

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE ONLY	Application Number	PA2025407
	Assess No:	A4794
	PID No:	9398423

Applicant Name:	Prime Design		
Applicant Contact Name			
Postal Address:			
Contact Phone:	Home	Work	Mobile
Email Address:			

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements
2. A completed application form including a detailed description of the proposal
3. A complete plan set:
 - a) Floor plans
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level)
 - c) Site Plan showing:
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

If submitting plans in over the counter please ensure they are A3.

All plans must be to scale.

Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name:

Prime Design

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title)

Rossiter Homes & Developments Pty Ltd.

Location / Address:

Lot 100, Jago Court, Legana.

Title Reference:

188090/100 (parent title).

Zone(s):

General Residential.

Existing Development/Use:

Vacant Land.

Existing Developed Area:

N/A.

Are any of the components in this Application seeking retrospective approval?
E.g. Use and/or development that has commenced without a Planning Permit.YES NO

(If yes please specify the relevant components):

DEVELOPMENT APPLICATION DETAILS

Proposed Use:	Residential: <input checked="" type="checkbox"/>	Visitor Accommodation: <input type="checkbox"/>	Commercial: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of Use: Proposed 3x units & 1x proprietary shed.			

Development Type:	Building work: <input checked="" type="checkbox"/>	Demolition: <input type="checkbox"/>	Subdivision: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of development: Residential units & shed.			

New or Additional Area:	594.8m ²	
Estimated construction cost of the proposed development:	1,000,000	
Building Materials:	Wall Type: brick veneer	Colour: tbc.
	Roof Type: tile	Colour: tbc

Application Number: **«Application Number»****VISITOR ACCOMMODATION** N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION N/ASubdivision creating additional lots Boundary adjustment with no additional lots created

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: <i>(Existing)</i>	
Number of Employees: <i>(Proposed)</i>	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number:

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal, *(if not the owner)*

Name (print)



Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent
(if required)**

Name (print)

Signed

Date

**Chief
Executive
Officer
(if required)**

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

PRIORITY FINAL PLAN

OWNER:
ROSSITER HOMES & DEVELOPMENTS PTY LTD
STRATA CORPORATION NUMBER 183722,
176 FRESHWATER POINT ROAD, LEGANA.
MICHAEL ALAN CLIFFORD & MICHELLE
ELIZABETH CLIFFORD, WARREN CALE PAIGE
& CAMERON JAMES WHELAN.

FOLIO REFERENCE:
CT 183722/0, CT 183722/7, CT 162598/1
~~CT 135214/1~~, CT 145978/2 & CT 145978/1.
GRANTEE:
PART OF 2500 ACRES GTD. TO JOHN GRIFFITHS.

PLAN OF SURVEY

BY SURVEYOR: A.J PHILLIPS

REGISTERED NUMBER

SP188090APPROVED
EFFECTIVE FROM 10 JUL 2025*Renay*

Recorder of Titles

LOCATION: TOWN OF LEGANA

SCALE 1: 2000

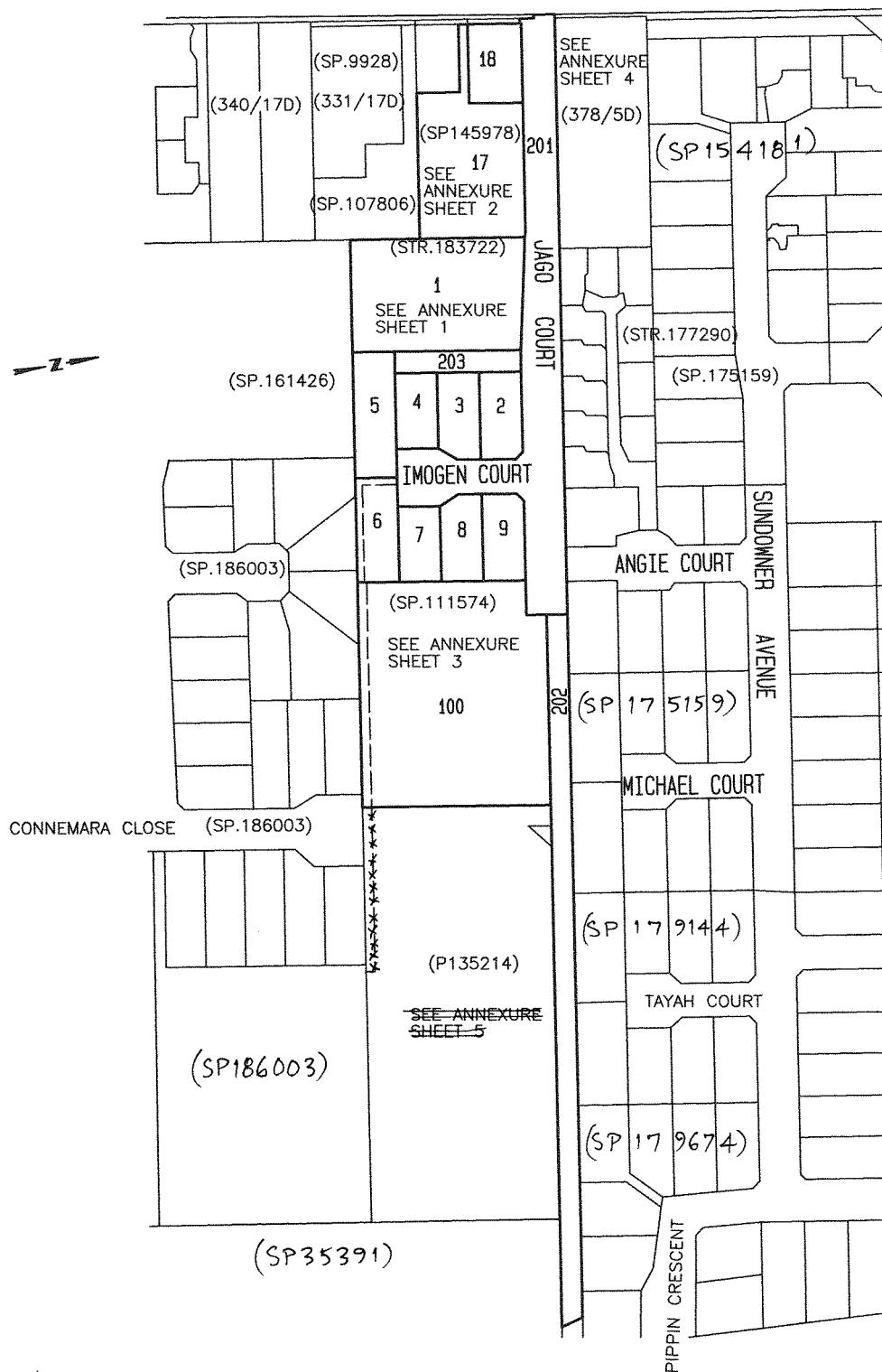
LENGTHS IN METRES

ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN

FRESHWATER

POINT

ROAD

19 Nov 24
Date*A.J. Phillips*
Registered Land Surveyor

(STR 168587)

[Signature]
Council Delegate20/12/24
Date

PRIORITY FINAL PLAN

PLAN OF SURVEY
ANNEXURE SHEET

SHEET 2 OF 5 SHEETS

OWNER: ROSSITER HOMES & DEVELOPMENTS PTY LTD.
STRATA CORPORATION NUMBER 183722, 176 FRESHWATER
POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD &
MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE
& CAMERON JAMES WHELAN.

FOLIO REFERENCE:

CT 183722/0, CT 183722/7, CT 162598/1
CT 135214/1, CT 145978/2 & CT 145978/1.

SCALE 1: 500

LENGTH IN METRES

Registered Number

SP. 188090

SIGNED FOR IDENTIFICATION PURPOSES

20/12/24
Date

Council Delegate

THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.

See 11-a

..... Registered Land Surveyor

APPROVED 10 JUL 2025
EFFECTIVE FROM

Renan

— 1 —

Recorder of Titles

19 Nov 24

.....
Date

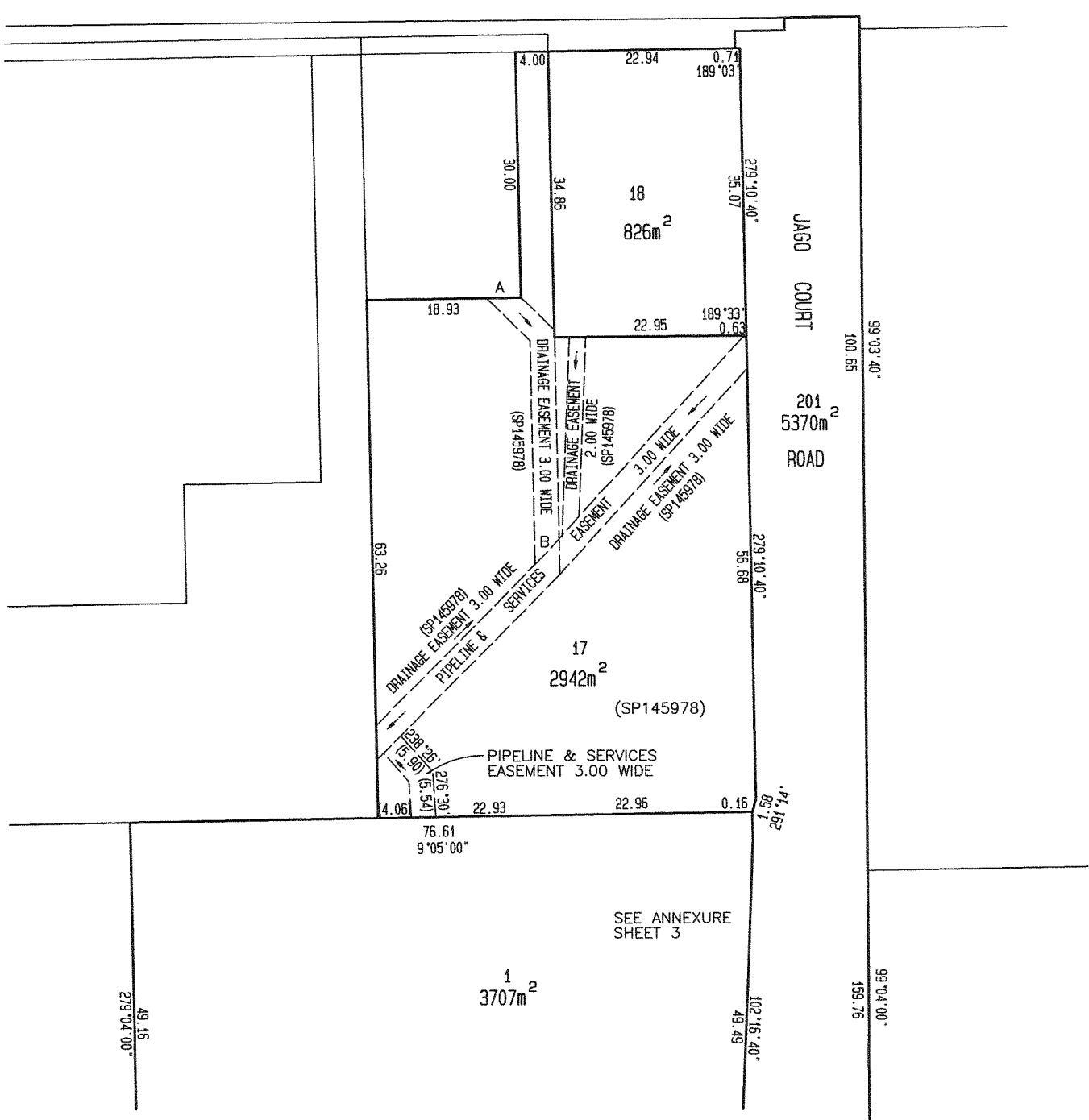
LOT 17 IS COMPILED FROM THIS SURVEY AND CT145978/2.
LOT 18 IS COMPILED FROM THIS SURVEY AND CT145978/1.

FRESHWATER

POINT

ROAD

SEE ANNEXURE
SHEET 4



PRIORITY FINAL PLAN

<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 3 OF 5 SHEETS</p>		<p>OWNER: ROSSITER HOMES & DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD & MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE & CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 135214/1, CT 145978/2 & CT 145978/1.</p> <p>SCALE 1: 500 LENGTH IN METRES</p>	<p>Registered Number SP 188090</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> Council Delegate</p> <p>20/12/24 Date</p>		<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> Registered Land Surveyor</p> <p>19 Nov 24 Date</p>	<p>APPROVED EFFECTIVE FROM 10 JUL 2025 <i>[Signature]</i> Recorder of Titles</p>
<p>6 7 8 9</p> <p>189°19'20" 73.68</p> <p>SEE ANNEXURE SHEET 2</p> <p>100 7954m²</p> <p>9°19'20" 82.54</p> <p>201 5370m² ROAD 189° 04' 18.00</p> <p>202 2835m² ROADWAY</p> <p>(P135214)</p> <p>SEE ANNEXURE SHEET 2</p>			

PRIORITY FINAL PLAN

<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 4 OF 5 SHEETS</p>		<p>OWNER: ROSSITER HOMES & DEVELOPMENTS PTY LTD. STRATA CORPORATION NUMBER 183722, 176 FRESHWATER POINT ROAD, LEGANA. MICHAEL ALAN CLIFFORD & MICHELLE ELIZABETH CLIFFORD, WARREN CALE PAIGE & CAMERON JAMES WHELAN.</p> <p>FOLIO REFERENCE: CT 183722/0, CT 183722/7, CT 162598/1 CT 135214/1, CT 145978/2 & CT 145978/1.</p> <p>SCALE 1: 100 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 188090</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> Council Delegate</p> <p><i>20/12/24</i> Date</p>		<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> Registered Land Surveyor</p>	<p>APPROVED EFFECTIVE FROM10 JUL 2025.....</p> <p><i>[Signature]</i> Recorder of Titles</p>
<p>FRESHWATER POINT ROAD</p> <p>9'04"</p> <p>9'03"</p> <p>9'03"</p> <p>6.10</p> <p>279'04"</p> <p>1.52</p> <p>9'04"</p> <p>1.52</p> <p>279'03"</p> <p>2.14</p> <p>22.94</p> <p>189'03"</p> <p>0.71</p> <p>18</p> <p>826m²</p> <p>201</p> <p>5370m²</p> <p>ROAD</p> <p>99'42"</p> <p>10.65</p> <p>99'03" 40"</p>			
<p>18</p> <p>826m²</p> <p>22.95</p> <p>189'33"</p> <p>0.63</p> <p>17</p> <p>2942m²</p> <p>341'41"</p> <p>10.71</p> <p>129'67"</p> <p>DRAINAGE EASEMENT 3.00 WIDE</p> <p>201</p> <p>5370m²</p> <p>ROAD</p>			

PRIORITY FINAL PLAN

SCHEDULE OF EASEMENTS

Registered Number

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS
& MORTGAGEES OF THE LAND AFFECTED.
SIGNATURES MUST BE ATTESTED.

SP 188090

PAGE 1 OF 5 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:

(1) such rights of drainage over the drainage easements shown on the plan as may be necessary to drain the stormwater and other surplus water from such lot; and
(2) any easements or profits a prendre described hereunder.

* 16.4.25 M L
Melanie Louise Kerison
Solicitor
3/113 Cimitiere Street
Layton TAS 7250

Each lot on the plan is subject to:

(1) such rights of drainage over the drainage easements shown on the plan as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
(2) any easements or profits a prendre described hereunder.

* 6/5/25 M L
Melanie Louise Kerison
Solicitor
3/113 Cimitiere Street
Layton TAS 7250

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Easements

RIGHT OF DRAINAGE

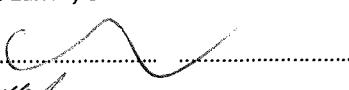
Lot 17 is SUBJECT TO a ~~Drainage Easement~~ (as defined herein) in gross in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE (SP145978)" on the Plan.

Lot 17 is SUBJECT TO a ~~Drainage Easement~~ (as defined herein) appurtenant to Lot 1 on SP107806 over the land marked A. B. "DRAINAGE EASEMENT 3.00 WIDE" on (SP145978) on the plan.

Lot 17 on the Plan ("the Lot") is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE" ("the Easement Land") on the Plan.

Lot 6 on the Plan is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE" ("the Easement Land") on the Plan.

Lot 100 on the Plan and Lot 1 on P135214 (together called "the Lot") are SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 4.00 WIDE" ("the Easement Land") on the Plan.

Signatures:   

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER:

Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722

FOLIO REF:

183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

SOLICITOR

& REFERENCE: RAE & PARTNERS AEC:242926

PLAN SEALED BY: WEST TAMAR COUNCIL

DATE: 20/12/24
PA2020415 & PA2024202

REF NO.

Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 2 OF 5 PAGES

Registered Number

SP 188090

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FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

Covenants

The owners of Lots 1, 2, 3, 4, 5, 6, 7, 8 and 9 ("the Burdened Lots") covenant with West Tamar Council to the intent that the burden of this covenant may run with and bind the covenanter's lot and every part thereof and that the benefit shall be annexed to and devolve with the said West Tamar Council to observe the following stipulation, namely:

- (a) not to erect any habitable building on the Burdened Lots with a floor level below 32.90 metres on the Australian Height Datum (Tasmanian) 1983; and
- (b) not to erect any non-habitable building or structure on the Burdened Lots with a floor level below 32.75 metres on the Australian Height Datum (Tasmanian) 1983.

The owners of Lot 100 covenant with the owner of Lots 6, 7, 8 and 9 on the Plan to the intent that the burden of this covenant may run with and bind the covenanter's lot and every part thereof and that the benefit shall be annexed to and devolve with Lots 6, 7, 8 and 9 on the Plan that the vegetation on Lot 100 on the Plan must not exceed a low fuel state.

Fencing Covenant

The owner of each lot on the Plan covenants with Rossiter Homes & Developments Pty Ltd ("the Vendor") that the Vendor will not be required to fence any lot on the Plan.

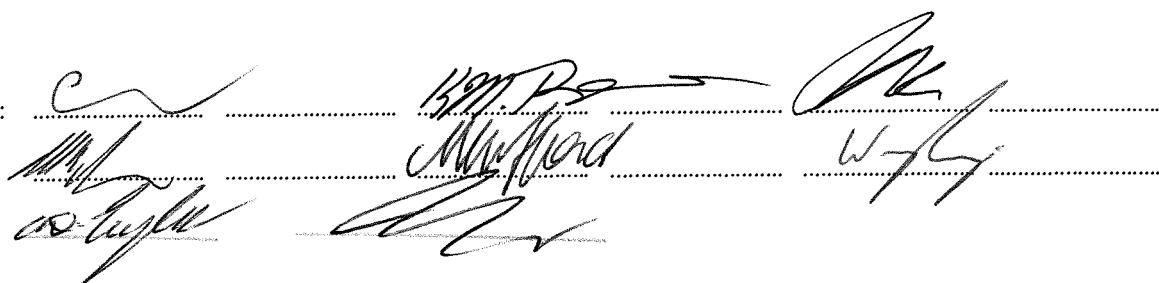
Definitions

"Pipeline and Services Easement" is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;

Signatures:



- (5) do all works reasonably required in connection with such activities or as may be authorised or required

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 3 OF 5 PAGES

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FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

by any law.

- (a) without doing unnecessary damage to the Easement Land; and
- (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

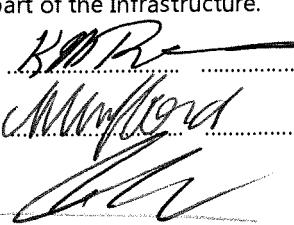
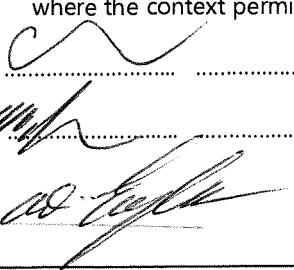
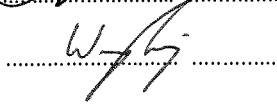
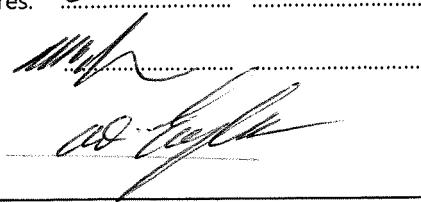
SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Signatures:

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 4 OF 5 PAGES

Registered Number

SP 188090

SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722
FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

"Drainage Easement" means a right of drainage in gross in favour of West Tamar Council ("the Council") and in conjunction with the exercise of that right the Council will have the power set out in the statutory definition of a "right of drainage" in Schedule 8 of the *Conveyancing and Law of Property Act 1884*.

There are no other Easements, Covenants or Profits a Prendre created to benefit or burden the said land.

Executed by **Michael Alan Clifford**

in the presence of:



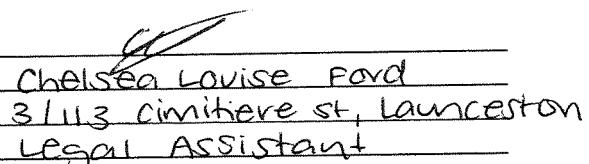
Michael Alan Clifford

Witness Signature

Witness Name

Witness Address

Witness Occupation



Chelsea Louise Ford
3/113 Cimitiere St, Launceston
Legal Assistant

Executed by **Michelle Elizabeth Clifford**

in the presence of:



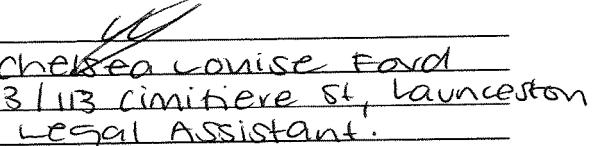
Michelle Elizabeth Clifford

Witness Signature

Witness Name

Witness Address

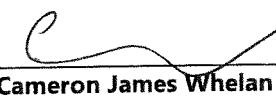
Witness Occupation



Chelsea Louise Ford
3/113 Cimitiere St, Launceston
Legal Assistant.

Executed by **Cameron James Whelan**

in the presence of:



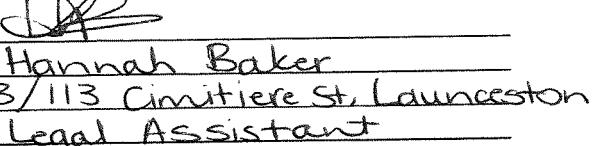
Cameron James Whelan

Witness Signature

Witness Name

Witness Address

Witness Occupation



Hannah Baker
3/113 Cimitiere St, Launceston
Legal Assistant

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**ANNEXURE TO
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Executed by **Michael Alan Clifford**

in the presence of:

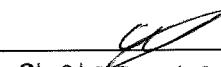

Michael Alan Clifford

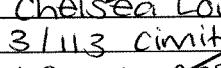
Witness Signature

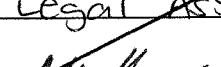
Witness Name

Witness Address

Witness Occupation


Chelsea Louise Ford


3/113 Cimitiere St, Launceston


Legal Assistant

Executed by **Michelle Elizabeth Clifford**

in the presence of:

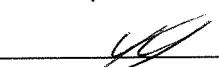

Michelle Elizabeth Clifford

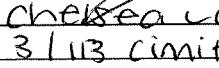
Witness Signature

Witness Name

Witness Address

Witness Occupation


Chelsea Louise Ford


3/113 Cimitiere St, Launceston


Legal Assistant

Executed by **Cameron James Whelan**

in the presence of:


Cameron James Whelan

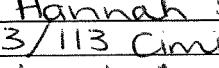
Witness Signature

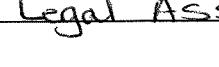
Witness Name

Witness Address

Witness Occupation


Hannah Baker


3/113 Cimitiere St, Launceston


Legal Assistant

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ANNEXURE TO
SCHEDULE OF EASEMENTS

PAGE 5 OF 5 PAGES

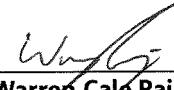
Registered Number

SP 188090

SUBDIVIDER: Rossiter Homes & Developments Pty Ltd, Michael Alan Clifford, Michelle Elizabeth Clifford, Cameron James Whelan, Warren Cale Paige and Strata Corporation Number 183722
FOLIO REFERENCE: 183722/7, 135214/1, 145978/1, 145978/2 and 183722/0

Executed by **Warren Cale Paige**

in the presence of:


Warren Cale Paige

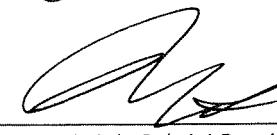
Witness Signature

Witness Name

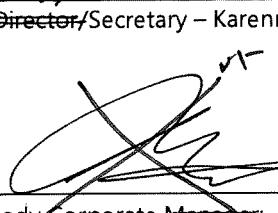
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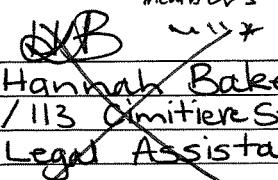
Witness Occupation

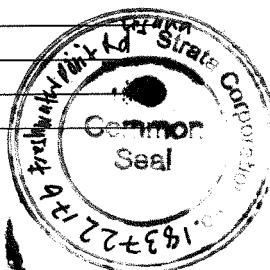

Chelsea Louise Ford
3/113 Cimitiere St, Launceston
Legal Assistant

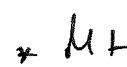

Director – Leigh Gabriel Rossiter


Director/Secretary – Karenne Rossiter


Body Corporate Manager: ^{Members} X
Angela


Hannah Baker
3/113 Cimitiere St
Legal Assistant




16.4.25
Michael Alan Clifford
Solicitor
3/113 Cimitiere Street
Launceston TAS 7210

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

PROPOSED UNIT DEVELOPMENT

LOT 16 JAGO COURT,

LEGANA

ROSSITER HOMES & DEVELOPMENTS

PD25307

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	PART SITE PLAN
03	SITE DRAINAGE PLAN
04	SITE LANDSCAPING PLAN
05	LOCALITY PLAN
06	SITE TURNING MOVEMENTS
07	SHADOW DIAGRAMS

UNIT 1 BUILDING DRAWINGS

No	DRAWING
U1-01	FLOOR PLAN
U1-02	DOOR AND WINDOW SCHEDULES
U1-03	ELEVATIONS
U1-04	ELEVATIONS
U1-05	ROOF PLAN

UNIT 2 BUILDING DRAWINGS

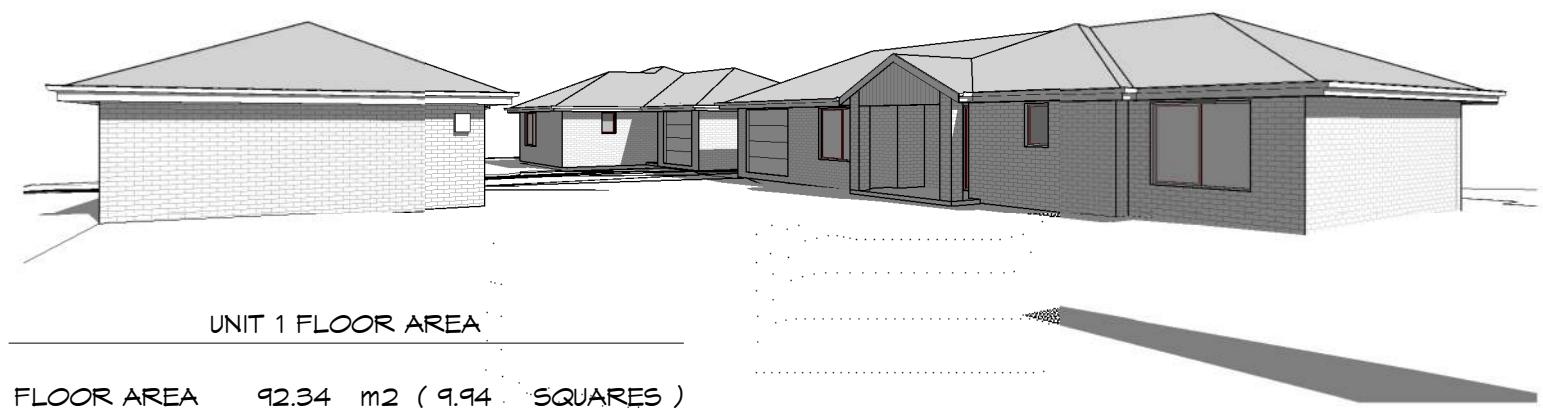
No	DRAWING
U2-01	FLOOR PLAN
U2-02	DOOR AND WINDOW SCHEDULES
U2-03	ELEVATIONS
U2-04	ELEVATIONS
U2-05	ROOF PLAN

UNIT 3 BUILDING DRAWINGS

No	DRAWING
U3-01	FLOOR PLAN
U3-02	DOOR AND WINDOW SCHEDULES
U3-03	ELEVATIONS
U3-04	ELEVATIONS
U3-05	ROOF PLAN

SHED DRAWINGS

No	DRAWING
S-01	SHED ELEVATIONS
S-02	SHED ELEVATIONS



UNIT 1 FLOOR AREA

FLOOR AREA	92.34	m ²	(9.94	SQUARES)
GARAGE AREA	25.52	m ²	(2.75	SQUARES)
PORCH AREA	7.11	m ²	(0.76	SQUARES)
TOTAL AREA	124.97		13.45	

UNIT 2 FLOOR AREA

FLOOR AREA	93.57	m ²	(10.07	SQUARES)
GARAGE AREA	25.75	m ²	(2.77	SQUARES)
PORCH AREA	2.03	m ²	(0.22	SQUARES)
TOTAL AREA	121.35		13.06	

UNIT 3 FLOOR AREA

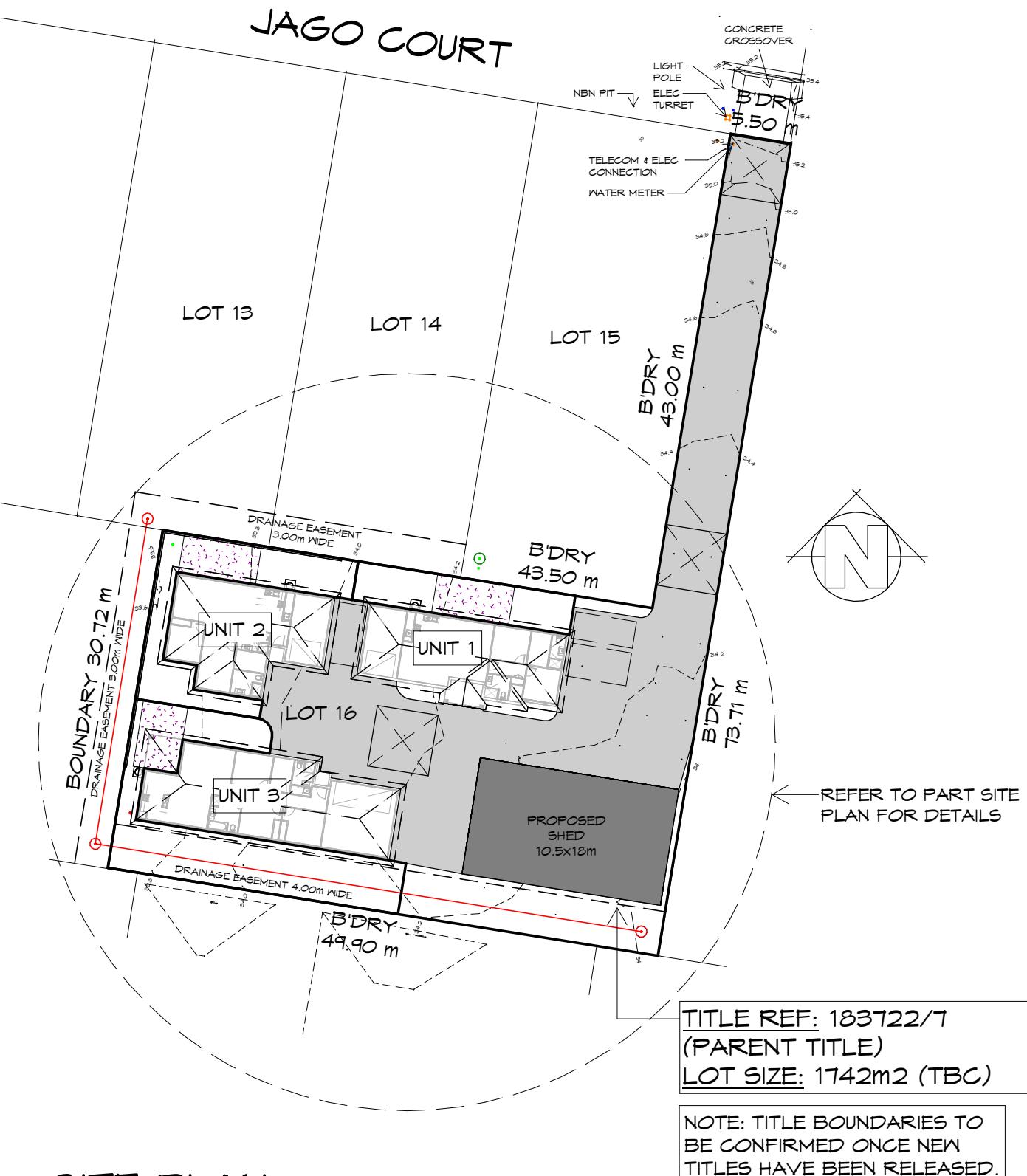
FLOOR AREA	116.11	m ²	(12.50	SQUARES)
PORCH AREA	1.34	m ²	(0.14	SQUARES)
GARAGE AREA	41.12	m ²	(4.43	SQUARES)
ALFRESCO AREA	9.92	m ²	(1.07	SQUARES)

TOTAL AREA 168.49 18.14

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REV. DATE

DESCRIPTION



PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

REV. DATE DESCRIPTION

Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT,
LEGANA

Drawing:
SITE PLAN

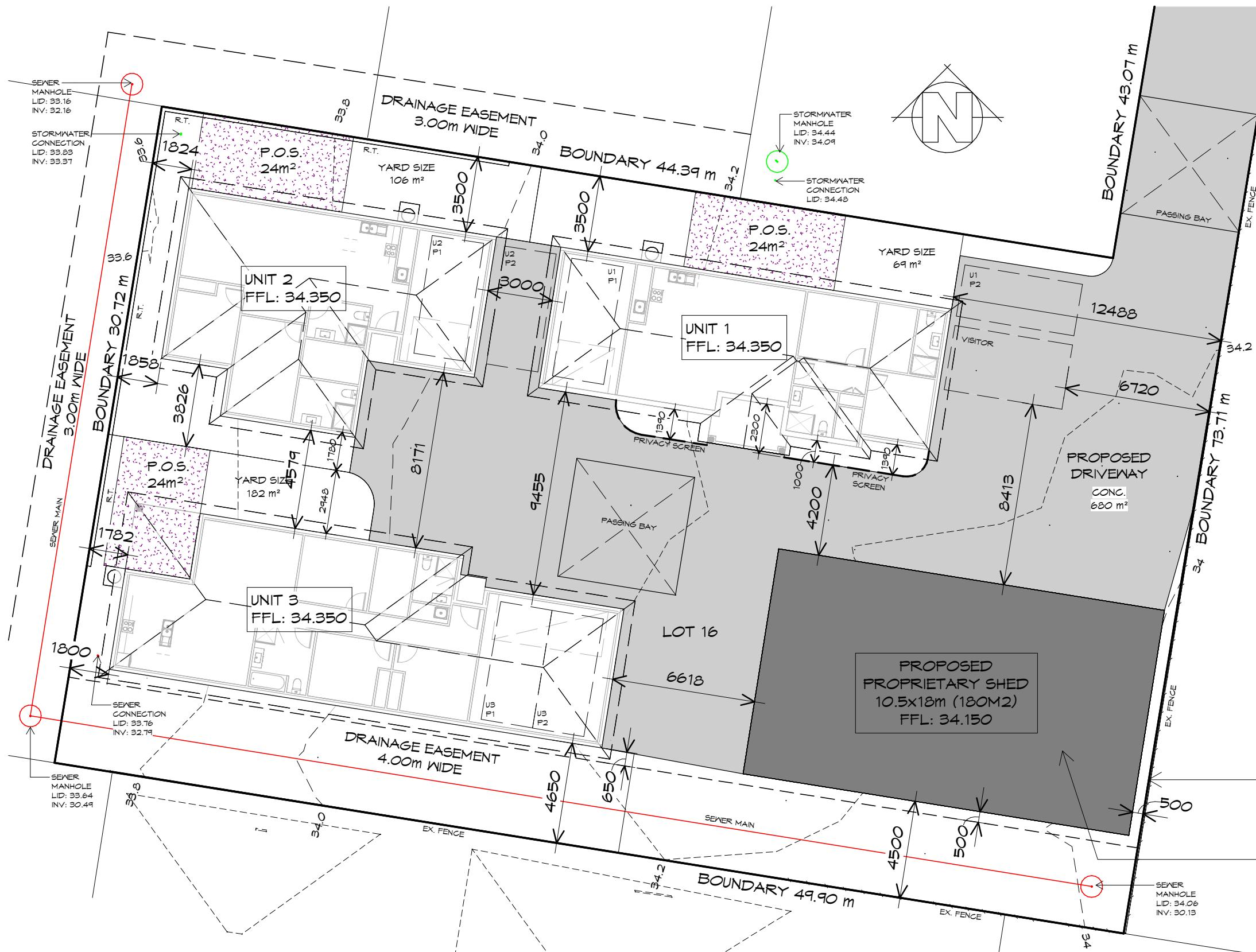
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H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Date: 10/11/2025 Drafted by: A.G.C. Approved by: Approver

Project/Drawing no: PD25307 - 01 Scale: 1 : 500 Revision: 03

Accredited building practitioner: Frank Geskus - No CC246A
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Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT,
LEGANA

Drawing:
PART SITE PLAN

Prime Design

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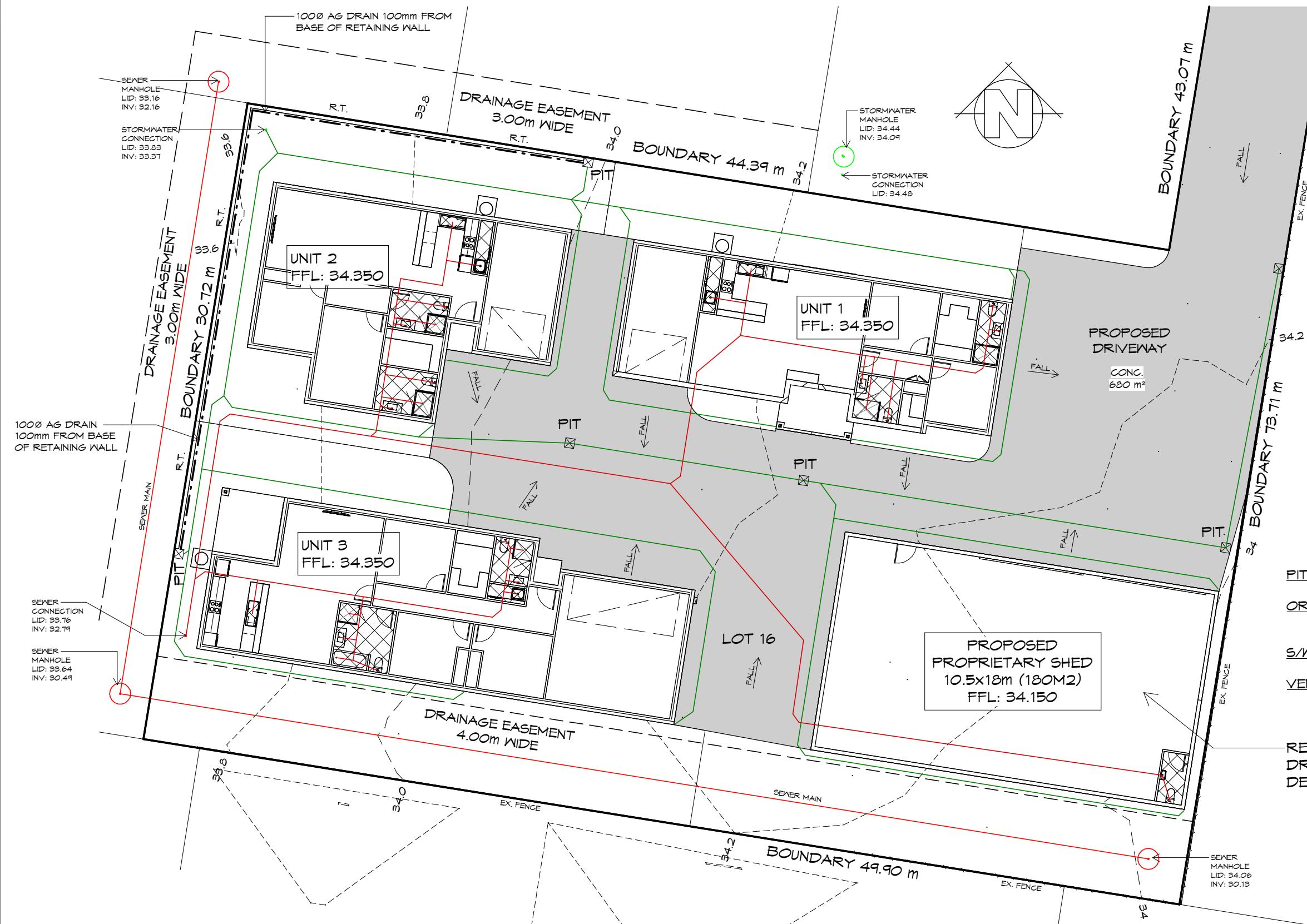
Date: 10/11/2025 Drafted by: A.G.C. Approved by: Approver

Project/Drawing no: PD25307 - 02 Scale: As indicated Revision: 03

Accredited building practitioner: Frank Geskus - No CC246A
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REV. DATE DESCRIPTION

PLANNING
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LEGEND

- PIT  450X 450 SURFACE DRAINAGE PIT
-  WET AREAS
-  SEWER LINE
-  STORMWATER LINE
-  100φ AG DRAIN

SEWER AND WATER SERVICES

- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
- WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

PITS: ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3

ORGs: OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2

S/W: STORMWATER PIPES TO BE SIZED PER ASNZS
3500.2021 PART 3

VENTS: DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

— REFER TO SHED MANUFACTURERS
DRAWINGS FOR SHED ELEVATIONS AND ALL
DETAILS PREPARED BY EUREKA SHEDS

SITE DRAINAGE PLAN

1 : 200

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Date: 10/11/2025 Drafted by: A.G.C. Approved by: Approver

Project Drawing No. Scale Revision
PD25307 - 03 As indicated **03**
Accredited building practitioner: **Frank Geskus -No CC246A**
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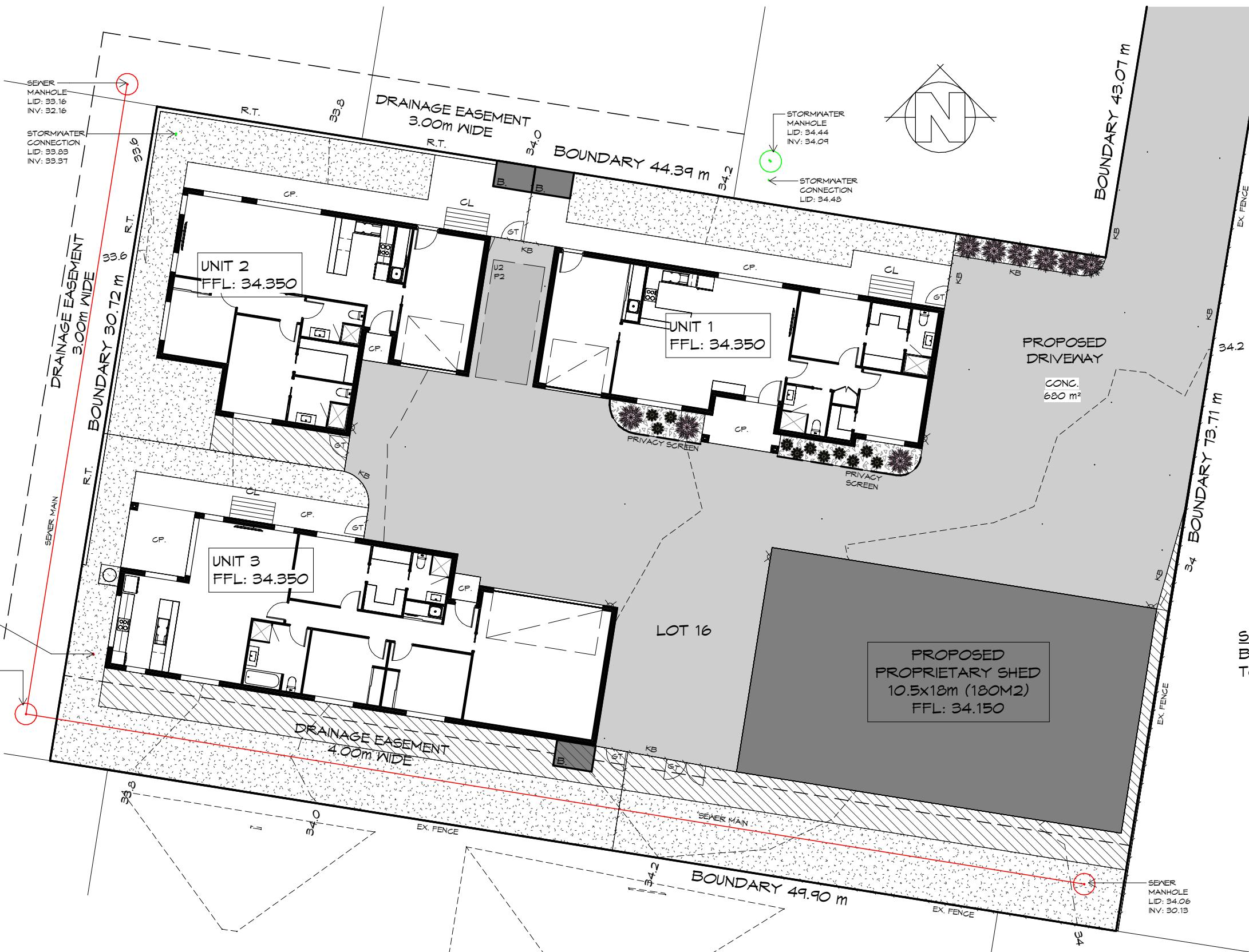
REV. DATE **DESCRIPTION**

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
**PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT,
LEGANA**

Drawing:
SITE DRAINAGE PLAN



SITE LANDSCAPING PLAN

1 : 200

PLANTING SCHEDULE

ABB.	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT & SPREAD	POT SIZE	DENSITY
LAUNCESTON GRASSES / GROUNDCOVERS					
sa	SCAEVOLA AEMULA	MAUVE CLUSTERS	500mm x 800mm	140mm	1 per 1m ²
lo	LOMANDRA LONGIFOLIA	MAT RUSH	1000mm x 1000mm	140mm	1 per 1m ²

REV. DATE DESCRIPTION

Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT,
LEGANA

Drawing:
SITE LANDSCAPING PLAN

LEGEND

	PROPOSED GROUNDCOVER/GRASS - sa, lo
	GRAVEL / MULCH PATH
	LAWN
	MULCH OR SIMILAR
	CONCRETE PATH/PAVING
	CONCRETE DRIVEWAY
	WASTE STORAGE 1.5m ²
	GATE
	FENCE 1.8m HIGH
	SECURITY LIGHTS
	KERB
	CLOTHES LINES - WALL MOUNT
	ISLAND BLOCK & PAVING FREESTONE ECO RETAINING WALL SYSTEM OR SIMILAR

SITE COVERAGE
BUILDING FOOTPRINT 586.8 / SITE AREA 1742 = 0.337
TOTAL SITE COVERAGE 33.7%

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Date: 10/11/2025 Drafted by: A.G.C. Approved by: Approver

Project/Drawing no: PD25307 - 04 Scale: 1 : 200 Revision: 03

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PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



THIS SITE IS ZONED GENERAL RESIDENTIAL AND REQUIRES A BUSHFIRE ASSESSMENT.
RESIDENCE IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.
REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGEMENT PLAN
BUILDINGS/DWELLINGS ON INTERNAL LOTS WITH FRONTAGE SETBACK LESS THAN 4.5m

LOCALITY PLAN

1 : 3000

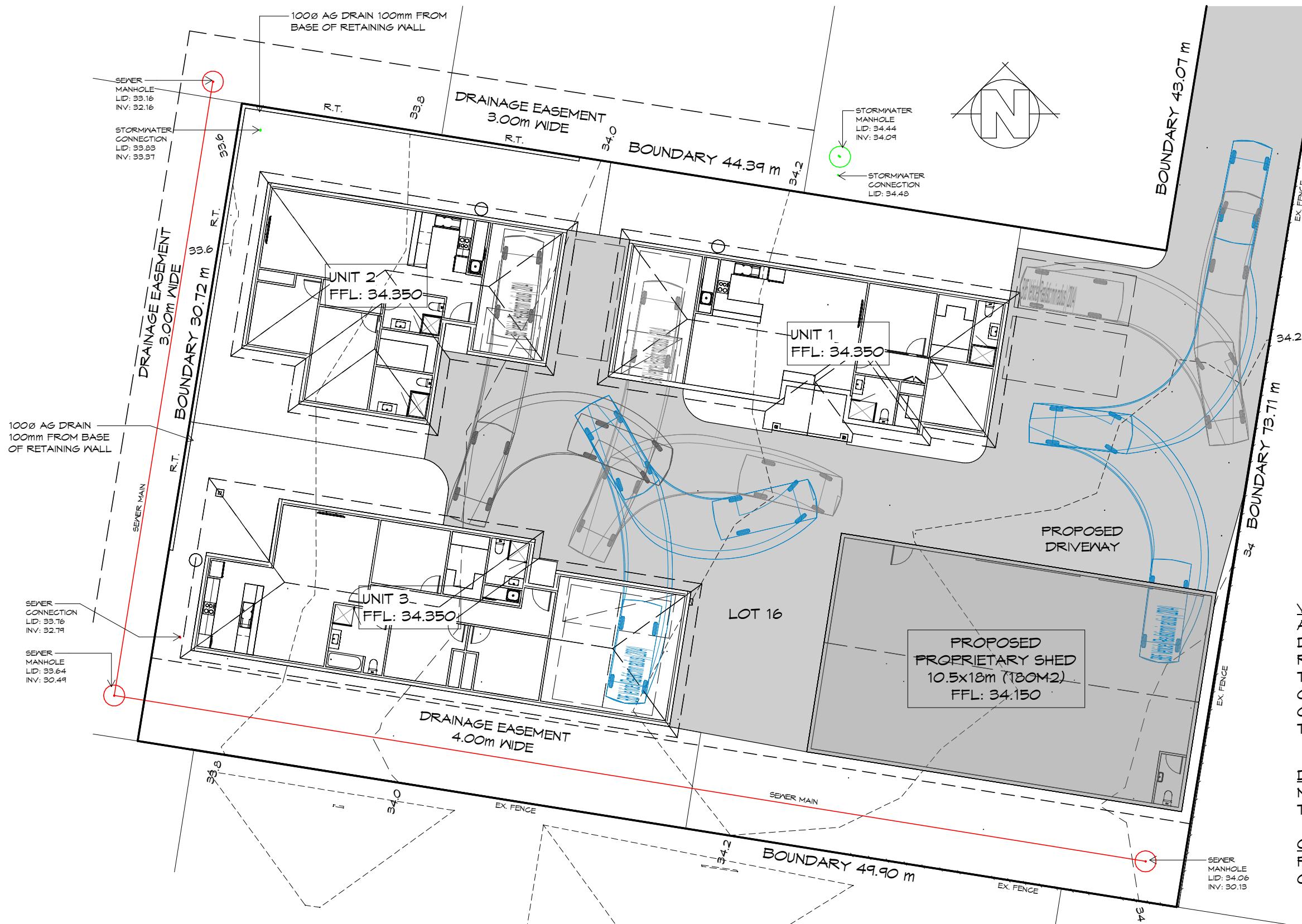


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Client name:	Project:	Date:	Drafted by:	Approved by:
ROSSITER HOMES & DEVELOPMENTS	PROPOSED UNIT DEVELOPMENT LOT 16 JAGO COURT, LEGANA	10/11/2025	A.G.C.	Approver
REV. DATE	DESCRIPTION	Project/Drawing no:	Scale:	Revision:
		PD25307 - 05	1 : 3000	03
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PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



SITE TURNING MOVEMENTS

1 : 200

REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
ROSSITER HOMES & DEVELOPMENTS

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
**PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT,
LEGANA**

Drawing: **SITE TURNING MOVEMENTS**

Prime
Design

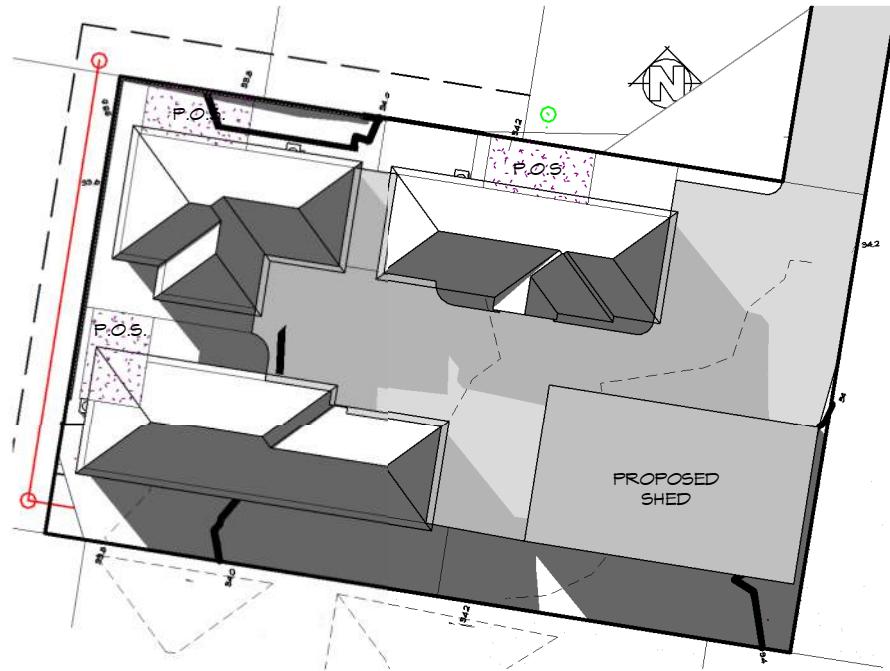
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Project/Drawing no: Scale: Revision:
PD25307 - 06 1 : 200 03

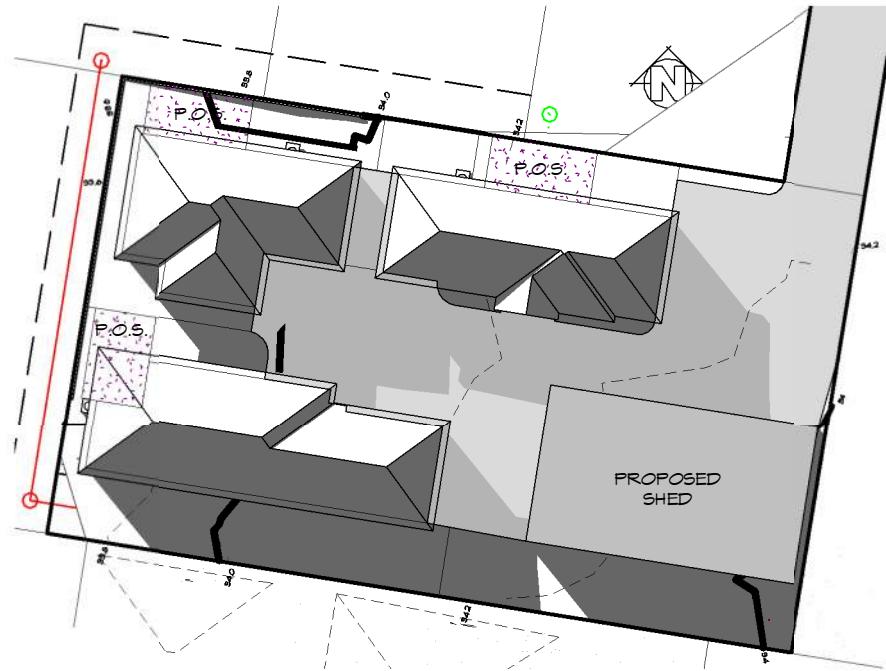
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1 D25397 - 00 1.200 05
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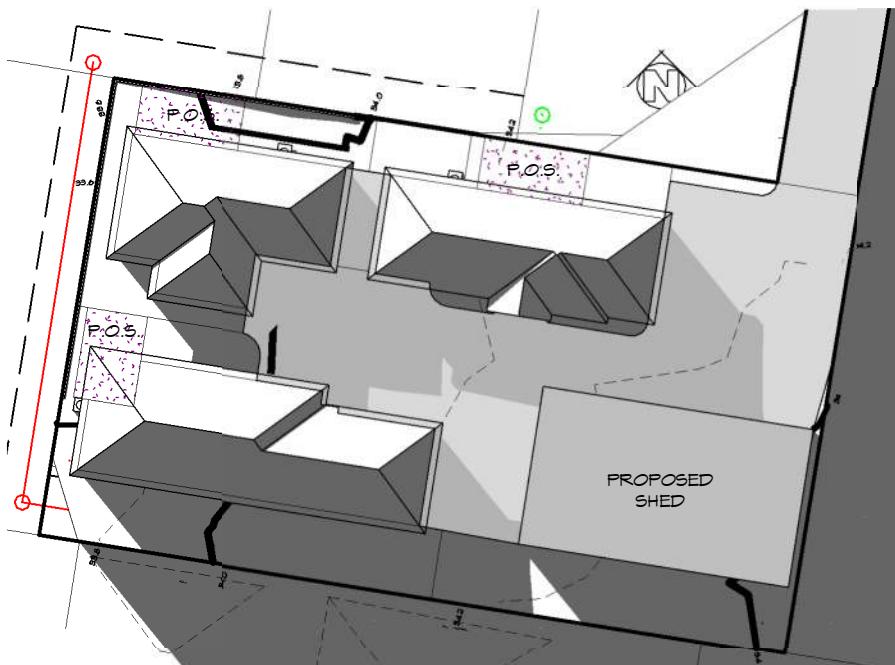
SHADOW DIAGRAM 21ST JUNE @ 9am

1 : 500



SHADOW DIAGRAM 21ST JUNE @ 12PM

1 : 500



SHADOW DIAGRAM 21ST JUNE @ 3PM

1 : 500

REV. DATE DESCRIPTION

Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT,
LEGANA

Drawing:
SHADOW DIAGRAMS

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Date: Drafted by: Approved by:

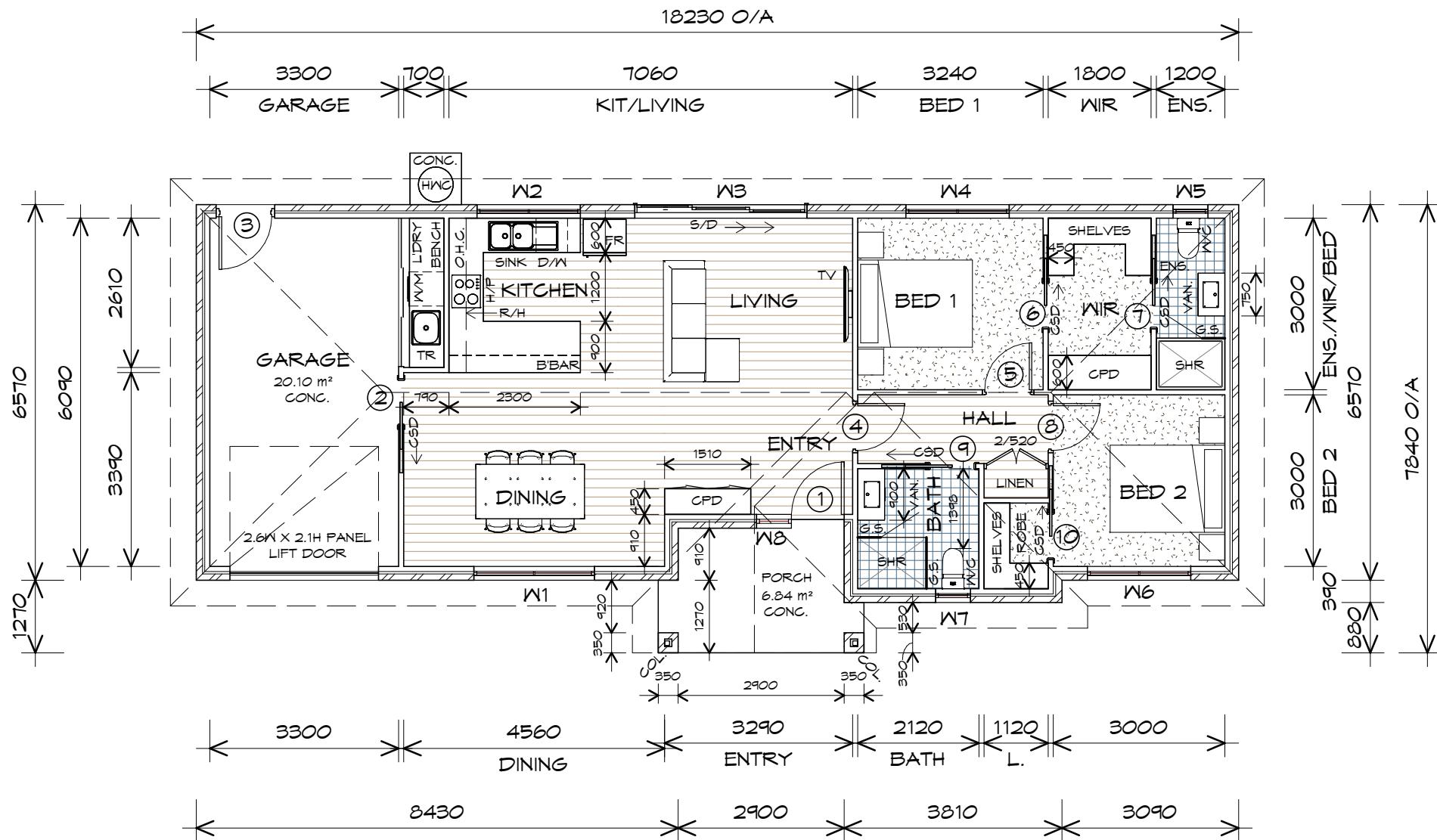
10/11/2025 A.G.C. Approver

Project/Drawing no: Scale: Revision:
PD25307 - 07 1 : 500 03

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PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



UNIT 1 - FLOOR PLAN

1 : 100

FLOOR AREA 92.34 m² (9.94 SQUARES)
 GARAGE AREA 25.52 m² (2.75 SQUARES)
 PORCH AREA 7.11 m² (0.76 SQUARES)
 TOTAL AREA 124.97 m² 13.45 SQUARES

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF
 BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
 DECKS AND OUTDOOR AREAS ARE CALCULATED
 SEPARATELY.

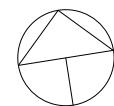
WINDOW WITHIN WET AREA
 C/W SAFETY GLASS AS PER AS1288.2021
 BEVEL WINDOW SEAL
 RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

NOTE:
 WHERE LIGHT WEIGHT CLADDING IS
 USED DIMENSIONS ARE TO FRAME ONLY
 AND DO NOT INCLUDE LIGHT WEIGHT
 CLADDING

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REV. DATE	DESCRIPTION	Client name: ROSSITER HOMES & DEVELOPMENTS	Project: PROPOSED UNIT DEVELOPMENT LOT 16 JAGO COURT LEGANA	Date: 10/11/2025	Drafted by: A.G.C.	Approved by: A.G.C.
			Drawing: FLOOR PLAN	Project/Drawing no: PD25307 - U1-01	Scale: 1 : 100	Revision: 01



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DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL ENTRY DOOR	
2	820	CAVITY SLIDING DOOR	
3	920	EXTERNAL HALF GLASS	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	CAVITY SLIDING DOOR	
7	820	CAVITY SLIDING DOOR	
8	820	INTERNAL TIMBER DOOR	
9	820	CAVITY SLIDING DOOR	
10	820	CAVITY SLIDING DOOR	

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1500	2110	AWNING WINDOW	
W2	1000	1810	AWNING WINDOW	
W3	2100	3010	STACKING SLIDING DOOR	
W4	1500	1810	AWNING WINDOW	
W5	900	610	AWNING WINDOW	OPAQUE
W6	1500	1810	AWNING WINDOW	
W7	900	610	AWNING WINDOW	OPAQUE
W8	2100	610	FIXED WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
WITH FLY SCREENS TO SUIT ??? BAL RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING



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Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA

Date: 10/11/2025 Drafted by: A.G.C. Approved by: Approver

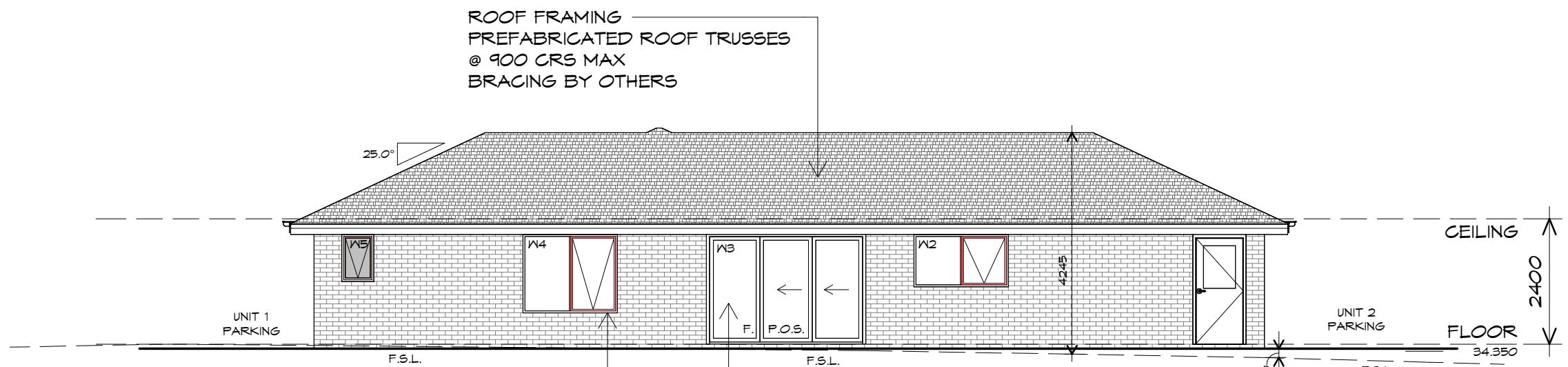
REV. DATE DESCRIPTION

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

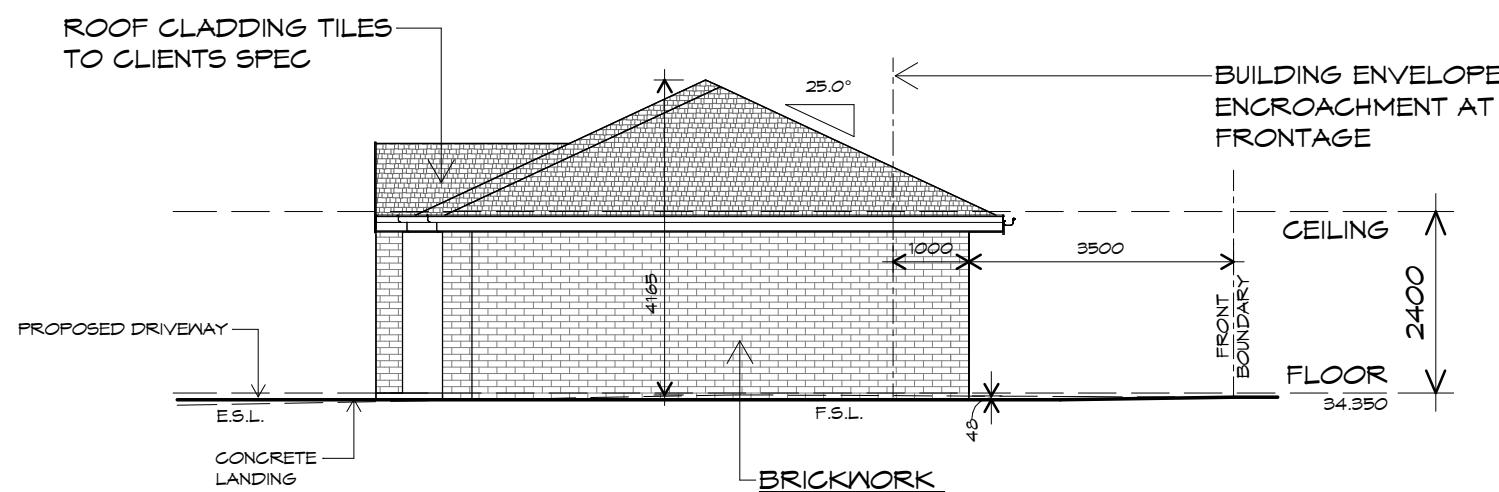
Drawing:
DOOR AND WINDOW SCHEDULES

Project/Drawing no: PD25307 - U1-02 Scale: 01 Revision: 01

Accredited building practitioner: Frank Geskus - No CC246A
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NORTHERN ELEVATION



EASTERN ELEVATION

UNIT 1 Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA

Drawing:
ELEVATIONS

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REV. DATE DESCRIPTION

Date: 10/11/2025 Drafted by: A.G.C. Approved by: A.G.C.

Project/Drawing no: PD25307 - U1-03 Scale: 1 : 100 Revision: 01

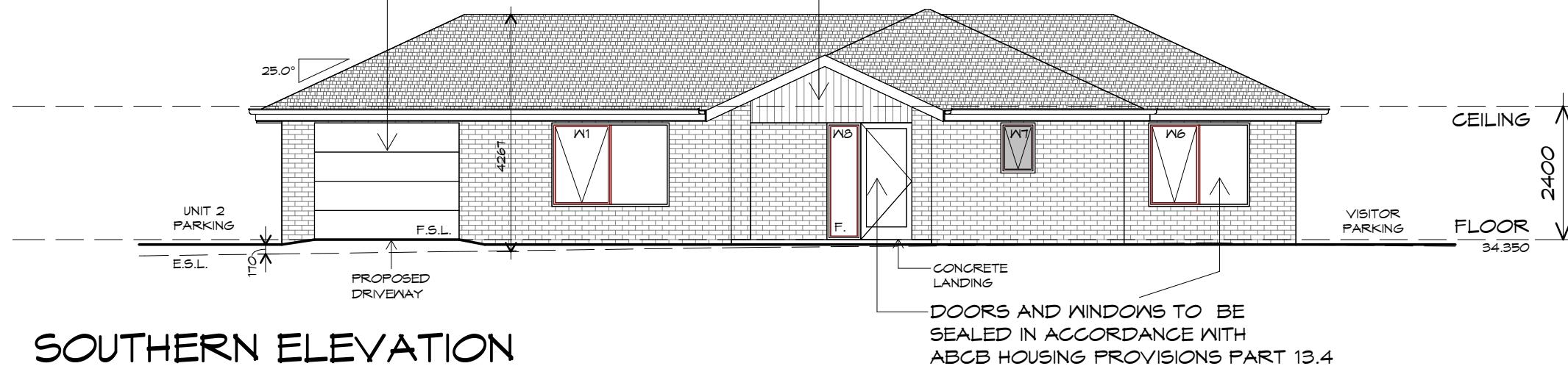
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PLANNING

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PANEL LIFT DOOR 2600 WIDE X 2100
HIGH CLADDING PANELS TO CLIENTS
SPEC FIXED IN ACCORDANCE WITH
MANUFACTURERS SPEC

SCYON AXON CLADDING (ON
BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.



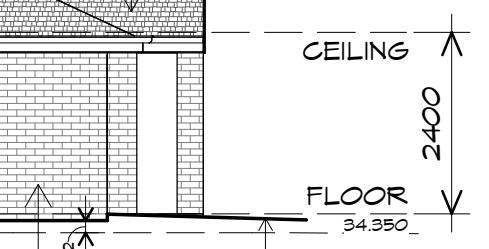
SOUTHERN ELEVATION

1 : 100

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

BUILDING ENVELOPE
ENCROACHMENT AT
FRONTAGE

ROOF CLADDING TILES
TO CLIENTS SPEC



WESTERN ELEVATION

1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCB HOUSING PROVISIONS PART 5

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REV. DATE DESCRIPTION

UNIT 1

Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA

Date:
10/11/2025

Drafted by:
A.G.C.

Approved by:
A.G.C.

Project/Drawing no:
PD25307 - U1-04

Scale:
1 : 100

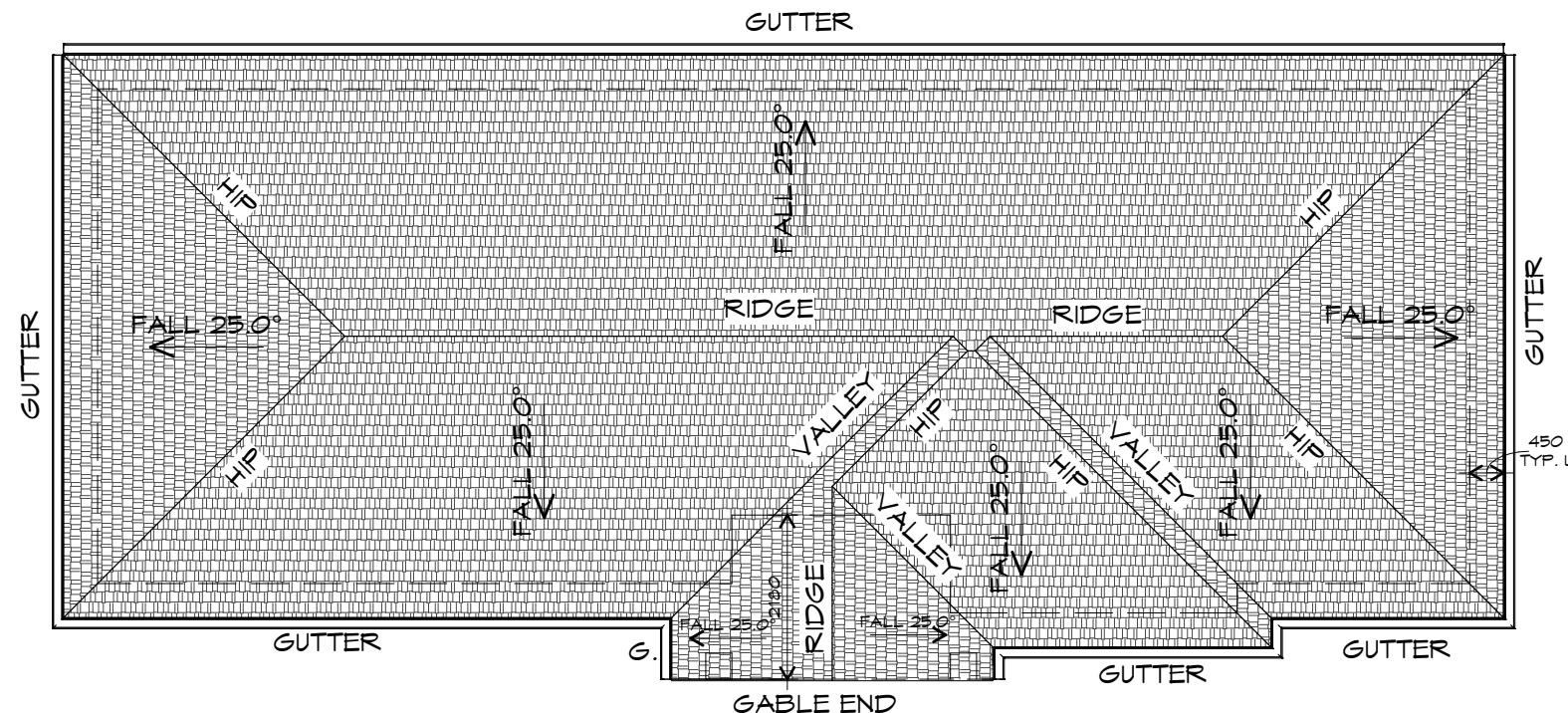
Revision:
01

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:
ELEVATIONS

Accredited building practitioner:
Frank Geskus - No CC246A
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ROOF PLAN

1 : 100

TILE ROOF

ROOF TILES TO COMPLY WITH AS2049
ROOF PITCH NOT LESS THAN 15° AND NO MORE
THAN 35°. TILES TO BE FIXED IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.3.2.
TILE FLASHINGS IN ACCORDANCE WITH ABCB
HOUSING PROVISIONS PART 7.3.2.
SARKING IN ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 7.3.4 C/W ANTI-PONDING
DEVICE/BOARD AS PER ABCB HOUSING
PROVISIONS PART 7.3.5. TILES TO EAVES
GUTTER MUST OVERHANG MIN 35mm AS PER
ABCB HOUSING PROVISIONS PART 7.3.6

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

- A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
- B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

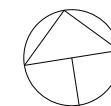
LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPINES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS



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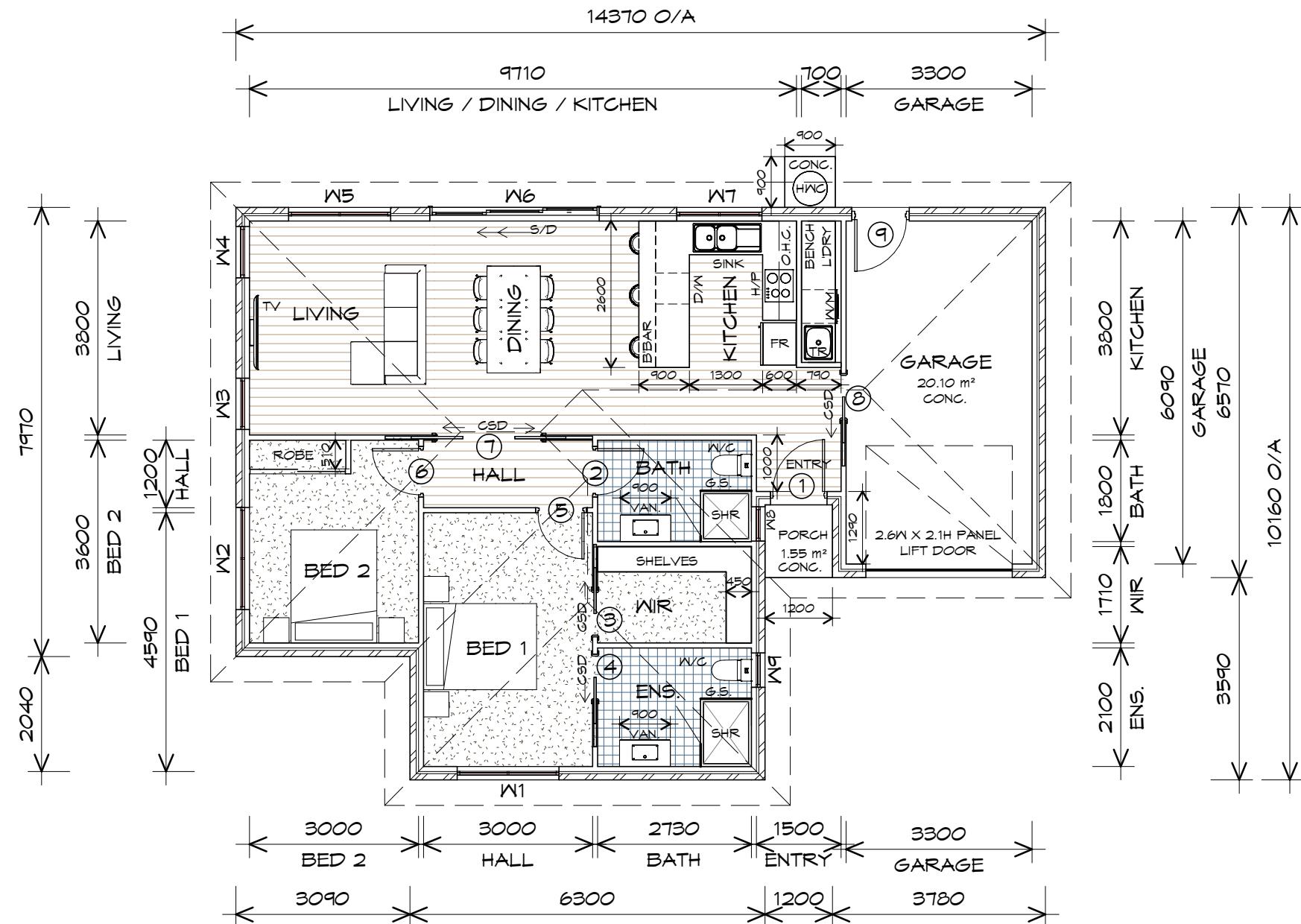
REV. DATE	DESCRIPTION	Client name: ROSSITER HOMES & DEVELOPMENTS	Project: PROPOSED UNIT DEVELOPMENT LOT 16 JAGO COURT LEGANA	Date: 10/11/2025	Drafted by: A.G.C.	Approved by: A.G.C.
UNIT 1	PLANNING	NOTE: DO NOT SCALE OFF DRAWINGS	Drawing: ROOF PLAN	Project/Drawing no: PD25307 - U1-05	Scale: 1 : 100	Revision: 01



Accredited building practitioner:
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Frank Geskus - No CC246A



LEGEND

CSD	CAVITY SLIDING DOOR
S/D	SLIDING DOOR
COL	COLUMN
G.S.	GLASS SCREEN
H.W.C.	HOT WATER CYLINDER
O.H.C.	OVERHEAD CUPBOARD

UNIT 2 - FLOOR PLAN

1 : 100

FLOOR AREA 93.57 m² (10.07 SQUARES)
 GARAGE AREA 25.75 m² (2.71 SQUARES)
 PORCH AREA 2.03 m² (0.22 SQUARES)
 TOTAL AREA 121.35 m² 13.06 SQUARES

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF
 BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
 DECKS AND OUTDOOR AREAS ARE CALCULATED
 SEPARATELY.

NOTE:
 WHERE LIGHT WEIGHT CLADDING IS
 USED DIMENSIONS ARE TO FRAME ONLY
 AND DO NOT INCLUDE LIGHT WEIGHT
 CLADDING

WINDOW WITHIN WET AREA
 C/W SAFETY GLASS AS PER AS1288.2021
 BEVEL WINDOW SEAL
 RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

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REV. DATE DESCRIPTION

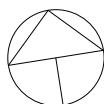
UNIT 2

Client name:
 ROSSITER HOMES & DEVELOPMENTS

Project:
 PROPOSED UNIT DEVELOPMENT
 LOT 16 JAGO COURT
 LEGANA
 Drawing:
 FLOOR PLAN

Date: 10/11/2025 Drafted by: A.G.C. Approved by: A.G.C.

Project/Drawing no: PD25307 - U2-01 Scale: 1 : 100 Revision: 01



Accredited building practitioner: Frank Geskus - No CC246A
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PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	GLAZED EXTERNAL DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	CAVITY SLIDING DOOR	
4	820	CAVITY SLIDING DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	920	2/920 CAVITY SLIDING DOOR	
8	820	CAVITY SLIDING DOOR	
9	920	EXTERNAL HALF GLASS	

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1500	1810	AWNING WINDOW	
W2	1500	1810	AWNING WINDOW	
W3	1800	910	AWNING WINDOW	
W4	1800	910	AWNING WINDOW	
W5	1500	1810	AWNING WINDOW	
W6	2100	3010	STACKING SLIDING DOOR	
W7	1000	1510	AWNING WINDOW	
W8	900	610	AWNING WINDOW	OPAQUE
W9	900	610	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
WITH FLY SCREENS TO SUIT ??? BAL RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

UNIT 2

Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA

Drawing:
DOOR AND WINDOW SCHEDULES

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

REV. DATE DESCRIPTION

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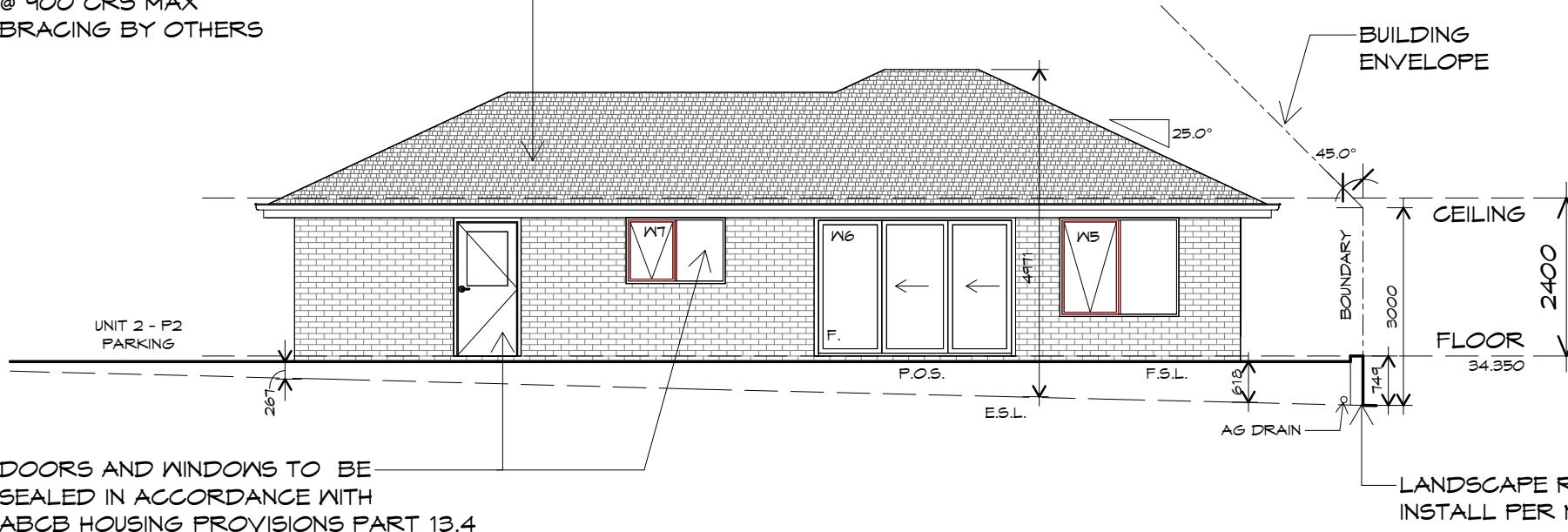
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Date: 10/11/2025 Drafted by: A.G.C. Approved by: Approver

Project/Drawing no: PD25307 - U2-02 Scale: 01 Revision: 01

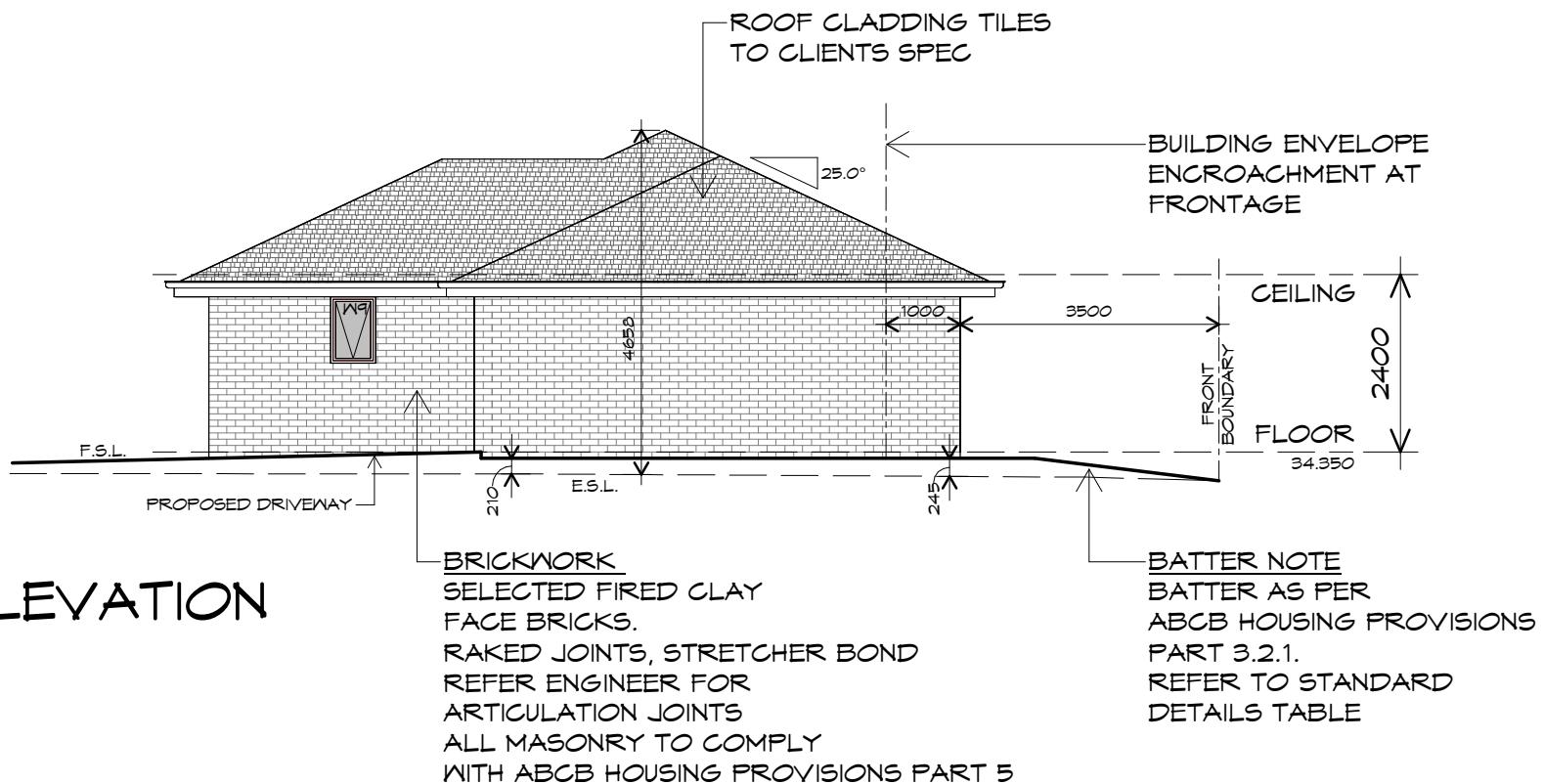
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ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS



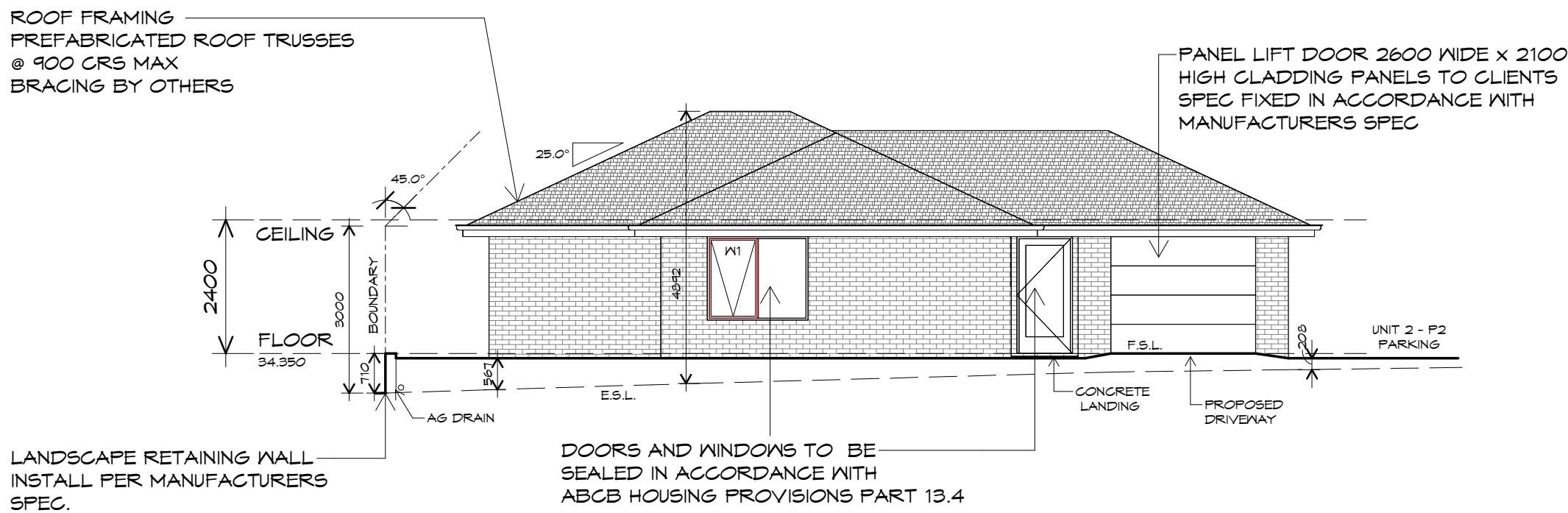
NORTHERN ELEVATION

1 : 100



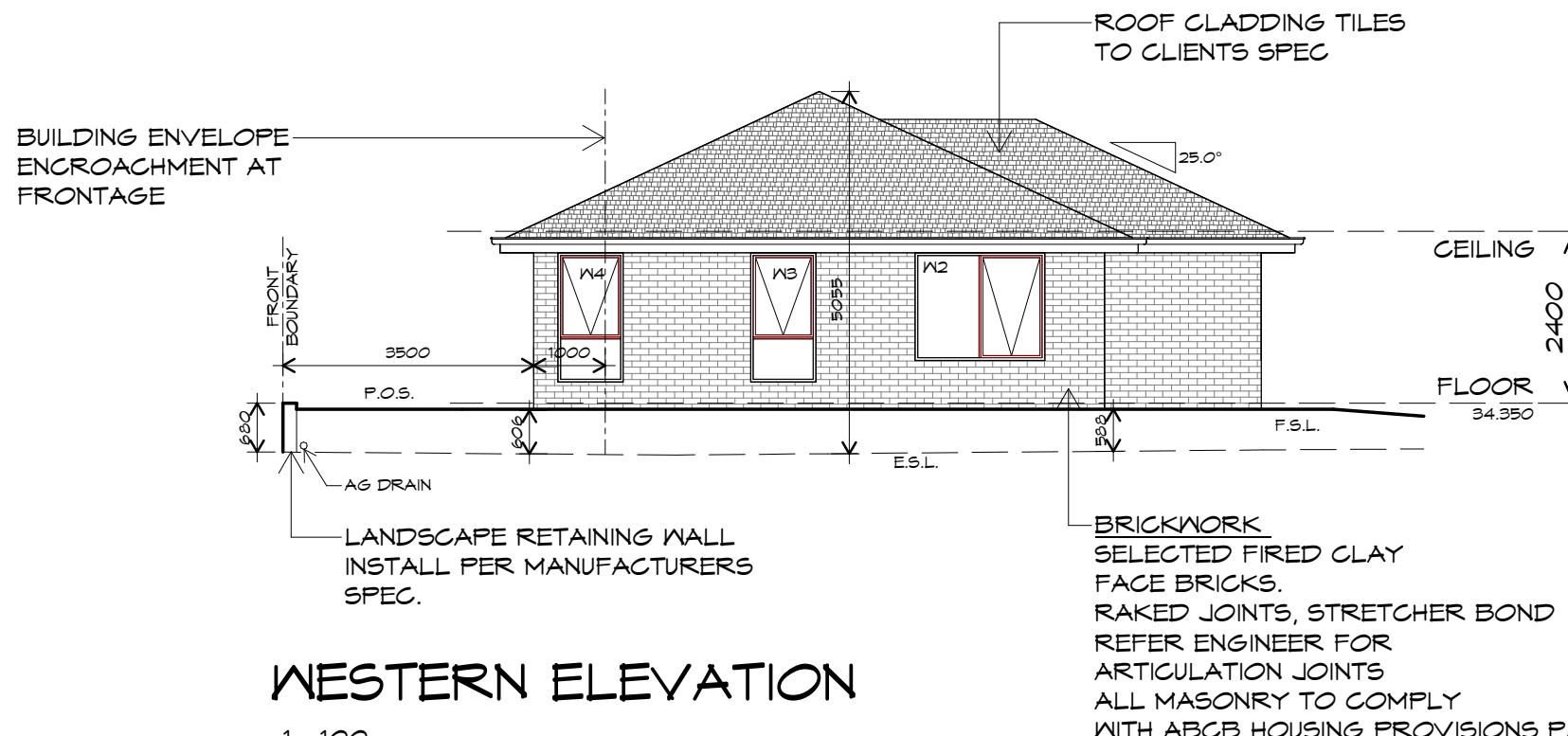
EASTERN ELEVATION

1 : 100



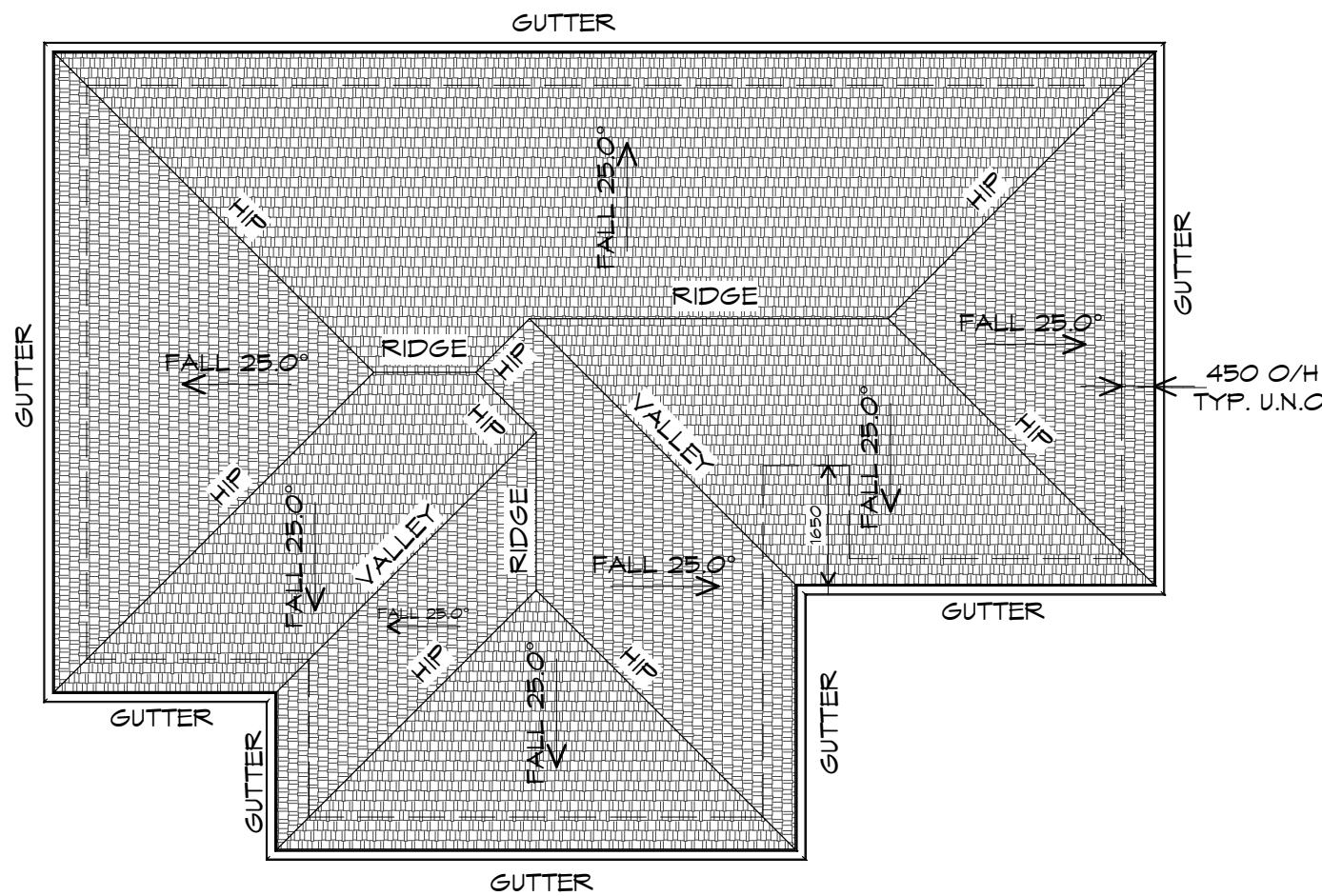
SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100



ROOF PLAN

1 : 100

TILE ROOF

ROOF TILES TO COMPLY WITH AS2049
ROOF PITCH NOT LESS THAN 15° AND NO MORE
THAN 35°. TILES TO BE FIXED IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.3.2.
TILE FLASHINGS IN ACCORDANCE WITH ABCB
HOUSING PROVISIONS PART 7.3.2.
SARKING IN ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 7.3.4 C/W ANTI-PONDING
DEVICE/BOARD AS PER ABCB HOUSING
PROVISIONS PART 7.3.5. TILES TO EAVES
GUTTER MUST OVERHANG MIN 35mm AS PER
ABCB HOUSING PROVISIONS PART 7.3.6

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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REV. DATE	DESCRIPTION

UNIT 2

Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA

Drawing:
ROOF PLAN

Date: 10/11/2025 Drafted by: A.G.C. Approved by: A.G.C.

Project/Drawing no: PD25307 - U2-05 Scale: 1 : 100 Revision: 01

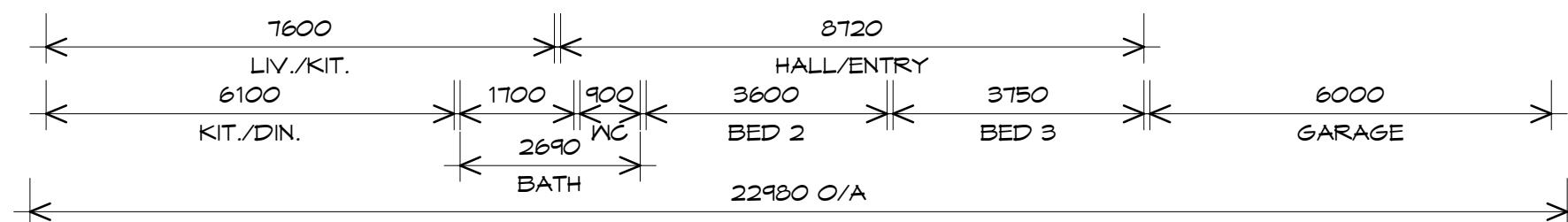
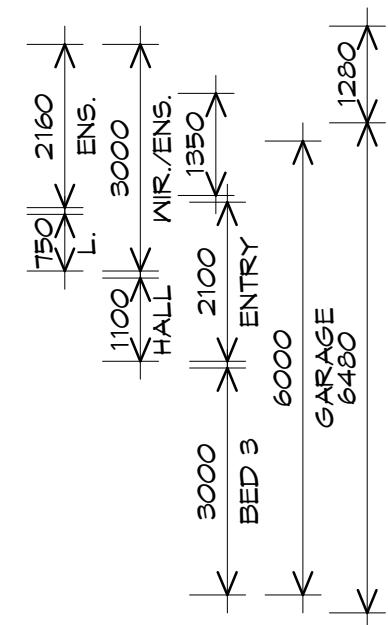
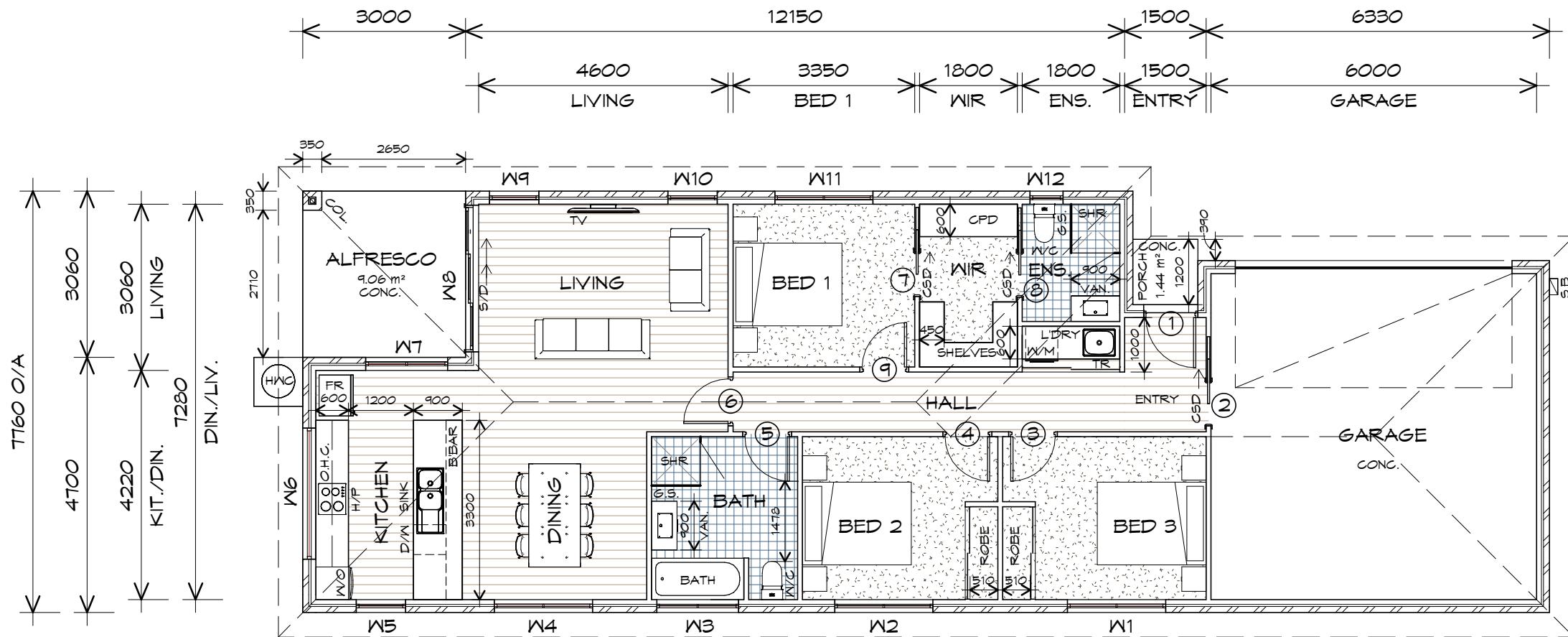


Accredited building practitioner:
Frank Geskus - No CC246A
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PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

LEGEND

CSD CAVITY SLIDING DOOR
S/D SLIDING DOOR
COL COLUMN
G.S. GLASS SCREEN
HWC HOT WATER CYLINDER
O.H.C. OVERHEAD CUPBOARD



UNIT 3 - FLOOR PLAN

1 : 100

FLOOR AREA	116.11	m2	(12.50	SQUARES)
PORCH AREA	1.34	m2	(0.14	SQUARES)
GARAGE AREA	41.12	m2	(4.43	SQUARES)
ALFRESCO AREA	9.92	m2	(1.07	SQUARES)
TOTAL AREA	168.49	m2	18.14	SQUARES

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
DECKS AND OUTDOOR AREAS ARE CALCULATED
SEPARATELY.

WINDOW WITHIN WET AREA
C/W SAFETY GLASS AS PER AS1288.2021
BEVEL WINDOW SEAL
RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

NOTE:
WHERE LIGHT WEIGHT CLADDING IS
USED DIMENSIONS ARE TO FRAME ONLY
AND DO NOT INCLUDE LIGHT WEIGHT
CLADDING



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REV. DATE	DESCRIPTION	Client name: ROSSITER HOMES & DEVELOPMENTS	Project: PROPOSED UNIT DEVELOPMENT LOT 16 JAGO COURT LEGANA	Date: 10/11/2025	Drafted by: A.G.C.	Approved by: A.G.C.
			Drawing: FLOOR PLAN	Project/Drawing no: PD25307 - U3-01	Scale: 1 : 100	Revision: 01

DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	820	CAVITY SLIDING DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	CAVITY SLIDING DOOR	
8	820	CAVITY SLIDING DOOR	
9	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1500	1810	AWNING WINDOW	
W2	1500	1810	AWNING WINDOW	
W3	1000	1510	AWNING WINDOW	OPAQUE
W4	1500	1810	AWNING WINDOW	
W5	1800	910	AWNING WINDOW	
W6	600	2410	FIXED WINDOW	SPLASHBACK WINDOW
W7	1500	1510	AWNING WINDOW	
W8	2100	2700	STACKING SLIDING DOOR	
W9	1800	910	AWNING WINDOW	
W10	1800	910	AWNING WINDOW	
W11	1500	1810	AWNING WINDOW	
W12	900	610	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
WITH FLY SCREENS TO SUIT ??? BAL RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

UNIT 2

Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT
LEGANA

Drawing:
DOOR AND WINDOW SCHEDULES

REV. DATE DESCRIPTION

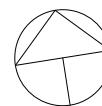
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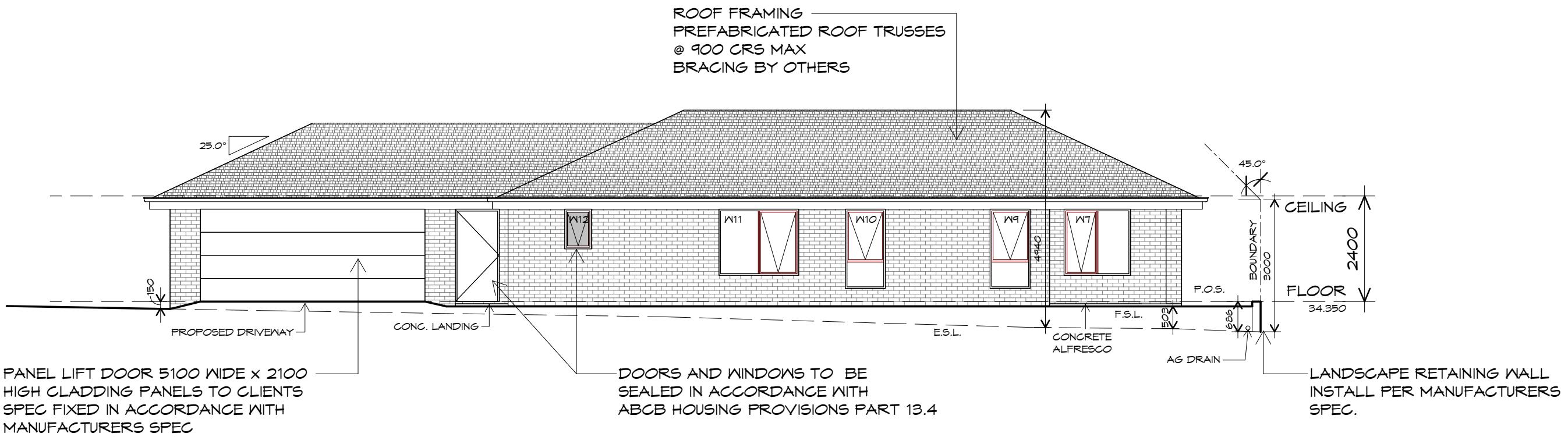
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Date: 10/11/2025 Drafted by: A.G.C. Approved by: Approver

Project/Drawing no: PD25307 - U3-02 Scale: 01 Revision: 01

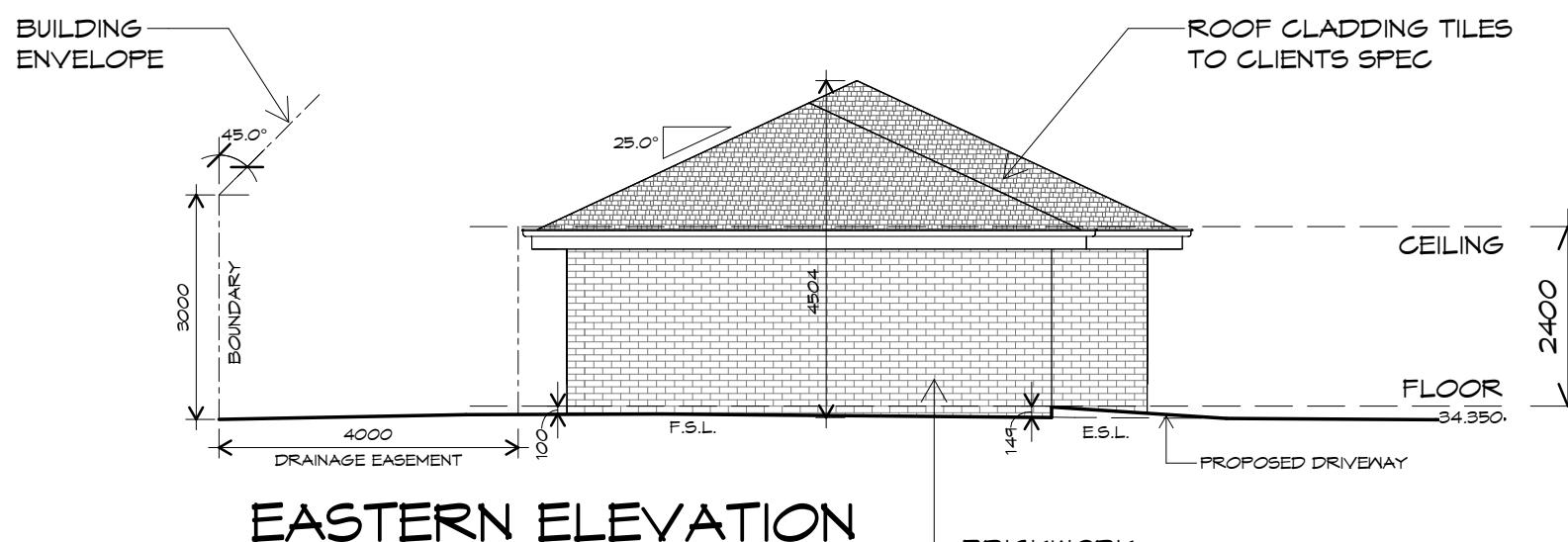


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NORTHERN ELEVATION

1 : 100



EASTERN ELEVATION

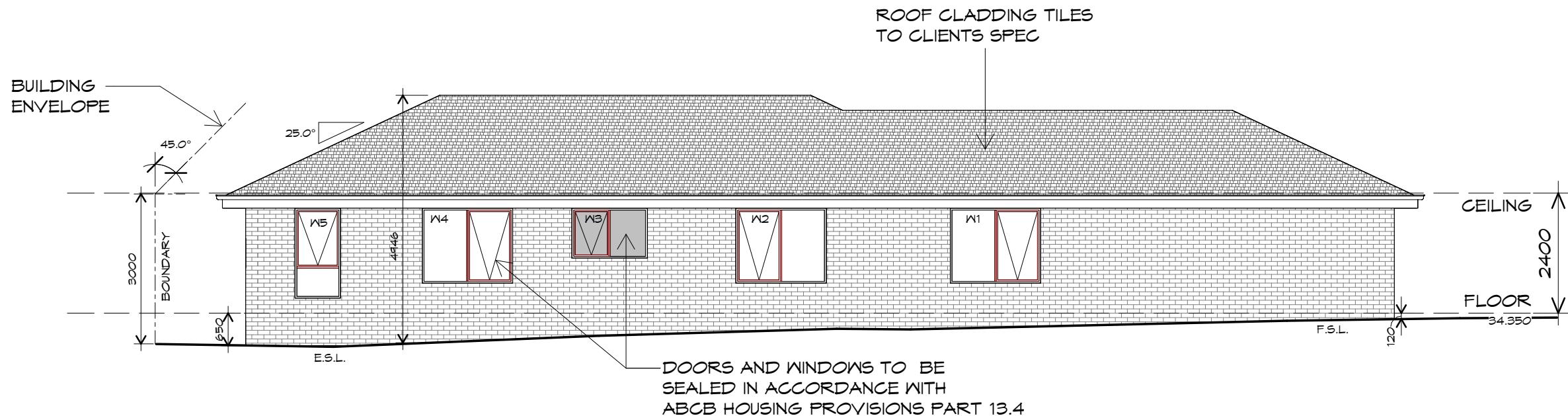
1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCB HOUSING PROVISIONS PART 5

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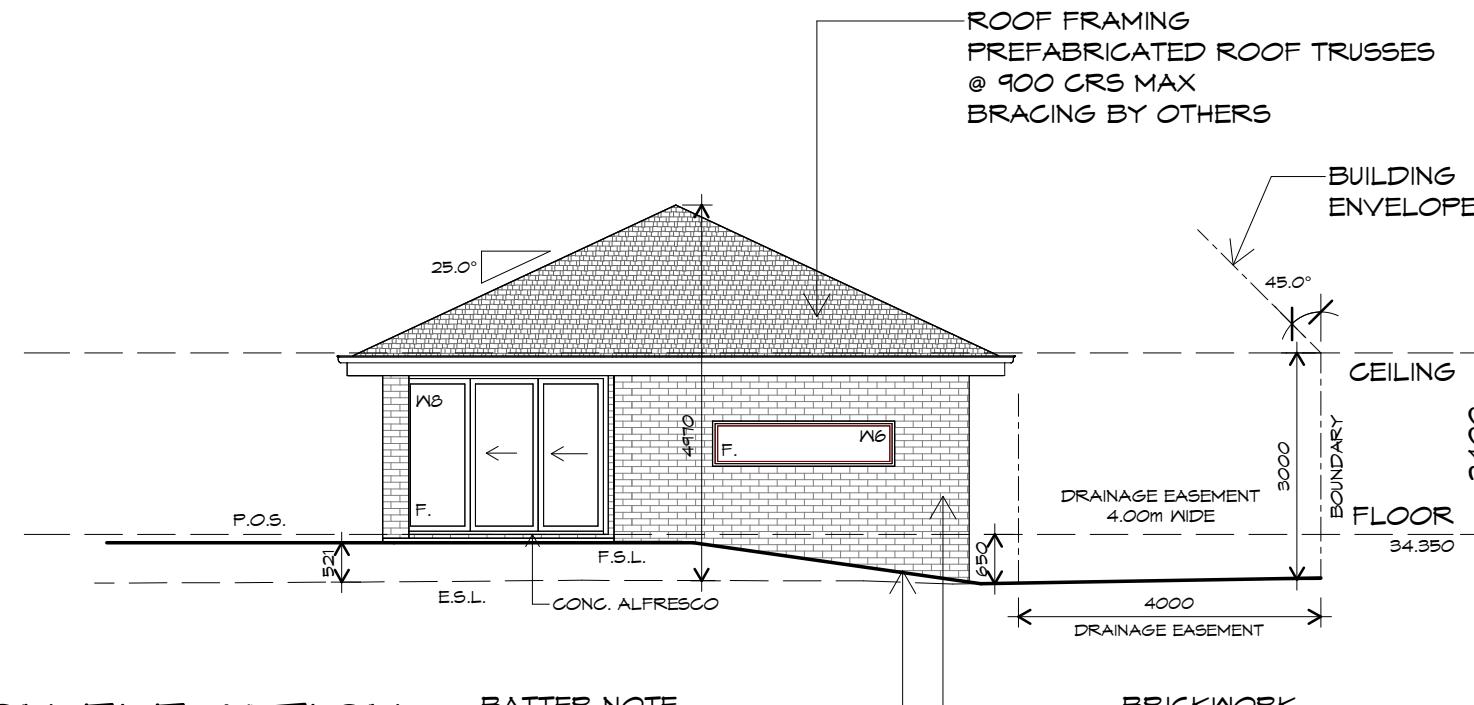
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REV. DATE	DESCRIPTION	Client name: ROSSITER HOMES & DEVELOPMENTS	Project: PROPOSED UNIT DEVELOPMENT LOT 16 JAGO COURT LEGANA	Date: 10/11/2025	Drafted by: A.G.C.	Approved by: A.G.C.
PLANNING	NOTE: DO NOT SCALE OFF DRAWINGS	Drawing: ELEVATIONS	Project/Drawing no: PD25307 - U3-03	Scale: 1 : 100	Revision: 01	Accredited building practitioner: Frank Geskus - No CC246A COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100

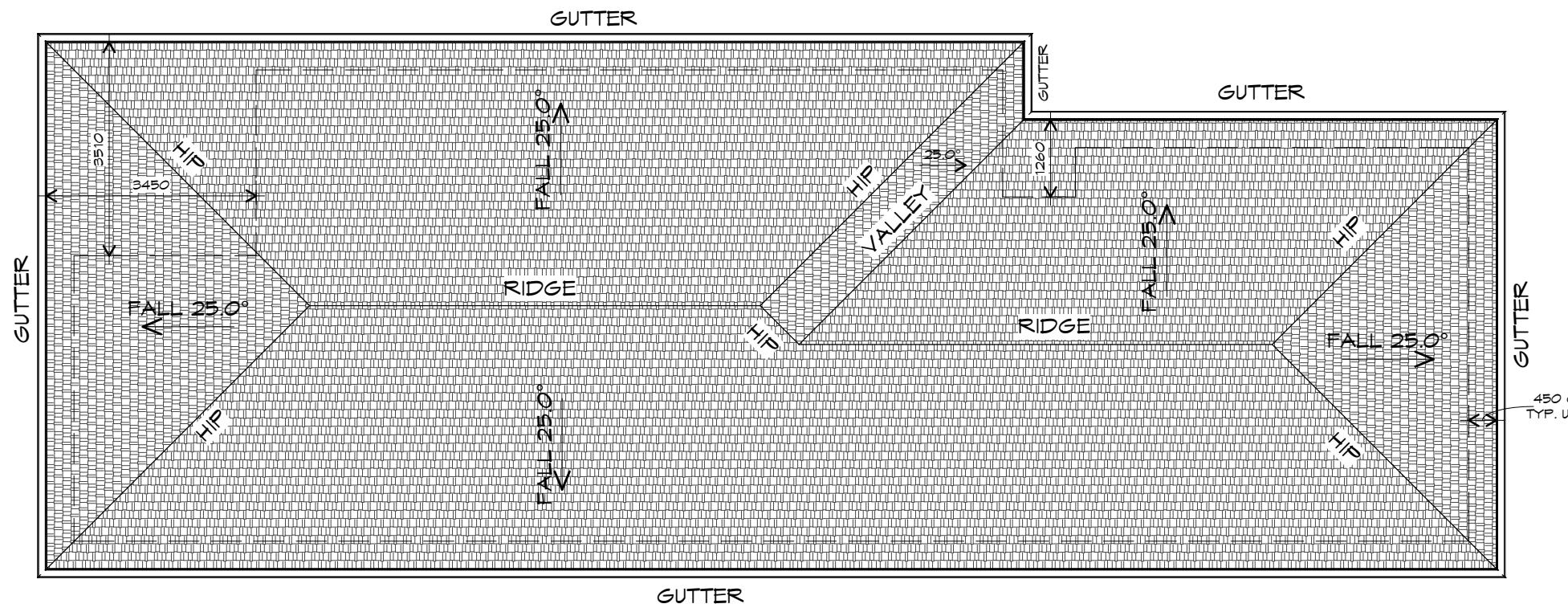
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REV. DATE	DESCRIPTION	Client name: ROSSITER HOMES & DEVELOPMENTS	Project: PROPOSED UNIT DEVELOPMENT LOT 16 JAGO COURT LEGANA	Date: 10/11/2025	Drafted by: A.G.C.	Approved by: A.G.C.
PLANNING	NOTE: DO NOT SCALE OFF DRAWINGS	PLANNING	Drawing: ELEVATIONS	Project/Drawing no: PD25307 - U3-04	Scale: 1 : 100	Revision: 01

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ROOF PLAN

1 : 100

TILE ROOF

ROOF TILES TO COMPLY WITH AS2049
ROOF PITCH NOT LESS THAN 15° AND NO MORE
THAN 35°. TILES TO BE FIXED IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.3.2.
TILE FLASHINGS IN ACCORDANCE WITH ABCB
HOUSING PROVISIONS PART 7.3.2.
SARKING IN ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 7.3.4 C/W ANTI-PONDING
DEVICE/BOARD AS PER ABCB HOUSING
PROVISIONS PART 7.3.5. TILES TO EAVES
GUTTER MUST OVERHANG MIN 35mm AS PER
ABCB HOUSING PROVISIONS PART 7.3.6

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.

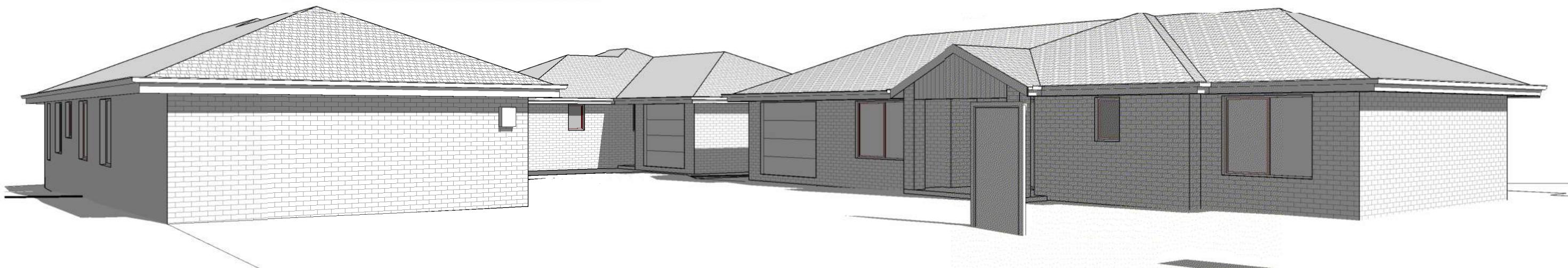
SPACING BETWEEN DOWNPipes MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

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REV. DATE	DESCRIPTION	Client name: ROSSITER HOMES & DEVELOPMENTS	Project: PROPOSED UNIT DEVELOPMENT LOT 16 JAGO COURT LEGANA	Date: 10/11/2025	Drafted by: A.G.C.	Approved by: A.G.C.
PLANNING	NOTE: DO NOT SCALE OFF DRAWINGS	Drawing: ROOF PLAN	Project/Drawing no: PD25307 - U3-05	Scale: 1 : 100	Revision: 01	Accredited building practitioner: Frank Geskus - No CC246A COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



REV. DATE DESCRIPTION

Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT,
LEGANA

Drawing:
PERSPECTIVES

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

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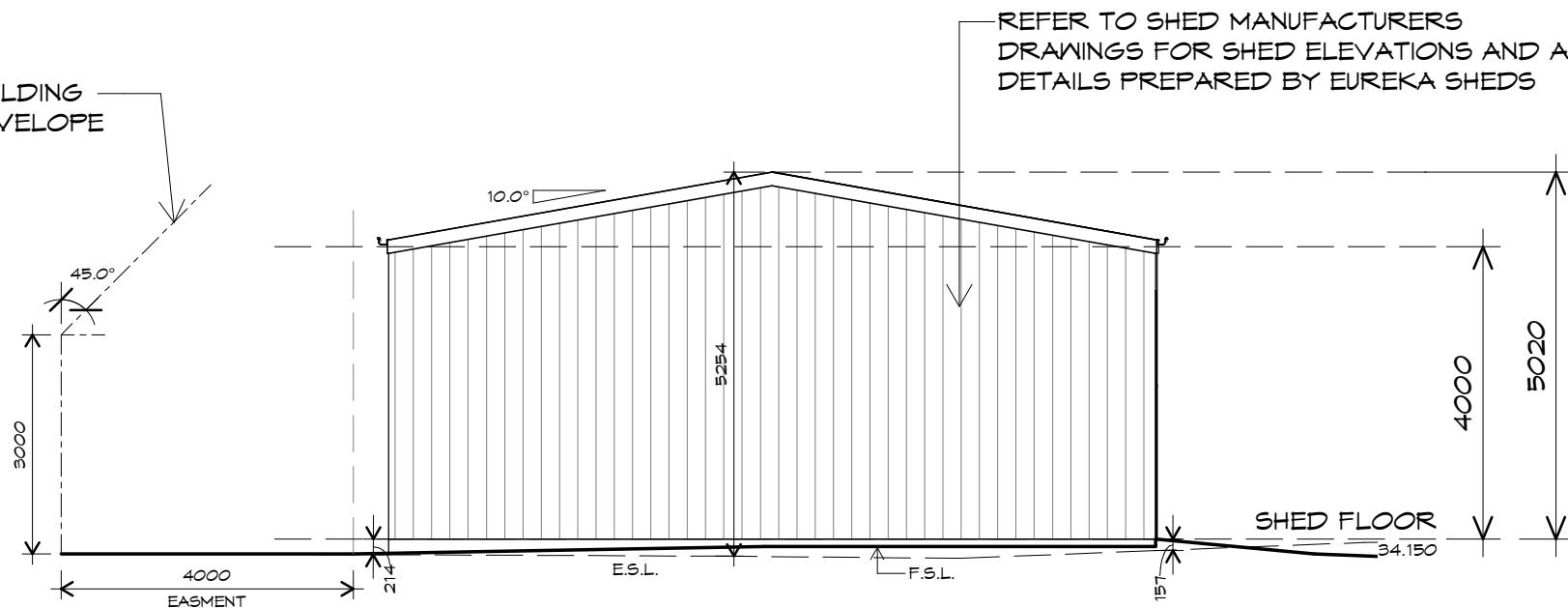
Date: Drafted by: Approved by:
10/11/2025 A.G.C. Approver

Project/Drawing no: Scale: Revision:
PD25307 - 08 03

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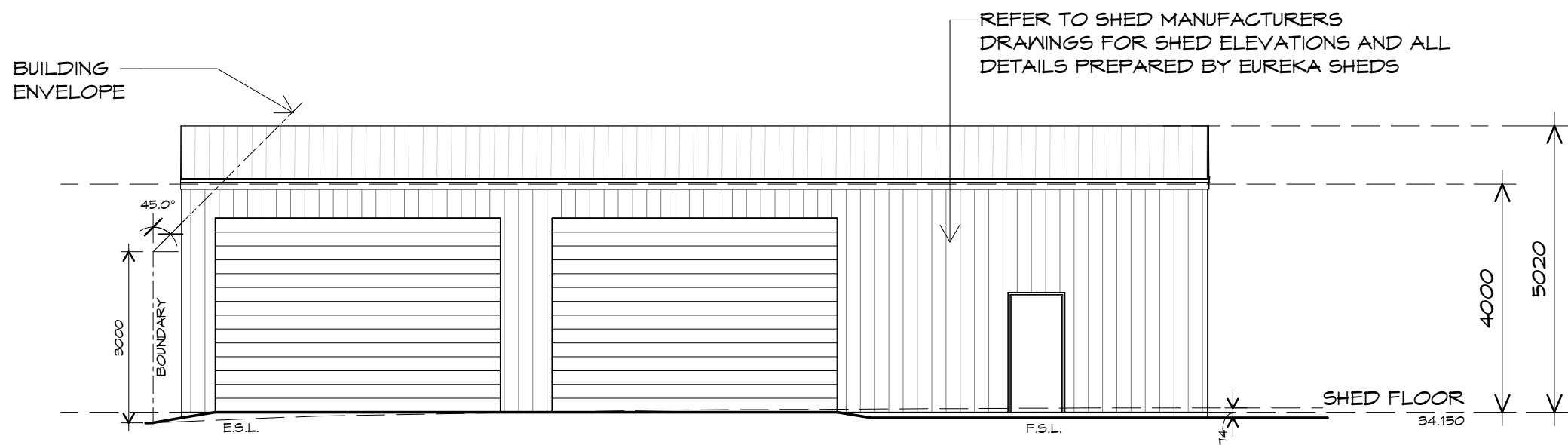
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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Frank Geskus - No CC246A



EASTERN ELEVATION

1 : 100



NORTHERN ELEVATION

1 : 100

REV. DATE

DESCRIPTION

SHED

Client name:
ROSSITER HOMES & DEVELOPMENTS

Project:
PROPOSED UNIT DEVELOPMENT
LOT 16 JAGO COURT,
LEGANA

Date:
10/11/2025

Drafted by:
A.G.C.

Approved by:
Approver

Project/Drawing no:
PD25307 - S-01

Scale:
1 : 100

Revision:
03

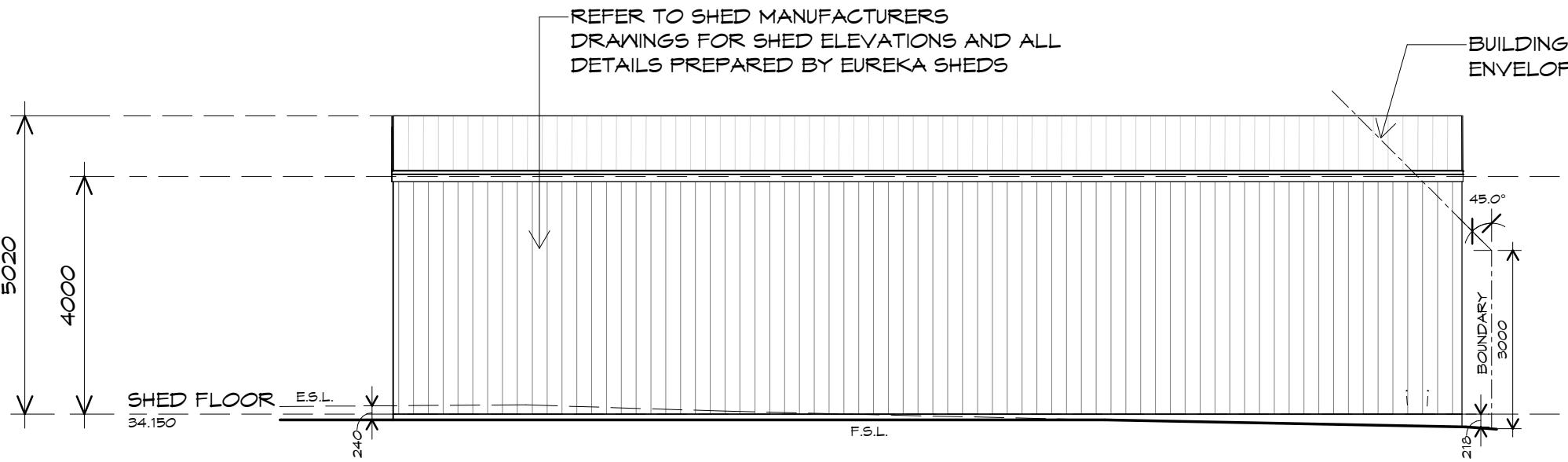
PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

NOTE: DO NOT SCALE OFF DRAWINGS

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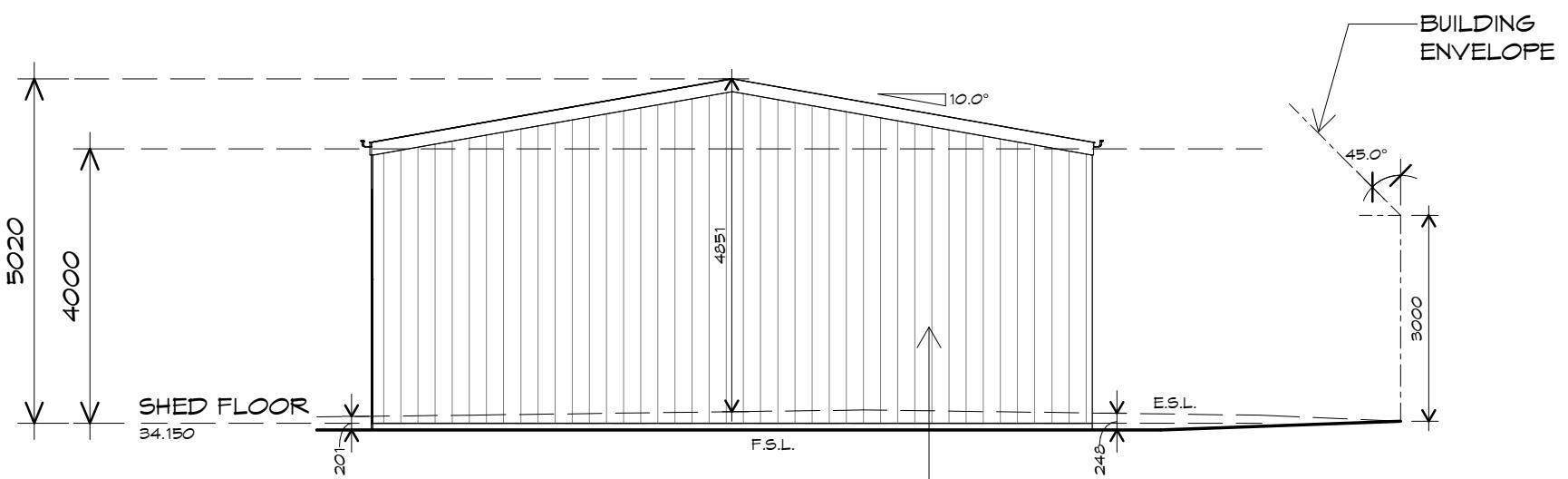
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SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100

REFER TO SHED MANUFACTURERS DRAWINGS FOR SHED ELEVATIONS AND ALL DETAILS PREPARED BY EUREKA SHEDS

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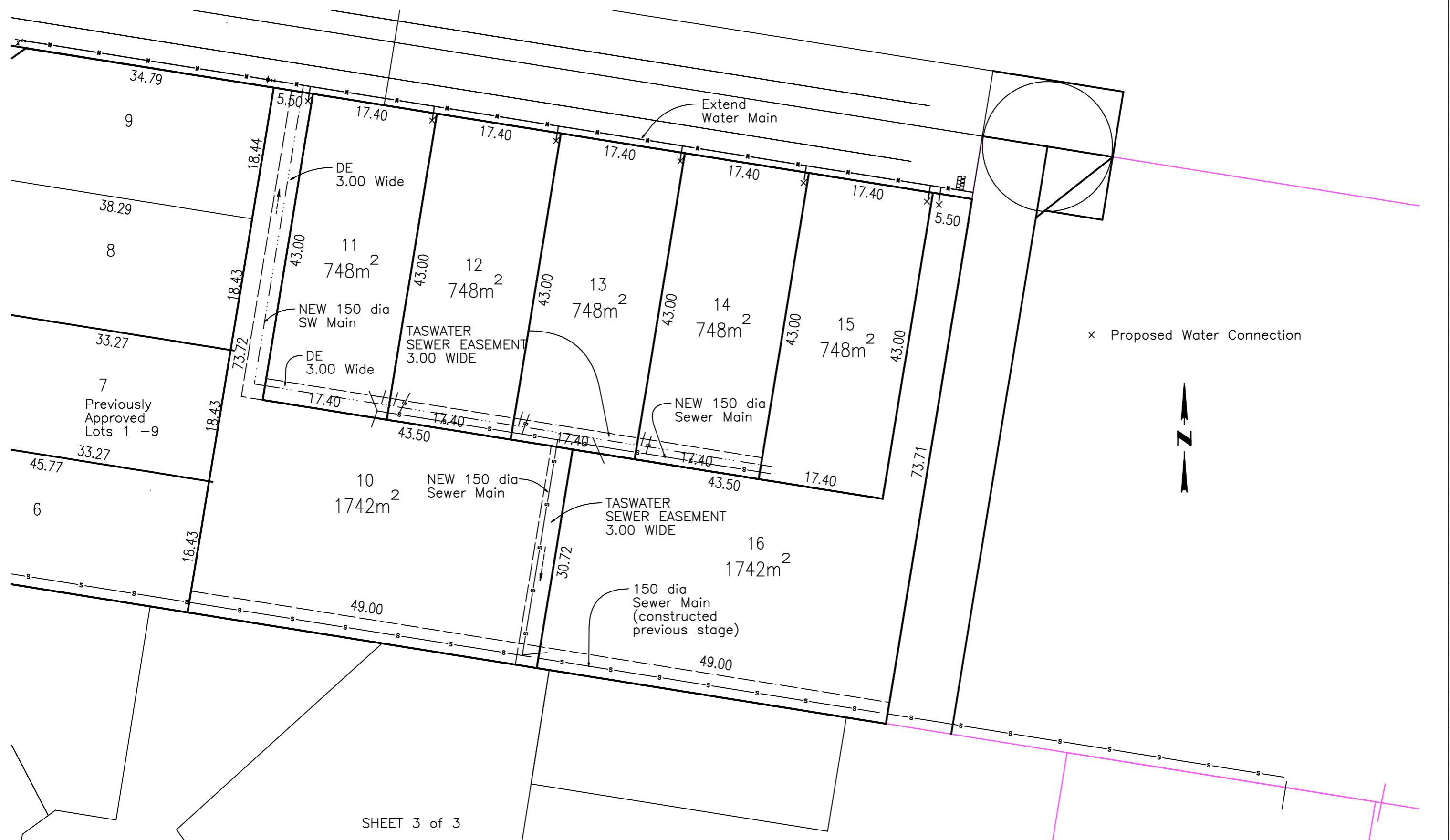
REV. DATE	DESCRIPTION	Client name: ROSSITER HOMES & DEVELOPMENTS	Project: PROPOSED UNIT DEVELOPMENT LOT 16 JAGO COURT, LEGANA	Date: 10/11/2025	Drafted by: A.G.C.	Approved by: Approver
			Drawing: SHED ELEVATIONS	Project/Drawing no: PD25307 - S-02	Scale: 1 : 100	Revision: 03

SHED

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Accredited building practitioner:
Frank Geskus - No CC246A
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PROPOSAL PLAN FOR 7 LOT SUBDIVISION
STAGE 2 – DEVELOPMENT OF LOT 100

CT 111574-1 Rossiter Homes & Developments Pty Ltd- Owners
CT162598-1 MA & ME CLIFFORD- owners
176 & 176A FRESHWATER POINT ROAD
LEGANA 7277
LOT 100 ON PREVIOUS STAGE

DATE	SCALE
10 Nov 2023	1: 750 @ A3
DRAWN	FILE
AJP	6262 30
SURVEYED	
AJP	

A. J PHILLIPS SURVEYING
6 BINDAREE ROAD
LEGANA
7277
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Sheet 3 of 3

SERVICES AND EASEMENT PLAN