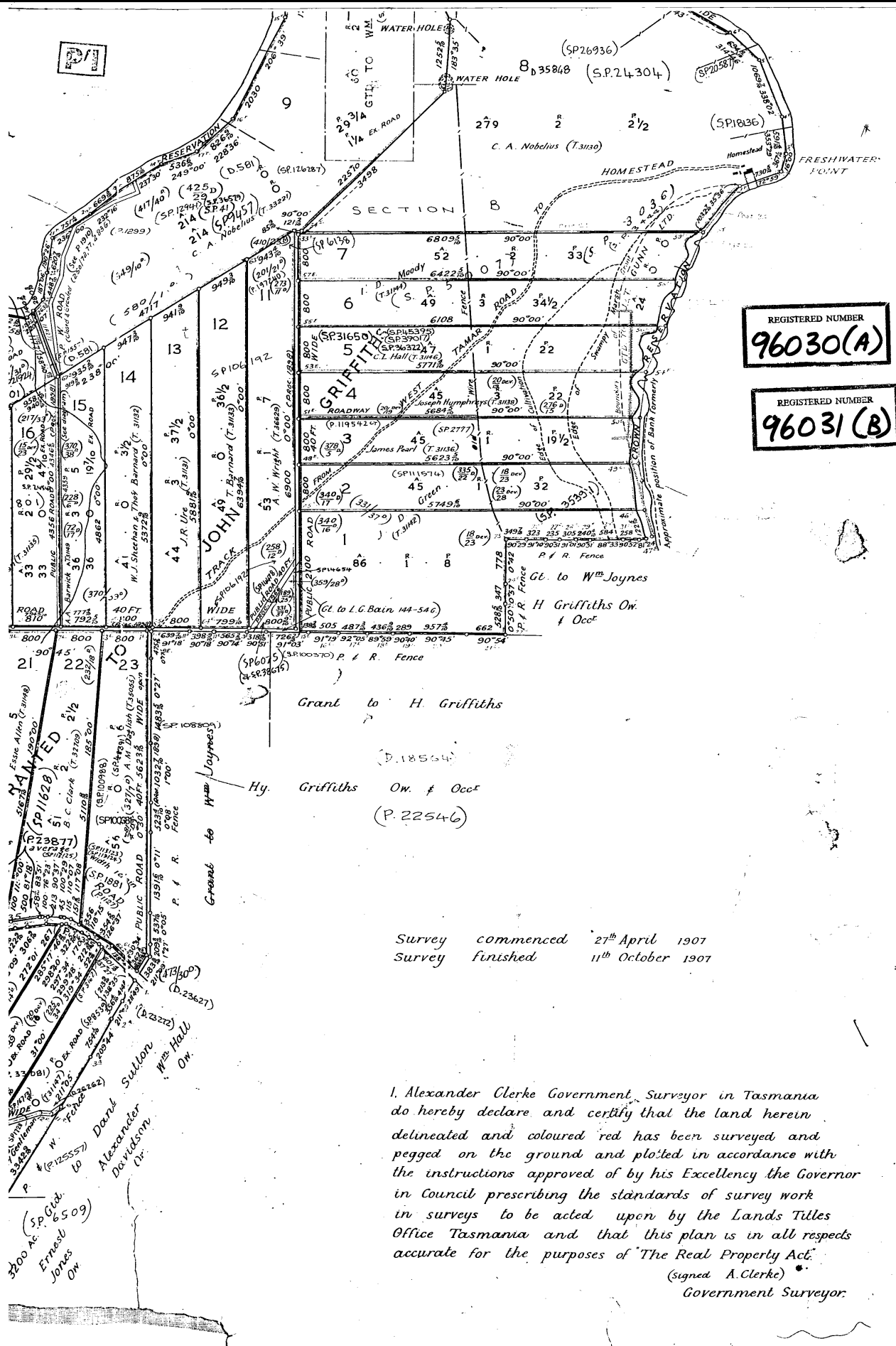
P610 B



P. 610^B

SEE ALSO PLAN 610^A

FN. 319 BOOK 13



LEGEND
PAGE 1# LOCALITY PLAN – A1
PAGE 2# SITE PLAN – A1
PAGE 3# FLOOR PLAN/ELEVATION/PLUMBING – A1
PAGE 4# BRACING/ELEVATION/PIER DETAIL – A1
PAGE 5# FOUNDATION PLAN – A1
PAGE 6# SECTION – A1

COUNCIL – WEST TAMAR COUNCIL
ZONE – RURAL RESOURCE

TITLE REF. = 96030/8

PROPOSED SHED AREA = 715 sq/m

WIND CLASSIFICATION N3
DESIGN GUST SPEED (VU) 50M/S

SITE CLASS H1 AS PER AS2870

BUSHFIRE-PRONE AREA BAL RATING
N/A

ALPINE AREA – N/A LESS THAN 900m AHD

CORROSION ENVIRONMENT – MODERATE

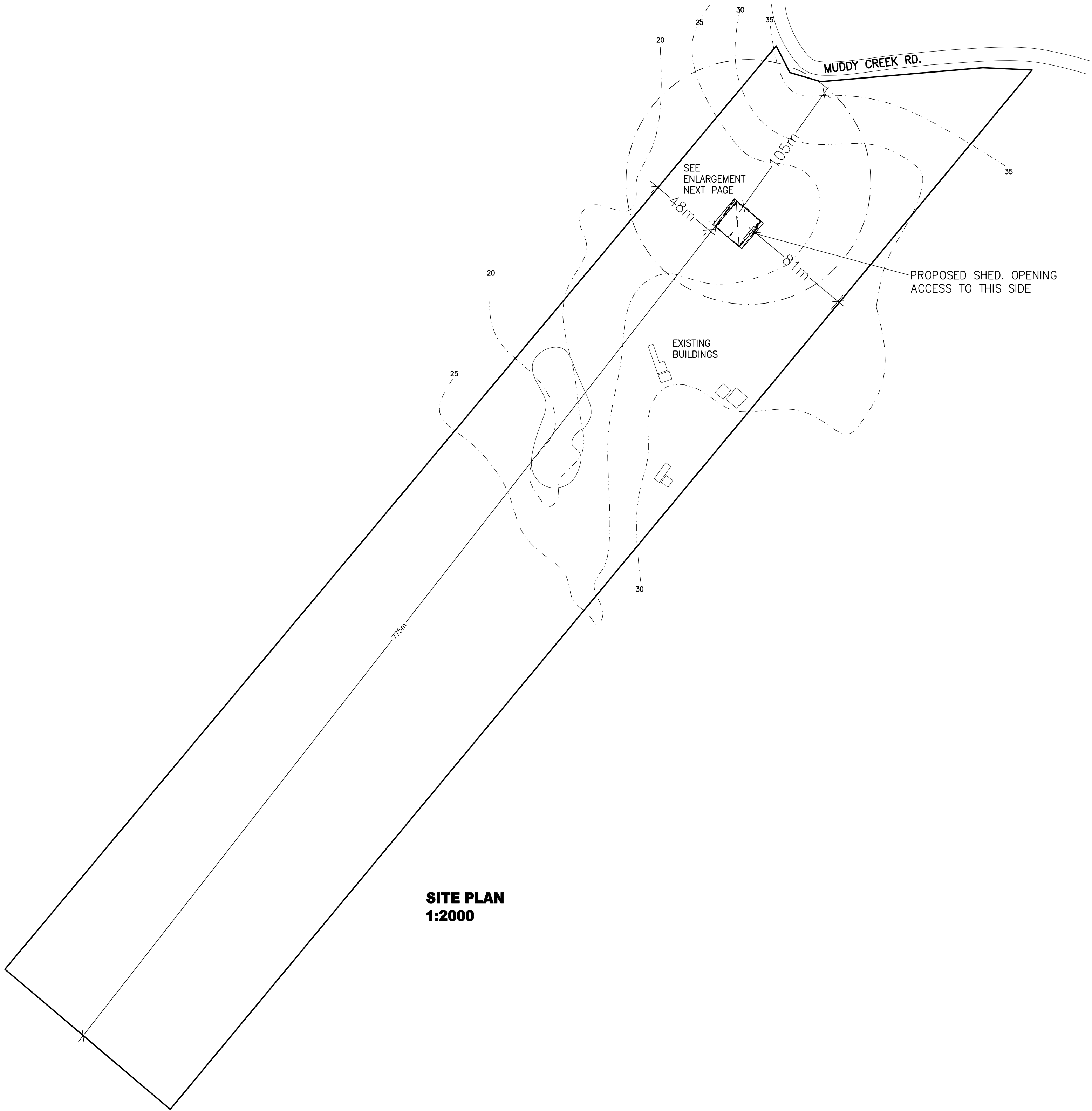
OTHER HAZARDS – N/A

ALL DIMENSIONS SHOWN ARE TO OUTSIDE COLUMNS UNLESS
NOTED OTHERWISE

CONFIRM ALL DIMENSIONS AND SERVICES ON SITE PRIOR TO
COMMENCEMENT OF WORKS

IF IN ANY DOUBT ABOUT BEARING AND BOUNDARIES SHOWN
THEN THESE MUST BE CONFIRMED ONSITE BY A SURVEYOR
PRIOR TO SETOUT

ENSURE DRAWINGS USED ONSITE ARE STAMPED 'APPROVED'
PLANS BY BUILDING SURVEYOR AND PERMIT AUTHORITY



**SITE PLAN
1:2000**

**MV CONSULTING (TAS)
PTY LTD**

ACCREDITATION CC565H
116 ALANVALE RD
NEWNHAM 7248
PH 6326 6276 FAX 6326 4939.
EMAIL : MVCONSULTING@Y7MAIL.COM

PROJECT: PROPOSED RECONSTRUCTED SHED
FOR R MUCHA
AT MUDDY CREEK ROAD
LEGANA 7277

DRAWING: SITE PLAN 1#

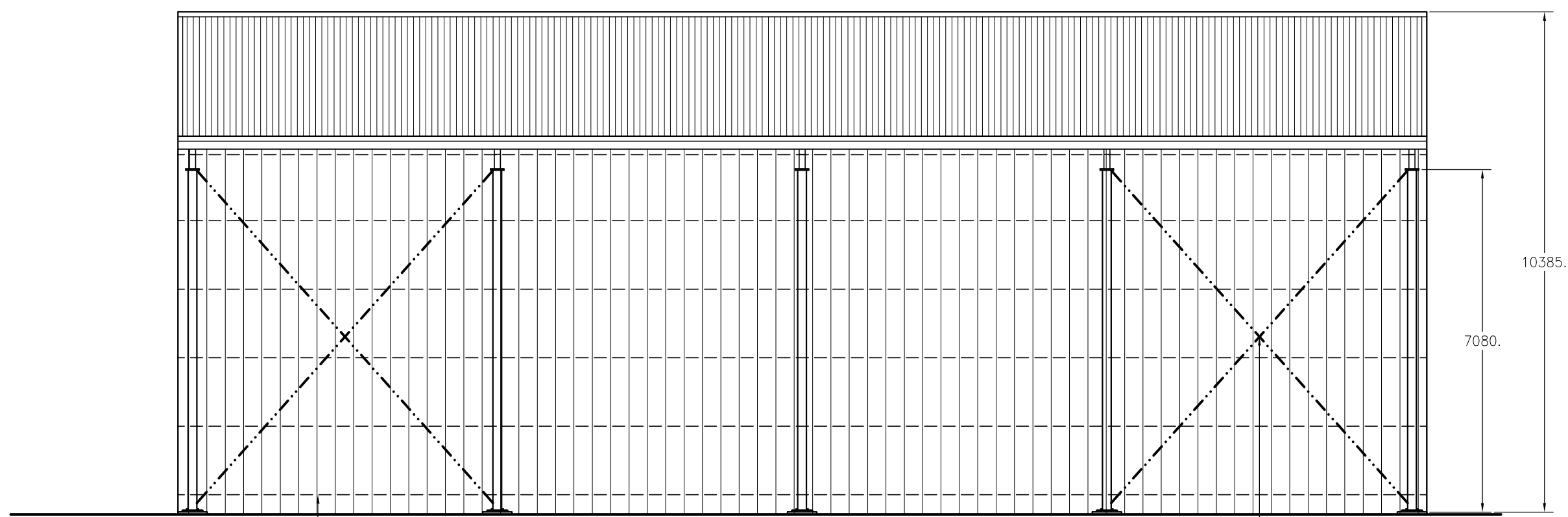
DESIGNED: M. v. d. M. APPROVED.
DRAWN: B. v. Z. DATE: 14 / 03 / 25

SCALE: 1:2000. DRAWING No.:
A1. MUCHA17 - 1/6

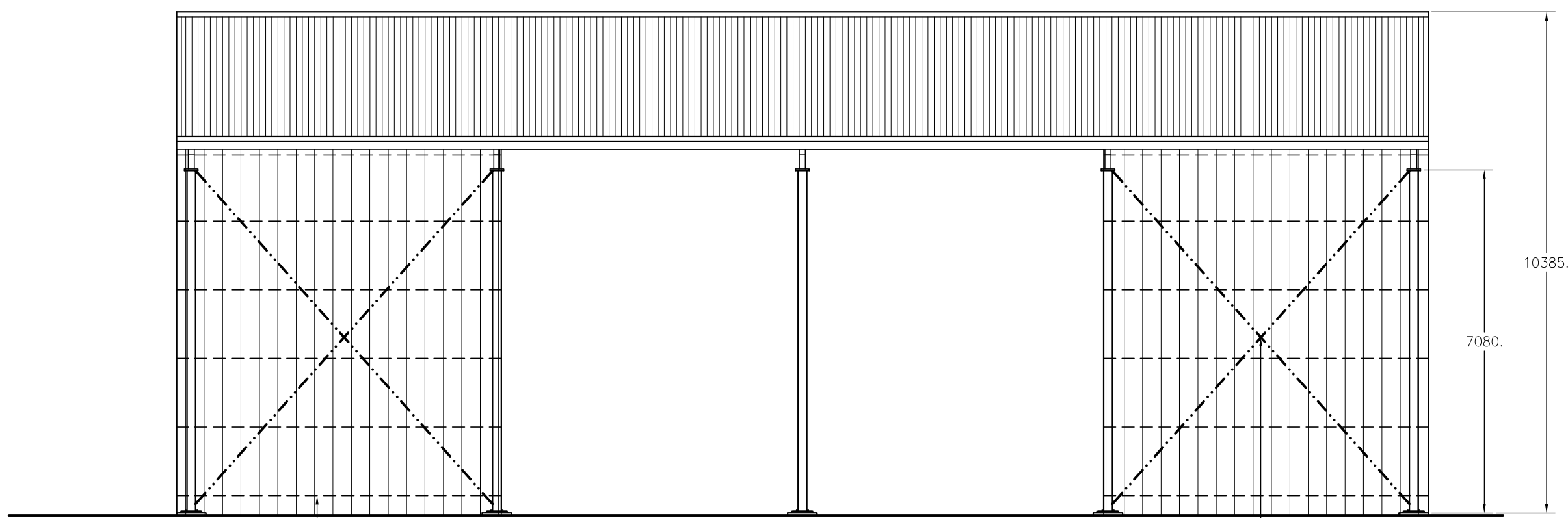
REVISION NUMBER	DATE
REVISION 1	28 / 04 / 2017
REVISION 2	22 / 01 / 2023
REVISION 3	18 / 02 / 2023
REVISION 4	11 / 03 / 2025
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REVISION NUMBER	DATE
REVISION 1	26 / 04 / 20
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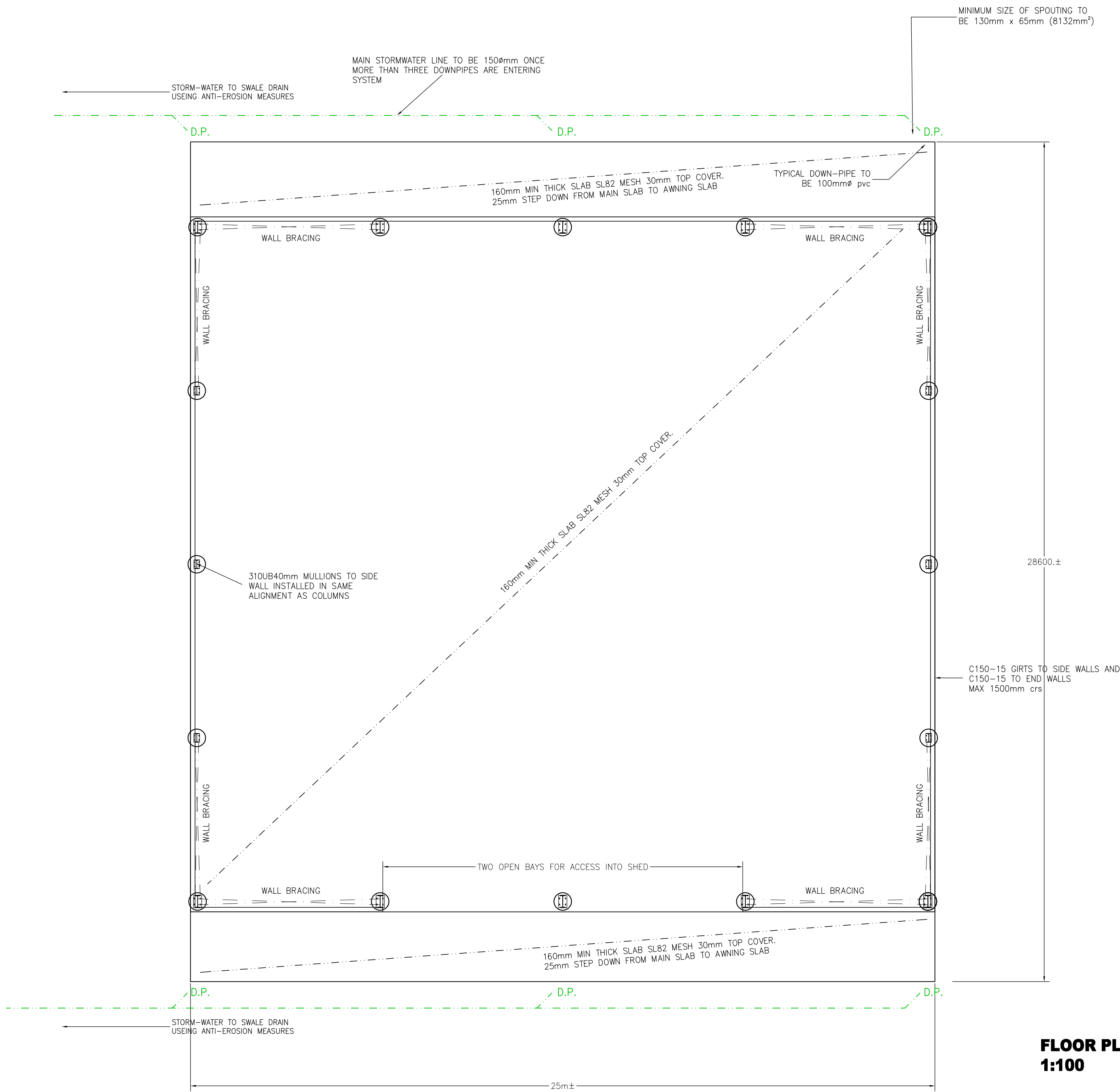


NORTH WEST ELEVATION
1:100



SOUTH EAST ELEVATION
1:100

FALL PREVENTION
WHERE A PERSON IS EXPOSED TO THE HAZARD OF FALLING FROM A STRUCTURE DURING CONSTRUCTION, CLEANING OR MAINTENANCE WORK THE BUILDER SHALL PROVIDE;
(A) A WORK SYSTEM DESIGNED TO PREVENT SUCH A FALL
(B) WHERE SAFETY BELT ANCHORAGE POINTS ARE USED THEY MUST BE POSITIONED SUCH THAT THE SAFETY LINE CAN BE ATTACHED BEFORE PROCEEDING TO THE AREA WHERE A FALL IS POSSIBLE
(C) ANCHORAGE POINTS MUST COMPLY WITH AS2626 AND BE ABLE TO WITHSTAND A FORCE OF 1500KG
(D) INFORM THE OWNER PRIOR TO OCCUPANCY THE NATURE OF THE FALL ARREST SYSTEM AND USE ACCORDING TO AS2626.



FLOOR PLAN
1:100

DOWNPIPES SHOULD NOT BE EXPECTED TO FULLY CONTROL STORMWATER AND SURROUNDING LAND TO FALL AWAY FROM SHED.

ROOF CLADDING TO COMPLY WITH B.C.A. PART 3.5.1
GUTTERS AND DOWNPIPES INSTALLED AS PER B.C.A. PART 3.5.2
GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN
• 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS
• 1:100 FOR BOX GUTTERS
WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW MEASURES OR THE LIKE

90mm DOWNPIPES

ALL DRAINAGE WORK TO COMPLY WITH AS3500, TASMANIAN PLUMBING CODE AND LOCAL COUNCIL REQUIREMENTS.
LOCATION AND DEPTH OF EXISTING SERVICES TO BE CONFIRMED ONSITE
STORM WATER BRANCH LINES TO BE DN100 DIA
CLASS SH SOLVENT WELD UPVC, LAID AT MIN GRADE OF 1:60

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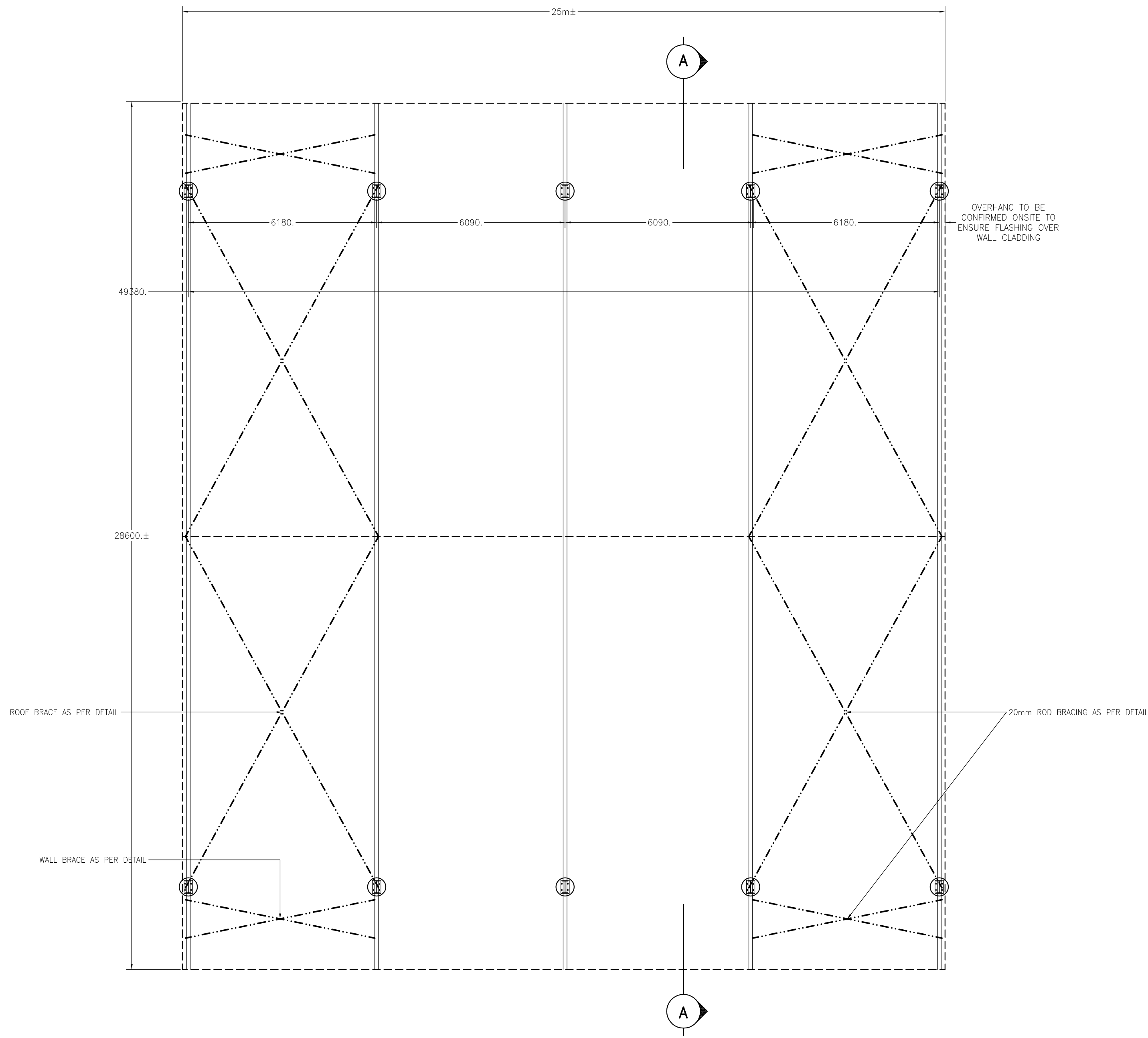
APPROVED.

DATE: 14 / 03 / 25

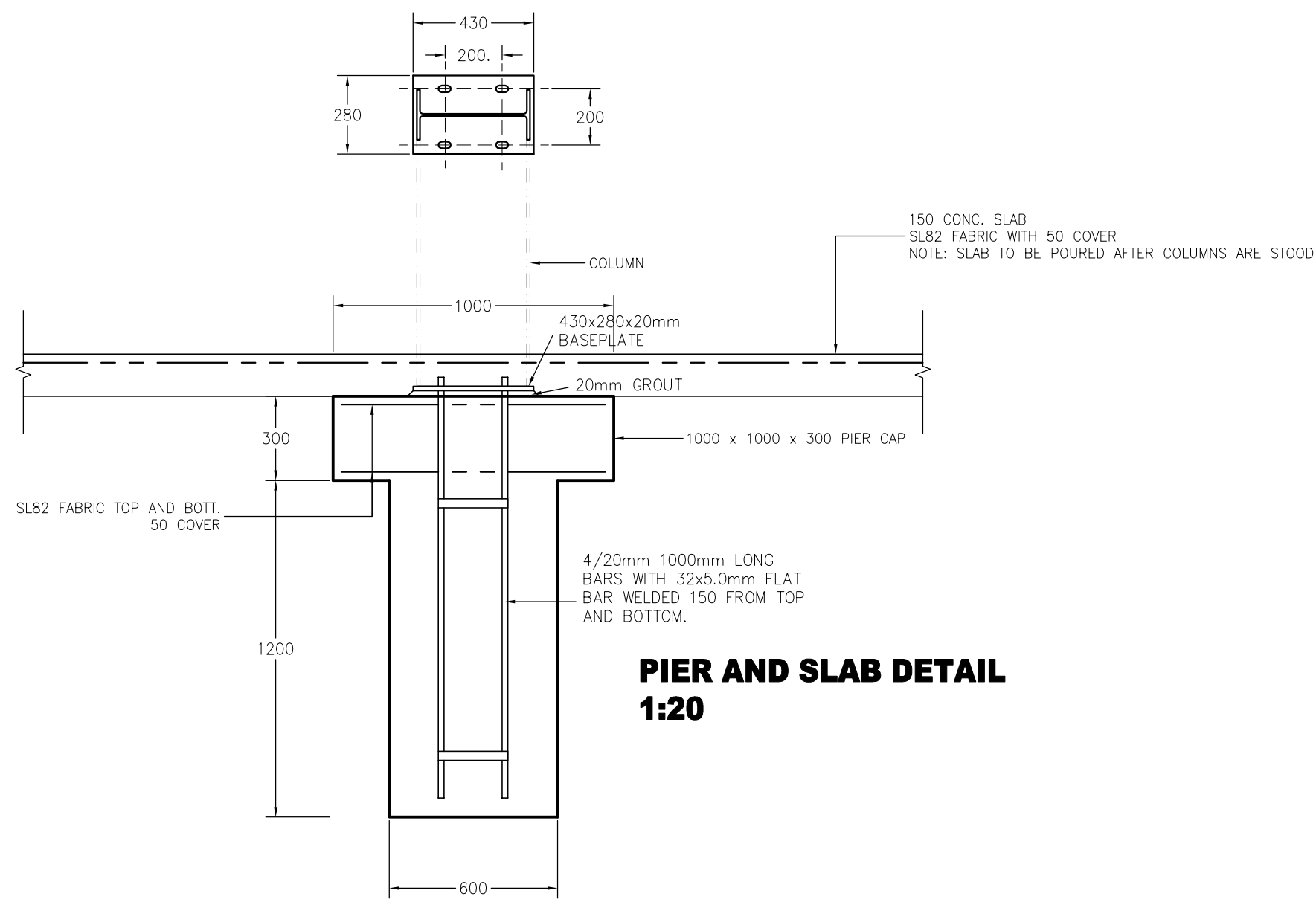
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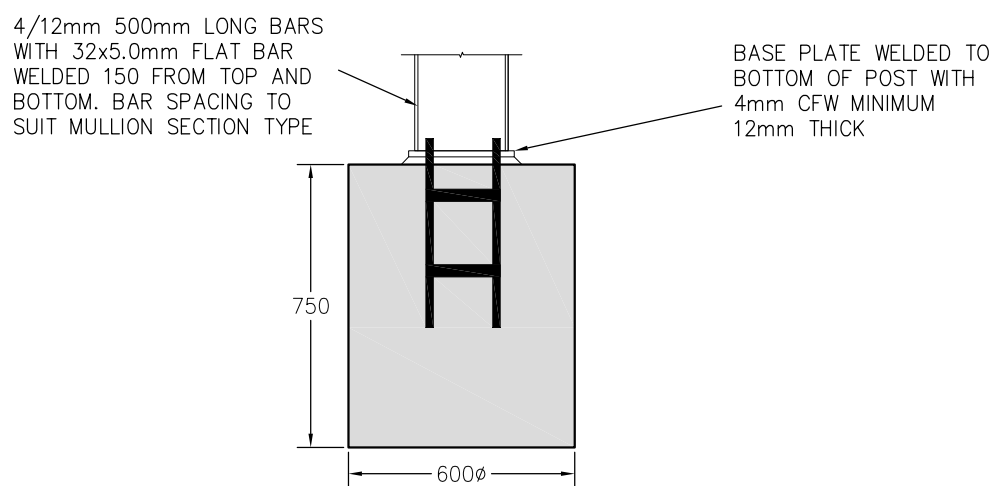
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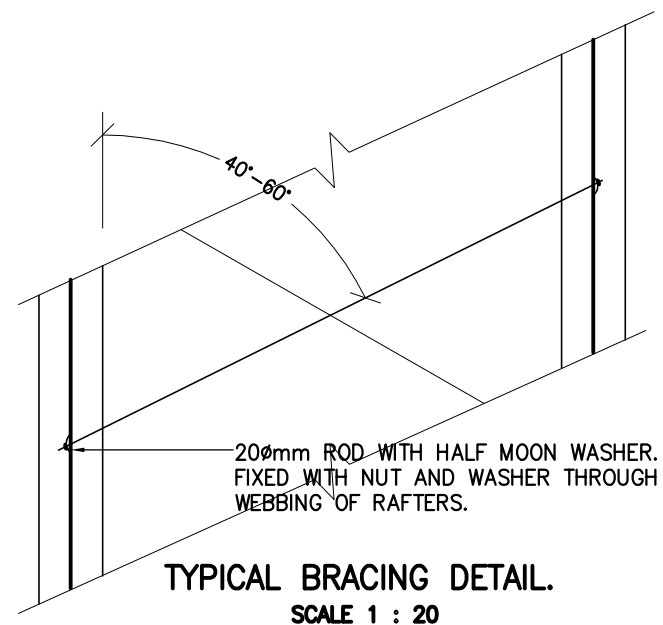
ROOF BRACING
1:100



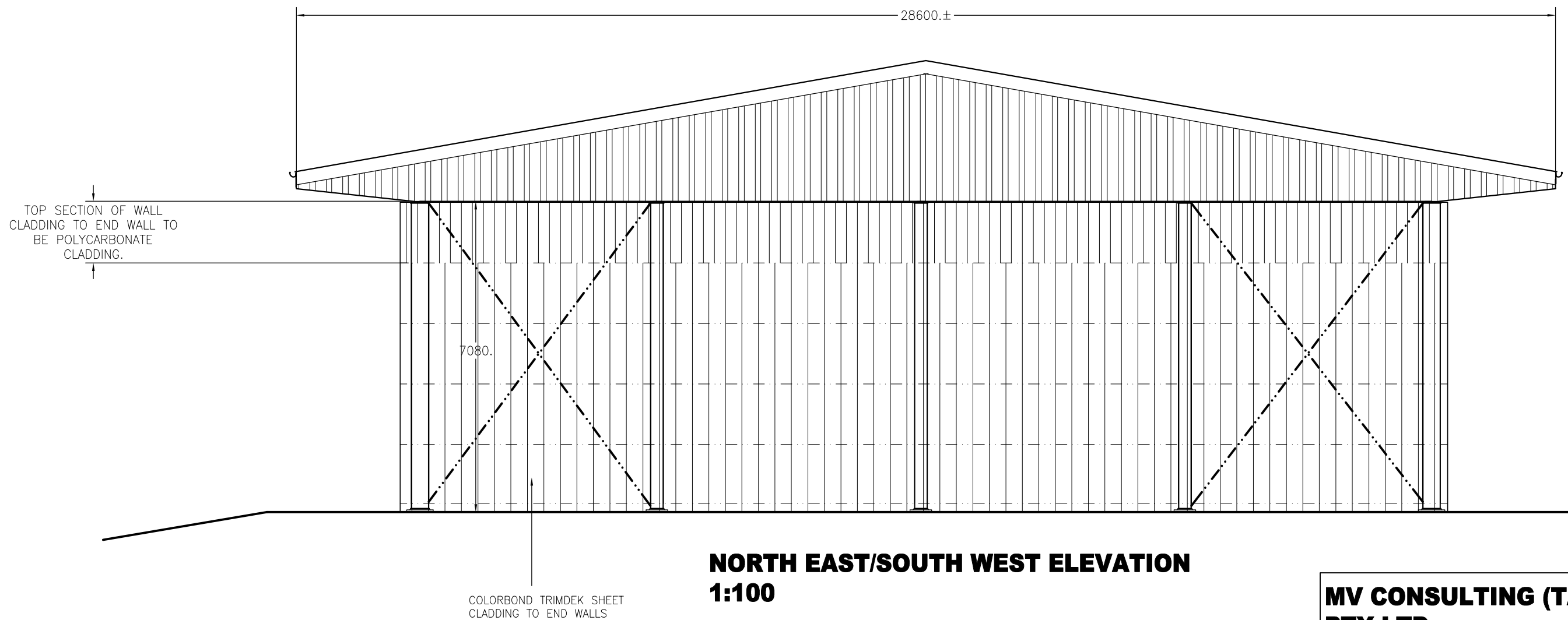
PIER AND SLAB DETAIL
1:20



PAD FOOTING FOR END
WALL UB MULLION 1:20



NOTE THE SHED AS
ORIGINALLY CONSTRUCTED
USED 75mm EQUAL
ANGLE BRACING UNITS.
EITHER OPTION COULD BE
USED.



NORTH EAST/SOUTH WEST ELEVATION
1:100



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GENERAL NOTES:
ALL DIMENSIONS IN MILLIMETRES
DIMENSIONS TAKE PREFERENCE TO SCALE AND ARE TO STRUCTURE NOT FINISH.
WALLS SHOWN AS STUD COMPONENT WITHOUT CLADDINGS.
CHECK AND VERIFY DIMENSIONS AND CONFIRM ANY EXISTING DIMENSIONS ON SITE.
ALL WORK TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS.
MANUFACTURERS SPECIFICATIONS MEANS A CURRENT APPROVED SPECIFICATION FOR USE UNDER APPLICABLE CONDITION.
ENGINEERS SPECIFICATIONS TAKE PRECEDENT OVER DRAWING NOTES.

SITE WORKS
SITE TO BE PREPARED IN ACCORDANCE WITH ENGINEERS OR SURVEYORS REPORT IF APPLICABLE.
SITE TO BE EXCAVATED OR FILLED TO INDICATED LEVELS.
CONSTRUCTION AREA TO BE CLEARED OF VEGETATION, ALL TOP SOIL AND ORGANIC MATTER. FOOTINGS TO BE FOUNDED AS PER ENGINEERS SPECIFICATIONS.
GROUND SURFACE TO BE SLOPED AWAY FROM BUILDING FOR A MIN DISTANCE OF 1000 AT 1: 20 MIN. AND TO A POINT WHERE PONDING WILL NOT OCCUR.
DRAINS TO BE PROVIDED TO FACILITATE DRAINAGE AWAY FROM BUILDING AND FOUNDATIONS.

FALL PREVENTION
WHERE A PERSON IS EXPOSED TO THE HAZARD OF FALLING FROM A STRUCTURE DURING CONSTRUCTION, CLEANING OR MAINTENANCE WORK THE BUILDER SHALL PROVIDE:
(A) A WORK SYSTEM DESIGNED TO PREVENT SUCH A FALL
(B) WHERE SAFETY BELT ANCHORAGE POINTS ARE USED THEY MUST BE POSITIONED SUCH THAT THE SAFETY LINE CAN BE ATTACHED BEFORE PROCEEDING TO THE AREA WHERE A FALL IS POSSIBLE
(C) ANCHORAGE POINTS MUST COMPLY WITH AS2626 AND BE ABLE TO WITHSTAND A FORCE OF 1500KG
(D) INFORM THE OWNER PRIOR TO OCCUPANCY THE NATURE OF THE FALL ARREST SYSTEM AND USE ACCORDING TO AS2626.

MATERIALS AND CONSTRUCTION
AS APPLICABLE, REFER TO THE DRAWINGS FOR MATERIALS USED, STRUCTURAL NOTES BY ENGINEER TAKE PRECEDENCE.

MATERIALS GENERALLY
ALL MATERIALS SHALL BE NEW
RE USED MATERIALS TO BE CHECKED FOR SOUNDNESS PRIOR TO USE.

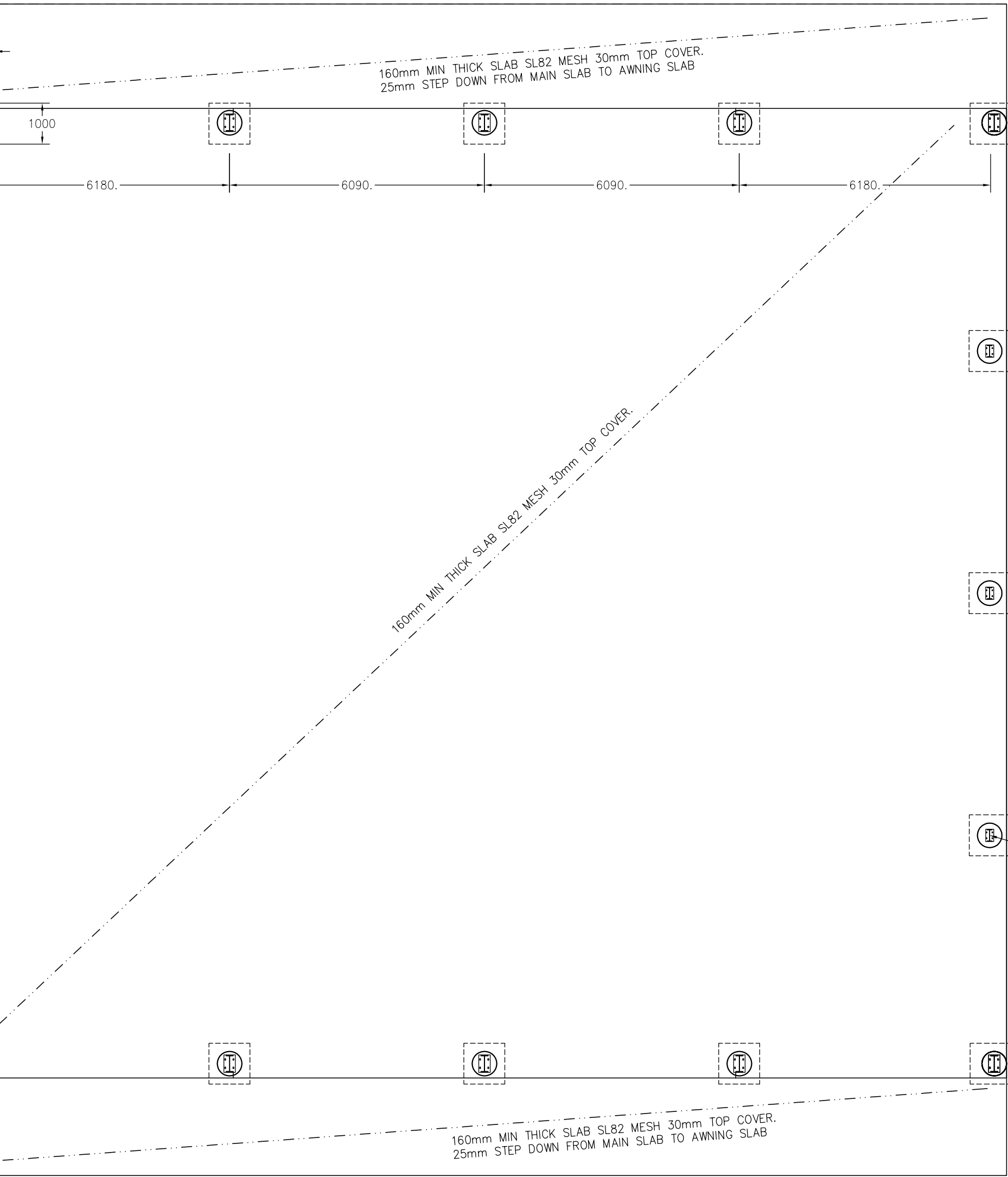
REINFORCED CONCRETE
CONCRETE TO BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE FOLLOWING CODES:
AS3600 CONCRETE STRUCTURES.
AS1379 READY MIXED CONCRETE.
SLABS AND FOOTINGS IN ACCORDANCE WITH AS2870
CONCRETE STRENGTH AS PER ENGINEER SPECIFICATION.
CONCRETE PLACED AS PER ENGINEER SPECIFICATIONS.

SAFETY NOTES

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT
THIS INCLUDES (BUT IS NOT EXCLUDED TO) : OWNERS, BUILDERS, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS

- FALLS, SLIPS, TRIPS
A) WORKING AT HEIGHTS
DURING CONSTRUCTION
WHEREVER POSSIBLE, COMPONENTS FOR THIS BUILDING SHALL BE PRE-FABRICATED OFF-SITE OR AT GROUND LEVEL TO MINIMIZE THE RISK OF WORKERS FALLING MORE THAN TWO METERS. HOWEVER, CONSTRUCTION OF THIS BUILDING WILL REQUIRE WORKERS TO BE WORKING AT HEIGHTS WHERE A FALL IN EXCESS OF TWO METERS IS POSSIBLE AND INJURY IS LIKELY TO RESULT FROM SUCH A FALL THE BUILDER SHALL PROVIDE A SUITABLE BARRIER WHEREVER A PERSON IS REQUIRED TO WORK IN A SITUATION WHERE FALLING MORE THAN TWO METERS IS A POSSIBILITY.
DURING OPERATION OR MAINTENANCE
FOR HOUSES OR OTHER LOW-RISE BUILDINGS WHERE SCAFFOLDING IS APPROPRIATE:
CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METERS IS POSSIBLE. WHERE THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, LADDERS OR TRELLISES SHALL BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION.
FOR BUILDINGS WHERE SCAFFOLDING, LADDERS, TRELLISES ARE NOT APPROPRIATE:
CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METERS IS POSSIBLE. WHERE THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, FALL BARRIERS OR PERSONAL PROTECTIVE EQUIPMENT (PPE) SHALL BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION.
B) SUPPERY OR UNEVEN SURFACES
FLOOR FINISHES SPECIFIED
IF FINISHES HAVE BEEN SPECIFIED BY DESIGNER, THESE HAVE BEEN SELECTED TO MINIMIZE THE RISK OF FLOORS AND PAVES AREAS BECOMING SLIPPERY WHEN WET OR MADED ON WITH WET SHOES/FEET. ANY CHANGES TO THE SPECIFIED FINISH SHALL BE MADE IN CONSULTATION WITH THE DESIGNER OR, IF THIS IS NOT PRACTICAL, SURFACES WITH AN EQUIVALENT OR BETTER SLIP RESISTANCE SHALL BE CHOSEN.
FLOOR FINISHES BY OWNER
IF DESIGNER HAS NOT BEEN INVOLVED IN THE SELECTION OF SURFACE FINISHES, THE OWNER IS RESPONSIBLE FOR THE SELECTION OF SURFACE FINISHES IN THE PEDESTRIAN TRAFFICABLE AREAS FOR THIS BUILDING. SURFACES SHALL BE SELECTED IN ACCORDANCE WITH AS 148 1997:1999 AND AS/NZS 4586:2013.
STEPS, LOOSE OBJECTS AND UNEVEN SURFACES
DUE TO DESIGN RESTRICTIONS FOR THIS BUILDING, STEPS AND/OR RAMPS ARE INCLUDED IN THE BUILDING WHICH MAY BE A HAZARD TO WORKERS CARRYING OBJECTS OR OTHERWISE OCCUPIED. STEPS SHALL BE CLEARLY MARKED WITH BOTH VISUAL AND TACTILE WARNING DURING CONSTRUCTION, MAINTENANCE, DEMOLITION AND AT ALL TIMES WHEN THE BUILDING OPERATES AS A WORKPLACE.
BUILDING DIMERS AND OCCUPERS SHALL MONITOR THE PEDESTRIAN ACCESS WAYS AND IN PARTICULAR ACCESS TO AREAS WHERE MAINTENANCE IS OUTRIGHTLY CARRIED OUT TO ENSURE THAT SURFACES HAVE NOT MOVED OR GRADED SO THAT THEY BECOME UNEVEN AND PRESENT A TRIP HAZARD.
FLOOR FINISHES, STEPS, LOOSE OBJECTS OR ANY OTHER MATTER THAT MAY CAUSE A SLIP OR TRIP HAZARD SHALL BE CLEANED OR REMOVED FROM ACCESS WAYS.
CONTRACTORS SHOULD BE REQUIRED TO MAINTAIN A TRIP WORK SITE DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION TO MINIMIZE THE RISK OF TRIPS AND FALLS IN THE WORKPLACE. MATERIALS FOR CONSTRUCTION OR MAINTENANCE SHALL BE STORED IN DESIGNATED AREAS AWAY FROM ACCESS WAYS AND WORK AREAS.
COZ. FALLING OBJECTS
CLOSE MATERIALS OR SMALL OBJECTS
CONSTRUCTION, MAINTENANCE OR DEMOLITION WORK ON OR AROUND THIS BUILDING IS LIKELY TO INVOLVE PERSONS WORKING ABOVE GROUND LEVEL OR AT LEVELS WHERE THIS OCCURS ONE OR MORE OF THE FOLLOWING:
• MOVING LOADS, WHERE THIS OCCURS ONE OR MORE OF THE FOLLOWING:
• WHERE THE WORK IS BEING CARRIED OUT ONTO PERSONS BELOW
• PREVENT OR RESTRICT ACCESS TO AREAS BELOW WHERE THE WORK IS BEING CARRIED OUT
• PROVIDE FLOORBOARDS TO SCAFFOLDING OR WORK PLATFORMS.
• PROVIDE PROTECTIVE STORM AREA
• ENSURE THAT ALL PERSONS BELOW THE WORK AREA HAVE PERSONAL PROTECTIVE EQUIPMENT (PPE)

- MECHANICAL LIFTING OF MATERIALS AND COMPONENTS DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION PRESENTS A RISK OF FALLING OBJECTS. CONTRACTORS SHALL ENSURE THAT APPROPRIATE LIFTING DEVICES ARE USED THAT LOADS ARE PROPERLY SECURED AND THAT ACCESS TO AREAS BELOW THE LOAD IS PREVENTED OR RESTRICTED.
3. TRAFFIC MANAGEMENT
FOR BUILDING ON A MAJOR ROAD, NARROW ROAD OR STEEPLY SLOPING ROAD: PARKING OF VEHICLES OR LOADING/UNLOADING OF VEHICLES ON THIS ROADWAY MAY CAUSE A TRAFFIC HAZARD. DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION OF THIS BUILDING, DESIGNATED PARKING FOR WORKERS AND LOADING AREAS SHALL BE PROVIDED. TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE RESPONSIBLE FOR THE SUPERVISION OF THESE AREAS.
FOR BUILDING WHERE ON-SITE LOADING/UNLOADING IS RESTRICTED: CONSTRUCTION OF THIS BUILDING WILL REQUIRE LOADING AND UNLOADING OF MATERIALS ON THE ROADWAY. DELIVERIES SHALL BE WELL PLANNED TO AVOID CONGESTION OF LOADING AREAS AND TRAINED TRAFFIC MANAGEMENT PERSONNEL SHALL BE USED TO SUPERVISE LOADING/UNLOADING AREAS. BUSY CONSTRUCTION AND DEMOLITION SITES PRESENT A RISK OF COLLISION WHERE DELIVERIES AND OTHER TRAFFIC ARE MOVING WITHIN THE SITE. A TRAFFIC MANAGEMENT PLAN SUPERVISED BY TRAINED TRAFFIC MANAGEMENT PERSONNEL SHALL BE ADOPTED FOR THE SITE.
4. SERVICES
GENERAL
RIPTURE OF SERVICES DURING EXCAVATION OR OTHER ACTIVITY CREATES A VARIETY OF RISKS INCLUDING RELEASE OF HAZARDOUS MATERIAL. EXISTING SERVICES ARE LOCATED ON OR AROUND THIS SITE. WHERE KNOWN, THESE ARE IDENTIFIED ON THE PLANS BUT THE EXACT LOCATION AND EXTENT OF SERVICES MAY VARY FROM THAT INDICATED. SERVICES SHALL BE LOCATED USING AN APPROPRIATE SERVICE, SUCH AS GUL, BEFORE YOU DIG, OR APPROPRIATE EXCAVATION PRACTICE SHALL BE USED AND, WHERE NECESSARY, SPECIALIST CONTRACTORS SHALL BE USED.
LOCATIONS WITH UNDERGROUND POWER
UNDERGROUND POWER LINES MAY BE LOCATED IN OR AROUND THIS SITE. ALL UNDERGROUND POWER LINES MUST BE DISCONNECTED OR CAREFULLY LOCATED AND ADEQUATE WARNING SIGNS USED PRIOR TO ANY CONSTRUCTION, MAINTENANCE OR DEMOLITION COMMENCING.
OVERHEAD POWER LINES MAY BE NEAR OR ON THIS SITE. THESE POSE A RISK OF ELECTROCUTION IF STRUCK OR APPROACHED BY LIFTING DEVICES OR OTHER PLANT AND PERSONS WORKING ABOVE GROUND LEVEL. WHERE THERE IS A DANGER OF THIS OCCURRING, POWER LINES SHALL BE, WHERE PRACTICAL, DISCONNECTED OR RELOCATED. WHERE THIS IS NOT PRACTICAL, ADEQUATE WARNING IN THE FORM OF BRIGHT COLOURED TAPE OR SIGNAGE SHALL BE USED OR A PROTECTIVE BARRIER PROVIDED.
5. MANUAL TASKS
COMPONENTS WITHIN THIS DESIGN WITH A MASS IN EXCESS OF 25KG SHALL BE LIFTED BY TWO OR MORE WORKERS OR BY MECHANICAL LIFTING DEVICES. WHERE THIS IS NOT PRACTICAL, SUPPLIERS OR MANUFACTURERS SHALL BE REQUIRED TO LIMIT THE COMPONENT MASS.
ALL MATERIALS, PACKAGES, STRAP OBJECTS OR ANY OTHER MATTER THAT SHALL CLEARLY SHOW THE TOTAL MASS OF PACKAGES AND WHERE PRACTICAL, ADEQUATE WARNING IN THE FORM OF BRIGHT COLOURED TAPE OR SIGNAGE SHALL BE PROVIDED TO PREVENT COLLAPSE. WARNING SIGNS AND BARRIERS TO PREVENT ACCIDENTAL OR UNAUTHORIZED ACCESS TO ALL EXCAVATIONS SHALL BE PROVIDED.
CONSTRUCTION, MAINTENANCE AND DEMOLITION OF THIS BUILDING WILL REQUIRE THE USE OF LIFTING TOOLS AND EQUIPMENT.
CONSTRUCTION, MAINTENANCE AND DEMOLITION OF THIS BUILDING SHALL BE MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND NOT THE USE OF LIFTING TOOLS AND EQUIPMENT.
CURRENT ELECTRICAL SAFETY TAG. ALL SAFETY QUAROS OR DEVICES SHALL BE REGULARLY CHECKED AND PERSONAL PROTECTIVE EQUIPMENT (PPE) SHALL BE USED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.



FOUNDATION PLAN 1:100

SAW CUTS AT PORTAL/MULLION
LINES 25mm DEEP, AS SOON AS
PRACTICAL AFTER POURING.

MULLION COLUMNS CONCRETE
PIERS TO MATCH MAIN COLUMN
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- SMALL SPACES
FOR BUILDINGS WITH SMALL SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED:
SOME SMALL SPACES WITHIN THIS BUILDING WILL REQUIRE ACCESS BY CONSTRUCTION OR MAINTENANCE WORKERS. WARNING SIGNS AND BARRIERS TO UNAUTHORIZED ACCESS SHALL BE PROVIDED. WHERE ELECTRICAL INSTALLATIONS, EXCAVATIONS, PLANT OR LOOSE MATERIALS ARE PRESENT THEY SHALL BE SECURED WHEN NOT FULLY SUPERVISED.
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- GENERAL NOTES:
1. CHECK ALL DIMENSIONS, BOUNDARIES, EASEMENTS AND SERVICE LOCATIONS ON SITE.
2. STANDARDS: ALL WORK SHALL COMPLY WITH THE TASMANIAN BUILDING REGULATIONS 1994, AND RELEVANT CURRENT AUSTRALIAN STANDARDS PARTICULARLY AS 3600 (CONCRETE) (RESIDENTIAL SLABS & FOOTINGS) AS 3700 (UNIFIED MASONRY CODE) AS 3600 (CONCRETE STRUCTURES).
3. ALL FOOTINGS SHALL BE FOUNDED ON SOUND ROCK, CLAY OR SAND FOUNDATIONS HAVING A SAFE BEARING CAPACITY OF AT LEAST 100kPa.
4. SLAB PREPARATION: BEFORE DISTURBING THE GROUND SURFACE, ERECT Silt FENCES, CONSTRUCT GUTTER DRAINS AND EXTENSION SUMPS AND ENSURE THAT ADEQUATE ALL-WEATHER ACCESS IS PROVIDED TO THE SITE PREVENT RUNOFF FROM IMPAIRING TO ADJACENT PRIVATE OR PUBLIC LAND IN ACCORDANCE WITH LOCAL COUNCIL POLICY, STRIP VEGETATION AND OTHER ORGANIC MATTER TO BELOW FOOT ZONE, CARRY OUT BULK EXCAVATION WHERE REQUIRED ENSURING AT ALL STAGES THAT THE EXCAVATED AREA IS PROTECTED FROM EXCESSIVE RUNOFF AND PONDING OF WATER CANNOT OCCUR IN ANY FOUNDATION MATERIAL. BY PROVISION OF DRAINS etc. BUILD UP WHERE REQUIRED TO ACHIEVE DESIGN LEVELS WITH ROAD BASE MATERIAL THOROUGHLY COMPACTED IN MAX. 100 THICK LAYERS. CONTROLLED FILL SHALL BE EQUAL TO DIER BASE CLASS A (19mm) MATERIAL COMPACTED TO 98% STANDARD COMPACTION AT A MOISTURE CONTROL WITHIN +/- 1% OF OMC. BLIND WITH 30mm COMPACTED SAND AND LAY 0.2mm PVC IMPROVISED BARRIER, TAPING ALL JOINTS TO PREVENT MOISTURE TRANSFER.
5. ALL CONCRETE TO BE GRADE M20 (MINIMUM) NOMINAL AGGREGATE SIZE PLACED IN ACCORDANCE WITH SECTION 19 OF AS 3600 AND 80mm SLUMP AND TROWEL FINISH.
6. MAINTAIN 80mm CLEAR CONCRETE COVER TO REINFORCEMENT IN FOOTINGS, 30mm ELSEWHERE.
7. CURE ALL CONCRETE FOR 7 DAYS (minimum) BY PONDING WITH WATER, COVERING WITH PVC SHEETING OR APPLICATION OF CHROMIATED RUBBER CURING COMPOUND.
8. CONCRETE DIMENSIONS SHOWN ARE THE MINIMUM REQUIREMENTS FOR THE CLASSIFICATION OF THIS SITE. ACTUAL FOUNDING DEPTHS MAY VARY TO SUIT FLOOR LEVELS AND THE REQUIREMENTS OF NOTE 13 ABOVE. IT IS NOT NECESSARY TO REMOVE SOLID ROCK SIMPLY TO ACHIEVE FOOTING DIMENSIONS AS LONG AS CONTINUITY AND COVER OF REINFORCEMENT ARE MAINTAINED.
9. MINIMUM HEIGHT ABOVE GROUND LEVEL TO SLAB TOP TO BE 150mm.
10. PLUMBING PENETRATIONS TO BE TAPED AND SEALED WITH DENSIO TAP.
11. PENETRATIONS ARE ONLY PERMITTED THROUGH MIDDLE THIRD OF FOOTING OR BEAM BUT IF IMPOSSIBLE THEN BEAM IS TO BE NOTCHED IN SIZE BY PIPE DIAMETER TO 500mm EACH WAY OF CENTRE-OF-BEAM.
12. BITUMASTIC SEAL AND WATER PROOFING TO BE PROTECTED DURING CONSTRUCTION AND BACKFILLING MAINTENANCE. FOUNDATION 13. WHERE STEELWORK IS EMBEDDED IN CONCRETE DENSIO PRIMER D, BITUMEN MASTIC STRIP AND TAPE TO BE INSTALLED OVER STEELWORK.
MAINTENANCE IS TO BE CARRIED OUT IN ACCORDANCE WITH AS 2870 APPENDIX B2.
SLAB ON GROUND TO HAVE ADJACENT AREA GRADED TO A MINIMUM OF 1000 FROM SLAB EDGE WITH MINIMUM FALL OF 30mm.
SUSPENDED FLOORS TO HAVE SUB-FLOOR BASE GRADED OR DRAINED TO PREVENT PONDING.
GARDENS SHOULD NOT INTERFERE WITH DRAINAGE REQUIREMENTS OR SUB-FLOOR VENTILATION.
ANY GARDEN NEAR HOUSE FOOTINGS SHOULD NOT BE OVERWATERED.
PLANTING OF ANY TREES SHOULD BE RESTRICTED TO A MINIMUM DISTANCE OF 3/4 x MATURE HEIGHT FOR INDIVIDUAL PLANTING AND INCREASED FOR A SERIES OF PLANTINGS.
ANY PLUMBING LEAKS INCLUDING SPOUTING AND DOWNSPIES SHOULD BE IMMEDIATELY REPAIRED.
SITE SPECIFIC ROCK NOTE: WHERE A FOOTING OR EDGE BEAM ENCOUNTERS A SINGLE ROCK OUTCROP OR FLOATER OVER A LENGTH LESS THAN 1000, THE DEPTH OF THE FOOTING MAY BE REDUCED BY UP TO ONE-THIRD PROVIDED THAT THE AMOUNT OF TOP AND BOTTOM REINFORCEMENT IS DOUBLED AND EXTENDED 500mm PAST THE SECTION WITH REDUCED DEPTH. ALTERNATIVELY, THE FOOTING CAN BE STEPPED OR RAISED PROVIDED THE STRUCTURAL STIFFNESS IS PRESERVED. ATTENTION IS ALSO DRAWN TO NOTES CONCERNING ROCK AND FOUNDATION AS PER THE SOIL REPORT.
THE BUILDER IS TO SET OUT THE WORKS IN CONJUNCTION WITH THE ACCOMPANYING PLANS. THE FINAL POSITION IS TO BE CONFIRMED BY THE CLIENT AS TO BEING CORRECT. ALL DIMENSIONS SHOWN AND LEVELS ARE TO BE CONFIRMED ON SITE BY ALL PARTIES INCLUDING LOCAL COUNCIL, OWNER AND ENGINEER BEFORE ANY EXCAVATION IS TO BE CARRIED OUT.
IN DOUBT CONSULT A REGISTERED SURVEYOR.

- STEELWORK
FABRICATE AND ERECT IN ACCORDANCE WITH AS4100 - STEEL STRUCTURES AND AS1554 - WELDING IN BUILDING.
ALL STRUCTURAL STEEL OF THICKNESS EQUAL TO OR GREATER THEN 3mm BUT EXCLUDING HOLLOW SECTION SHALL BE GRADE 250 STEEL TO AS3678 & AS3679 UNLESS NOTED OTHERWISE.
ALL CHS, RHS & SHS SHALL BE COLD FORMED GRADE 350.
ALL STEEL INCLUDING NUTS, BOLTS AND WASHERS IN EXPOSED CONDITIONS TO BE GALVANISED OR PROPRIETARY GALVANISED PRODUCT.
APPROPRIATE WASHERS SHALL BE PLACED UNDER NUT OR HEAD OF ALL BOLTS WHERE OVERSIZED OR SLOTTED HOLES ARE SPECIFIED A FURTHER WASHER OF APPROPRIATELY LARGER SIZE IS REQUIRED BETWEEN THE BOLT AND HOLES.
ALL BOLTS STEEL / STEEL TO BE M16, MIN OF 2 PER CONNECTION.
UNLESS NOTED ALL WELDS TO BE 6mm CFW, BUTT WELDS TO BE FULL PENETRATION.
WELDED SURFACES TO BE CLEANED AND PREPARED AS PER AS1627 PART 4, THEN COATED WITH TWO COATS OF COLD GALVANISING PAINT.
TEMPORARY BRACING OF STRUCTURE WILL BE PROVIDED TO ENSURE STABILITY OF THE STRUCTURE DURING CONSTRUCTION.

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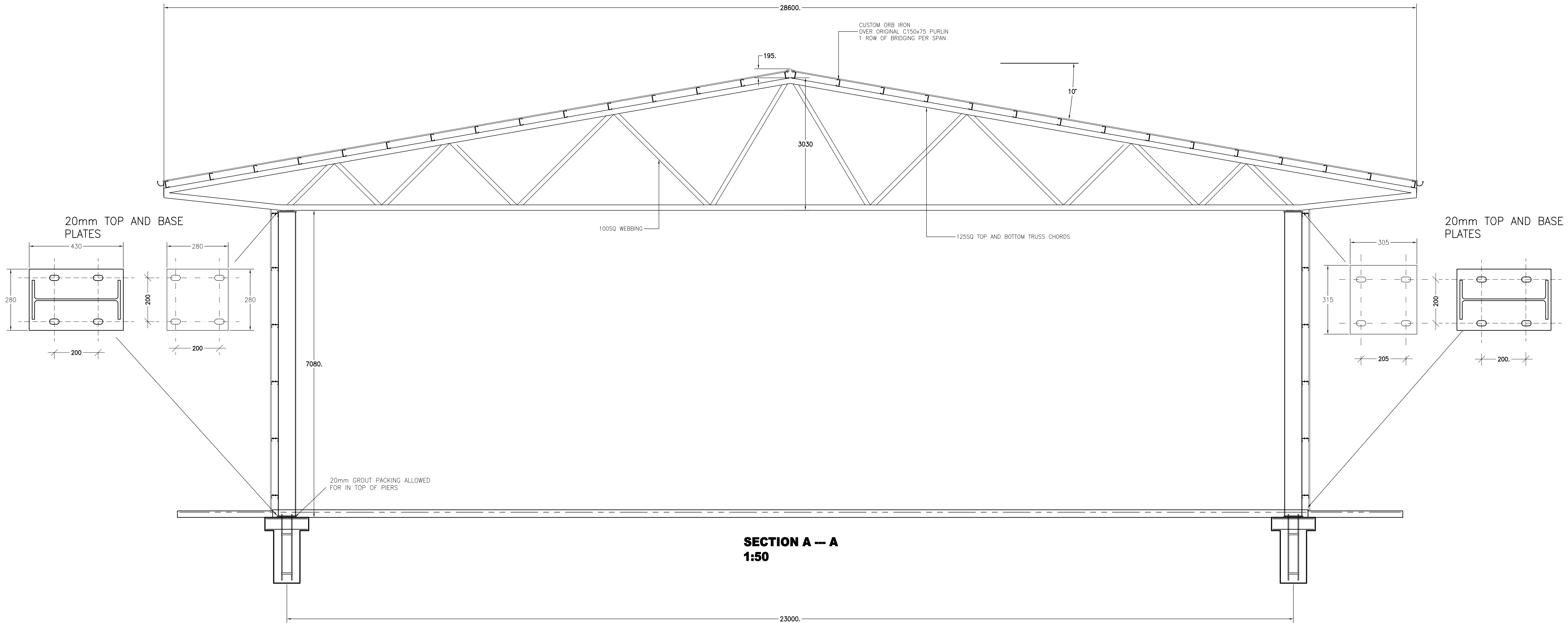
PROJECT: PROPOSED RECONSTRUCTED SHED
FOR R MUCHA
AT MUDDY CREEK ROAD
LECAUNA 7277

DRAWING: FOUNDATION PLAN

DESIGNED: M. v. d. M. APPROVED: DATE: 14 / 03 / 25

SCALE: 1:100. DRAWING No.: A1. MUCHA17 - 5/6





REVISION NUMBER	DATE
REVISION 1	28 / 04 / 2017
REVISION 2	22 / 01 / 2023
REVISION 3	18 / 02 / 2023
REVISION 4	11 / 03 / 2025
REVISION 5	12 / 03 / 2025
REVISION 6	14 / 03 / 2025

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DRAWING: SECTION		
DESIGNED: M. v. d. M.	APPROVED:	
DRAWN: B. v. Z.	DATE: 14 / 03 / 25	
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