

PLANNING APPLICATION FORM

Section 57 & 58

**OFFICE USE
ONLY**

Application Number PA2025407

Assess No: A4794

PID No: 9398423

Applicant Name:	Prime Design		
Applicant Contact Name			
Postal Address:			
Contact Phone:	Home	Work	Mobile
Email Address:			

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☒
2. A completed application form including a detailed description of the proposal ☒
3. A complete plan set: ☒
 - a) Floor plans ☒
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☒
 - c) Site Plan showing: ☒
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name:

Prime Design

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

 Owner/Authority Name:
(as per certificate of title)

Rossiter Homes & Developments Pty Ltd.

Location / Address:

Lot 100, Jago Court, Legana.

Title Reference:

188090/100 (parent title).

Zone(s):

General Residential.

Existing Development/Use:

Vacant Land.

Existing Developed Area:

N/A.

 Are any of the components in this Application seeking retrospective approval?
E.g. Use and/or development that has commenced without a Planning Permit.
YES ☐NO ☒

(If yes please specify the relevant components):

DEVELOPMENT APPLICATION DETAILS

Proposed Use:

Residential: ☒Visitor Accommodation: ☐Commercial: ☐Other: ☐

Description of Use:

Proposed 3x units & 1x proprietary shed.

Development Type:

Building work: ☒Demolition: ☐Subdivision: ☐Other: ☐

Description of development:

Residential units & shed.

New or Additional Area:

594.8m²

Estimated construction cost of the proposed development:

1,000,000

Building Materials:

Wall Type: brick veneer

Colour: tbc.

Roof Type: tile

Colour: tbc

Application Number: «Application Number»

VISITOR ACCOMMODATION

N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION

N/A

Subdivision creating additional lots ☐

Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	
Existing Car Parking:				
Proposed Car Parking:				
Number of Employees: (Existing)				
Number of Employees: (Proposed)				
Type of Machinery installed:				
Details of trade waste and method of disposal:				

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

(if not the owner)

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**Chief
Executive
Officer**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

PRIORITY FINAL PLAN

OWNER:
ROSSITER HOMES & DEVELOPMENTS PTY LTD
STRATA CORPORATION NUMBER 183722,
176 FRESHWATER POINT ROAD, LEGANA.
MICHAEL ALAN CLIFFORD & MICHELLE
ELIZABETH CLIFFORD, WARREN CALE PAIGE
& CAMERON JAMES WHELAN.

FOLIO REFERENCE:
CT 183722/0, CT 183722/7, CT 162598/1
~~CT 135214/4~~, CT 145978/2 & CT 145978/1.
GRANTEE:
PART OF 2500 ACRES GTD. TO JOHN GRIFFITHS.

PLAN OF SURVEY

BY SURVEYOR: A.J. PHILLIPS

LOCATION: TOWN OF LEGANA

SCALE 1: 2000 LENGTHS IN METRES

REGISTERED NUMBER

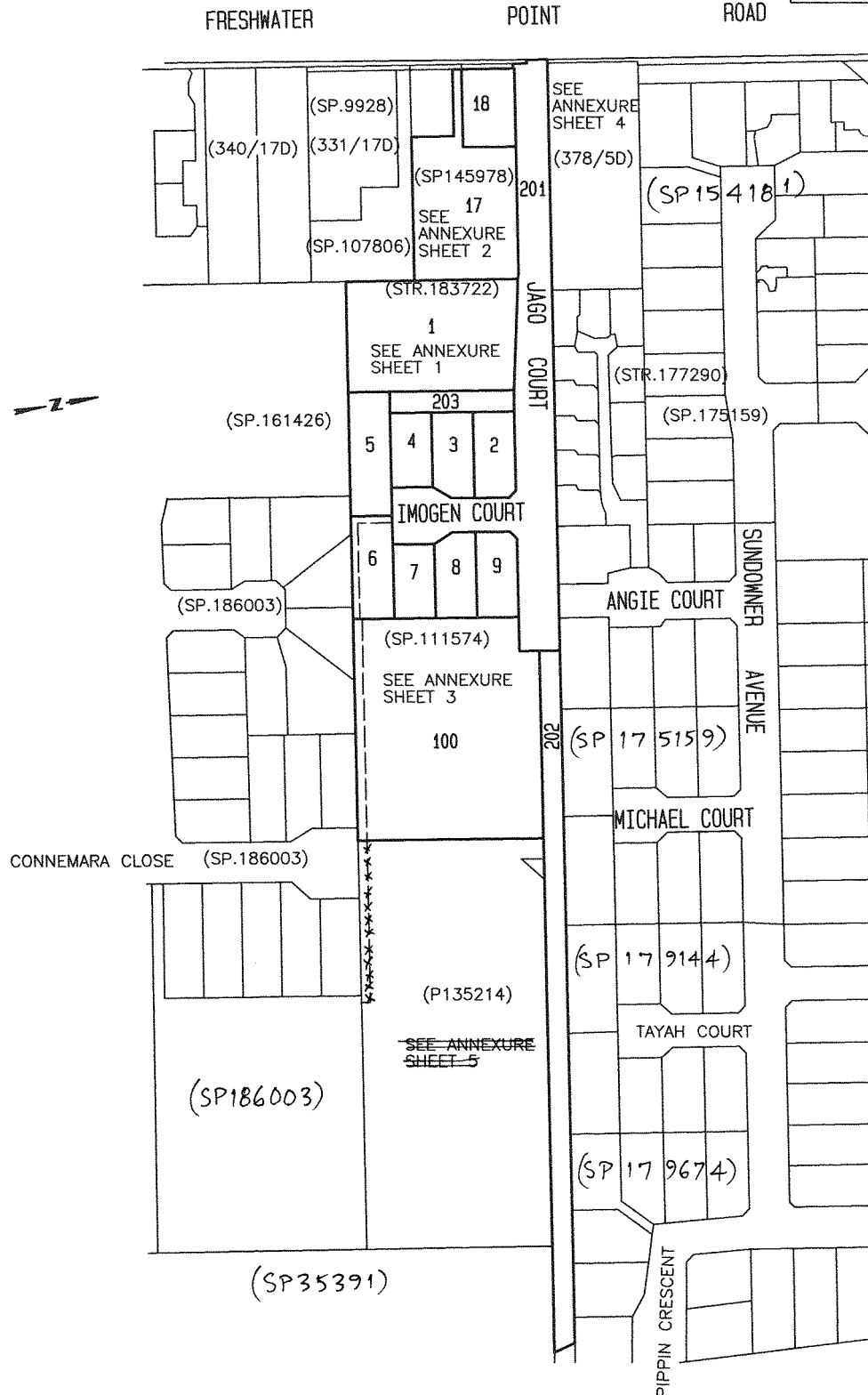
SP188090

APPROVED
EFFECTIVE FROM 10 JUL 2025



Recorder of Titles

ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN



A.J. Phillips
Registered Land Surveyor

19 Nov 24
Date

(STR168587)

[Signature]
Council Delegate

20/12/24
Date

PRIORITY FINAL PLAN

<p style="text-align: center; font-weight: bold;">PLAN OF SURVEY ANNEXURE SHEET</p> <p style="text-align: center;">SHEET 1 OF 5 SHEETS</p>	<p>OWNER: ROSSITER HOMES & DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD & MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE & CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 135214/1, CT 145978/2 & CT 145978/1.</p> <p>SCALE 1: 500 LENGTH IN METRES</p>	<p style="text-align: right;">Registered Number</p> <p style="font-size: 2em; text-align: center; font-weight: bold;">SP188090</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;"> Council Delegate </div> <div style="text-align: center;"> 20/12/24 Date </div> </div>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;"> Registered Land Surveyor </div> <div style="text-align: center;"> 19 Nov 24 Date </div> </div>	<p>APPROVED EFFECTIVE FROM 10 JUL 2025</p> <div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;"> Recorder of Titles </div> </div>

1
3707m²

203
526m²

5
1018m²

4
613m²

3
685m²

2
700m²

6
834m²

7
604m²

8
676m²

9
691m²

JAGO COURT

201
5370m²
ROAD

IMOGEN COURT

PIPELINE & SERVICES EASEMENT 3.00 WIDE

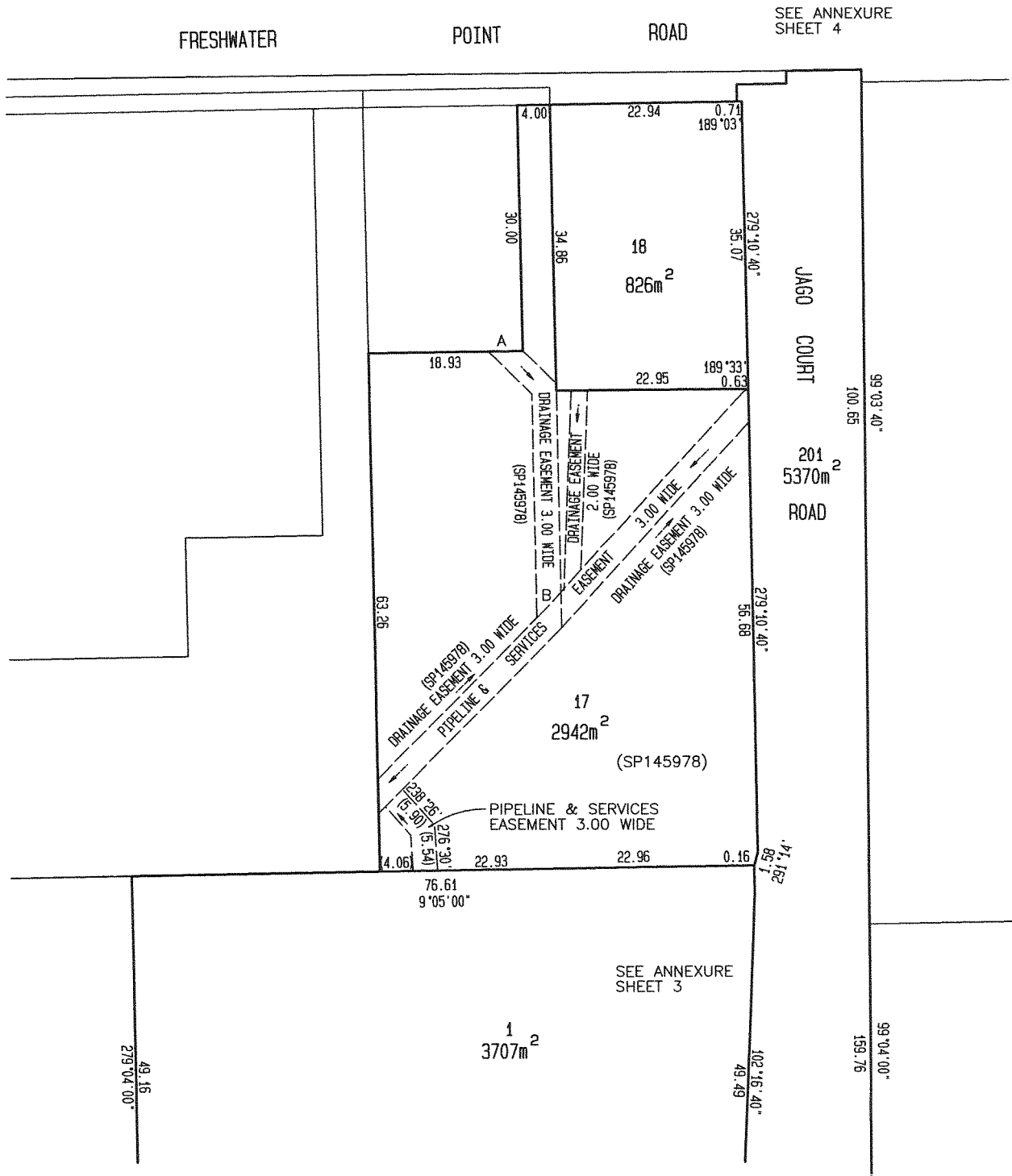
PIPELINE & SERVICES EASEMENT 3.00 WIDE

PRIORITY FINAL PLAN


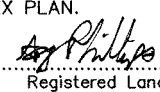
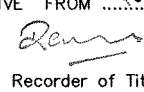
<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 2 OF 5 SHEETS</p>	<p>OWNER: ROSSITER HOMES & DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD & MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE & CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 135214/1, CT 145978/2 & CT 145978/1.</p> <p>SCALE 1: 500 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP.188090</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 20/12/24 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 19 Nov 24 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 10 JUL 2025</p> <p><i>[Signature]</i> Recorder of Titles</p>



LOT 17 IS COMPILED FROM THIS SURVEY AND CT145978/2.
LOT 18 IS COMPILED FROM THIS SURVEY AND CT145978/1.



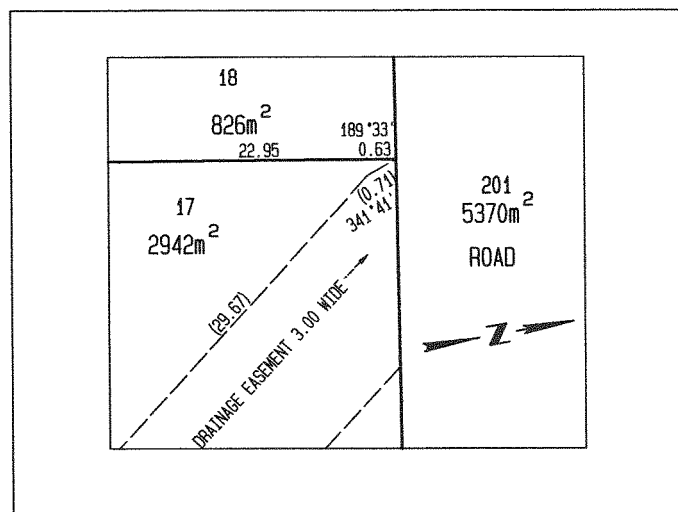
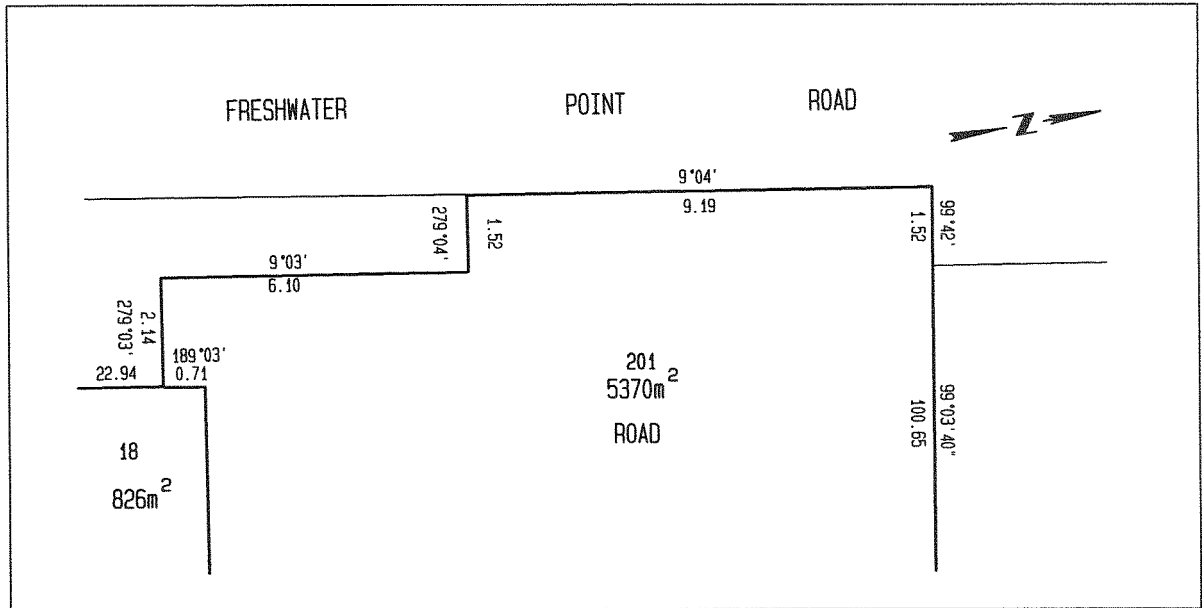
PRIORITY FINAL PLAN

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<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p> <u>22/12/24</u> Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p> 19 Nov 24 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM <u>10 JUL 2025</u></p> <p> Recorder of Titles</p>

<p>CONNEMARA CLOSE</p> <p>PIPELINE & SERVICES EASEMENT 4.00 M WIDE</p> <p>99°04'20" 97.98</p>	<table border="1"> <tr> <td>6</td> <td>7</td> <td>8</td> <td>9</td> </tr> <tr> <td colspan="4">189°19'20" 73.68</td> </tr> <tr> <td colspan="4">SEE ANNEXURE SHEET 2</td> </tr> <tr> <td colspan="4">100 7954m²</td> </tr> <tr> <td colspan="4">9°19'20" 82.54</td> </tr> <tr> <td colspan="4">(P135214)</td> </tr> </table>	6	7	8	9	189°19'20" 73.68				SEE ANNEXURE SHEET 2				100 7954m ²				9°19'20" 82.54				(P135214)				<p>201 5370m² ROAD 189°04'18.00</p> <p>202 2835m² ROADWAY</p> <p>279°04'00" 49.79</p> <p>279°03'40" 83.02</p> <p>279°04'00" 307.09</p> <p>279°04'20" 180.59</p> <p>159.76 99°04'00"</p> <p>8.84 9.16</p> <p>15.00</p> <p>SEE ANNEXURE SHEET 5</p>
6	7	8	9																							
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PRIORITY FINAL PLAN

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<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <div style="display: flex; justify-content: space-between; align-items: flex-end; margin-top: 20px;"> <div style="text-align: center;"> Council Delegate </div> <div style="text-align: center;"> 20/12/24 Date </div> </div>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <div style="display: flex; justify-content: space-between; align-items: flex-end; margin-top: 20px;"> <div style="text-align: center;"> Registered Land Surveyor </div> <div style="text-align: center;"> 19 Nov 24 Date </div> </div>	<p>APPROVED EFFECTIVE FROM 10 JUL 2025</p> <div style="text-align: center; margin-top: 20px;"> Recorder of Titles </div>



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<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <div style="display: flex; justify-content: space-between; align-items: flex-end;"> <div style="text-align: center;"> Council Delegate </div> <div style="text-align: center;"> 20/12/24 Date </div> </div>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <div style="display: flex; justify-content: space-between; align-items: flex-end;"> <div style="text-align: center;"> Registered Land Surveyor </div> <div style="text-align: center;"> 19 Nov 24 Date </div> </div>	<p>APPROVED EFFECTIVE FROM 10 JUL 2025</p> <div style="display: flex; justify-content: space-between; align-items: flex-end;"> <div style="text-align: center;"> Recorder of Titles </div> </div>

SEE ANNEXURE SHEET 3

(P135214)

SCHEDULE OF EASEMENTS

Registered Number

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.

SP 188090

PAGE 1 OF 5 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Easements

Lot 17 is SUBJECT TO a ~~Drainage Easement~~ ^{RIGHT OF DRAINAGE} (as defined herein) in gross in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE (SP145978)" on the Plan.

Lot 17 is SUBJECT TO a ~~Drainage Easement~~ ^{RIGHT OF DRAINAGE} (as defined herein) appurtenant to Lot 1 on SP107806 over the land marked A. B. "DRAINAGE EASEMENT 3.00 WIDE" ^{RIGHT OF DRAINAGE} on the plan.

Lot 17 on the Plan ("the Lot") is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE" ("the Easement Land") on the Plan.

Lot 6 on the Plan is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE" ("the Easement Land") on the Plan.

Lot 100 on the Plan and Lot 1 on P135214 (together called "the Lot") are SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 4.00 WIDE" ("the Easement Land") on the Plan.

Signatures:

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER:

Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722

FOLIO REF:

183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

SOLICITOR

& REFERENCE: RAE & PARTNERS AEC:242926

PLAN SEALED BY: WEST TAMAR COUNCIL

DATE: 20/12/24

PA2020415 & PA2024202

REF NO.

Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 2 OF 5 PAGES

Registered Number

SP 188090

SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722
FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

Covenants

The owners of Lots 1, 2, 3, 4, 5, 6, 7, 8 and 9 ("the Burdened Lots") covenant with West Tamar Council to the intent that the burden of this covenant may run with and bind the covenanter's lot and every part thereof and that the benefit shall be annexed to and devolve with the said West Tamar Council to observe the following stipulation, namely:

- (a) not to erect any habitable building on the Burdened Lots with a floor level below 32.90 metres on the Australian Height Datum (Tasmanian) 1983; and
- (b) not to erect any non-habitable building or structure on the Burdened Lots with a floor level below 32.75 metres on the Australian Height Datum (Tasmanian) 1983.

The owners of Lot 100 covenant with the owner of Lots 6, 7, 8 and 9 on the Plan to the intent that the burden of this covenant may run with and bind the covenanter's lot and every part thereof and that the benefit shall be annexed to and devolve with Lots 6, 7, 8 and 9 on the Plan that the vegetation on Lot 100 on the Plan must not exceed a low fuel state.

Fencing Covenant

The owner of each lot on the Plan covenants with Rossiter Homes & Developments Pty Ltd ("the Vendor") that the Vendor will not be required to fence any lot on the Plan.

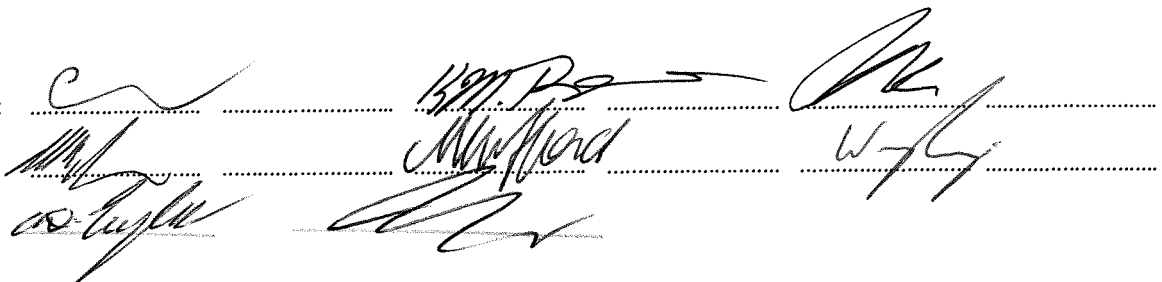
Definitions

"Pipeline and Services Easement" is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;

Signatures:



- (5) do all works reasonably required in connection with such activities or as may be authorised or required

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 3 OF 5 PAGES

Registered Number

SP 188090

SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722
FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

by any law:

- (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

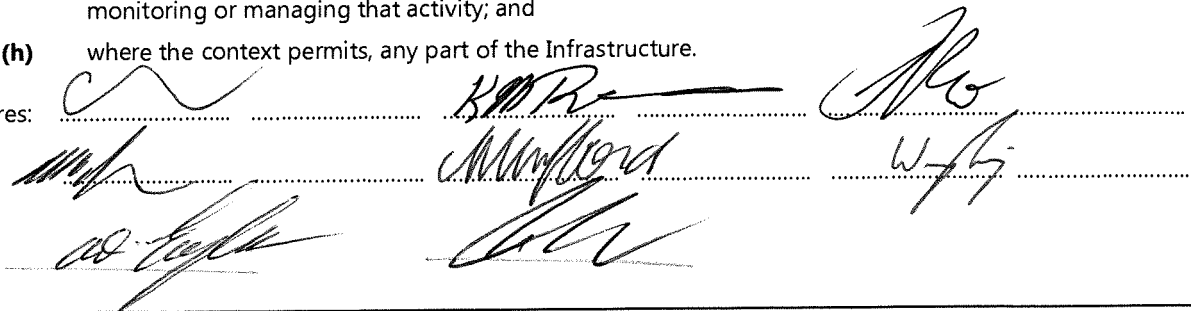
SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Signatures:



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**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 4 OF 5 PAGES

Registered Number

SP 188090

SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722
FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

"Drainage Easement" means a right of drainage in gross in favour of West Tamar Council ("the Council") and in conjunction with the exercise of that right the Council will have the power set out in the statutory definition of a "right of drainage" in Schedule 8 of the *Conveyancing and Law of Property Act 1884*.

There are no other Easements, Covenants or Profits a Prendre created to benefit or burden the said land.

Executed by **Michael Alan Clifford**

in the presence of:



Michael Alan Clifford

Witness Signature

Witness Name

Witness Address

Witness Occupation


Chelsea Louise Ford
3/113 Cimitiere St, Launceston
Legal Assistant

Executed by **Michelle Elizabeth Clifford**

in the presence of:

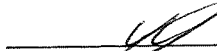

Michelle Elizabeth Clifford

Witness Signature

Witness Name


Witness Address

Witness Occupation


Chelsea Louise Ford
3/113 Cimitiere St, Launceston
Legal Assistant.

Executed by **Cameron James Whelan**

in the presence of:



Cameron James Whelan

Witness Signature

Witness Name

Witness Address

Witness Occupation


Hannah Baker
3/113 Cimitiere St, Launceston
Legal Assistant

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SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722
FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

"Drainage Easement" means a right of drainage in gross in favour of West Tamar Council ("the Council") and in conjunction with the exercise of that right the Council will have the power set out in the statutory definition of a "right of drainage" in Schedule 8 of the *Conveyancing and Law of Property Act 1884*.

There are no other Easements, Covenants or Profits a Prendre created to benefit or burden the said land.

Executed by **Michael Alan Clifford**

in the presence of:

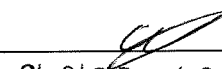

Michael Alan Clifford

Witness Signature

Witness Name

Witness Address

Witness Occupation


Chelsea Louise Ford
3/113 Cimitiere St, Launceston
Legal Assistant

Executed by **Michelle Elizabeth Clifford**

in the presence of:

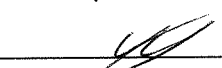

Michelle Elizabeth Clifford

Witness Signature

Witness Name

Witness Address

Witness Occupation


Chelsea Louise Ford
3/113 Cimitiere St, Launceston
Legal Assistant

Executed by **Cameron James Whelan**

in the presence of:



Cameron James Whelan

Witness Signature

Witness Name

Witness Address

Witness Occupation


Hannah Baker
3/113 Cimitiere St, Launceston
Legal Assistant

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 5 OF 5 PAGES

Registered Number

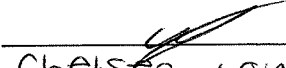
SP 188090

SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722
FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

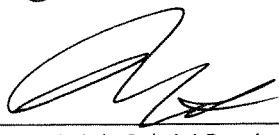
Executed by **Warren Cale Paige**
in the presence of:

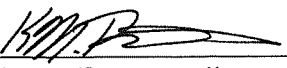

Warren Cale Paige

Witness Signature
Witness Name
Witness Address
Witness Occupation


Chelsea Louise Ford
3/113 cimitiere st, launceston
Legal Assistant.


Signed for and on behalf of
Rossiter Homes & Developments Pty Ltd
ACN 101 283 765
by its authorised officers under
S127 of the *Corporations Act 2001*


Director – Leigh Gabriel Rossiter



Director/Secretary – Karenne Rossiter

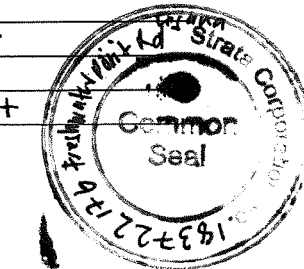
THE COMMON SEAL of the
Strata Corporation Number 183722
was affixed in the presence of:


Body Corporate Manager:
Members

X 
Angela

Witness Signature
Witness Name
Witness Address
Witness Occupation


Hannah Baker
3/113 Cimitiere St
Legal Assistant



X 
16.4.25
Melanie Louise Kerwin
Solicitor
3/113 Cimitiere Street
Launceston TAS 7250

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PROPOSED UNIT DEVELOPMENT

LOT 16 JAGO COURT,

LEGANA

ROSSITER HOMES & DEVELOPMENTS

PD25307

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	PART SITE PLAN
03	SITE DRAINAGE PLAN
04	SITE LANDSCAPING PLAN
05	LOCALITY PLAN
06	SITE TURNING MOVEMENTS
07	SHADOW DIAGRAMS

UNIT 1 BUILDING DRAWINGS

No	DRAWING
U1-01	FLOOR PLAN
U1-02	DOOR AND WINDOW SCHEDULES
U1-03	ELEVATIONS
U1-04	ELEVATIONS
U1-05	ROOF PLAN

UNIT 2 BUILDING DRAWINGS

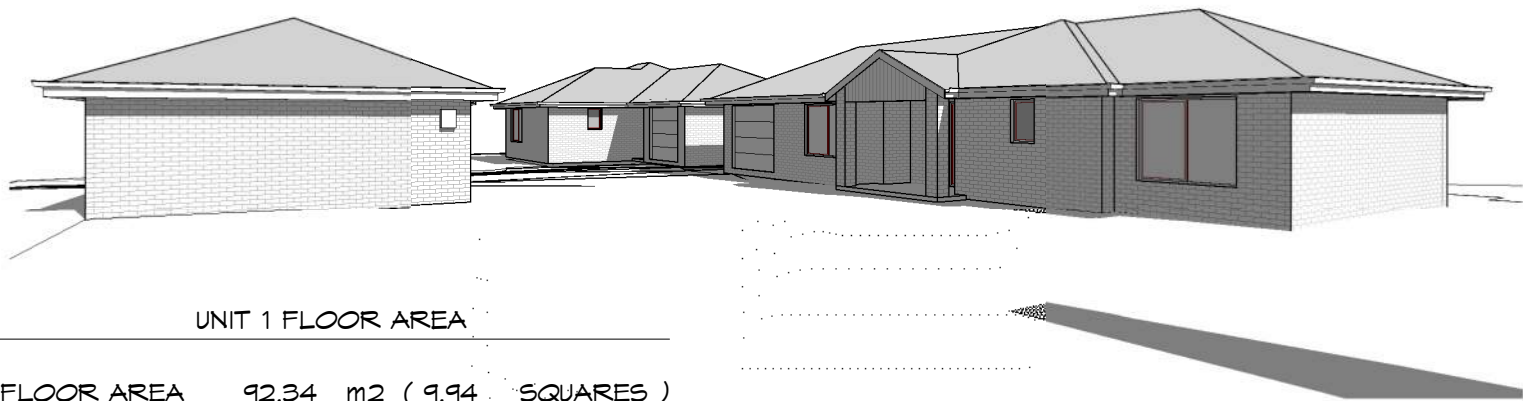
No	DRAWING
U2-01	FLOOR PLAN
U2-02	DOOR AND WINDOW SCHEDULES
U2-03	ELEVATIONS
U2-04	ELEVATIONS
U2-05	ROOF PLAN

UNIT 3 BUILDING DRAWINGS

No	DRAWING
U3-01	FLOOR PLAN
U3-02	DOOR AND WINDOW SCHEDULES
U3-03	ELEVATIONS
U3-04	ELEVATIONS
U3-05	ROOF PLAN

SHED DRAWINGS

No	DRAWING
S-01	SHED ELEVATIONS
S-02	SHED ELEVATIONS



UNIT 1 FLOOR AREA

FLOOR AREA	92.34	m2	(9.94	SQUARES)
GARAGE AREA	25.52	m2	(2.75	SQUARES)
PORCH AREA	7.11	m2	(0.76	SQUARES)
TOTAL AREA	124.97		13.45	

UNIT 2 FLOOR AREA

FLOOR AREA	93.57	m2	(10.07	SQUARES)
GARAGE AREA	25.75	m2	(2.77	SQUARES)
PORCH AREA	2.03	m2	(0.22	SQUARES)
TOTAL AREA	121.35		13.06	

UNIT 3 FLOOR AREA

FLOOR AREA	116.11	m2	(12.50	SQUARES)
PORCH AREA	1.34	m2	(0.14	SQUARES)
GARAGE AREA	41.12	m2	(4.43	SQUARES)
ALFRESCO AREA	9.92	m2	(1.07	SQUARES)
TOTAL AREA	168.49		18.14	

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REV. DATE

DESCRIPTION



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H: Shop 9, 105-111 Main Road, Moonah, 7009

p(h) +03 6228 4575

info@primedesigntas.com.au

Accredited Building Practitioner:

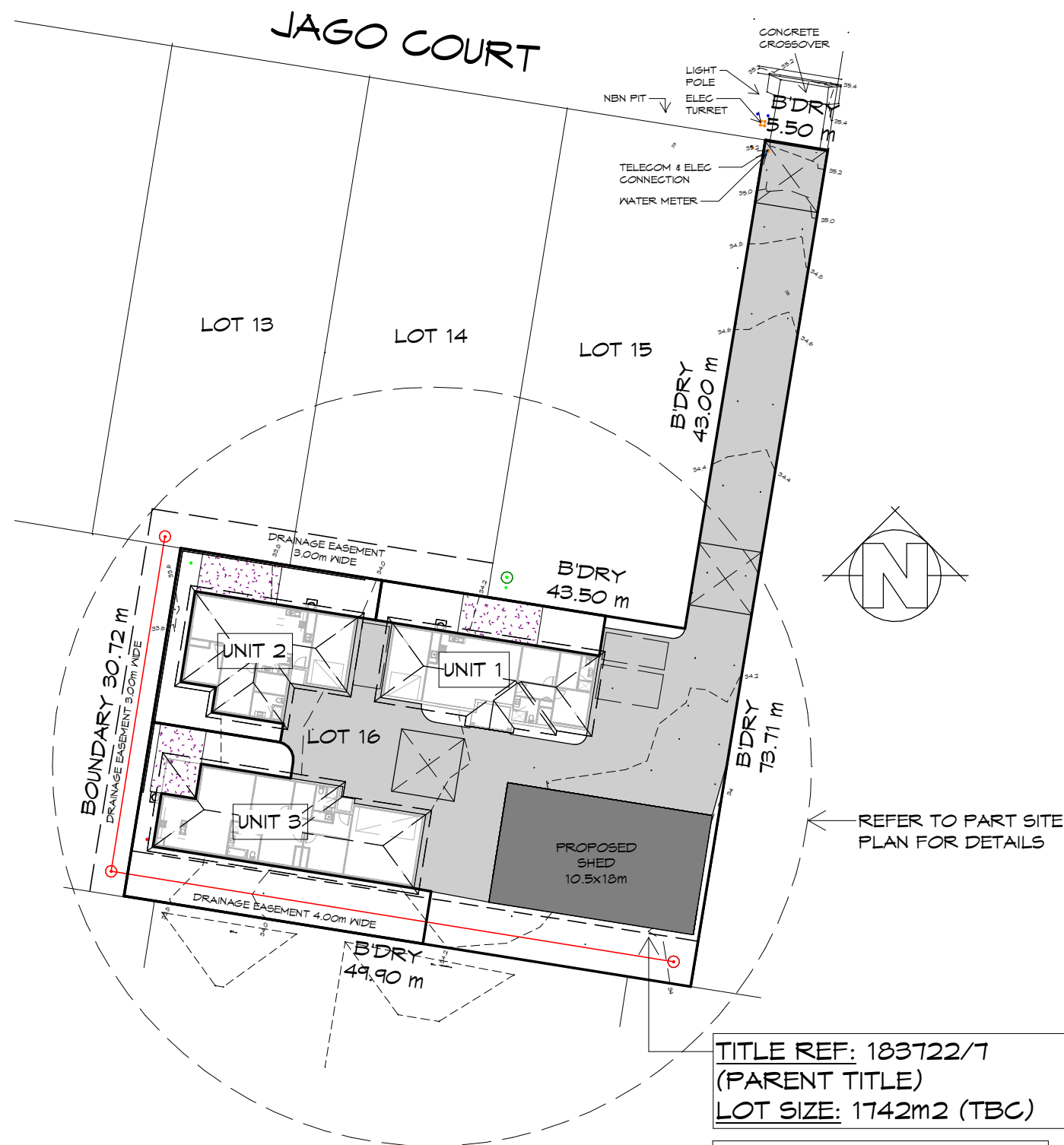
primedesigntas.com.au

Frank Geskus -No CC246A



NOVEMBER 2025

PLANNING



SITE PLAN

1 : 500

GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A.. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

SURVEYOR NOTES: DATE: 01/10/25

- THIS PLAN HAS BEEN PREPARED BY WOOLCOTT LAND SERVICES FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT USED FOR ANY OTHER PURPOSE.
- TITLE BOUNDARIES SHOWN WERE NOT MARKED AT THE TIME OF THIS SURVEY.
- SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
- WOOLCOTT LAND SERVICES CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
- THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF WOOLCOTT LAND SERVICES.
- HORIZONTAL BEARING DATUM IS MGA.
- VERTICAL DATUM IS AHD83.
- CONTOUR INTERVAL IS 0.2m INDEX IS 1.0m.
- BOUNDARIES AND EASEMENTS ARE COMPILED FROM SP188090; AND ARE APPROXIMATE AND SUBJECT TO SURVEY AND SHOWN APPROXIMATELY IN RELATION TO PROPOSED SUBDIVISION PLAN AND PEGS FOUND ON SITE
- CO-ORDINATES ARE PLANE AND BASED ON GDA2020.

Prime Design

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info@primedesigntas.com.au primedesigntas.com.au

bdoo
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT,
LEGANA

Drawing:
SITE PLAN

Date:
10/11/2025

Drafted by:
A.G.C.

Approved by:
Approver

Project/Drawing no:
PD25307 - 01

Scale:
1 : 500

Revision:
03

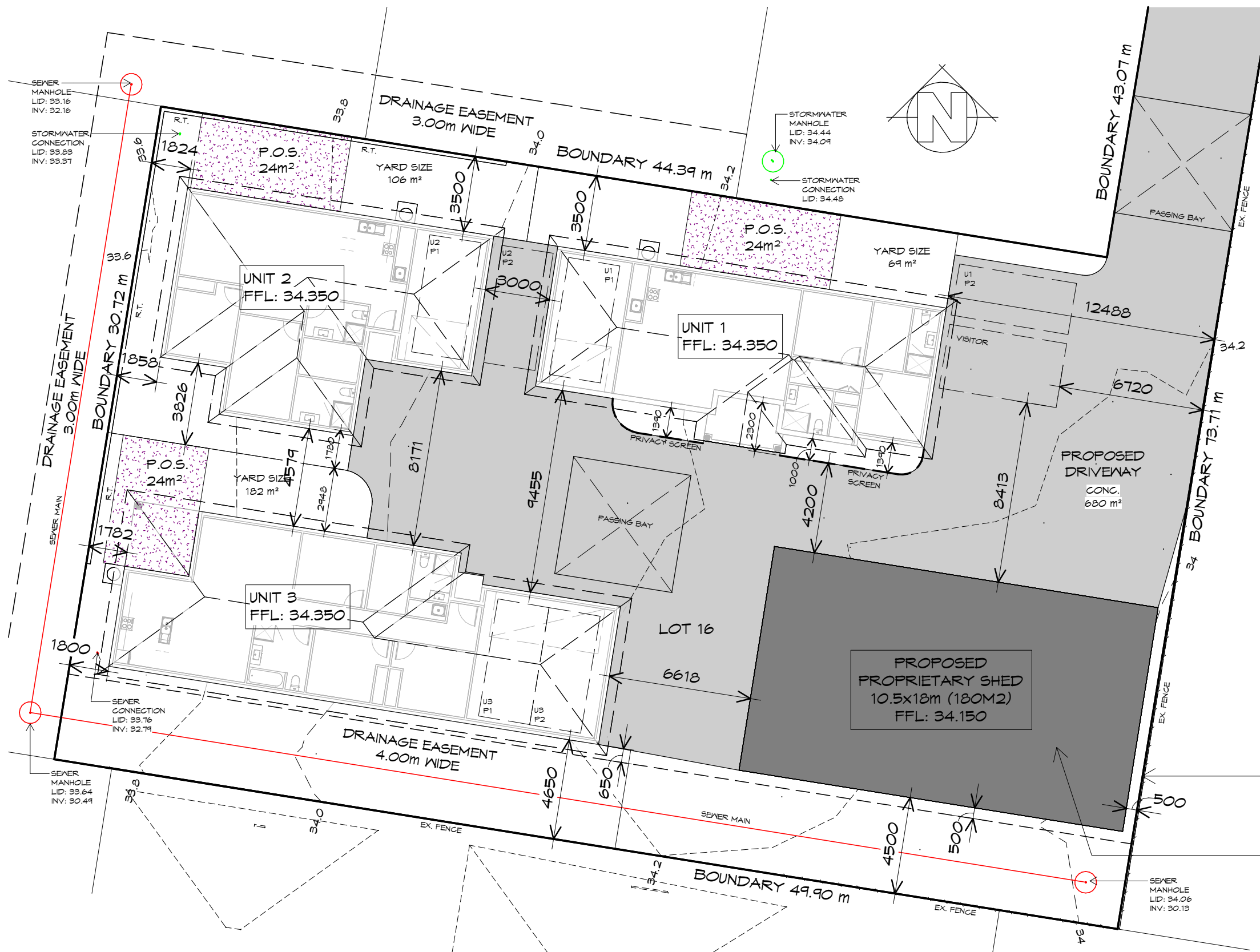
Accredited building practitioner:
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Frank Gekus - No CC246A

REV.	DATE	DESCRIPTION
------	------	-------------

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
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- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

DRIVEWAY GRADIENT

MAXIMUM GRADIENT 1:4 (25%)
TO AS 2890

CAR PARKING GRADIENT

PARALLEL TO PARKING ANGLE 1:20 (5%)
CROSSFALL 1:16 (6.25%)

NOTE: TITLE BOUNDARIES TO
BE CONFIRMED ONCE NEW
TITLES HAVE BEEN RELEASED

REFER TO SHED MANUFACTURERS
DRAWINGS FOR SHED ELEVATIONS AND ALL
DETAILS PREPARED BY EUREKA SHEDS

PART SITE PLAN

1 : 200

REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
ROSSITER HOMES & DEVELOPMENTS

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT,
LEGANA

Drawing:
PART SITE PLAN

Prime Design

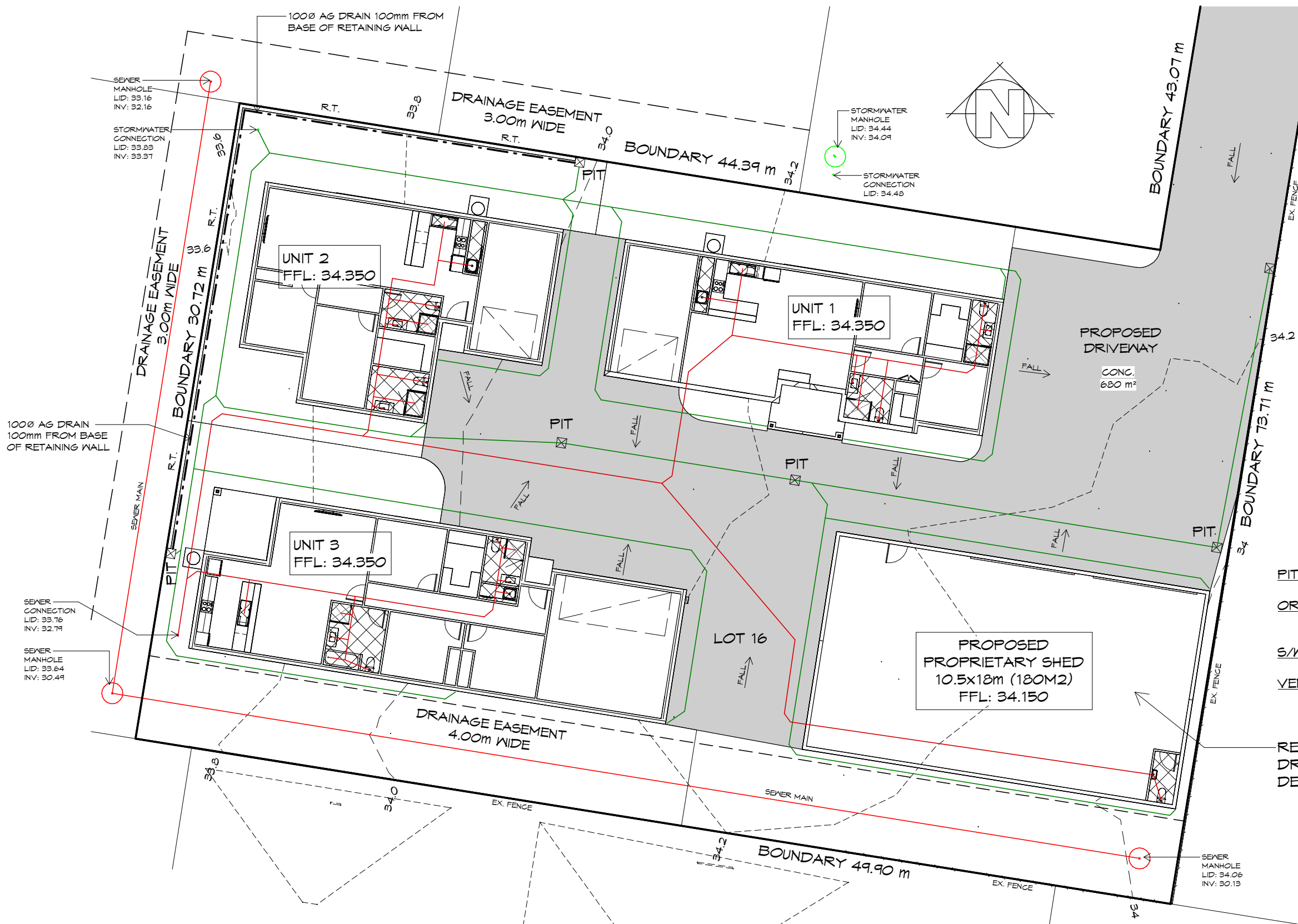
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

Date:	Drafted by:	Approved by:
10/11/2025	A.G.C.	Approver

Project/Drawing no:	Scale:	Revision:
PD25307 - 02	As indicated	03

Accredited building practitioner: Frank Gekus - No CC246A
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LEGEND

- PIT  450X 450 SURFACE DRAINAGE PIT
-  WET AREAS
-  SEWER LINE
-  STORMWATER LINE
-  1000 AG DRAIN

SEWER AND WATER SERVICES

- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
- WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER AS/NZS 3500.2021 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

REFER TO SHED MANUFACTURERS DRAWINGS FOR SHED ELEVATIONS AND ALL DETAILS PREPARED BY EUREKA SHEDS

SITE DRAINAGE PLAN

1 : 200



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H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



REV.	DATE	DESCRIPTION
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Client name:
ROSSITER HOMES & DEVELOPMENTS

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT,
LEGANA

Drawing:
SITE DRAINAGE PLAN

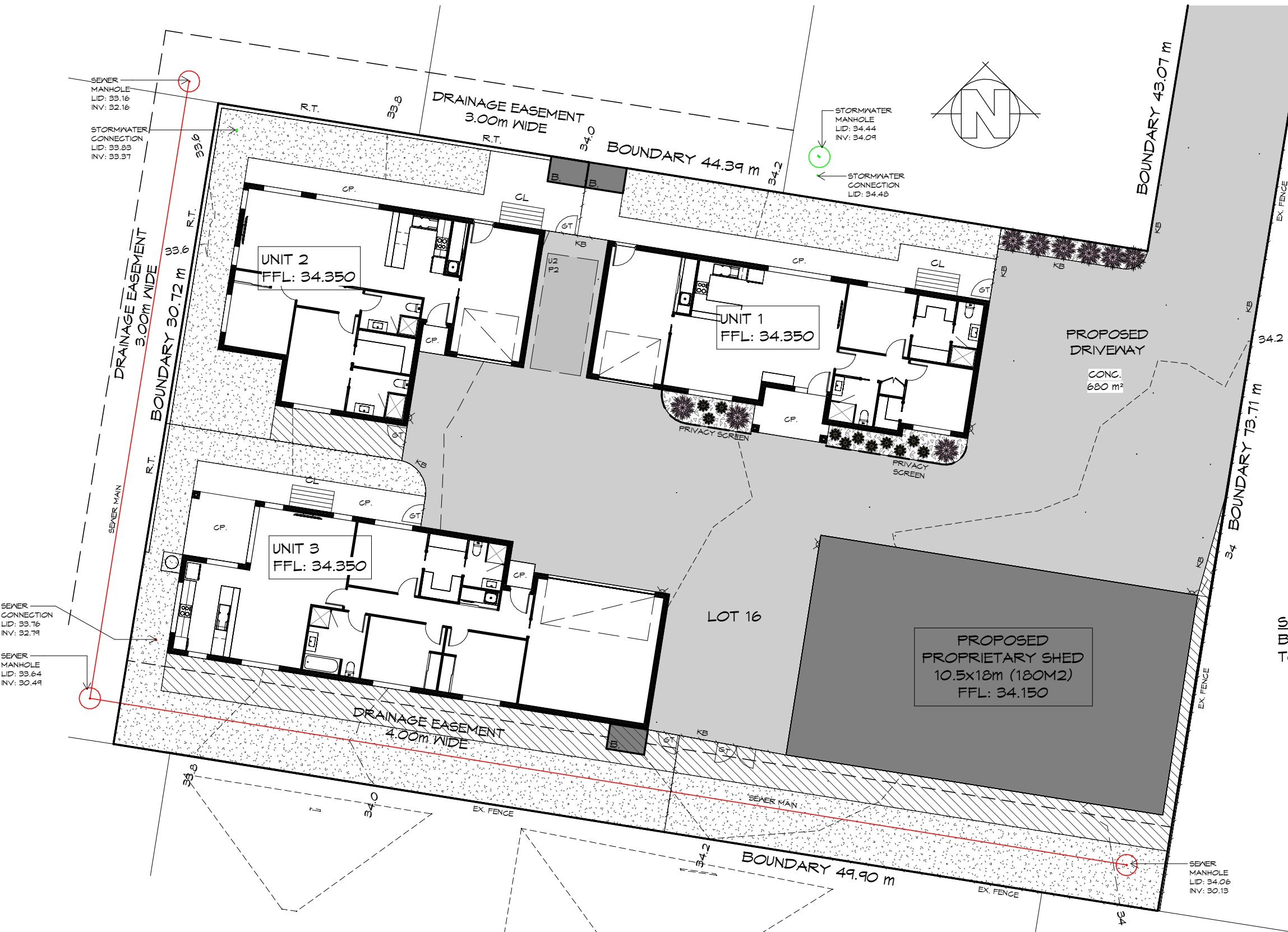
Date:	Drafted by:	Approved by:
10/11/2025	A.G.C.	Approver

Project/Drawing no:	Scale:	Revision:
PD25307 - 03	As indicated	03

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SITE LANDSCAPING PLAN

1 : 200



LEGEND

- PROPOSED GROUNDCOVER/GRASS - Sa, Lo
- GRAVEL / MULCH PATH
- LAWN
- MULCH OR SIMILAR
- CONCRETE PATH/PAVING
- CONCRETE DRIVEWAY
- WASTE STORAGE 1.5m2
- GATE
- FENCE 1.8m HIGH
- SECURITY LIGHTS
- KERB
- CLOTHES LINES - WALL MOUNT
- ISLAND BLOCK & PAVING FREESTONE ECO RETAINING WALL SYSTEM OR SIMILAR

SITE COVERAGE
BUILDING FOOTPRINT 586.8 /SITE AREA 1742 = 0.337
TOTAL SITE COVERAGE 33.7%

PLANTING SCHEDULE

ABB.	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT & SPREAD	POT SIZE	DENSITY
LAUNCESTON GRASSES / GROUNDCOVERS					
Sa	SCAEVOLA AEMULA	MAUVE CLUSTERS	500mm x 800mm	140mm	1 per 1m2
Lo	LOMANDRA LONGIFOLIA	MAT RUSH	1000mm x 1000mm	140mm	1 per 1m2



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Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT,
LEGANA

Drawing:
SITE LANDSCAPING PLAN

Date:
10/11/2025

Drafted by:
A.G.C.

Approved by:
Approver

Project/Drawing no:
PD25307 - 04

Scale:
1 : 200

Revision:
03

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Frank Gekus -No CC246A

REV. DATE DESCRIPTION

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **REQUIRES A BUSHFIRE ASSESSMENT**.
RESIDENCE IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN

BUILDINGS/DWELLINGS ON INTERNAL LOTS WITH FRONTAGE SETBACK LESS THAN 4.5m

LOCALITY PLAN
1 : 3000



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REV.	DATE	DESCRIPTION
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Client name:
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PLANNING
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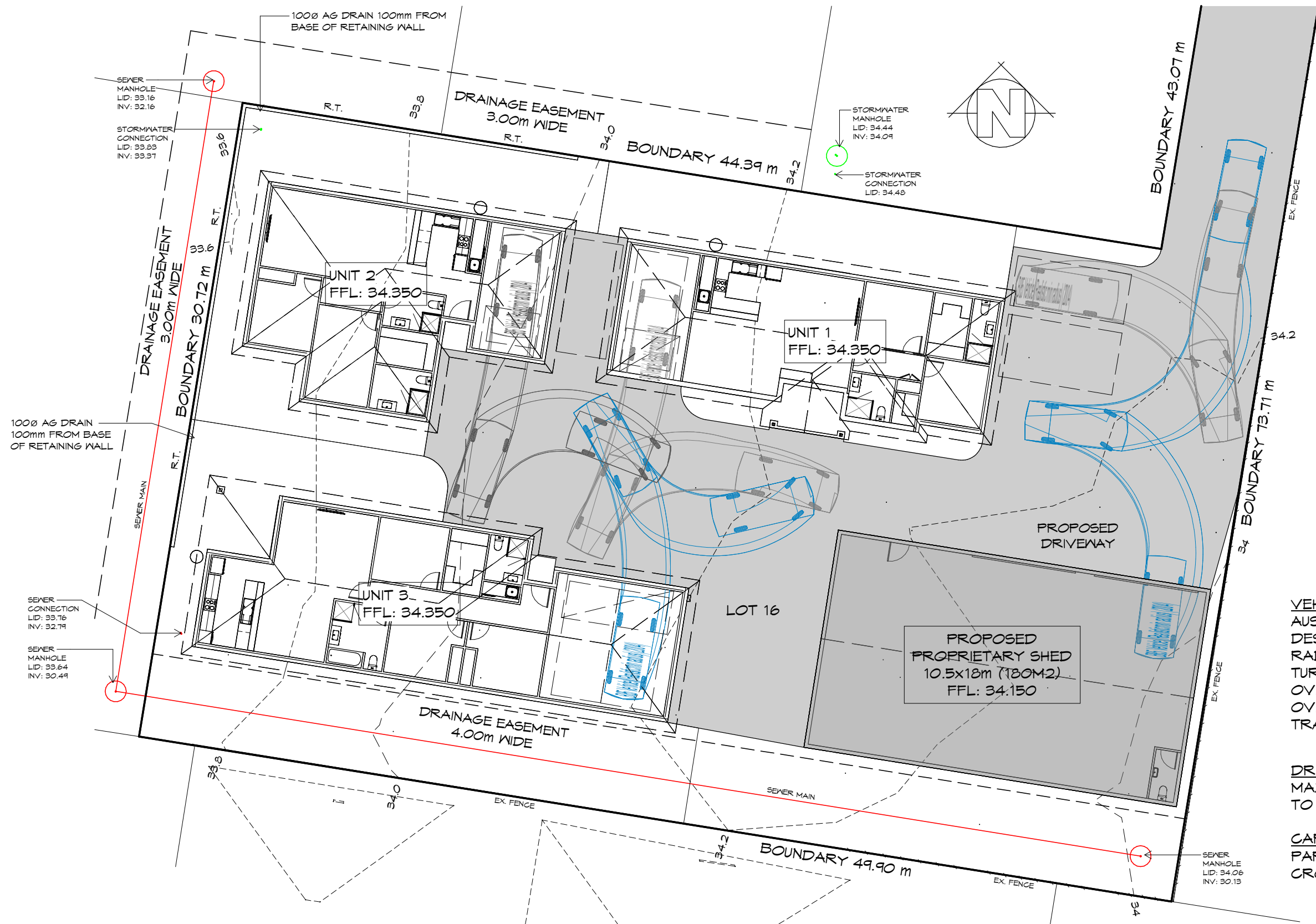
Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT,
LEGANA

Drawing:
LOCALITY PLAN

Date: 10/11/2025	Drafted by: A.G.C.	Approved by: Approver
---------------------	-----------------------	--------------------------

Project/Drawing no: PD25307 - 05	Scale: 1 : 3000	Revision: 03
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VEHICLE TURNING CIRCLES
AUSTROADS
DESIGN PASSENGER VEHICLE (5.2m)
RADIUS: 6.3m
TURNING SPEED: 0.5Km/h
OVERALL LENGTH: 5.200m
OVERALL WIDTH: 1.940m
TRACK WIDTH: 1.840m

DRIVEWAY GRADIENT
MAXIMUM GRADIENT 1:4 (25%)
TO AS 2890

CAR PARKING GRADIENT
PARALLEL TO PARKING ANGLE 1:20 (5%)
CROSSFALL 1:16 (6.25%)

SITE TURNING MOVEMENTS

1 : 200



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REV.	DATE	DESCRIPTION
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Client name:
ROSSITER HOMES & DEVELOPMENTS

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

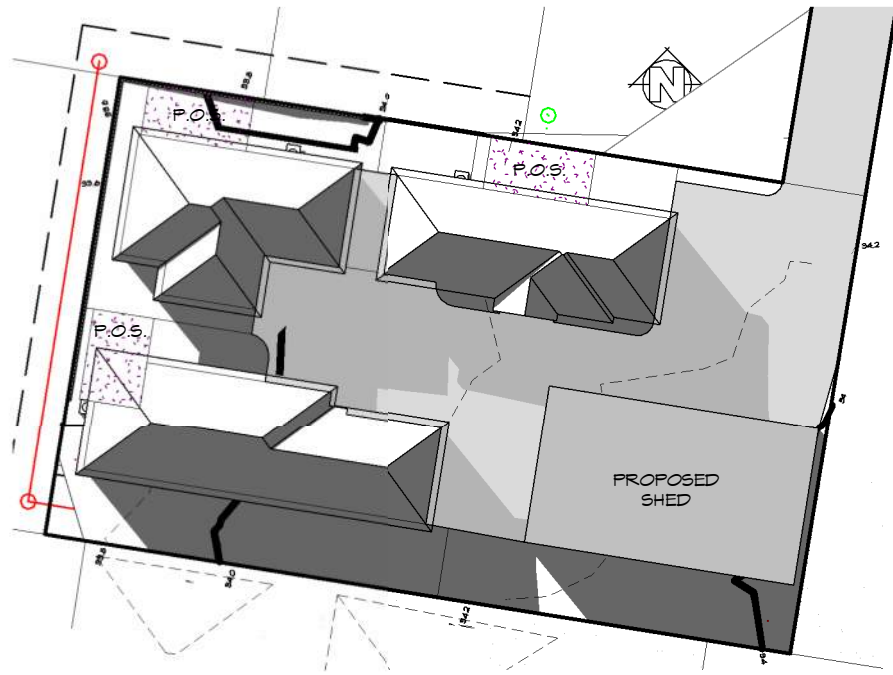
Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT,
LEGANA

Drawing:
SITE TURNING MOVEMENTS

Date:	Drafted by:	Approved by:
10/11/2025	A.G.C.	Approver

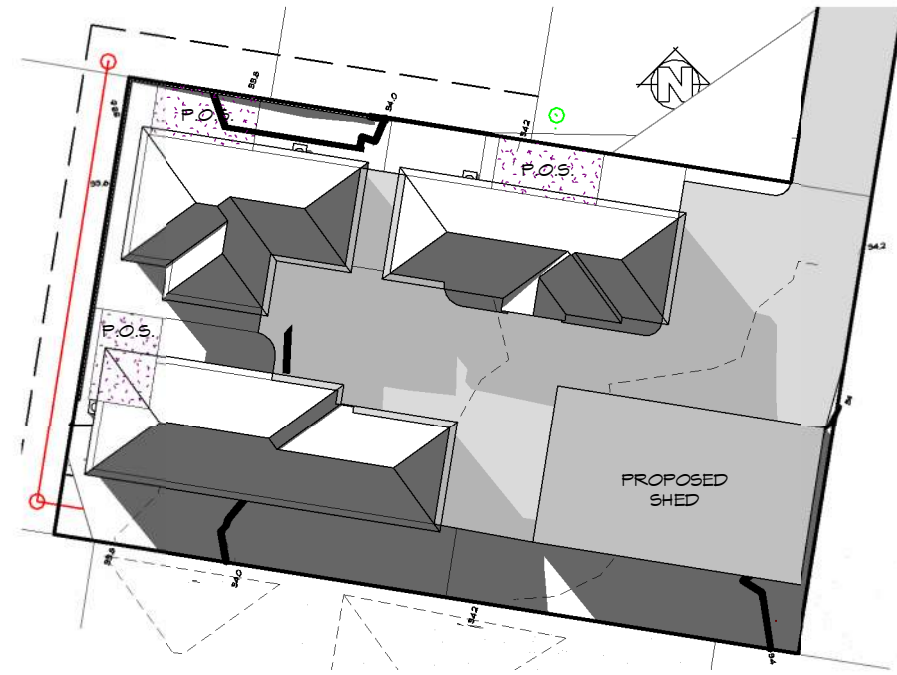
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PD25307 - 06	1 : 200	03

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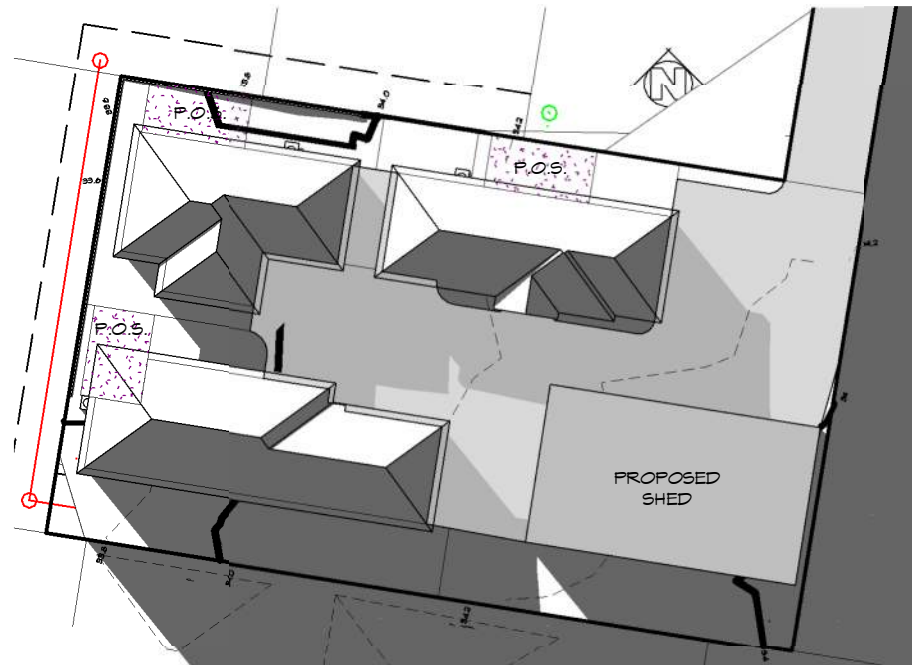
SHADOW DIAGRAM 21ST JUNE @ 9am

1 : 500



SHADOW DIAGRAM 21ST JUNE @ 12PM

1 : 500



SHADOW DIAGRAM 21ST JUNE @ 3PM

1 : 500



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info@primedesigntas.com.au primedesigntas.com.au



REV.	DATE	DESCRIPTION

Client name:
ROSSITER HOMES & DEVELOPMENTS

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT,
LEGANA

Drawing:
SHADOW DIAGRAMS

Date:	Drafted by:	Approved by:
10/11/2025	A.G.C.	Approver

Project/Drawing no:	Scale:	Revision:
PD25307 - 07	1 : 500	03

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UNIT 1 - FLOOR PLAN

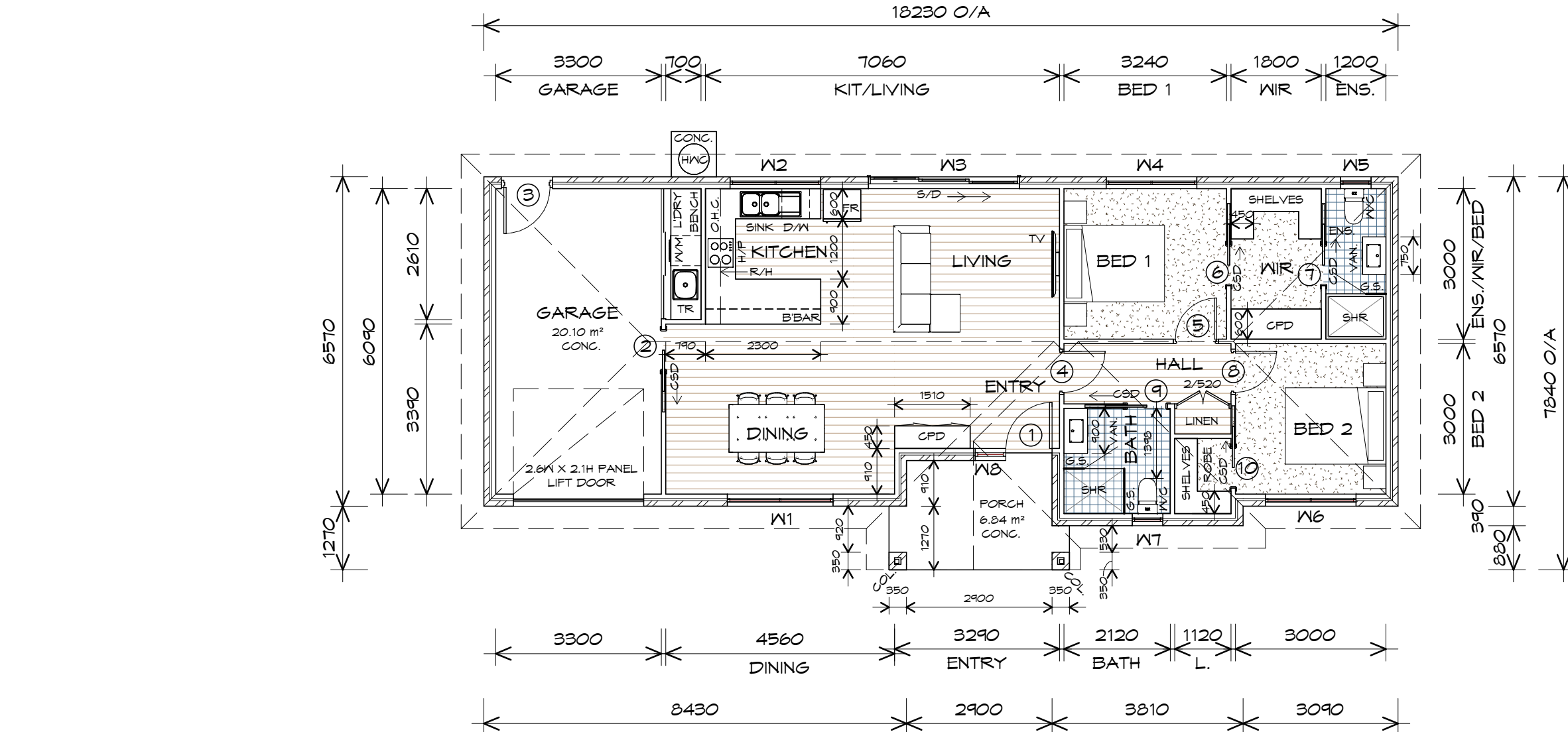
1 : 100

FLOOR AREA	92.34	m2	(9.94	SQUARES)
GARAGE AREA	25.52	m2	(2.75	SQUARES)
PORCH AREA	7.11	m2	(0.76	SQUARES)
TOTAL AREA	124.97	m2	13.45	SQUARES

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

WINDOW WITHIN WET AREA
C/W SAFETY GLASS AS PER AS1288.2021
BEVEL WINDOW SEAL
RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

NOTE:
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING



LEGEND

- CSD CAVITY SLIDING DOOR
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- O.H.C. OVERHEAD CUPBOARD
- S/L SIDELIGHT

Client name: ROSSITER HOMES & DEVELOPMENTS

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project: PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA
Drawing: FLOOR PLAN

Date: 10/11/2025
Drafted by: A.G.C.
Approved by: A.G.C.

Project/Drawing no: PD25307 - U1-01
Scale: 1 : 100
Revision: 01

Accredited building practitioner: Frank Gekus -No CC246A
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DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL ENTRY DOOR	
2	820	CAVITY SLIDING DOOR	
3	920	EXTERNAL HALF GLASS	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	CAVITY SLIDING DOOR	
7	820	CAVITY SLIDING DOOR	
8	820	INTERNAL TIMBER DOOR	
9	820	CAVITY SLIDING DOOR	
10	820	CAVITY SLIDING DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1500	2110	AWNING WINDOW	
W2	1000	1810	AWNING WINDOW	
W3	2100	3010	STACKING SLIDING DOOR	
W4	1500	1810	AWNING WINDOW	
W5	900	610	AWNING WINDOW	OPAQUE
W6	1500	1810	AWNING WINDOW	
W7	900	610	AWNING WINDOW	OPAQUE
W8	2100	610	FIXED WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS TO SUIT ??? **BAL** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING



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REV.	DATE	DESCRIPTION
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Client name:
ROSSITER HOMES & DEVELOPMENTS

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

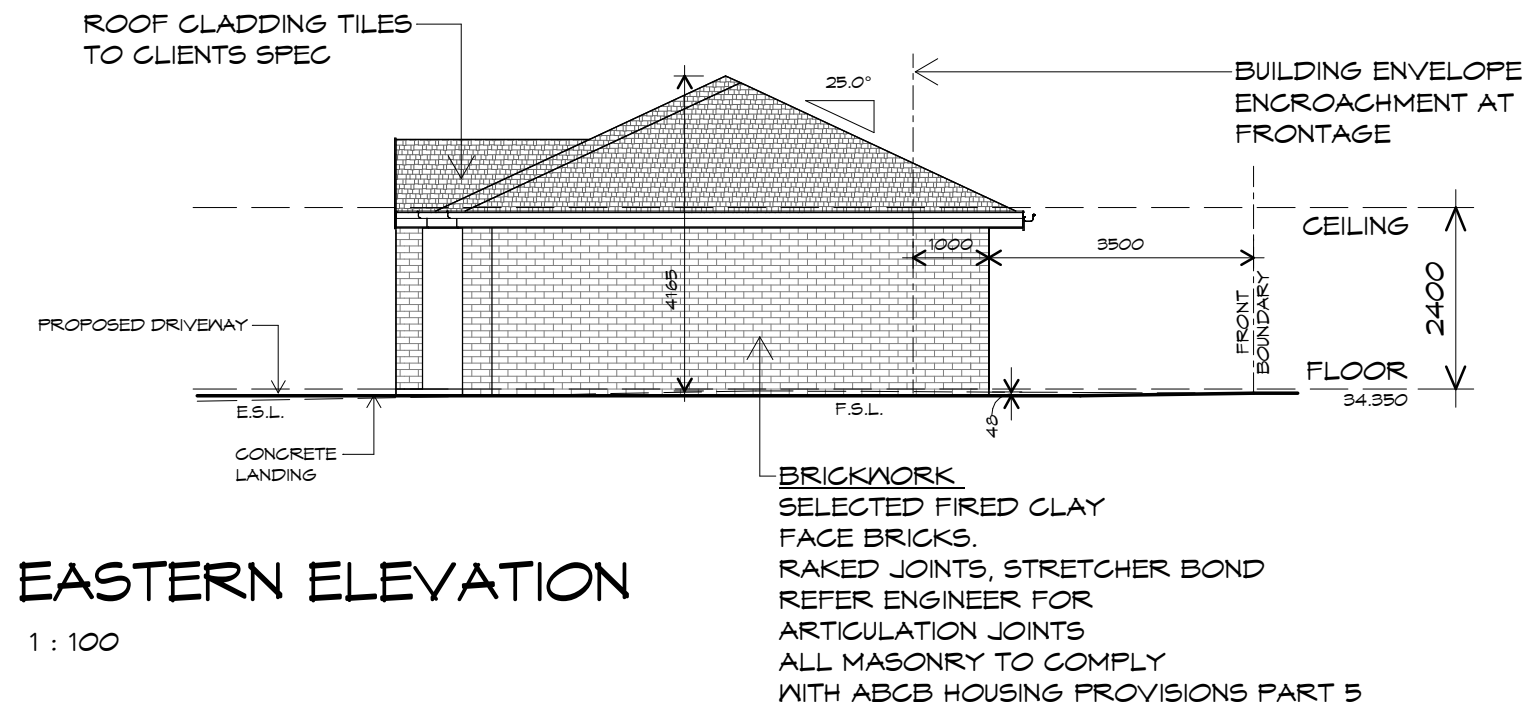
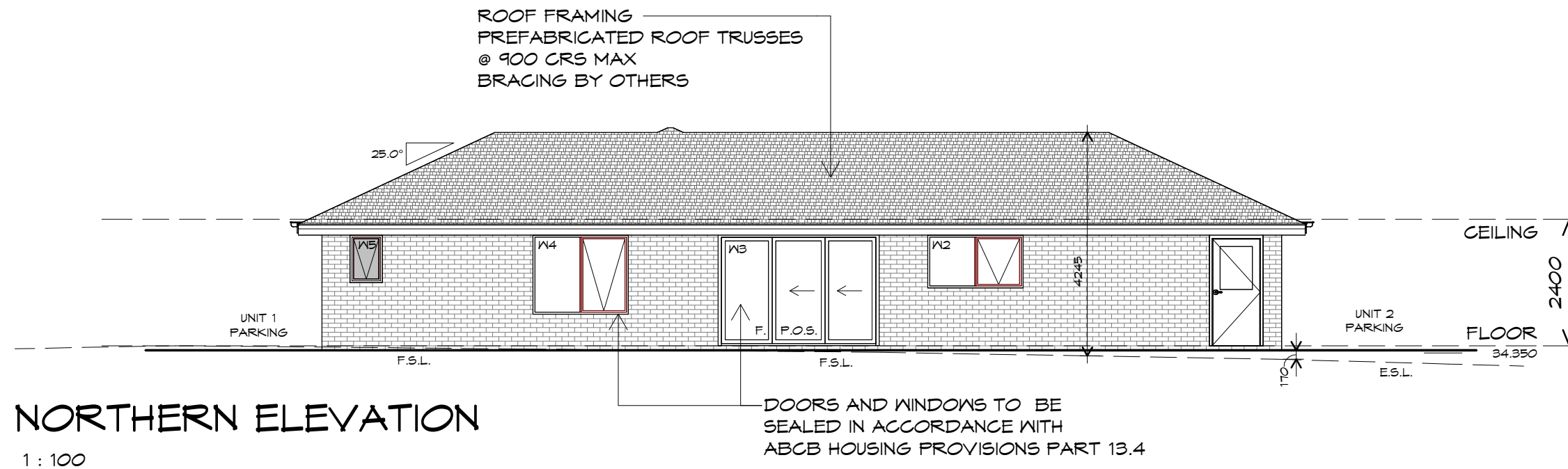
Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA

Drawing:
DOOR AND WINDOW SCHEDULES

Date: 10/11/2025	Drafted by: A.G.C.	Approved by: Approver
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Project/Drawing no: PD25307 - U1-02	Scale:	Revision: 01
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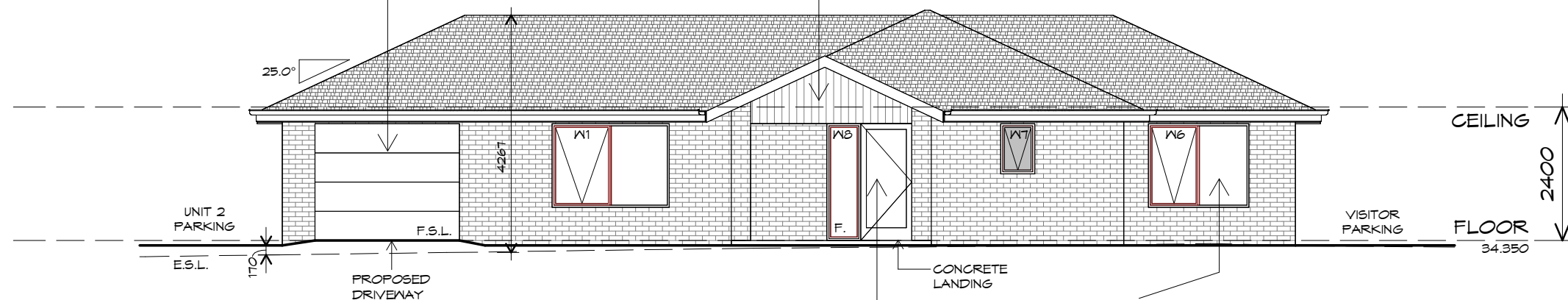
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UNIT 1		Client name:	Project:	Date:	Drafted by:	Approved by:
REV. DATE		DESCRIPTION	ROSSITER HOMES & DEVELOPMENTS	10/11/2025	A.G.C.	A.G.C.
			PLANNING	Project/Drawing no:	Scale:	Revision:
			NOTE: DO NOT SCALE OFF DRAWINGS	PD25307 - U1-03	1 : 100	01
				Accredited building practitioner: Frank Geskus - No CC246A		
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				Drawing: ELEVATIONS		

PANEL LIFT DOOR 2600 WIDE x 2100 HIGH CLADDING PANELS TO CLIENTS SPEC FIXED IN ACCORDANCE WITH MANUFACTURERS SPEC

SCYON AXON CLADDING (ON BATTENS)
INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS.



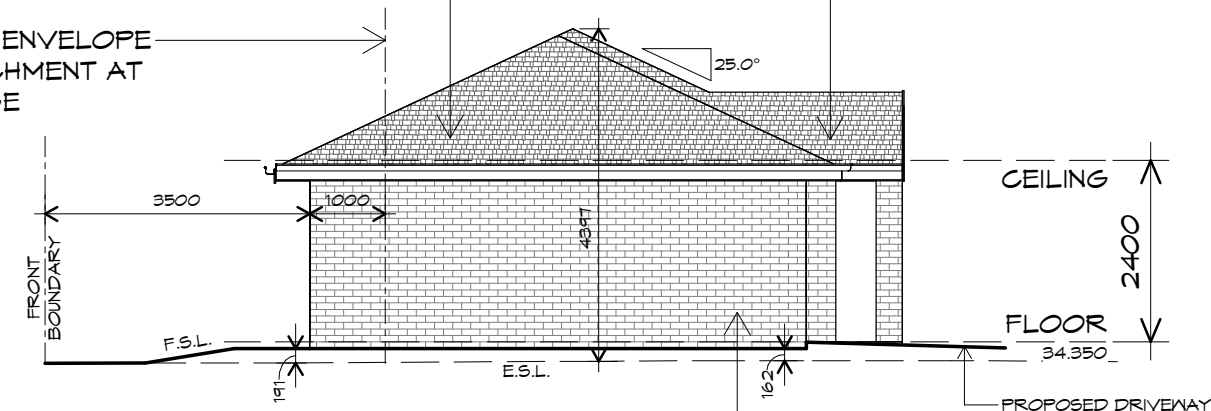
SOUTHERN ELEVATION

1 : 100

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

BUILDING ENVELOPE
ENCROACHMENT AT
FRONTAGE

ROOF CLADDING TILES
TO CLIENTS SPEC



WESTERN ELEVATION

1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCB HOUSING PROVISIONS PART 5

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ASSOCIATION OF AUSTRALIA

UNIT 1

Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA

Drawing:
ELEVATIONS

Date: 10/11/2025
Drafted by: A.G.C.
Approved by: A.G.C.

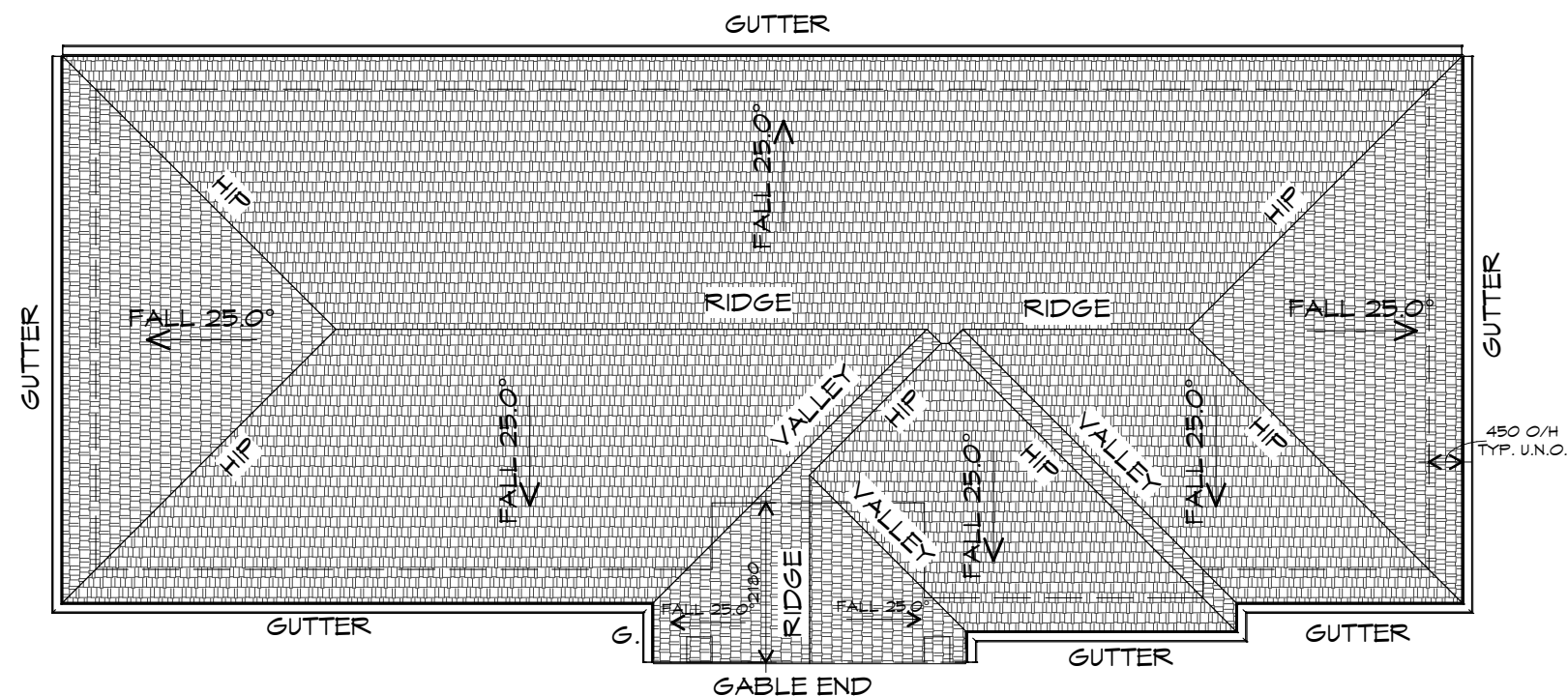
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REV. DATE DESCRIPTION

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



ROOF PLAN

1 : 100

TILE ROOF

ROOF TILES TO COMPLY WITH AS2049
ROOF PITCH NOT LESS THAN 15° AND NO MORE
THAN 35°. TILES TO BE FIXED IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.3.2.
TILE FLASHINGS IN ACCORDANCE WITH ABCB
HOUSING PROVISIONS PART 7.3.2.
SARKING IN ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 7.3.4 C/W ANTI-PONDING
DEVICE/BOARD AS PER ABCB HOUSING
PROVISIONS PART 7.3.5. TILES TO EAVES
GUTTER MUST OVERHANG MIN 35mm AS PER
ABCB HOUSING PROVISIONS PART 7.3.6

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.

SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

REV.	DATE	DESCRIPTION

UNIT 1

Client name:
ROSSITER HOMES & DEVELOPMENTS

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA

Drawing:
ROOF PLAN

Prime Design

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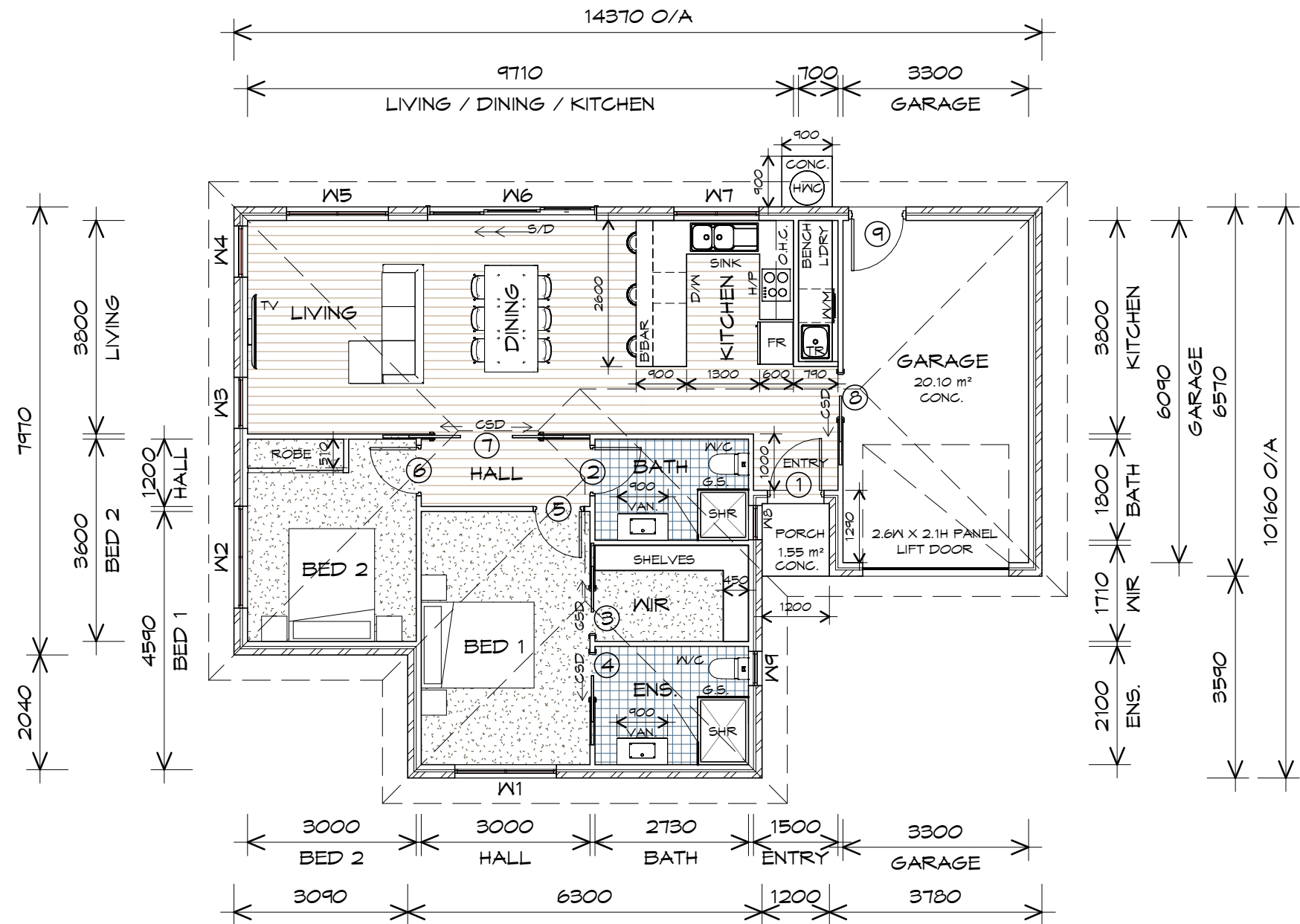
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Date: 10/11/2025	Drafted by: A.G.C.	Approved by: A.G.C.
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Project/Drawing no: PD25307 - U1-05	Scale: 1 : 100	Revision: 01
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LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- O.H.C. OVERHEAD CUPBOARD

UNIT 2 - FLOOR PLAN

1 : 100

FLOOR AREA	93.57	m ²	(10.07 SQUARES)
GARAGE AREA	25.75	m ²	(2.77 SQUARES)
PORCH AREA	2.03	m ²	(0.22 SQUARES)
TOTAL AREA	121.35	m ²	13.06 SQUARES

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

NOTE:
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

WINDOW WITHIN WET AREA
C/W SAFETY GLASS AS PER AS1288.2021
BEVEL WINDOW SEAL
RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

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REV. DATE DESCRIPTION

Client name:
ROSSITER HOMES & DEVELOPMENTS

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA
Drawing:
FLOOR PLAN



Date: 10/11/2025
Drafted by: A.G.C.
Approved by: A.G.C.

Project/Drawing no: PD25307 - U2-01
Scale: 1 : 100
Revision: 01

Accredited building practitioner: Frank Gekus - No CC246A
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DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	GLAZED EXTERNAL DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	CAVITY SLIDING DOOR	
4	820	CAVITY SLIDING DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	920	2/920 CAVITY SLIDING DOOR	
8	820	CAVITY SLIDING DOOR	
9	920	EXTERNAL HALF GLASS	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1500	1810	AWNING WINDOW	
W2	1500	1810	AWNING WINDOW	
W3	1800	910	AWNING WINDOW	
W4	1800	910	AWNING WINDOW	
W5	1500	1810	AWNING WINDOW	
W6	2100	3010	STACKING SLIDING DOOR	
W7	1000	1510	AWNING WINDOW	
W8	900	610	AWNING WINDOW	OPAQUE
W9	900	610	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
WITH FLY SCREENS TO SUIT ??? BAL RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING



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UNIT 2

Client name:
ROSSITER HOMES & DEVELOPMENTS

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA

Drawing:
DOOR AND WINDOW SCHEDULES

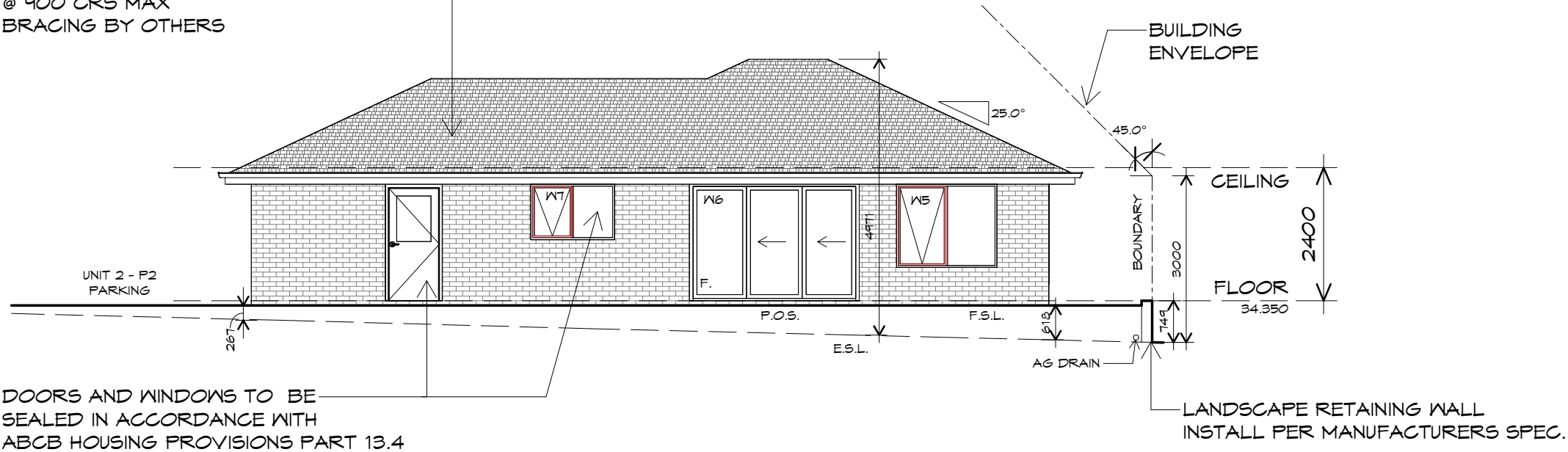
Date: 10/11/2025
Drafted by: A.G.C.
Approved by: Approver

Project/Drawing no: PD25307 - U2-02
Scale:
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A
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REV. DATE DESCRIPTION

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

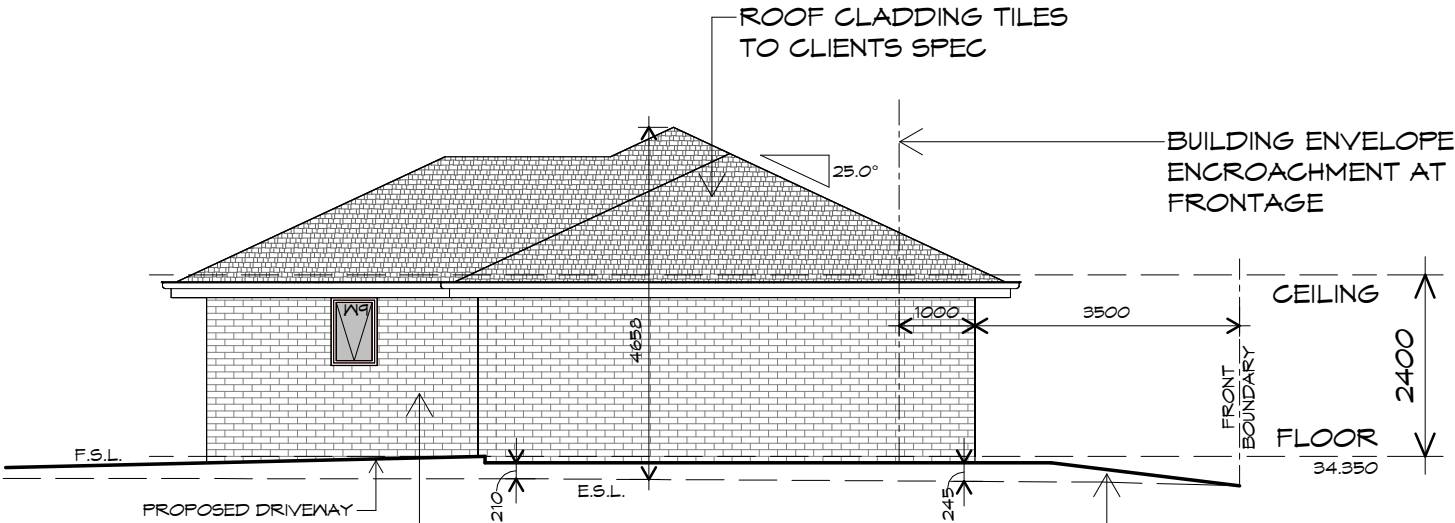


DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 13.4

LANDSCAPE RETAINING WALL
INSTALL PER MANUFACTURERS SPEC.

NORTHERN ELEVATION

1 : 100



EASTERN ELEVATION

1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCB HOUSING PROVISIONS PART 5

BATTER NOTE
BATTER AS PER
ABCB HOUSING PROVISIONS
PART 3.2.1.
REFER TO STANDARD
DETAILS TABLE



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REV. DATE DESCRIPTION

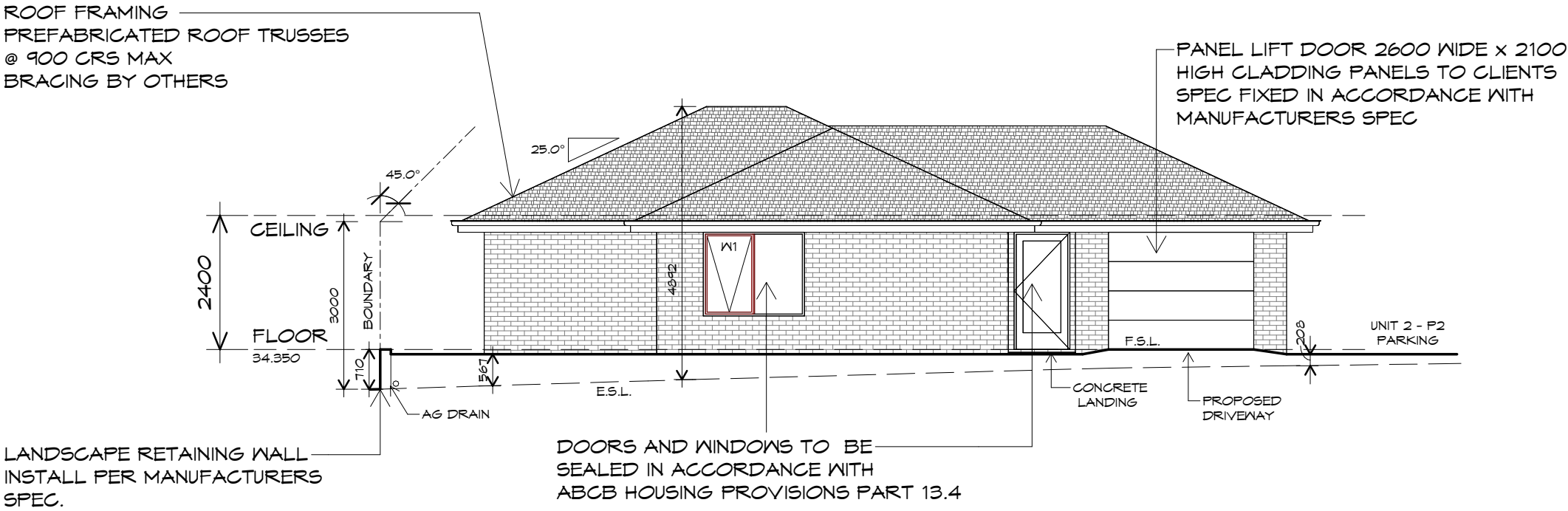
UNIT 2 Client name:
ROSSITER HOMES & DEVELOPMENTS

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA
Drawing:
ELEVATIONS

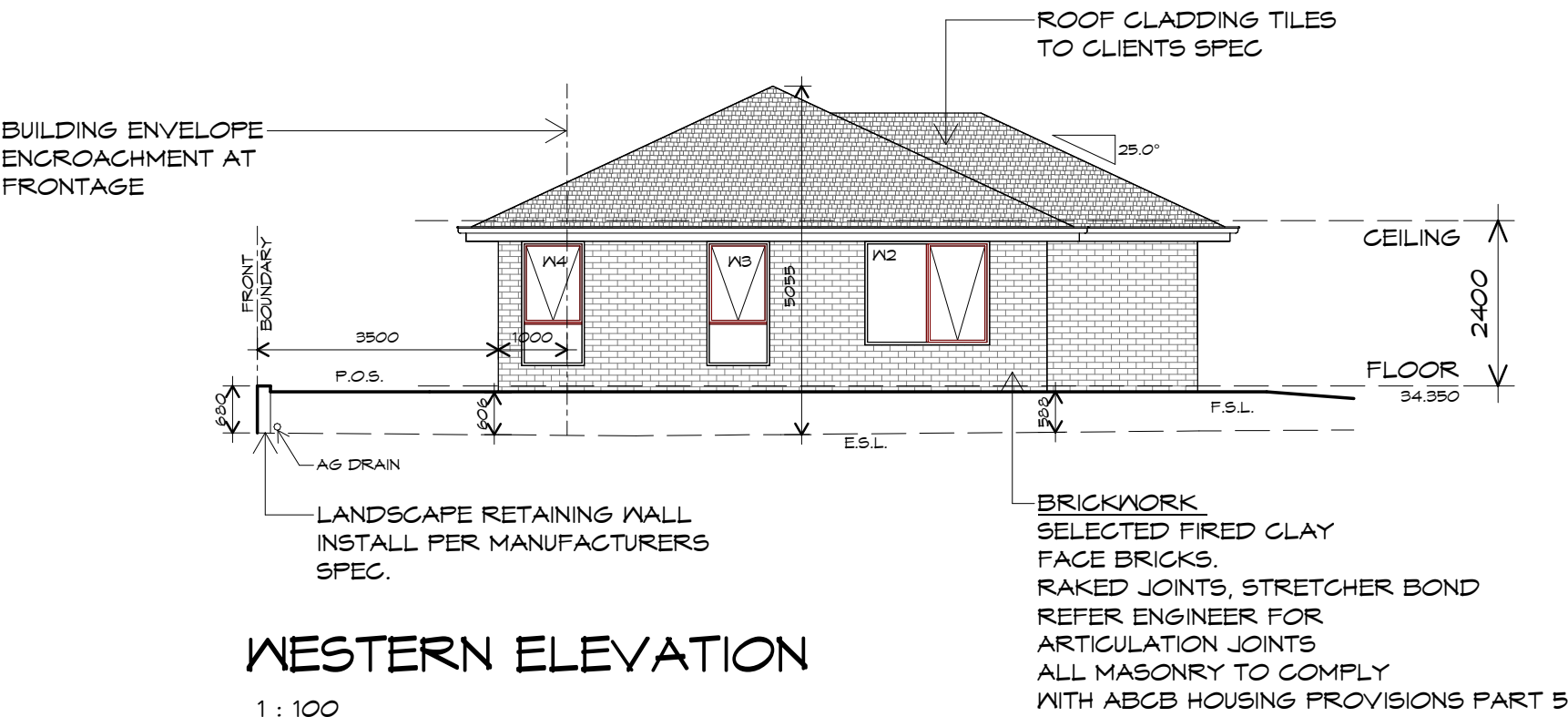
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Project/Drawing no: PD25307 - U2-03 Scale: 1 : 100 Revision: 01

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SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

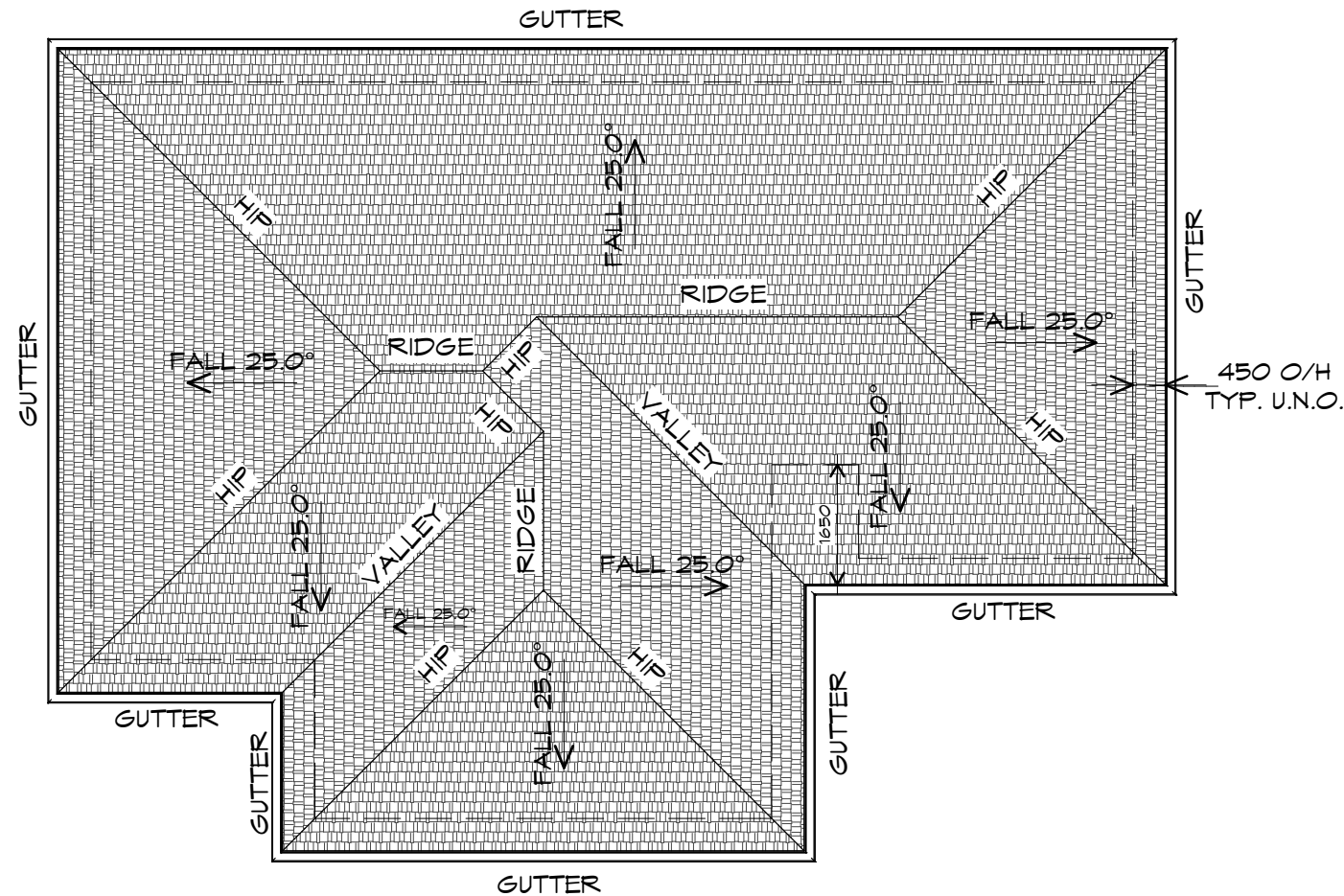
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UNIT 2		Client name:	ROSSITER HOMES & DEVELOPMENTS	Project:	PROPOSED UNIT DEVELOPMENT LOT 16 JAGO COURT LEGANA	Date:	10/11/2025	Drafted by:	A.G.C.	Approved by:	A.G.C.
REV. DATE		DESCRIPTION		Drawing:		Project/Drawing no:	PD25307 - U2-04	Scale:	1 : 100	Revision:	01
		PLANNING		ELEVATIONS		Accredited building practitioner: Frank Gekus - No CC246A COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd					



ROOF PLAN

1 : 100

TILE ROOF

ROOF TILES TO COMPLY WITH AS2049
ROOF PITCH NOT LESS THAN 15° AND NO MORE THAN 35°. TILES TO BE FIXED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.3.2.
TILE FLASHINGS IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.3.2.
SARKING IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.3.4 C/W ANTI-PONDING DEVICE/BOARD AS PER ABCB HOUSING PROVISIONS PART 7.3.5. TILES TO EAVES GUTTER MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.3.6

ROOF PLUMBING NOTES:

GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

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ASSOCIATION OF AUSTRALIA

UNIT 2

Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA

Drawing:
ROOF PLAN

Date: 10/11/2025
Drafted by: A.G.C.
Approved by: A.G.C.

Project/Drawing no: PD25307 - U2-05
Scale: 1 : 100
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A
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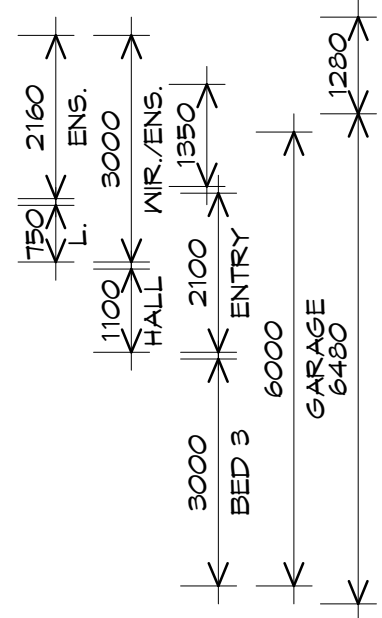
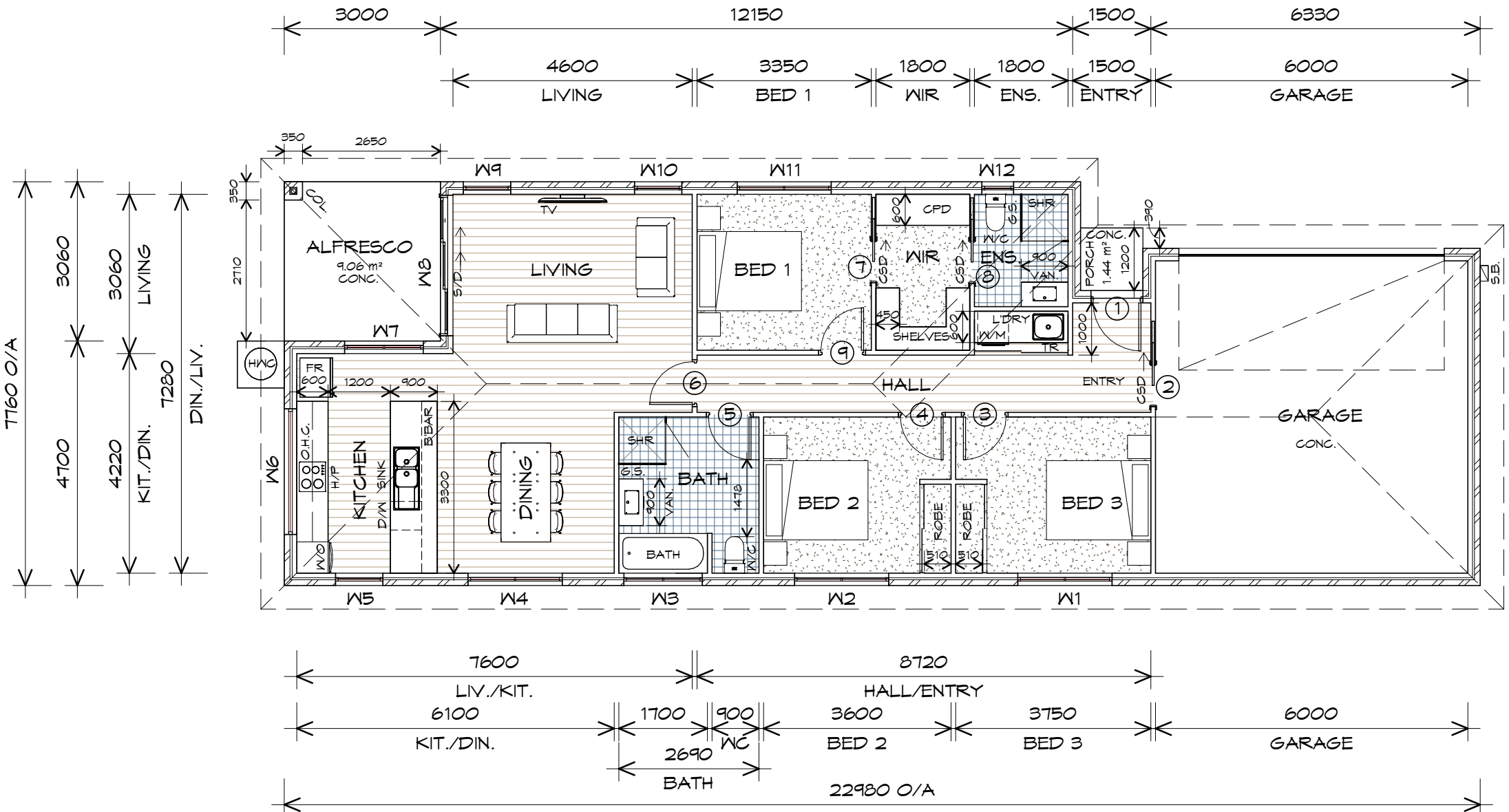
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NOTE: DO NOT SCALE OFF DRAWINGS



LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- O.H.C. OVERHEAD CUPBOARD



UNIT 3 - FLOOR PLAN

1 : 100

FLOOR AREA	116.11	m2	(12.50	SQUARES)
PORCH AREA	1.34	m2	(0.14	SQUARES)
GARAGE AREA	41.12	m2	(4.43	SQUARES)
ALFRESCO AREA	9.92	m2	(1.07	SQUARES)
TOTAL AREA	168.49	m2	18.14	SQUARES

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

WINDOW WITHIN WET AREA
C/W SAFETY GLASS AS PER AS1288.2021
BEVEL WINDOW SEAL
RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

NOTE:
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING



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UNIT 3 Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA

Drawing:
FLOOR PLAN

Date: 10/11/2025 Drafted by: A.G.C. Approved by: A.G.C.

Project/Drawing no: PD25307 - U3-01 Scale: 1 : 100 Revision: 01

Accredited building practitioner: Frank Gekus - No CC246A
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REV. DATE DESCRIPTION

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	820	CAVITY SLIDING DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	CAVITY SLIDING DOOR	
8	820	CAVITY SLIDING DOOR	
9	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1500	1810	AWNING WINDOW	
W2	1500	1810	AWNING WINDOW	
W3	1000	1510	AWNING WINDOW	OPAQUE
W4	1500	1810	AWNING WINDOW	
W5	1800	910	AWNING WINDOW	
W6	600	2410	FIXED WINDOW	SPLASHBACK WINDOW
W7	1500	1510	AWNING WINDOW	
W8	2100	2700	STACKING SLIDING DOOR	
W9	1800	910	AWNING WINDOW	
W10	1800	910	AWNING WINDOW	
W11	1500	1810	AWNING WINDOW	
W12	900	610	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS TO SUIT ??? **BAL** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING



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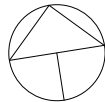
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ASSOCIATION OF AUSTRALIA

UNIT 2

Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA

Drawing:
DOOR AND WINDOW SCHEDULES



REV. DATEDESCRIPTION

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Date:
10/11/2025

Drafted by:
A.G.C.

Approved by:
Approver

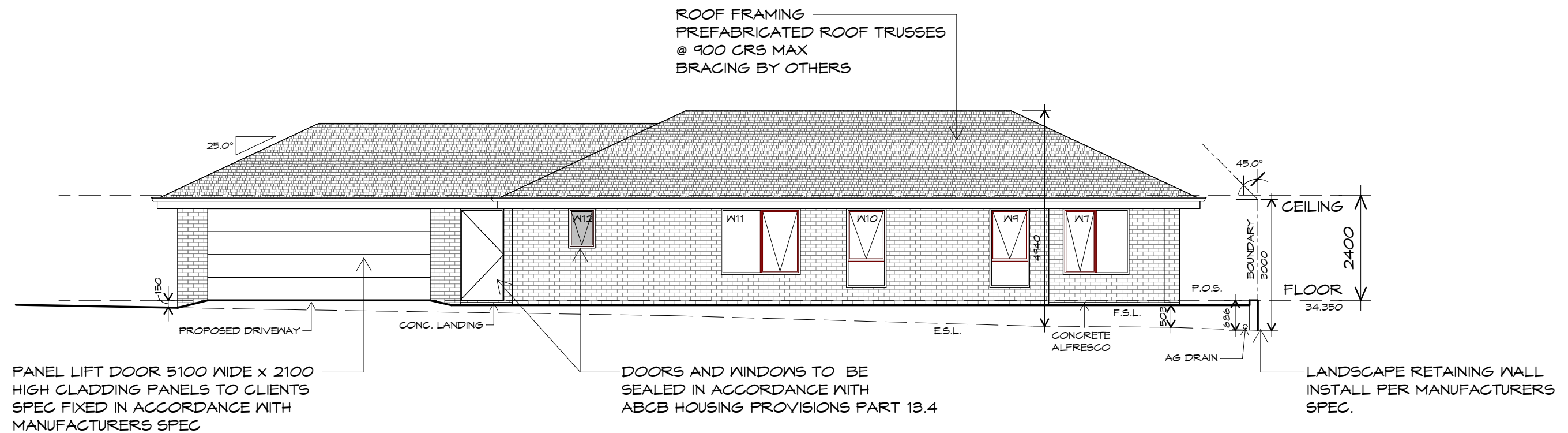
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PD25307 - U3-02

Scale:

Revision:
01

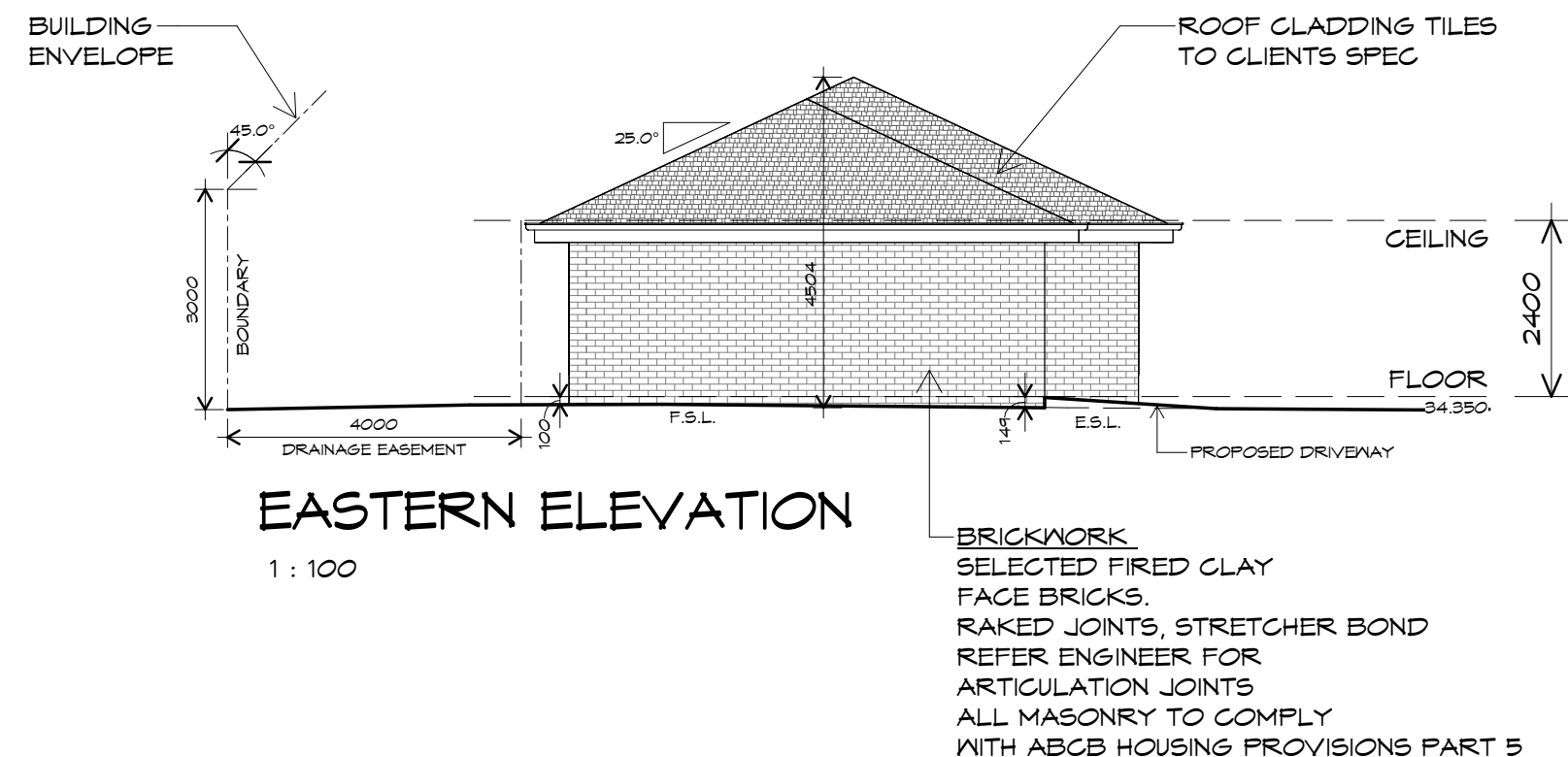
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NORTHERN ELEVATION

1 : 100



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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

REV. DATE DESCRIPTION

UNIT 3

Client name:
ROSSITER HOMES & DEVELOPMENTS

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

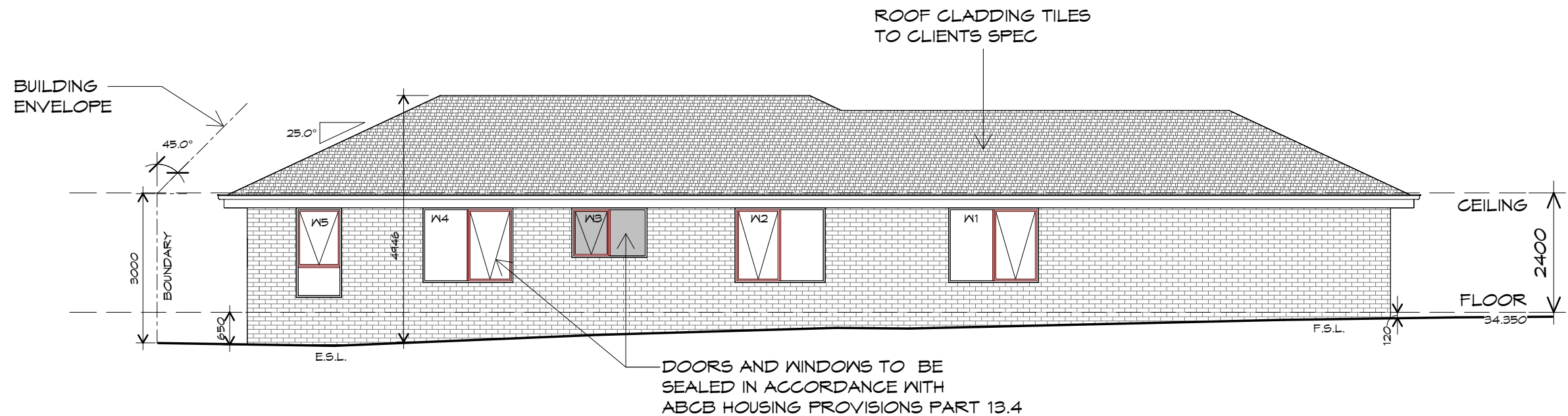
Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA

Drawing:
ELEVATIONS

Date: 10/11/2025
Drafted by: A.G.C.
Approved by: A.G.C.

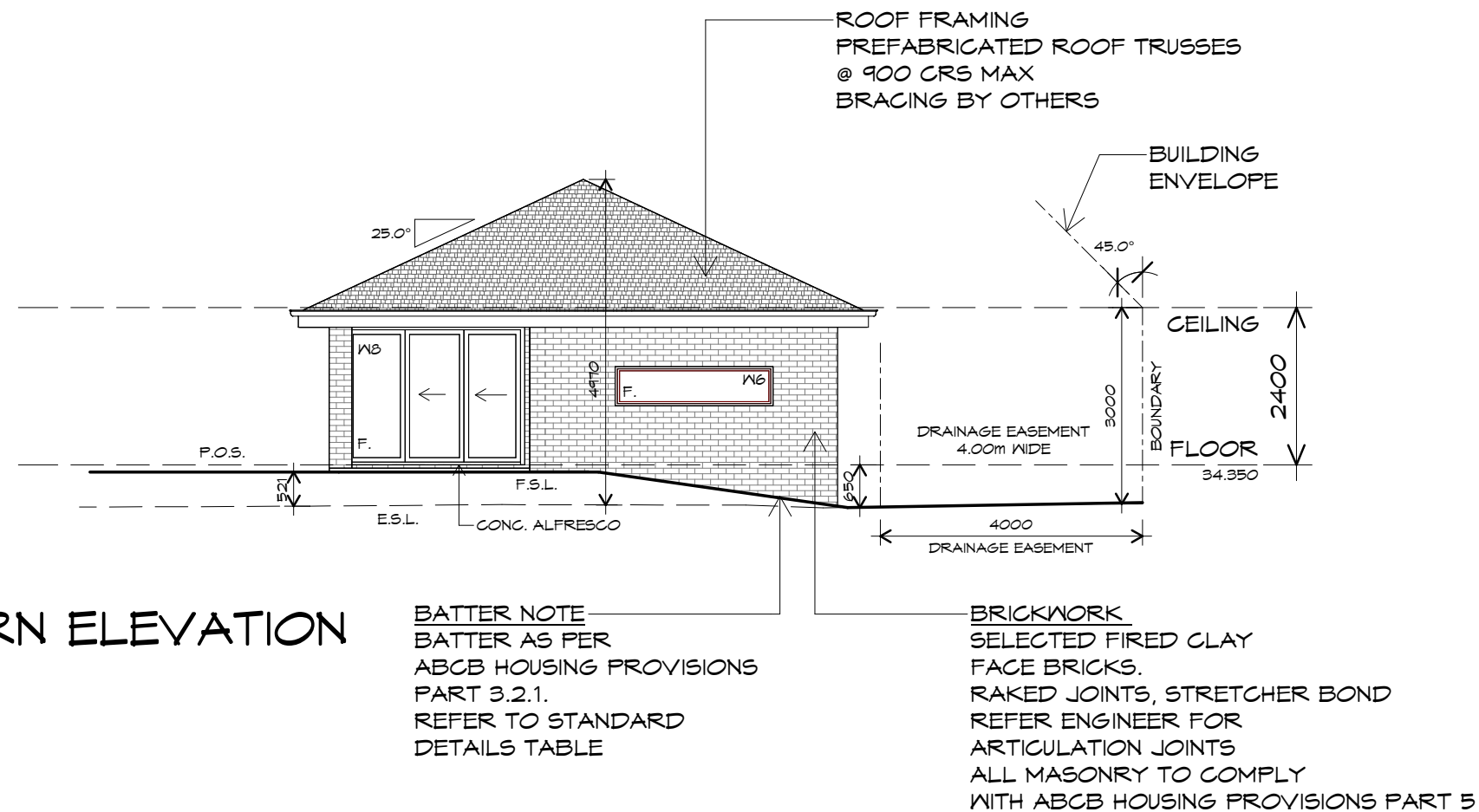
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SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100

REV. DATE DESCRIPTION

UNIT 3

Client name:
ROSSITER HOMES & DEVELOPMENTS

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA

Drawing:
ELEVATIONS

Prime Design

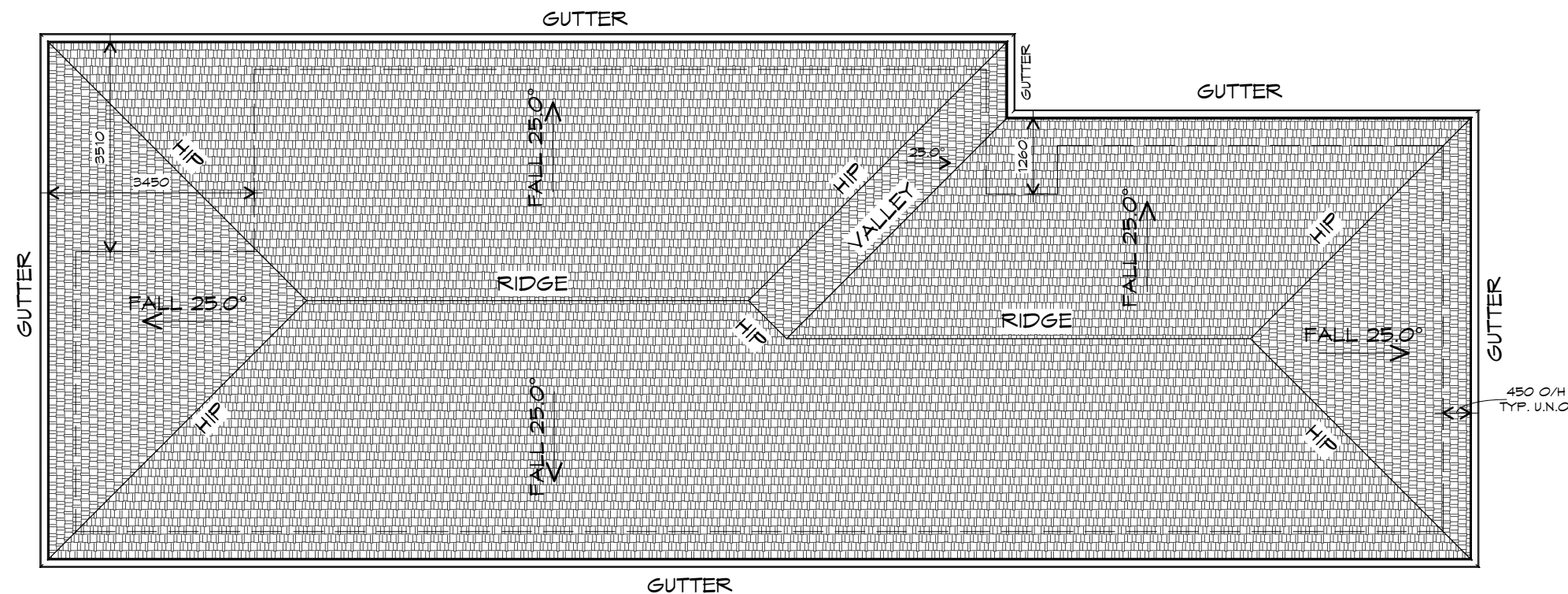
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Date: 10/11/2025 Drafted by: A.G.C. Approved by: A.G.C.

Project/Drawing no: PD25307 - U3-04 Scale: 1 : 100 Revision: 01

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ROOF PLAN

1 : 100

TILE ROOF

ROOF TILES TO COMPLY WITH AS2049
ROOF PITCH NOT LESS THAN 15° AND NO MORE THAN 35°. TILES TO BE FIXED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.3.2.
TILE FLASHINGS IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.3.2.
SARKING IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.3.4 C/W ANTI-PONDING DEVICE/BOARD AS PER ABCB HOUSING PROVISIONS PART 7.3.5. TILES TO EAVES GUTTER MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.3.6

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.

SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

UNIT 3

Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA

Drawing:
ROOF PLAN

PLANNING
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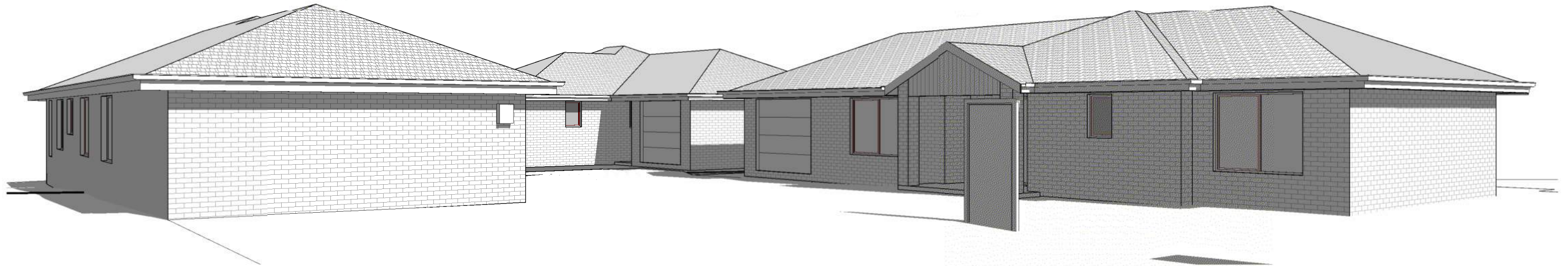
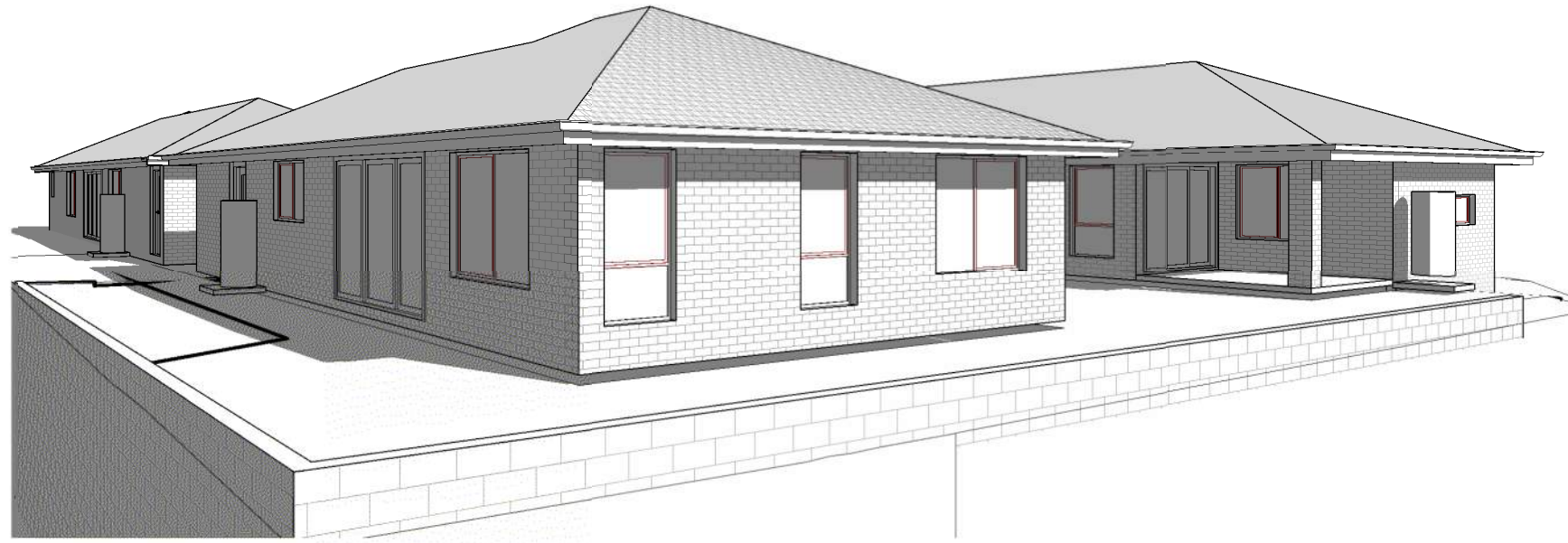
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Date: 10/11/2025
Drafted by: A.G.C.
Approved by: A.G.C.

Project/Drawing no: PD25307 - U3-05
Scale: 1 : 100
Revision: 01

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Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT,
LEGANA

Drawing:
PERSPECTIVES

Date: 10/11/2025
Drafted by: A.G.C.
Approved by: Approver

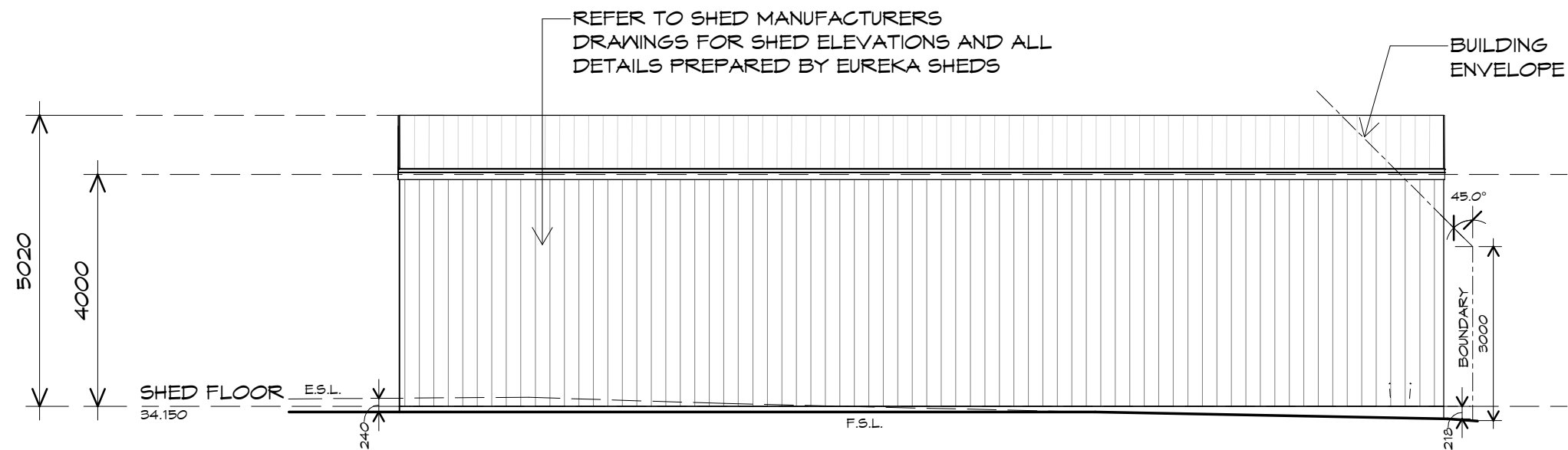
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Revision: 03

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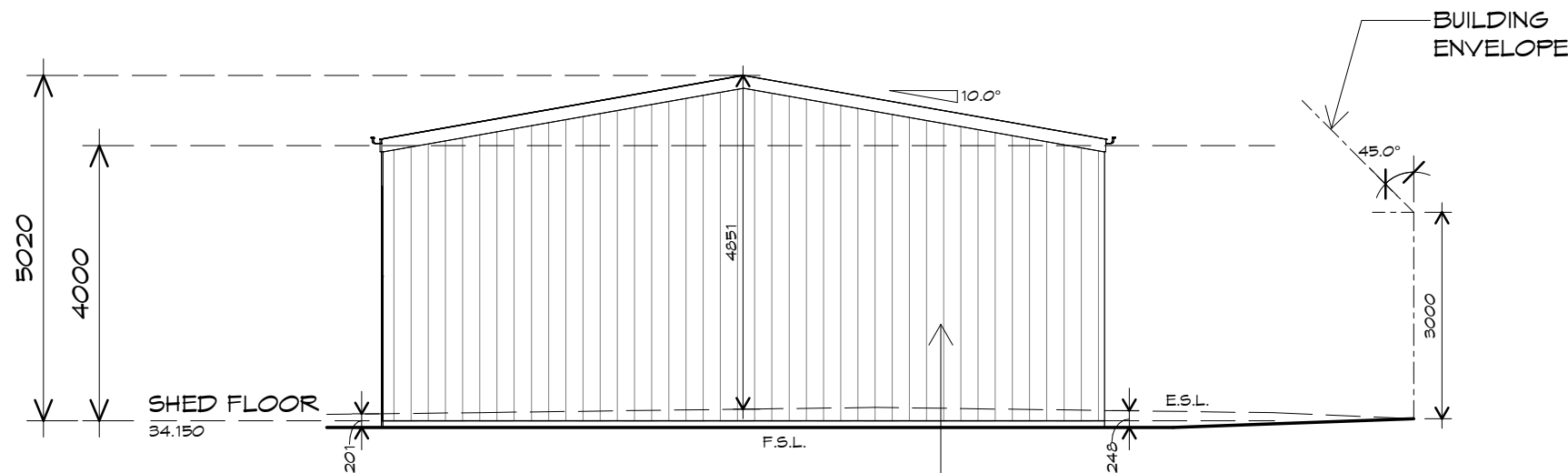
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SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100

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ASSOCIATION OF AUSTRALIA

REV. DATE DESCRIPTION

SHED

Client name:
ROSSITER HOMES & DEVELOPMENTS

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT,
LEGANA

Drawing:
SHED ELEVATIONS

Date:
10/11/2025

Drafted by:
A.G.C.

Approved by:
Approver

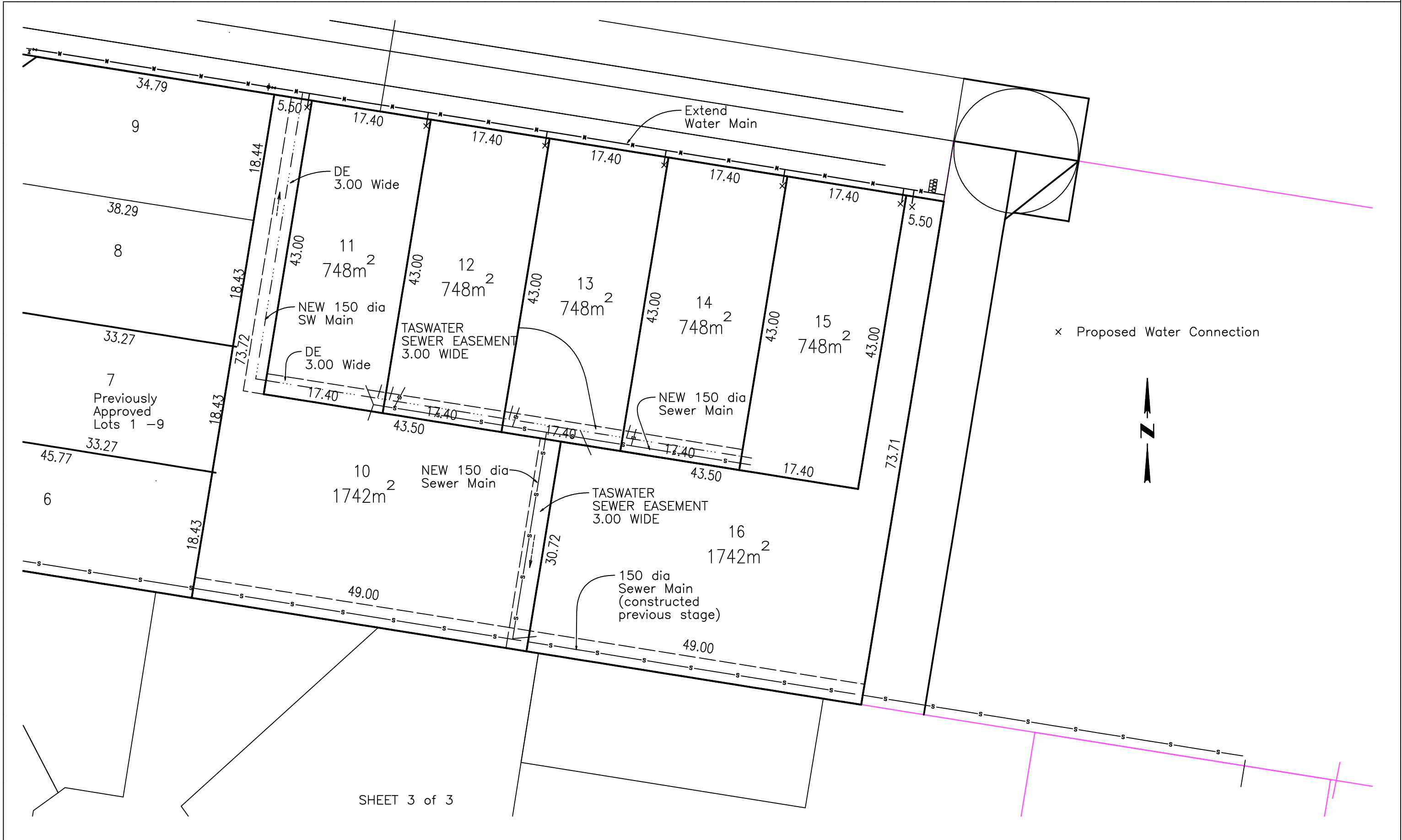
Project/Drawing no:
PD25307 - S-02

Scale:
1 : 100

Revision:
03

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PROPOSAL PLAN FOR 7 LOT SUBDIVISION
STAGE 2— DEVELOPMENT OF LOT 100

CT 111574—1 Rossiter Homes & Developments Pty Ltd— Owners
CT162598—1 MA & ME CLIFFORD— owners
176 & 176A FRESHWATER POINT ROAD
LEGANA 7277
LOT 100 ON PREVIOUS STAGE

DATE 10 Nov 2023	SCALE 1: 750 @ A3
DRAWN AJP	FILE 6262 30
SURVEYED AJP	

A.J PHILLIPS SURVEYING
6 BINDAREE ROAD
LEGANA
7277
email: ajpsurv@bigpond.net.au
Mobile 0412 315 880
Sheet 3 of 3

SERVICES AND
EASEMENT PLAN