

## PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE  
ONLY

Application Number PA2025384

Assess No: A13894

PID No: 9398423

Applicant Name:	Prime Design		
Applicant Contact Name			
Postal Address:			
Contact Phone:	Home	Work	Mobile
Email Address:			

## Planning Application Lodgement Checklist

**The following documents have been submitted to support the consideration of this application:**

1. A current copy of the property title text, folio plan and schedule of easements ☒
2. A completed application form including a detailed description of the proposal ☒
3. A complete plan set: ☒
  - a) Floor plans ☒
  - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☒
  - c) Site Plan showing: ☒
    - Orientation
    - All title boundaries
    - Location of buildings and structure (both existing and proposed)
    - Setbacks from all boundaries
    - Native vegetation to be removed
    - Onsite services, connections and drainage details (including sewer, water and stormwater)
    - Cut and/or Fill
    - Car parking and access details (including construction material of all trafficable areas)
    - Fence details
    - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.  
All plans must be to scale.*

Application Number: «Application Number»

## APPLICANT DETAILS

Applicant Name:

Prime Design

**Note:** Full name(s) of person(s) or company making the application and postal address for correspondence.

## LAND DETAILS

 Owner/Authority Name:  
(as per certificate of title)

Ascend Developments Tas Pty Ltd

Location / Address:

Lot 9, Imogen Court, Legana

Title Reference:

188090/9

Zone(s):

General Residential

Existing Development/Use:

Vacant Land.

Existing Developed Area:

N/A.

 Are any of the components in this Application seeking retrospective approval?  
E.g. Use and/or development that has commenced without a Planning Permit.
YES ☐NO ☒

(If yes please specify the relevant components):

## DEVELOPMENT APPLICATION DETAILS

Proposed Use:

Residential: ☒Visitor Accommodation: ☐Commercial: ☐Other: ☐

Description of Use:

Proposed 2 unit development

Development Type:

Building work: ☒Demolition: ☐Subdivision: ☐Other: ☐

Description of development:

Proposed 2 unit, residential development.

New or Additional Area:

338.04m<sup>2</sup>
 Estimated construction cost of the  
proposed development:

\$1,000,000

Building Materials:

Wall Type: brick veneer + light weight Colour: tbc

Roof Type: colorbond customab Colour: tbc.

Application Number: «Application Number»

## VISITOR ACCOMMODATION

☒ N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

## SUBDIVISION

☒ N/A

Subdivision creating additional lots ☐

Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

## COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

☒ N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	
Existing Car Parking:				
Proposed Car Parking:				
Number of Employees: (Existing)				
Number of Employees: (Proposed)				
Type of Machinery installed:				
Details of trade waste and method of disposal:				



Application Number: «Application Number»

### APPLICANT DECLARATION

**Owner:**

*As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,*

Name (print)

Signed

Date

**Applicant:**

(if not the owner)

*As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,*

Name (print)

Signed

Date

*Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.*

**Crown  
Consent**  
(if required)

Name (print)

Signed

Date

**Chief  
Executive  
Officer**  
(if required)

Name (print)

Signed

Date

*If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.*

**Right of Way Owner:**


*As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.*

Name (print)

Signed

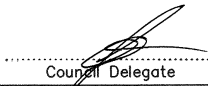
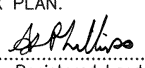
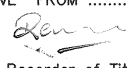
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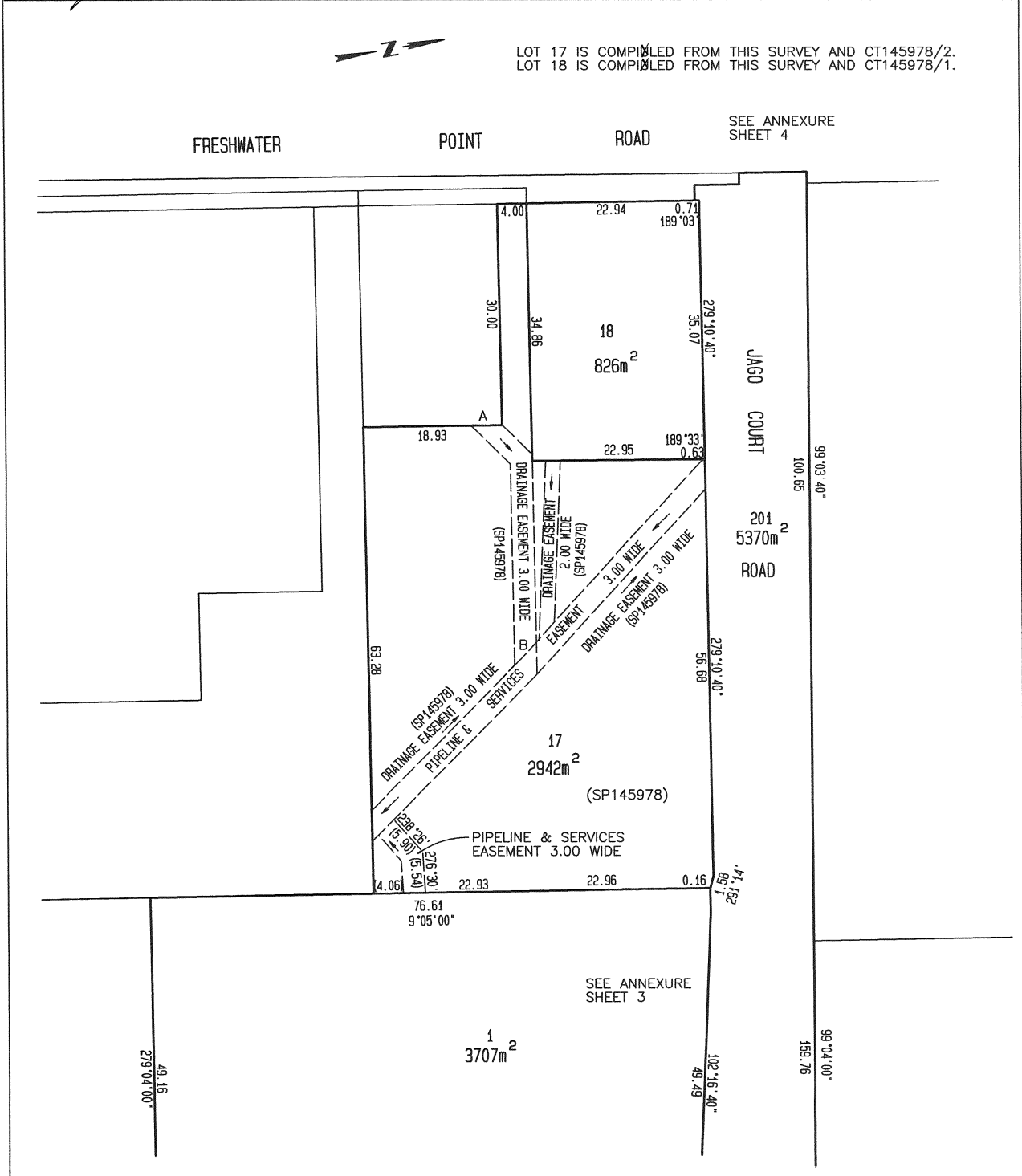
PRIORITY FINAL PLAN

<p><b>OWNER:</b> ROSSITER HOMES &amp; DEVELOPMENTS PTY LTD STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD &amp; MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE &amp; CAMERON JAMES WHELAN.</p> <p><b>FOLIO REFERENCE:</b> CT 183722/0, CT 183722/7, CT 162598/1 <del>CT 135214/4</del>, CT 145978/2 &amp; CT 145978/1.</p> <p><b>GRANTEE:</b> PART OF 2500 ACRES GTD. TO JOHN GRIFFITHS.</p>	<p><b>PLAN OF SURVEY</b></p> <p>BY SURVEYOR: A.J PHILLIPS</p> <p>LOCATION: TOWN OF LEGANA</p> <p>SCALE 1: 2000      LENGTHS IN METRES</p>	<p>REGISTERED NUMBER <b>SP188090</b></p> <hr/> <p>APPROVED EFFECTIVE FROM <b>10 JUL 2025</b></p> <p style="text-align: center;"><i>Rem</i> Recorder of Titles</p>
<p style="text-align: right;">ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>		
<p>FRESHWATER                      POINT                      ROAD</p>		
<p><i>A.J. Phillips</i> Registered Land Surveyor</p>	<p>19 Nov. 24 Date</p>	<p><i>[Signature]</i> Council Delegate</p> <p style="text-align: right;">20/12/24 Date</p>

PRIORITY FINAL PLAN

<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 5 SHEETS</p>	<p>OWNER: ROSSITER HOMES &amp; DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD &amp; MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE &amp; CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 135214/1, CT 145978/2 &amp; CT 145978/1.</p> <p>SCALE 1: 500 LENGTH IN METRES</p>	<p>Registered Number</p> <p><b>SP188090</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 20/12/24 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 19 Nov 24 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 10 JUL 2025</p> <p><i>[Signature]</i> Recorder of Titles</p>

<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 2 OF 5 SHEETS</p>	<p>OWNER: ROSSITER HOMES &amp; DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD &amp; MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE &amp; CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 135214/1, CT 145978/2 &amp; CT 145978/1.</p> <p>SCALE 1: 500                      LENGTH IN METRES</p>	<p>Registered Number</p> <p><b>SP.188090</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p> <u>20/12/24</u> Council Delegate                      Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p> 19 Nov 24 Registered Land Surveyor                      Date</p>	<p>APPROVED EFFECTIVE FROM 10 JUL 2025</p> <p> Recorder of Titles</p>



PRIORITY FINAL PLAN


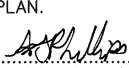
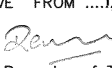
<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 3 OF 5 SHEETS</p>	<p>OWNER: ROSSITER HOMES &amp; DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD &amp; MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE &amp; CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 135214/1, CT 145978/2 &amp; CT 145978/1.</p> <p>SCALE 1: 500      LENGTH IN METRES</p>	<p>Registered Number</p> <p><b>SP 188090</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 22/12/24 Council Delegate      Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 19 Nov 24 Registered Land Surveyor      Date</p>	<p>APPROVED EFFECTIVE FROM 10 JUL 2025</p> <p><i>[Signature]</i> Recorder of Titles</p>

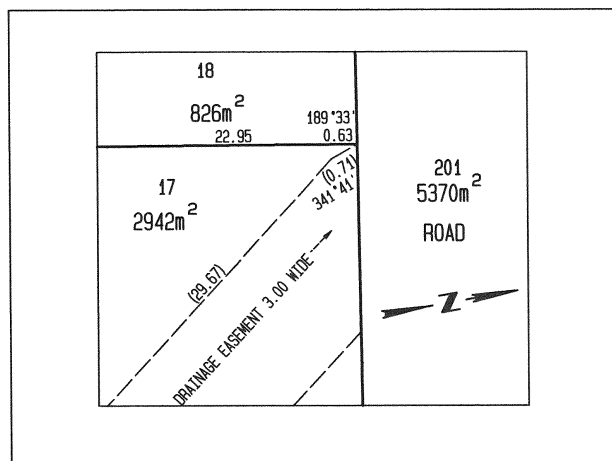
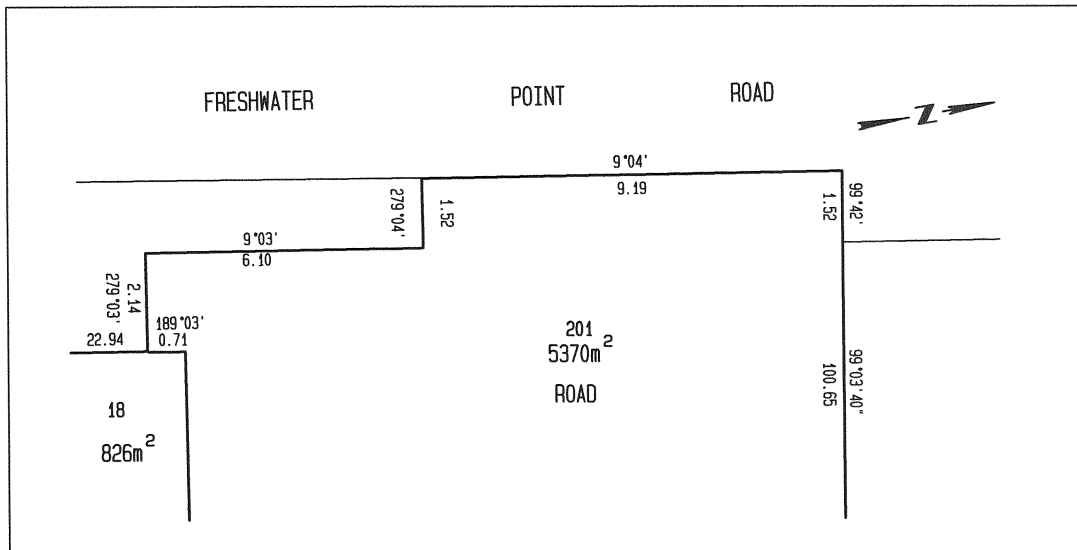
  

<p>6</p> <p>7</p> <p>8</p> <p>9</p> <p>189°19'20" 73.68</p> <p>SEE ANNEXURE SHEET 2</p> <p>15.00</p> <p>279°04'00" 49.79</p> <p>8.84</p> <p>9.16</p> <p>201 5370m<sup>2</sup> ROAD 189°04'18.00"</p> <p>159.76 99°04'00"</p> <p>202 2835m<sup>2</sup> ROADWAY</p> <p>83.02 279°03'40"</p> <p>279°04'00"</p> <p>307.09</p> <p>279°04'20"</p> <p>180.59</p> <p>SEE ANNEXURE SHEET 5</p>	<p>100 7954m<sup>2</sup></p> <p>99°04'20" 97.98</p> <p>PIPELINE &amp; SERVICES EASEMENT 4.00 MIDE</p> <p>9°19'20" 82.54</p> <p>CONNEMARA CLOSE</p> <p>(P135214)</p>
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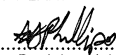

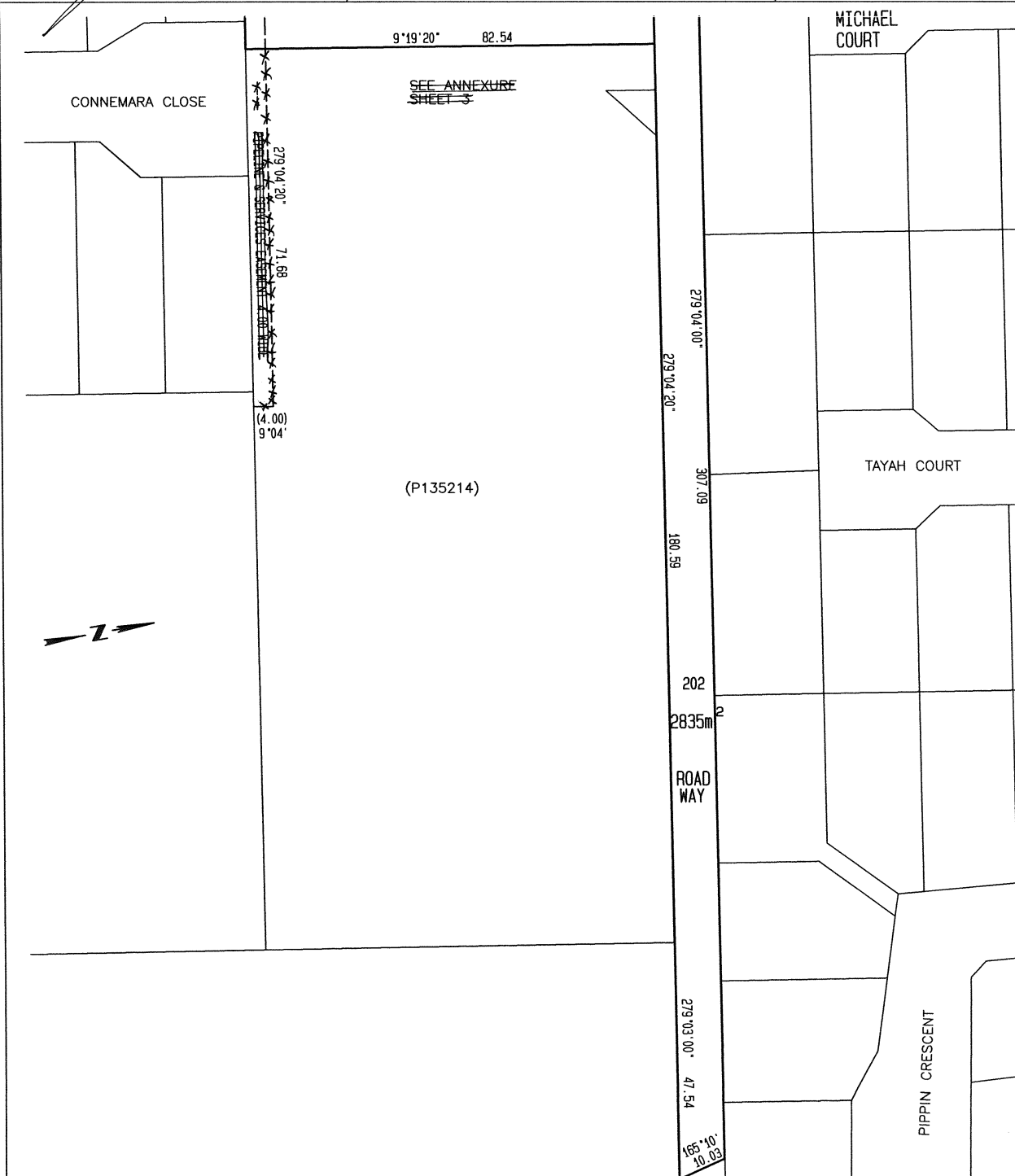


PRIORITY FINAL PLAN

<p>PLAN OF SURVEY ANNEXURE SHEET  SHEET 4 OF 5 SHEETS</p>	<p>OWNER: ROSSITER HOMES &amp; DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD &amp; MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE &amp; CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 135214/1, CT 145978/2 &amp; CT 145978/1.</p> <p>SCALE 1: 100                      LENGTH IN METRES</p>	<p>Registered Number</p> <p><b>SP 188090</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p> <u>20/12/24</u> Council Delegate                      Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p> <u>19 Nov 24</u> Registered Land Surveyor                      Date</p>	<p>APPROVED EFFECTIVE FROM <u>1.0 JUL 2025</u>.....</p> <p> Recorder of Titles</p>



PRIORITY FINAL PLAN

<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 5 OF 5 SHEETS</p>	<p>OWNER: ROSSITER HOMES &amp; DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD &amp; MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE &amp; CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 135214/1, CT 145978/2 &amp; CT 145978/1.</p> <p>SCALE 1: 750                      LENGTH IN METRES</p>	<p>Registered Number</p> <p><b>SP 188090</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <div style="display: flex; justify-content: space-between;"> <div>               Council Delegate         </div> <div>             20/12/24              Date         </div> </div>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <div style="display: flex; justify-content: space-between;"> <div>               Registered Land Surveyor         </div> <div>             19 Nov 24              Date         </div> </div>	<p>APPROVED EFFECTIVE FROM 110 JUL 2025</p> <div style="display: flex; justify-content: space-between;"> <div>               Recorder of Titles         </div> </div>
 <p>Diagram details:</p> <ul style="list-style-type: none"> <li>Top boundary: 9°19'20" 82.54</li> <li>Left boundary (CONNEMARA CLOSE): 279°04'20" 71.68, 279°04'00" 279.04.20°, 279°04'20" 279.04.20°, 307°09' 180.59, 202 2835m<sup>2</sup>, 279°03'00" 47.54, 165°10' 10.03</li> <li>Right boundary (MICHAEL COURT, TAYAH COURT, PIPPIN CRESCENT): 279°04'00" 279.04.20°, 307°09' 180.59, 202 2835m<sup>2</sup>, 279°03'00" 47.54, 165°10' 10.03</li> <li>Bottom boundary (ROAD WAY): 279°03'00" 47.54, 165°10' 10.03</li> <li>Central parcel: (P135214)</li> <li>Other labels: CONNEMARA CLOSE, MICHAEL COURT, TAYAH COURT, PIPPIN CRESCENT, ROAD WAY.</li> </ul>		

<p><b>SCHEDULE OF EASEMENTS</b></p> <p><b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS &amp; MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p>Registered Number</p> <p><b>SP 188090</b></p>
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**EASEMENTS AND PROFITS**

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**Easements**

Lot 17 is SUBJECT TO a ~~Drainage Easement~~ <sup>RIGHT OF DRAINAGE</sup> (as defined herein) in gross in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE (SP145978)" on the Plan.

Lot 17 is SUBJECT TO a ~~Drainage Easement~~ <sup>RIGHT OF DRAINAGE</sup> (as defined herein) appurtenant to Lot 1 on SP107806 over the land marked A. B. "DRAINAGE EASEMENT 3.00 WIDE" <sup>on the plan</sup> (SP145978) on the plan.

Lot 17 on the Plan ("the Lot") is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE" ("the Easement Land") on the Plan.

Lot 6 on the Plan is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE" ("the Easement Land") on the Plan.

Lot 100 on the Plan and Lot 1 on P135214 (together called "the Lot") are SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 4.00 WIDE" ("the Easement Land") on the Plan.

Signatures: \_\_\_\_\_

(USE ANNEXURE PAGES FOR CONTINUATION)

<p><b>SUBDIVIDER:</b></p> <p>Rossiter Homes &amp; Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722</p> <p><b>FOLIO REF:</b></p> <p>183722/7, 135214/1, 145978/1, 145978/2 and 183722/0</p> <p><b>SOLICITOR &amp; REFERENCE:</b> RAE &amp; PARTNERS AEC:242926</p>	<p><b>PLAN SEALED BY:</b> WEST TAMAR COUNCIL</p> <p><b>DATE:</b> 2d/12/24</p> <p>PA2020415 &amp; PA2024202</p> <p><b>REF NO.</b></p> <p>Council Delegate</p>
<p><b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.</p>	

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 2 OF 5 PAGES	Registered Number <b>SP 188090</b>
SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722 FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0	

## Covenants

The owners of Lots 1, 2, 3, 4, 5, 6, 7, 8 and 9 ("the Burdened Lots") covenant with West Tamar Council to the intent that the burden of this covenant may run with and bind the covenantor's lot and every part thereof and that the benefit shall be annexed to and devolve with the said West Tamar Council to observe the following stipulation, namely:

- (a) not to erect any habitable building on the Burdened Lots with a floor level below 32.90 metres on the Australian Height Datum (Tasmanian) 1983; and
- (b) not to erect any non-habitable building or structure on the Burdened Lots with a floor level below 32.75 metres on the Australian Height Datum (Tasmanian) 1983.

The owners of Lot 100 covenant with the owner of Lots 6, 7, 8 and 9 on the Plan to the intent that the burden of this covenant may run with and bind the covenantor's lot and every part thereof and that the benefit shall be annexed to and devolve with Lots 6, 7, 8 and 9 on the Plan that the vegetation on Lot 100 on the Plan must not exceed a low fuel state.

## Fencing Covenant

The owner of each lot on the Plan covenants with Rossiter Homes & Developments Pty Ltd ("the Vendor") that the Vendor will not be required to fence any lot on the Plan.

## Definitions

"Pipeline and Services Easement" is defined as follows:-

**FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY** for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;

Signatures:

- (5) do all works reasonably required in connection with such activities or as may be authorised or required

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 3 OF 5 PAGES	Registered Number <b>SP 188090</b>
SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722 FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0	

by any law:

- (a) without doing unnecessary damage to the Easement Land; and
- (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

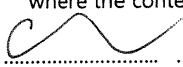
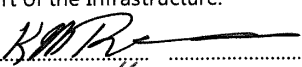



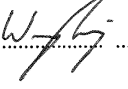


**SECONDLY**, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

**Interpretation:**

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Signatures:

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 4 OF 5 PAGES	Registered Number <b>SP 188090</b>
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"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

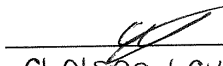
"Drainage Easement" means a right of drainage in gross in favour of West Tamar Council ("the Council") and in conjunction with the exercise of that right the Council will have the power set out in the statutory definition of a "right of drainage" in Schedule 8 of the *Conveyancing and Law of Property Act 1884*.

There are no other Easements, Covenants or Profits a Prendre created to benefit or burden the said land.

Executed by **Michael Alan Clifford**  
in the presence of:

  
Michael Alan Clifford

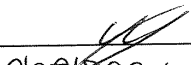
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Witness Name  
Witness Address  
Witness Occupation

  
Chelsea Louise Ford  
3/113 Cimitiere St, Launceston  
Legal Assistant

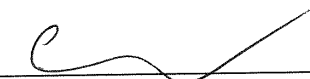
Executed by **Michelle Elizabeth Clifford**  
in the presence of:

  
Michelle Elizabeth Clifford


Witness Signature  
Witness Name  
Witness Address  
Witness Occupation

  
Chelsea Louise Ford  
3/113 Cimitiere St, Launceston  
Legal Assistant.

Executed by **Cameron James Whelan**  
in the presence of:

  
Cameron James Whelan

Witness Signature  
Witness Name  
Witness Address  
Witness Occupation

  
Hannah Baker  
3/113 Cimitiere St, Launceston  
Legal Assistant

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 4 OF 5 PAGES	Registered Number <b>SP 188090</b>
SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722 FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0	


"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

"Drainage Easement" means a right of drainage in gross in favour of West Tamar Council ("the Council") and in conjunction with the exercise of that right the Council will have the power set out in the statutory definition of a "right of drainage" in Schedule 8 of the *Conveyancing and Law of Property Act 1884*.

There are no other Easements, Covenants or Profits a Prendre created to benefit or burden the said land.

Executed by **Michael Alan Clifford**

in the presence of:

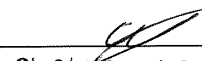
  
Michael Alan Clifford

Witness Signature

Witness Name

Witness Address

Witness Occupation

  
Chelsea Louise Ford  
3/113 Cimitiere St, Launceston  
Legal Assistant

Executed by **Michelle Elizabeth Clifford**

in the presence of:

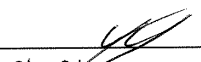
  
Michelle Elizabeth Clifford

Witness Signature

Witness Name

Witness Address

Witness Occupation

  
Chelsea Louise Ford  
3/113 Cimitiere St, Launceston  
Legal Assistant

Executed by **Cameron James Whelan**

in the presence of:


  
Cameron James Whelan

Witness Signature

Witness Name

Witness Address

Witness Occupation

  
Hannah Baker  
3/113 Cimitiere St, Launceston  
Legal Assistant

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 5 OF 5 PAGES	Registered Number <b>SP 188090</b>
SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722 FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0	

Executed by **Warren Cale Paige**  
in the presence of:

Warren Cale Paige  
Warren Cale Paige

Witness Signature  
Witness Name  
Witness Address  
Witness Occupation

Chelsea Louise Ford  
3/113 Cimitiere St, Launceston  
Legal Assistant

Signed for and on behalf of  
**Rossiter Homes & Developments Pty Ltd**  
**ACN 101 283 765**  
by its authorised officers under  
S127 of the *Corporations Act 2001*

Leigh Gabriel Rossiter  
Director – Leigh Gabriel Rossiter

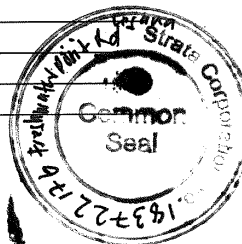
Karenne Rossiter  
Director/Secretary – Karenne Rossiter

THE COMMON SEAL of the  
**Strata Corporation Number 183722**  
was affixed in the presence of:

Angela  
Body Corporate Manager:  
Members

Witness Signature  
Witness Name  
Witness Address  
Witness Occupation

Hannah Baker  
3/113 Cimitiere St  
Legal Assistant



\* MT  
16.4.25  
Melanie Louise Kerwin  
Solicitor  
3/113 Cimitiere Street  
Launceston TAS 7250

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



## COUNCIL APPROVAL

(Insert any qualification to the permit under section 83(5), section 109 or section 111 of the Local Government (Building & Miscellaneous Provisions) Act 1993)  
The subdivision shown in this plan is approved

FIRSTLY UNDER SECTION 111 TO ENABLE THE PORTIONS OF  
LOT 18 TO FORM A SINGLE PARCEL,  
LOT 17 TO FORM A SINGLE PARCEL,  
LOT 201 TO FORM A SINGLE PARCEL  
AND SECONDLY TO GIVE EFFECT UNDER SECTION 89 TO  
LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 100, 203 & 202.

Registered Number

**SP 188090**

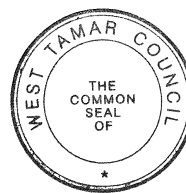
In witness whereof the common seal of WEST TAMAR COUNCIL

has been affixed, pursuant to a resolution of the Council of the said municipality  
passed the 10<sup>TH</sup> day of FEBRUARY 2022 (PA2024-15)  
1<sup>ST</sup> day of AUGUST 2024, in the presence of us  
(PA2024-202)

Member 

Member .....

Council Delegate 



Council Reference PA2024-15 & PA2024-202

## NOMINATIONS

For the purpose of section 88 of the Local Government (Building & Miscellaneous Provisions) Act 1993  
the owner has nominated

→ A J PHILLIPS SURVEYING ..... Solicitor to act for the owner  
→ RAE AND PARTNERS ..... Surveyor to act for the owner

OFFICE EXAMINATION:

Indexed .....

Computed .....

Examined .....

# PROPOSED UNIT DEVELOPMENT

## LOT 9 IMOGEN COURT

### LEGANA

#### ASCEND DEVELOPMENTS TAS

PD25308

**BUILDING DRAWINGS**

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	SITE LANDSCAPING PLAN
04	LOCALITY PLAN
05	PERSPECTIVES



**UNIT 1 DRAWINGS**

No	DRAWING
U1-01	FLOOR PLAN
U1-02	DOOR AND WINDOW SCHEDULE
U1-03	ELEVATIONS
U1-04	ELEVATIONS
U1-05	ROOF PLAN

**UNIT 2 DRAWINGS**

No	DRAWING
U2-01	FLOOR PLAN
U2-02	DOOR AND WINDOW SCHEDULE
U2-03	ELEVATIONS
U2-04	ELEVATIONS
U2-05	ROOF PLAN

U1	FLOOR AREA	124.49	m2	(	13.40	SQUARES )
U1	GARAGE AREA	44.53	m2	(	4.79	SQUARES )
U2	FLOOR AREA	124.49	m2	(	13.40	SQUARES )
U2	GARAGE AREA	44.53	m2	(	4.79	SQUARES )
TOTAL AREA		338.04			36.39	



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p(0) + 03 6332 3790  
H: Shop 9, 105-111 Main Road, Moonah, 7009  
p(h)+03 6228 4575  
info@primedesigntas.com.au  
Accredited Building Practitioner:

**bdqa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

primedesigntas.com.au  
Frank Geskus -No CC246A

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REV. DATE DESCRIPTION

NOVEMBER 2025  
PLANNING

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - TBC REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.

DRIVEWAY GRADIENT  
MAXIMUM GRADIENT 1:4 (25%)  
TO AS 2890

CAR PARKING GRADIENT  
PARALLEL TO PARKING ANGLE 1:20 (5%)  
CROSSFALL 1:16 (6.25%)

SETBACKS  
REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

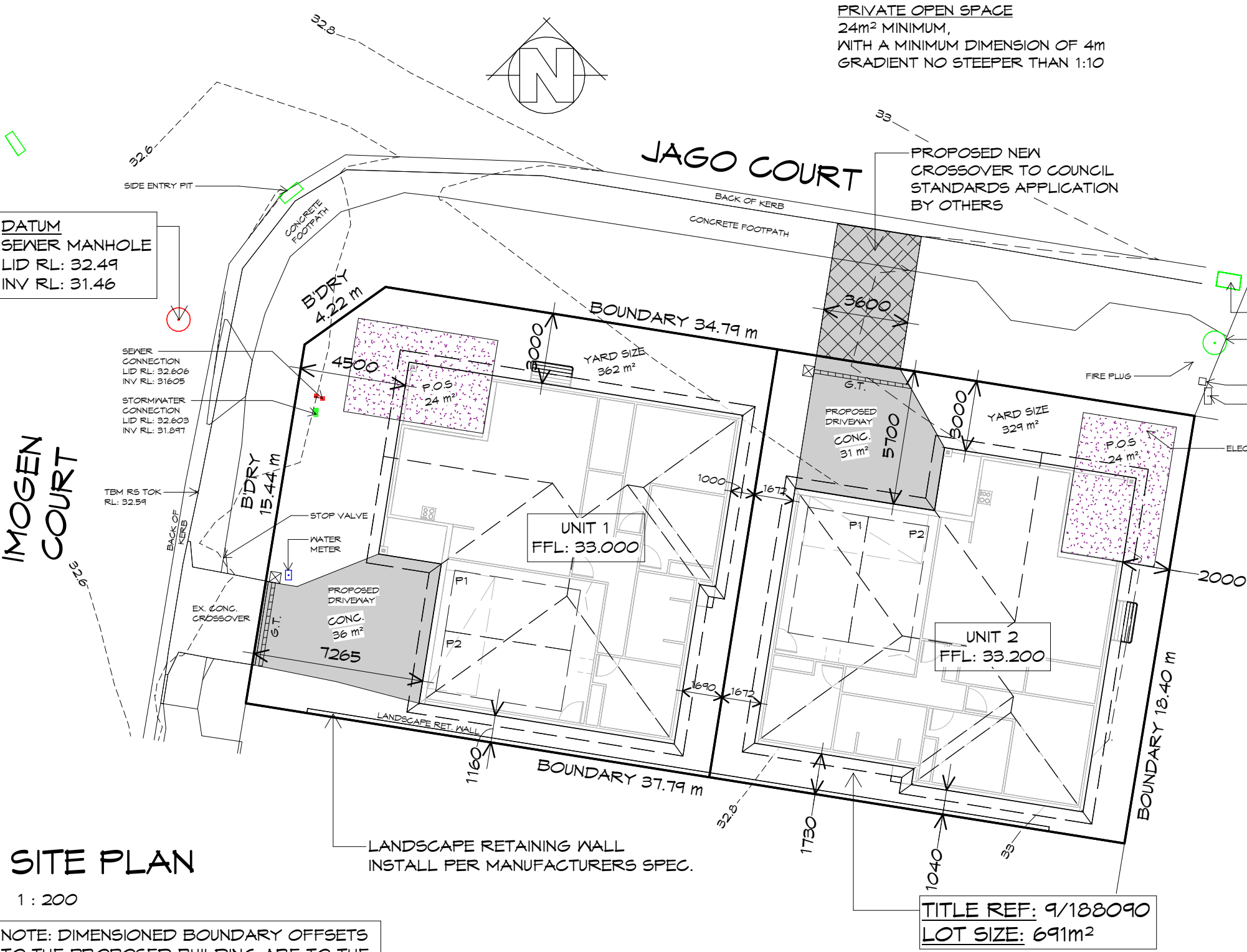
SITE COVERAGE  
BUILDING FOOTPRINT 339.04 /SITE AREA 691 = 0.490  
TOTAL SITE COVERAGE 49%

PRIVATE OPEN SPACE  
24m<sup>2</sup> MINIMUM,  
WITH A MINIMUM DIMENSION OF 4m  
GRADIENT NO STEEPER THAN 1:10

- GENERAL NOTES
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
  - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
  - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
  - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
  - CONFIRM ALL FLOOR AREAS
  - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
  - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
  - ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
  - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
  - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
  - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
  - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
  - CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

- SURVEYOR NOTES
- SURVEYOR: LJJLDATE: 19/09/25
  - THIS PLAN HAS BEEN PREPARED BY WOOLCOTT LAND SERVICES FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT USED FOR ANY OTHER PURPOSE.
  - TITLE BOUNDARIES SHOWN WERE NOT MARKED AT THE TIME OF THIS SURVEY.
  - SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
  - WOOLCOTT LAND SERVICES CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
  - THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF WOOLCOTT LAND SERVICES.
  - HORIZONTAL BEARING DATUM IS GDA2020.
  - VERTICAL DATUM IS AHD83.
  - CONTOUR INTERVAL IS 0.200m INDEX IS 1.0m.
  - BOUNDARIES AND EASEMENTS ARE COMPILED FROM SP188090; AND ARE APPROXIMATE AND SUBJECT TO SURVEY.
  - CO-ORDINATES ARE PLANE.



## SITE PLAN

1 : 200

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.

REV. DATE DESCRIPTION

Client name:  
ASCEND DEVELOPMENTS TAS

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED UNIT DEVELOPMENT  
LOT 9 IMOGEN COURT  
LEGANA  
Drawing:  
SITE PLAN

Date: 14.11.2025  
Drafted by: A.D.  
Approved by: Approver

Project/Drawing no: PD25308 - 01  
Scale: 1 : 200  
Revision: 02

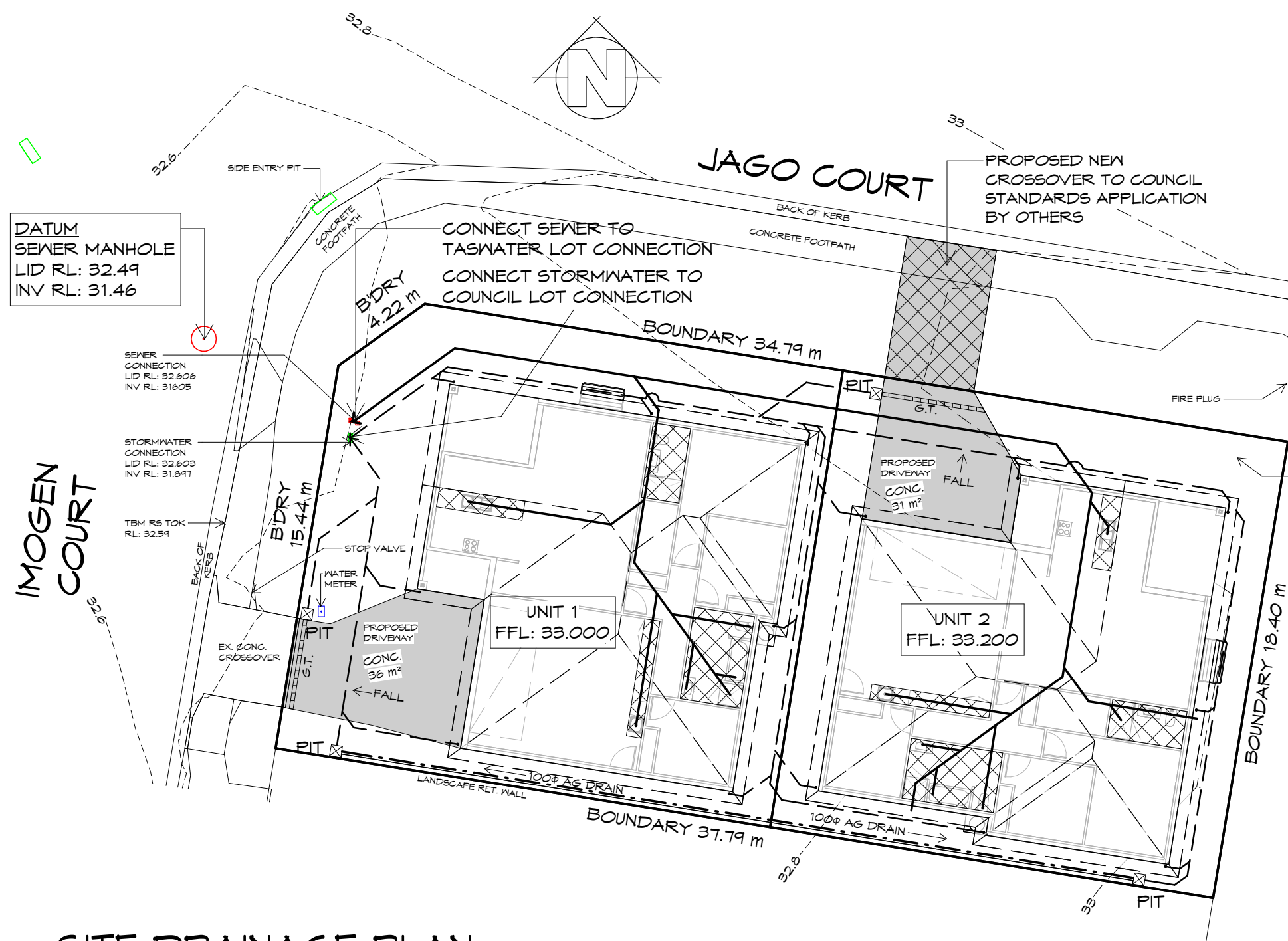
Accredited building practitioner: Frank Geskus -No CC246A  
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ASSOCIATION OF AUSTRALIA





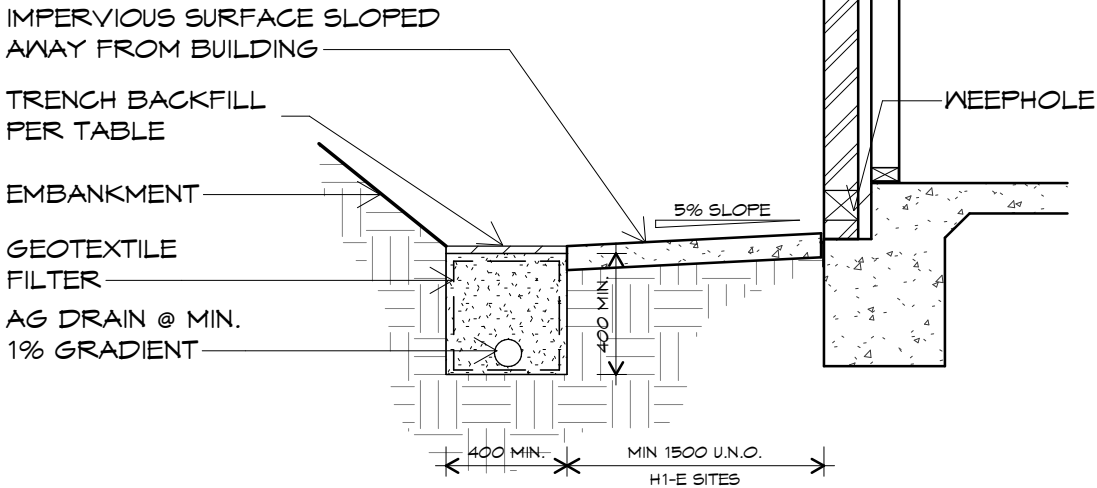
LEGEND

- [Symbol] 450X 450 SURFACE DRAINAGE PIT
- [Symbol] WET AREAS
- [Symbol] SEWER LINE
- [Symbol] STORMWATER LINE
- [Symbol] 100Φ AG DRAIN
- G.T. 150 WIDE GRATED TRENCH

PLUMBING NOTES:  
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.  
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

TRENCH BACKFILL PER SITE CLASS TO COMPLY WITH AS2870 PART 5.6.3

SOIL CLASS	BACKFILL MATERIAL
A-S	CRUSHED DRAINAGE ROCK
M-E	COMPACTED CLAY



SITE DRAINAGE PLAN

1 : 200

- SEWER AND WATER SERVICES
- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
  - WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

- PITS: ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS: OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W: STORMWATER PIPES TO BE SIZED PER ASNZS 3500.2021 PART 3
- VENTS: DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2



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REV. DATE DESCRIPTION

Client name:  
ASCEND DEVELOPMENTS TAS

Project:  
PROPOSED UNIT DEVELOPMENT  
LOT 9 IMOGEN COURT  
LEGANA

Drawing:  
SITE DRAINAGE PLAN

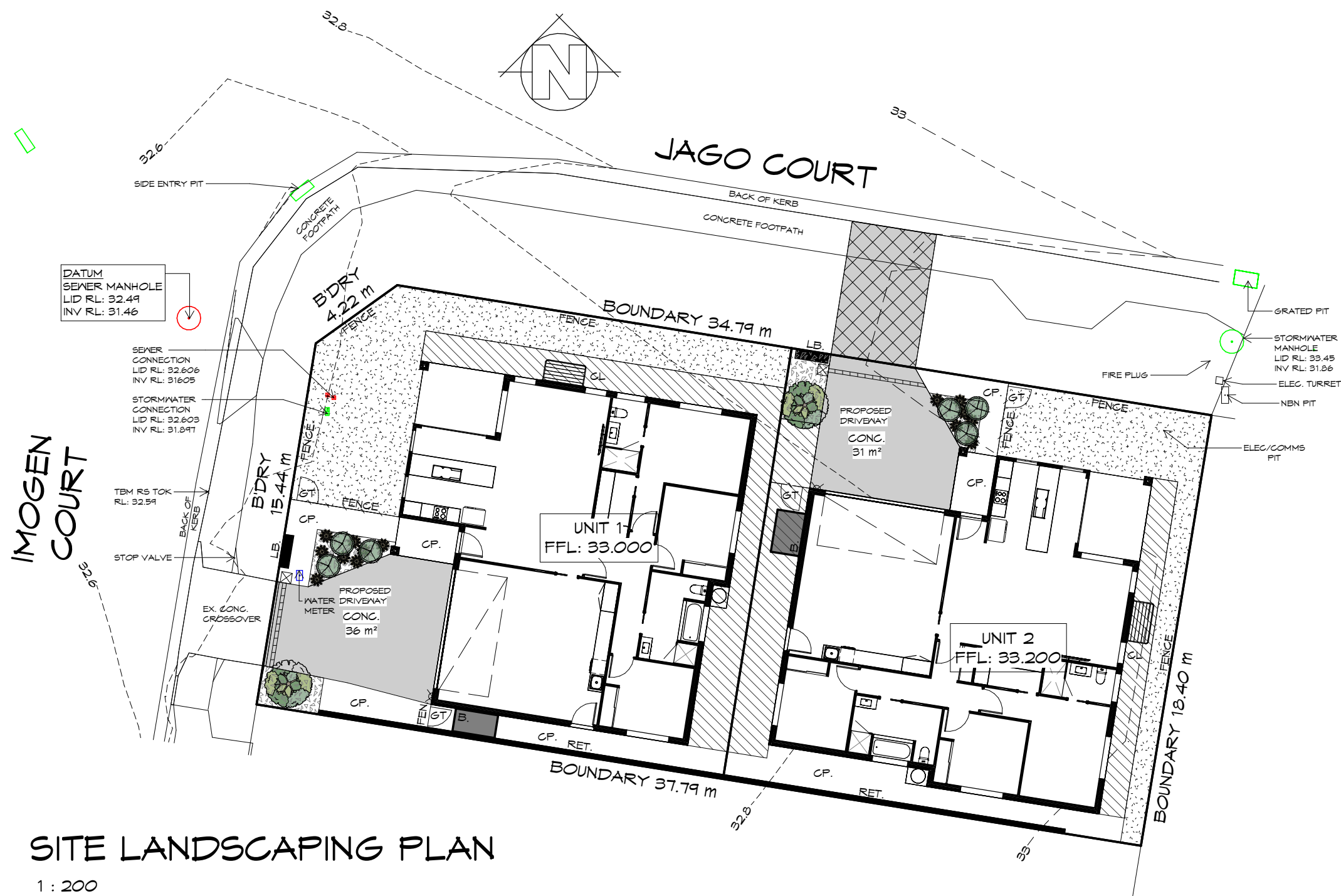
Date: 14.11.2025  
Drafted by: A.D.  
Approved by: Approver

Project/Drawing no: PD25308 - 02  
Scale: As indicated  
Revision: 02

Accredited building practitioner: Frank Geskus - No CC246A  
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PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS





## LEGEND

- PROPOSED TREE - Pn
- PROPOSED SHRUB - Mc
- PROPOSED GROUNDCOVER/GRASS - Lo
- GRAVEL / MULCH PATH
- LAWN
- CONCRETE PATH/PAVING
- CONCRETE DRIVEWAY
- LETTER BOX
- WASTE STORAGE 1.5m<sup>2</sup>
- GATE
- FENCE 1.8m HIGH
- CLOTHES LINES - WALL MOUNT
- ISLAND BLOCK & PAVING  
FREESTONE ECO  
RETAINING WALL SYSTEM  
OR SIMILAR
- SECURITY LIGHTS

**SITE COVERAGE**  
BUILDING FOOTPRINT 339.04 / SITE AREA 691 = 0.490  
TOTAL SITE COVERAGE 49%

## SITE LANDSCAPING PLAN

1 : 200

### PLANTING SCHEDULE

ABB.	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT & SPREAD	POT SIZE	DENSITY
EITHER HOBBART OR LAUNCESTON TREES					
Pn	FURUS NIVALIS 'SNOW PEAR'	SNOW PEAR	7000mm x 4000mm	300mm	1 per 1m <sup>2</sup>
LAUNCESTON SHRUBS					
Mc	MYRTACEAE CALLISTEMON 'KINGS PARK SPECIAL'	BOTTLE BRUSH	4000mm x 2000mm	300mm	1 per 4m <sup>2</sup>
GRASSES / GROUNDCOVERS					
Lo	LOMANDRA LONGIFOLIA	MAT RUSH	1000mm x 1000mm	140mm	1 per 1m <sup>2</sup>

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**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

Client name:  
ASCEND DEVELOPMENTS TAS

Project:  
PROPOSED UNIT DEVELOPMENT  
LOT 9 IMOGEN COURT  
LEGANA

Drawing:  
SITE LANDSCAPING PLAN

Date: 14.11.2025  
Drafted by: A.D.  
Approved by: Approver

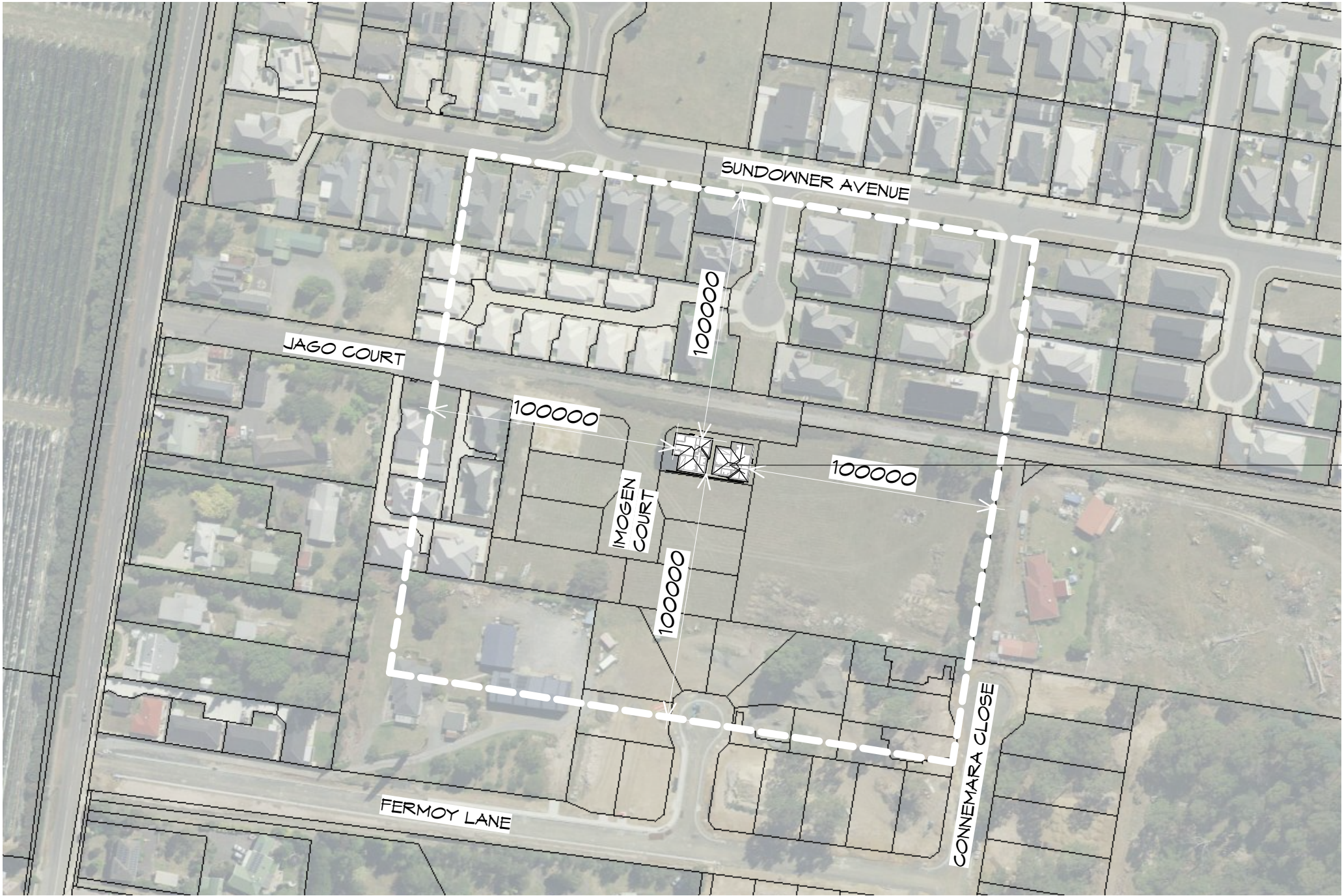
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Scale: 1 : 200  
Revision: 02

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REV. DATE DESCRIPTION

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS





PROPOSED UNIT DEVELOPMENT  
LOT 9, IMOGEN COURT,  
LEGANA

# LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **REQUIRES** A BUSHFIRE ASSESSMENT.  
RESIDENCE IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.  
REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN



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REV.	DATE	DESCRIPTION
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Client name:  
ASCEND DEVELOPMENTS TAS

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

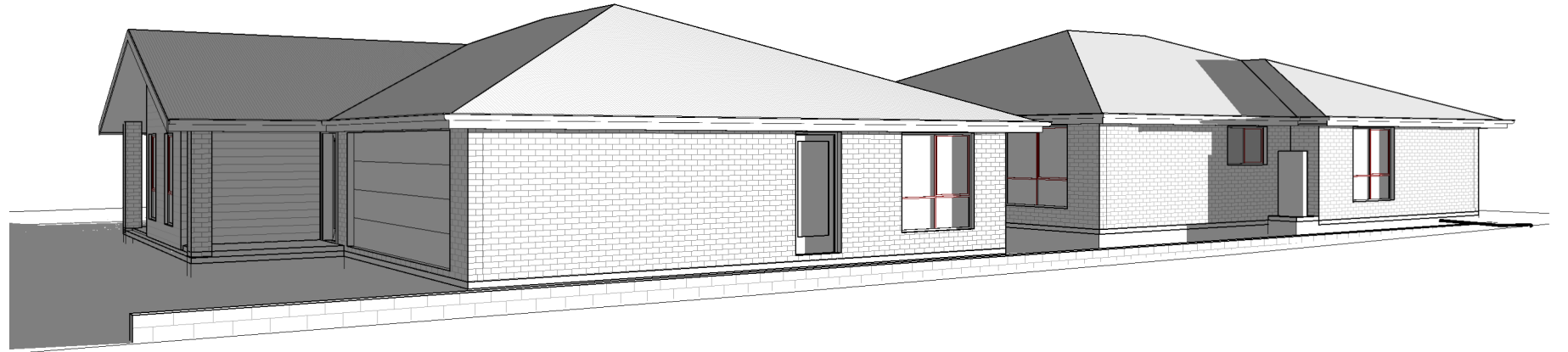
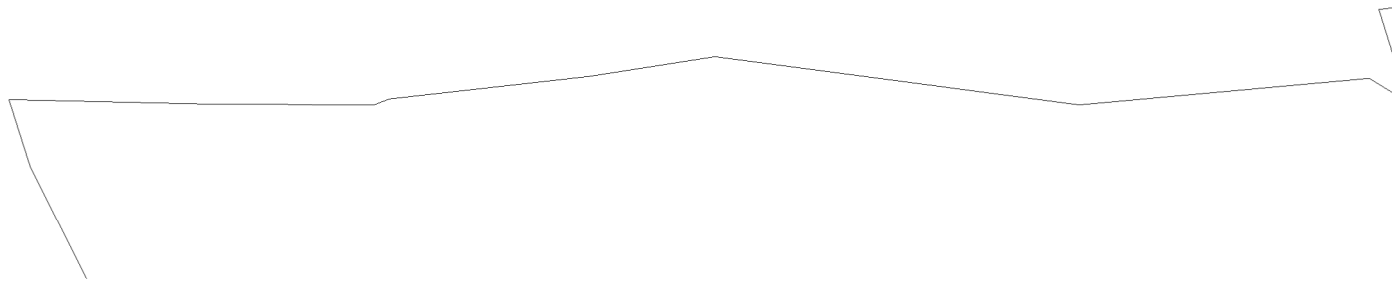
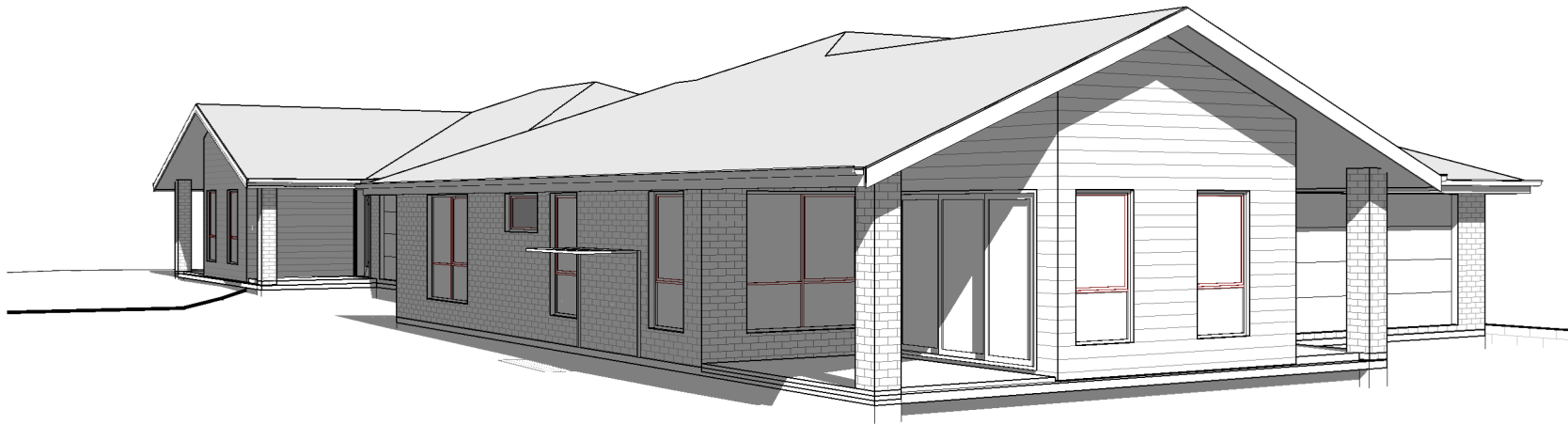
Project:  
PROPOSED UNIT DEVELOPMENT  
LOT 9 IMOGEN COURT  
LEGANA

Drawing:  
LOCALITY PLAN

Date:	Drafted by:	Approved by:
14.11.2025	A.D.	Approver

Project/Drawing no:	Scale:	Revision:
PD25308 - 04	1 : 2000	02

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REV.	DATE	DESCRIPTION

Client name:  
ASCEND DEVELOPMENTS TAS

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED UNIT DEVELOPMENT  
LOT 9 IMOGEN COURT  
LEGANA

Drawing:  
PERSPECTIVES

Date: 14.11.2025	Drafted by: Author	Approved by: Approver
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Project/Drawing no: PD25308 - 05	Scale:	Revision: 02
-------------------------------------	--------	-----------------

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FLOOR PLAN

1 : 100

FLOOR AREA	124.49 m2	( 13.40 SQUARES )
GARAGE AREA	44.53 m2	( 4.79 SQUARES )
TOTAL AREA	169.02	18.19

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

NOTE:  
DIMENSIONS DO NOT INCLUDE CLADDING

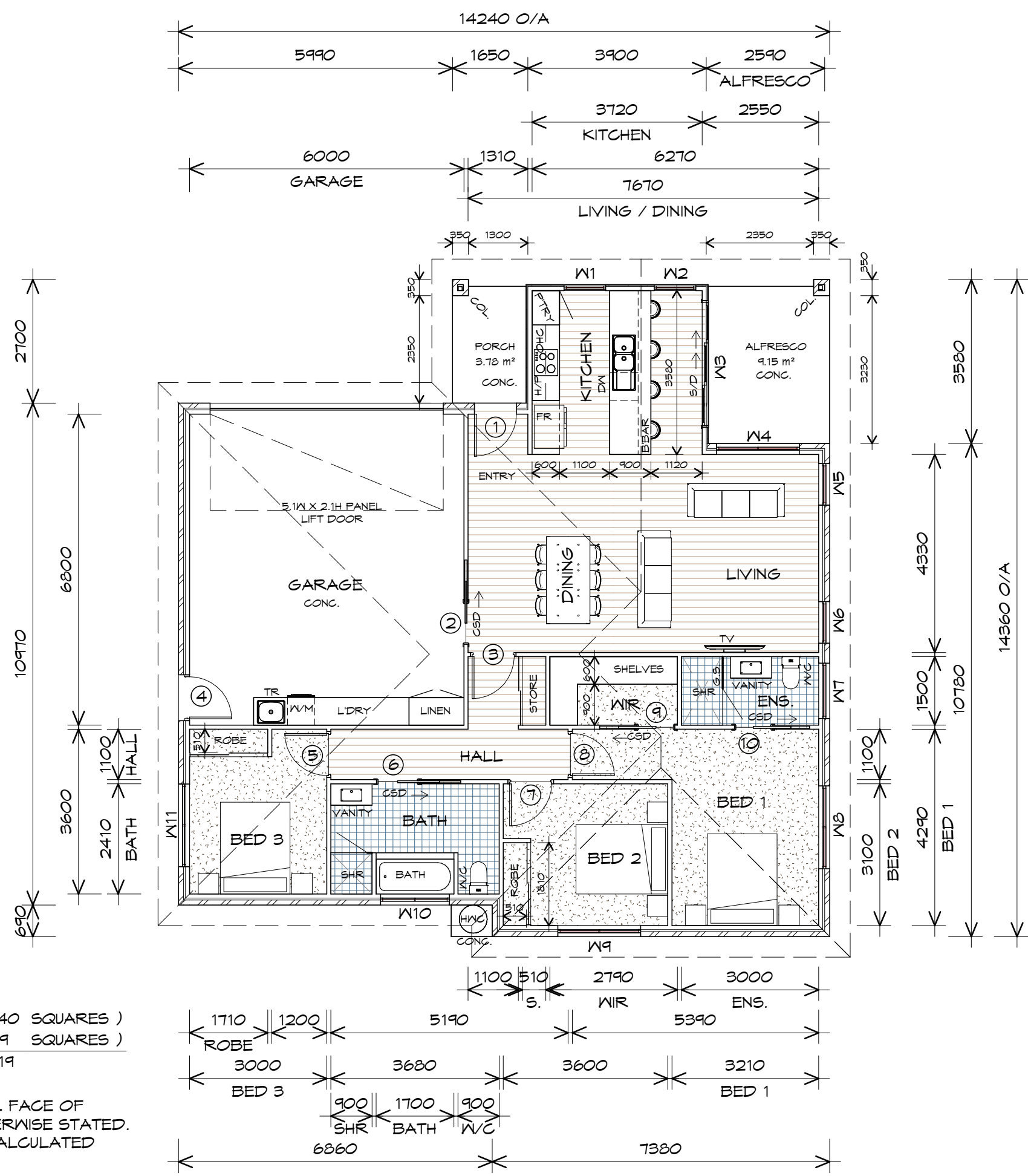
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UNIT 1 Client name:  
ASCEND DEVELOPMENTS TAS

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED UNIT DEVELOPMENT  
LOT 9 IMOGEN COURT  
LEGANA  
Drawing:  
FLOOR PLAN

- LEGEND
- CSD CAVITY SLIDING DOOR
  - S/D SLIDING DOOR
  - G.S. GLASS SCREEN
  - OHC OVER HEAD CUPBOARDS
  - HWC HOT WATER CYLINDER
  - COL. COLUMN



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Date:	14.11.2025	Drafted by:	A.D.	Approved by:	Approver
Project/Drawing no:	PD25308 - U1-01	Scale:	1 : 100	Revision:	01

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WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	910	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	2100	2770	STACKING SLIDING DOOR	
W4	1800	1810	AWNING WINDOW	
W5	1800	910	AWNING WINDOW	
W6	1800	910	AWNING WINDOW	
W7	600	1210	AWNING WINDOW	OPAQUE
W8	1800	1810	AWNING WINDOW	
W9	1800	1810	AWNING WINDOW	
W10	900	1510	AWNING WINDOW	OPAQUE
W11	1800	1810	AWNING WINDOW	

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL ENTRY DOOR	
2	920	CAVITY SLIDING DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	GLAZED EXTERNAL DOOR	
5	920	INTERNAL TIMBER DOOR	
6	920	CAVITY SLIDING DOOR	
7	920	INTERNAL TIMBER DOOR	
8	920	INTERNAL TIMBER DOOR	
9	820	CAVITY SLIDING DOOR	
10	820	CAVITY SLIDING DOOR	

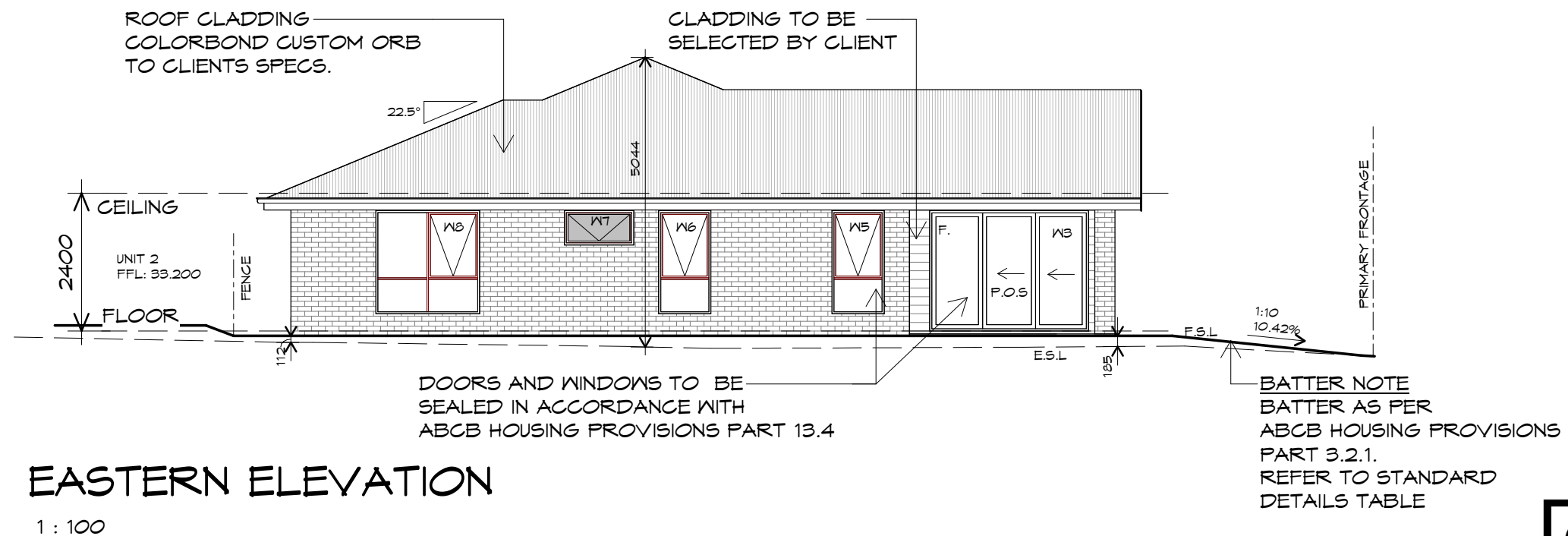
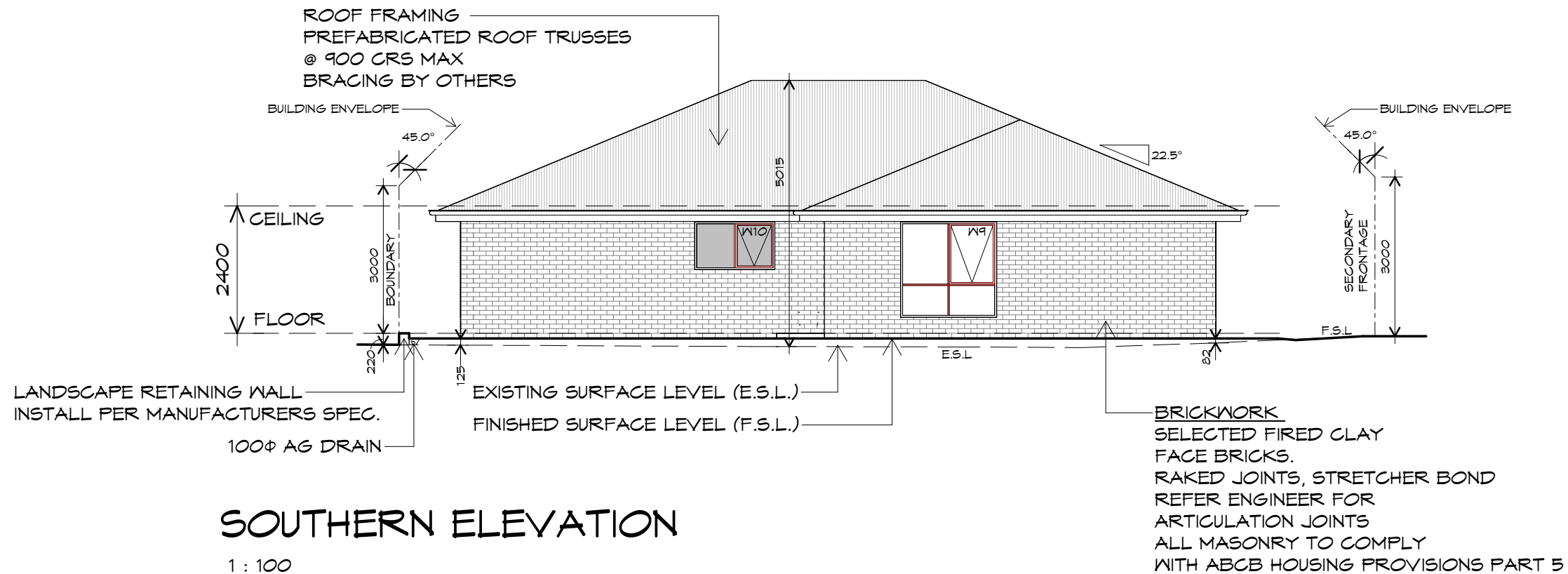
ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE  
WITH FLY SCREENS TO SUIT **TBC BAL** RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING



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		UNIT 1		Client name: ASCEND DEVELOPMENTS TAS	Project: PROPOSED UNIT DEVELOPMENT LOT 9 IMOGEN COURT LEGANA	Date: 14.11.2025	Drafted by: A.D.	Approved by: Approver
REV.	DATE	DESCRIPTION			Drawing: DOOR AND WINDOW SCHEDULES	Project/Drawing no: PD25308 - U1-02	Scale:	Revision: 01
				PLANNING	Accredited building practitioner: Frank Geskus -No CC246A COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd			



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REV.	DATE	DESCRIPTION

**UNIT 1**

Client name:  
ASCEND DEVELOPMENTS TAS

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED UNIT DEVELOPMENT  
LOT 9 IMOGEN COURT  
LEGANA

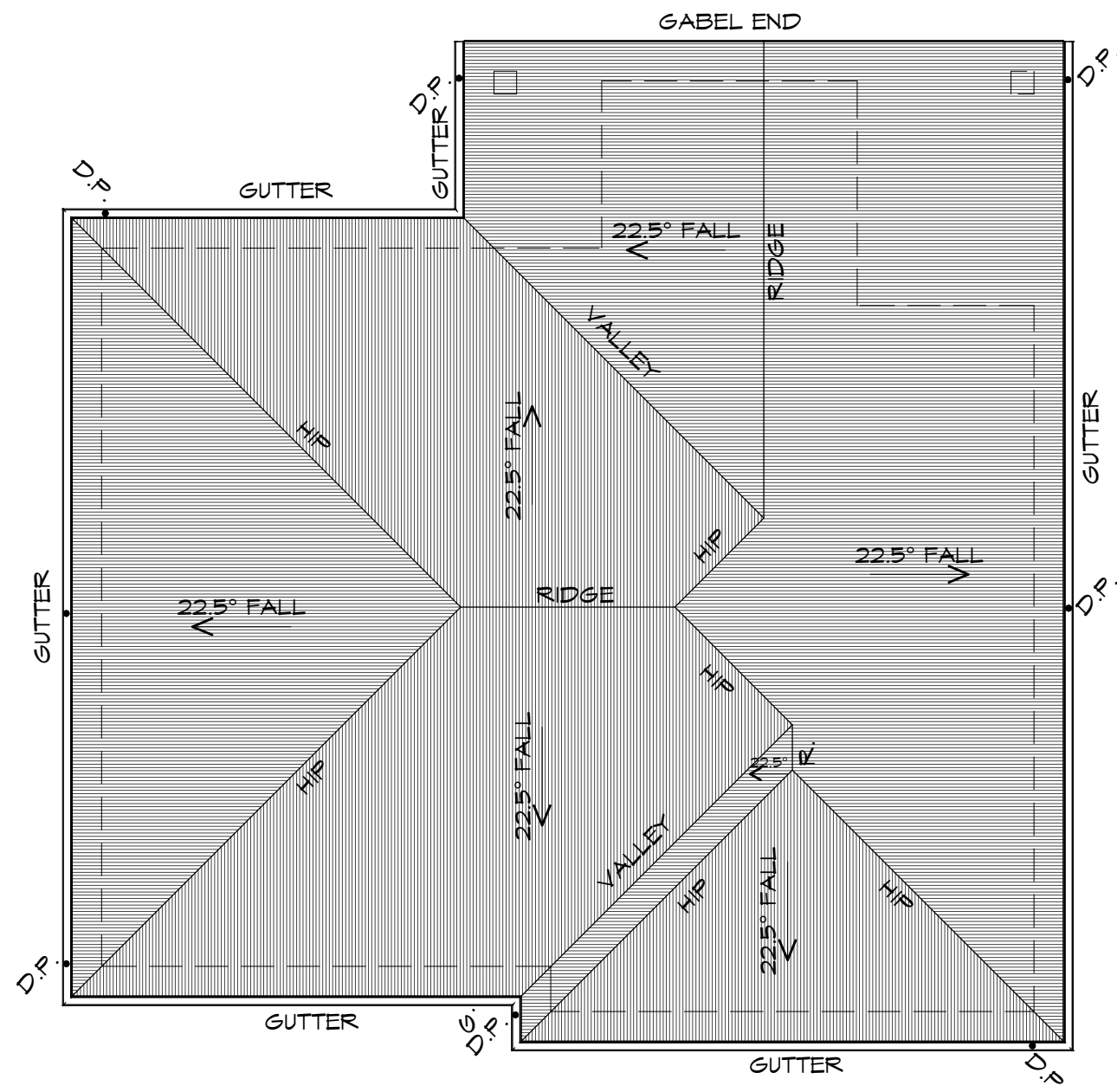
Drawing:  
ELEVATIONS

Date:	Drafted by:	Approved by:
14.11.2025	A.D.	Approver

Project/Drawing no:	Scale:	Revision:
PD25308 - U1-03	1 : 100	01

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## ROOF PLAN

1 : 100

### ROOF PLUMBING NOTES:

#### GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 7.4.4  
WITH FALL NO LESS THAN  
1:500 FOR EAVES GUTTER  
BOX GUTTERS IN ACCORDANCE WITH  
A533500.3:2021

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

#### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH ABCB HOUSING PROVISIONS PART 7.4.5  
REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & LOCATED AS CLOSE AS  
POSSIBLE TO VALLEY GUTTERS

#### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART  
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY  
OF CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,  
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS  
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.  
REFER TO TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN  
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

#### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

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**UNIT 1**

Client name:  
ASCEND DEVELOPMENTS TAS

Project:  
PROPOSED UNIT DEVELOPMENT  
LOT 9 IMOGEN COURT  
LEGANA

Drawing:  
ROOF PLAN

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

REV.	DATE	DESCRIPTION
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Date:	Drafted by:	Approved by:
14.11.2025	A.D.	Approver

Project/Drawing no:	Scale:	Revision:
PD25308 - U1-05	1 : 100	01

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# FLOOR PLAN

1 : 100

FLOOR AREA	124.49 m2	( 13.40 SQUARES )
GARAGE AREA	44.53 m2	( 4.79 SQUARES )
TOTAL AREA	169.02	18.19

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

NOTE:  
DIMENSIONS DO NOT INCLUDE CLADDING

REV.	DATE	DESCRIPTION
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UNIT 2

Client name:  
ASCEND DEVELOPMENTS TAS

PLANNING

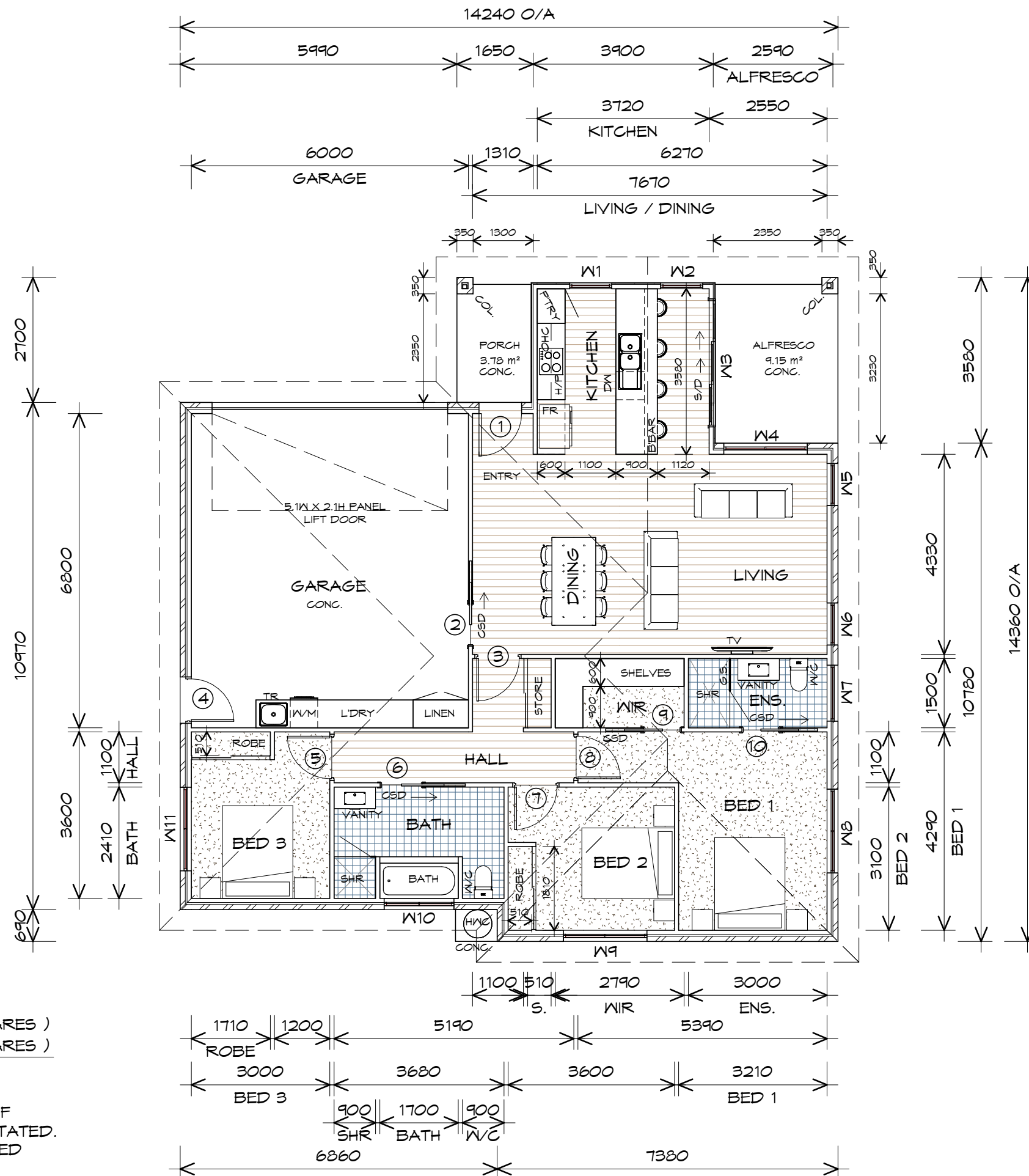
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED UNIT DEVELOPMENT  
LOT 9 IMOGEN COURT  
LEGANA

Drawing:  
FLOOR PLAN

## LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- OHC OVER HEAD CUPBOARDS
- HWC HOT WATER CYLINDER
- COL. COLUMN



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Date:	Drafted by:	Approved by:
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Project/Drawing no:	Scale:	Revision:
PD25308 - U2-01	1 : 100	01

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WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	910	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	2100	2770	STACKING SLIDING DOOR	
W4	1800	1810	AWNING WINDOW	
W5	1800	910	AWNING WINDOW	
W6	1800	910	AWNING WINDOW	
W7	600	1210	AWNING WINDOW	OPAQUE
W8	1800	1810	AWNING WINDOW	
W9	1800	1810	AWNING WINDOW	
W10	900	1510	AWNING WINDOW	OPAQUE
W11	1800	1810	AWNING WINDOW	

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL ENTRY DOOR	
2	920	CAVITY SLIDING DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	GLAZED EXTERNAL DOOR	
5	920	INTERNAL TIMBER DOOR	
6	920	CAVITY SLIDING DOOR	
7	920	INTERNAL TIMBER DOOR	
8	920	INTERNAL TIMBER DOOR	
9	820	CAVITY SLIDING DOOR	
10	820	CAVITY SLIDING DOOR	

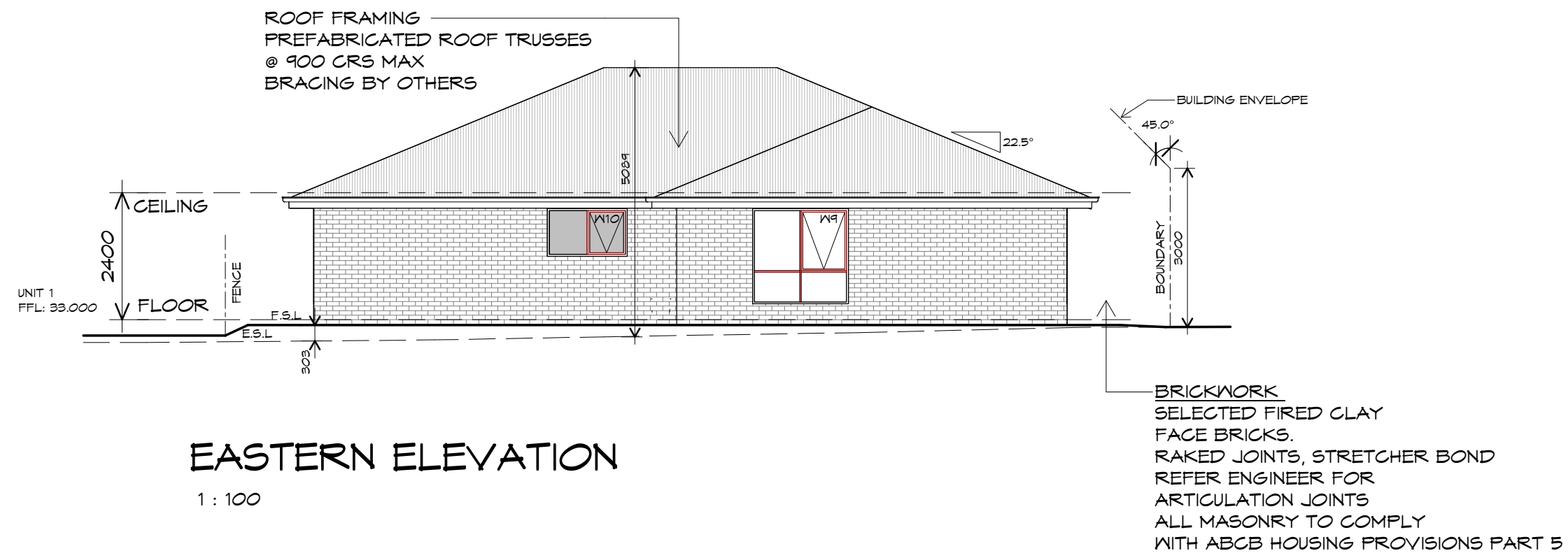
ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE  
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		<div>UNIT 2</div> <div>Client name: ASCEND DEVELOPMENTS TAS</div>		<div>Project: PROPOSED UNIT DEVELOPMENT LOT 9 IMOGEN COURT LEGANA</div>		<div>Date: 14.11.2025</div>		<div>Drafted by: A.D.</div>		<div>Approved by: Approver</div>	
REV.	DATE	DESCRIPTION		<div>PLANNING</div> <div>NOTE: DO NOT SCALE OFF DRAWINGS</div>		<div>Drawing: DOOR AND WINDOW SCHEDULES</div>		Project/Drawing no:		Scale:	
								PD25308 - U2-02		Revision: 01	
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UNIT 2 Client name:  
 ASCEND DEVELOPMENTS TAS

Project:  
 PROPOSED UNIT DEVELOPMENT  
 LOT 9 IMOGEN COURT  
 LEGANA

Drawing:  
 ELEVATIONS

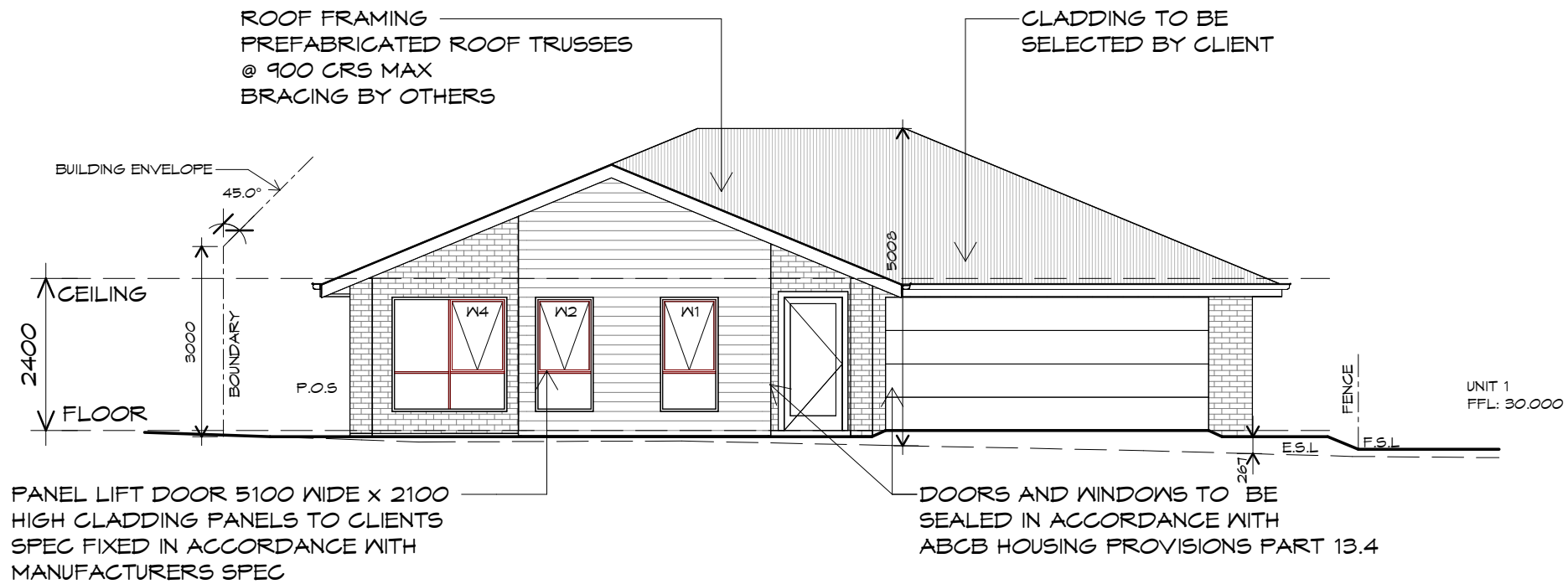
Date: 14.11.2025 Drafted by: A.D. Approved by: Approver

Project/Drawing no: PD25308 - U2-03 Scale: 1 : 100 Revision: 01

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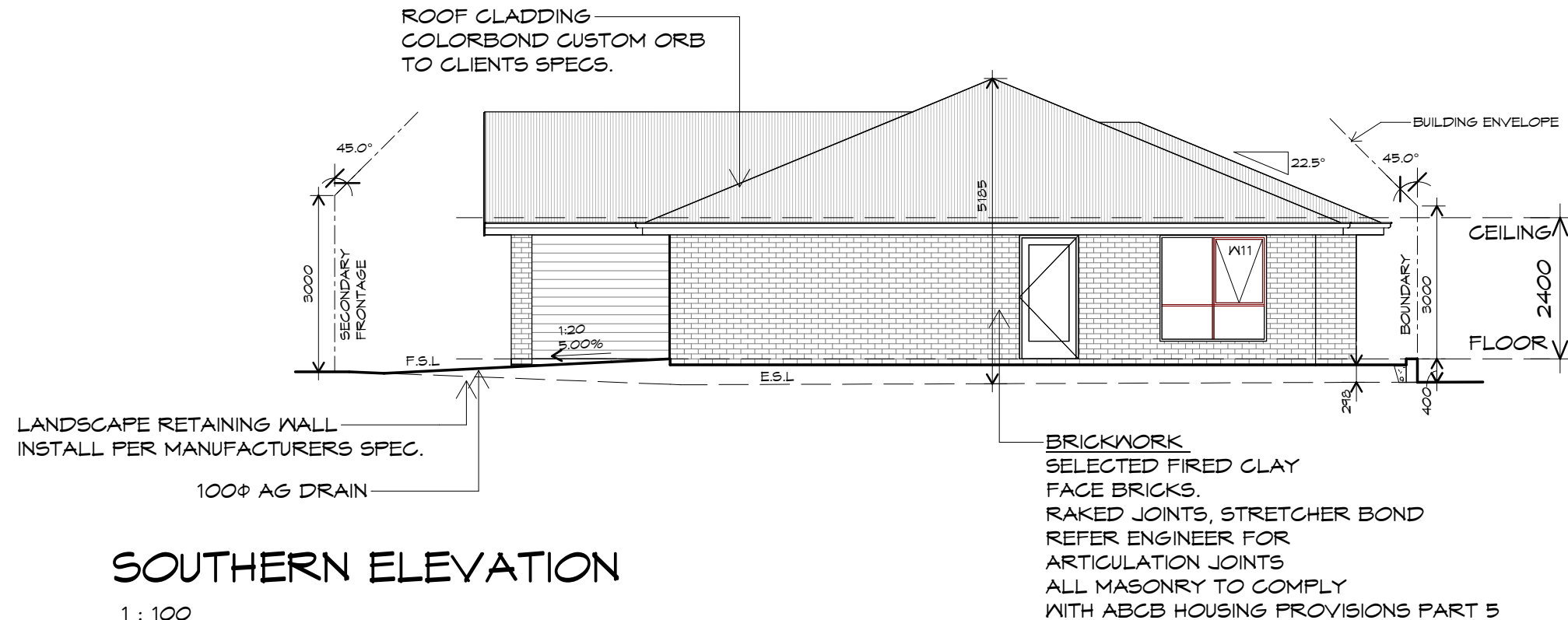
REV. DATE DESCRIPTION

**PLANNING**  
 NOTE: DO NOT SCALE OFF DRAWINGS



## WESTERN ELEVATION

1 : 100



## SOUTHERN ELEVATION

1 : 100

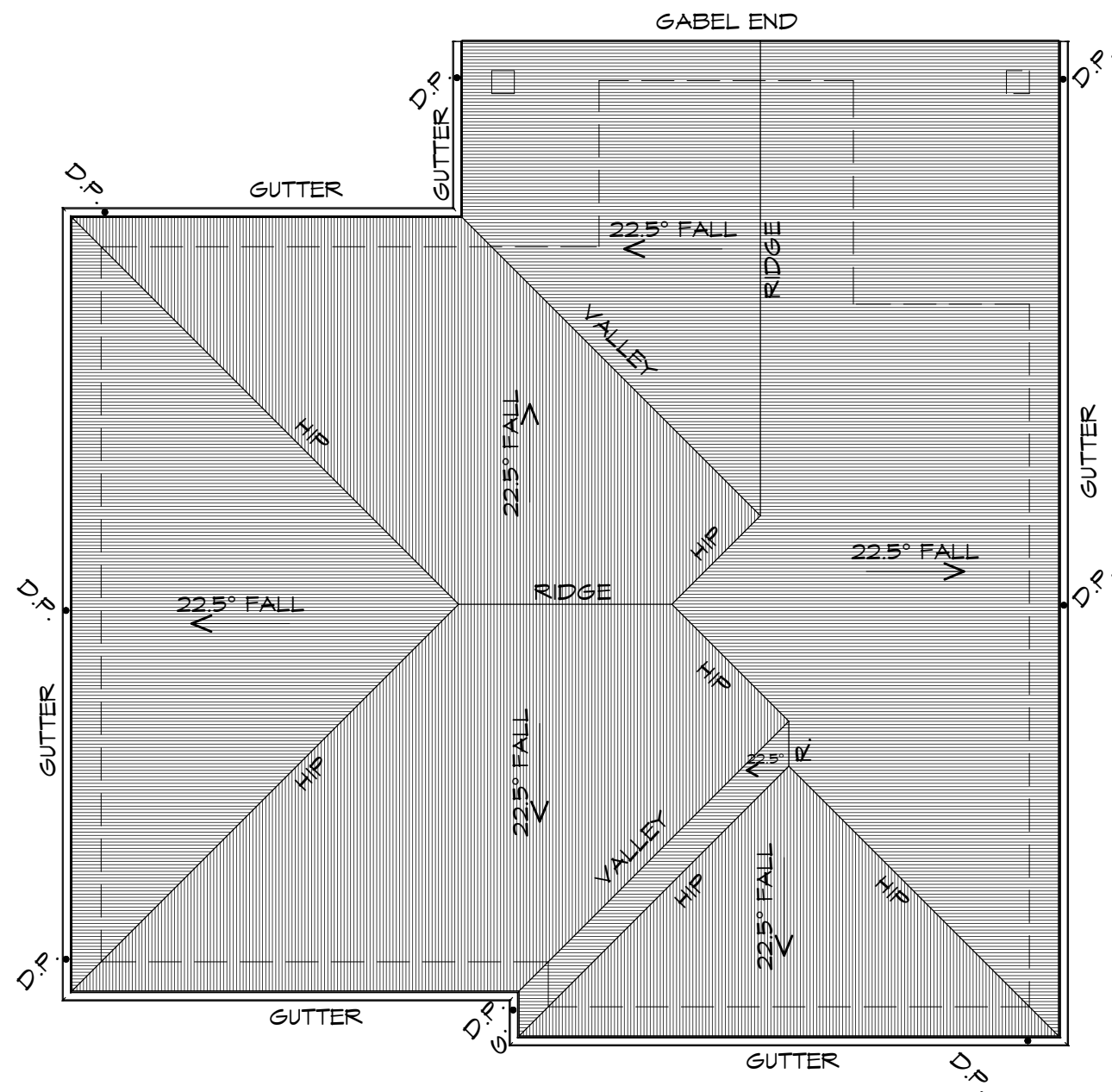
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UNIT 2		Client name:	Project:	Date:	Drafted by:	Approved by:
		ASCEND DEVELOPMENTS TAS	PROPOSED UNIT DEVELOPMENT LOT 9 IMOGEN COURT LEGANA	14.11.2025	A.D.	Approver
REV.	DATE	DESCRIPTION	Drawing:	Project/Drawing no:	Scale:	Revision:
			ELEVATIONS	PD25308 - U2-04	1 : 100	01
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**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS



## ROOF PLAN

1 : 100

### ROOF PLUMBING NOTES:

#### GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH  
 ABCB HOUSING PROVISIONS PART 7.4.4  
 WITH FALL NO LESS THAN  
 1:500 FOR EAVES GUTTER  
 BOX GUTTERS IN ACCORDANCE WITH  
 A533500.3:2021

UNLESS FIXED TO METAL FASCIA  
 EAVES GUTTER TO BE FIXED  
 @ 1200 CRS MAX.

#### VALLEY GUTTERS ON A ROOF WITH A PITCH:

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 LESS THAN 150mm EACH SIDE OF VALLEY  
 GUTTER.  
 B) LESS THAN 12.5° DEGREES, MUST BE  
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
 OF FLOW, RIVET & SEAL WITH AN  
 APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
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 EXACT LOCATION & NUMBER OF D.P.'S  
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#### ADDITIONAL ROOF LOAD

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### UNIT 2

Client name:  
 ASCEND DEVELOPMENTS TAS

Project:  
 PROPOSED UNIT DEVELOPMENT  
 LOT 9 IMOGEN COURT  
 LEGANA

Drawing:  
 ROOF PLAN

Date: 14.11.2025  
 Drafted by: A.D.  
 Approved by: Approver

Project/Drawing no: PD25308 - U2-05  
 Scale: 1 : 100  
 Revision: 01

Accredited building practitioner: Frank Geskus - No CC246A  
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