

## PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE  
ONLY

Application Number PA2025421

Assess No: A13670

PID No: 9424112

Applicant Name:	HOTONDO HOMES LAUNCESTON		
Postal Address:			
Contact Phone:	Home	Work	Mobile
Email Address:			

## Planning Application Lodgement Checklist

**The following documents have been submitted to support the consideration of this application:**

1. A current copy of the property title text, folio plan and schedule of easements ✓
2. A completed application form including a detailed description of the proposal ✓
3. A complete plan set: ✓
  - a) Floor plans ✓
  - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ✓
  - c) Site Plan showing: ✓
    - Orientation
    - All title boundaries
    - Location of buildings and structure (both existing and proposed)
    - Setbacks from all boundaries
    - Native vegetation to be removed
    - Onsite services, connections and drainage details (including sewer, water and stormwater)
    - Cut and/or Fill
    - Car parking and access details (including construction material of all trafficable areas)
    - Fence details
    - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.  
All plans must be to scale.*

# WEST TAMAR COUNCIL



Application Number: «Application Number»

## APPLICANT DETAILS

**Applicant Name:** HOTONDO HIMES LAUNCESTON

**Note:** Full name(s) of person(s) or company making the application and postal address for correspondence.

## LAND DETAILS

**Owner/Authority Name:**  
(as per certificate of title) VOS CONSTRUCTION AND JOINERY

**Location / Address:** Lot 30 Connemara Close, Legana

**Title Reference:** 186003/24

**Zone(s):** General Residential, Bushfire Prone Overlay, Priority Vegetation

**Existing Development/Use:** Vacant Land

**Existing Developed Area:** 0m<sup>2</sup>

**Are any of the components in this Application seeking retrospective approval?**  
E.g. Use and/or development that has commenced without a Planning Permit.

YES ☐

NO ☒

(If yes please specify the relevant components):

**Proposed Use:**

Residential: ☒

Visitor Accommodation: ☐

Commercial: ☐

Other: ☐

Description of Use:

New residential dwelling

**Development Type:**

Building work: ☒

Demolition: ☐

Subdivision: ☐

Other: ☐

Description of development:

New construction, 3 bedroom, 2 Bath dwelling

**New or Additional Area:** 180m<sup>2</sup>

**Estimated construction cost of the proposed development:** \$429,000

**Building Materials:**

Wall Type: Brick

Colour:

Roof Type: Colorbond

Colour:

Application Number: «Application Number»

<b>SUBDIVISION</b>	✓N/A
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Subdivision creating additional lots ☐  
 Boundary adjustment with no additional lots created ☐

<b>Number of Lots (existing) :</b>		<b>Number of Lots (proposed) :</b>	
<b>Description:</b>			
<b>If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:</b>			
1.			
2.			
3.			

<b>COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE</b>	✓N/A
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<b>Hours of Operation:</b>	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

<b>Existing Car Parking:</b>	
<b>Proposed Car Parking:</b>	

<b>Number of Employees:</b> <i>(Existing)</i>	
<b>Number of Employees:</b> <i>(Proposed)</i>	

<b>Type of Machinery installed:</b>	
<b>Details of trade waste and method of disposal:</b>	

Application Number: «Application Number»

APPLICANT DECLARATION

**Owner:** As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

**Applicant:** As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

(if not the owner)

Trisha Pickersgill

Name (print)



Signed

09.12.25

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown  
Consent**  
(if required)

Name (print)

Signed

Date

**Chief  
Executive  
Officer**  
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

**Right of Way Owner:**



As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

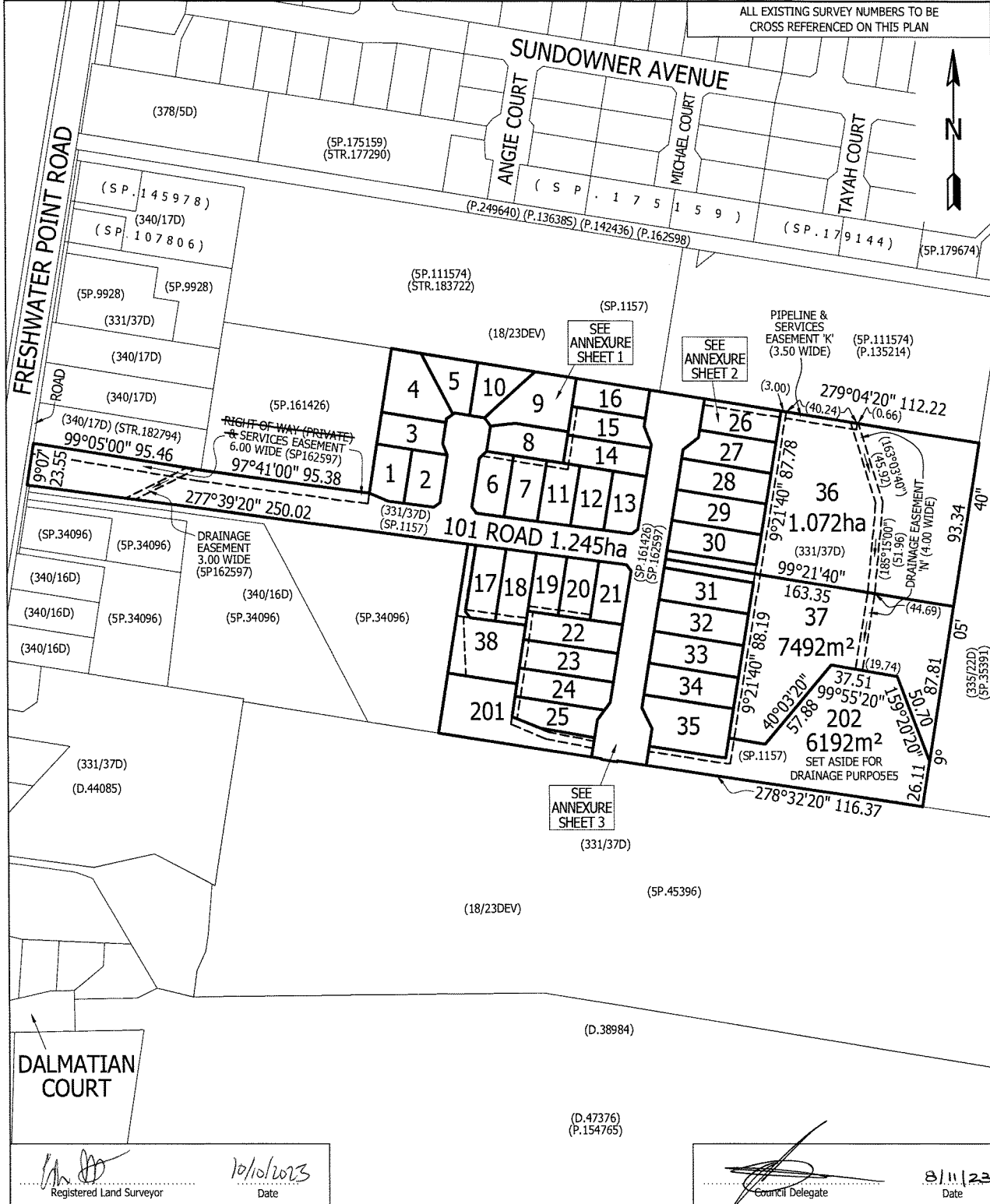
Name (print)

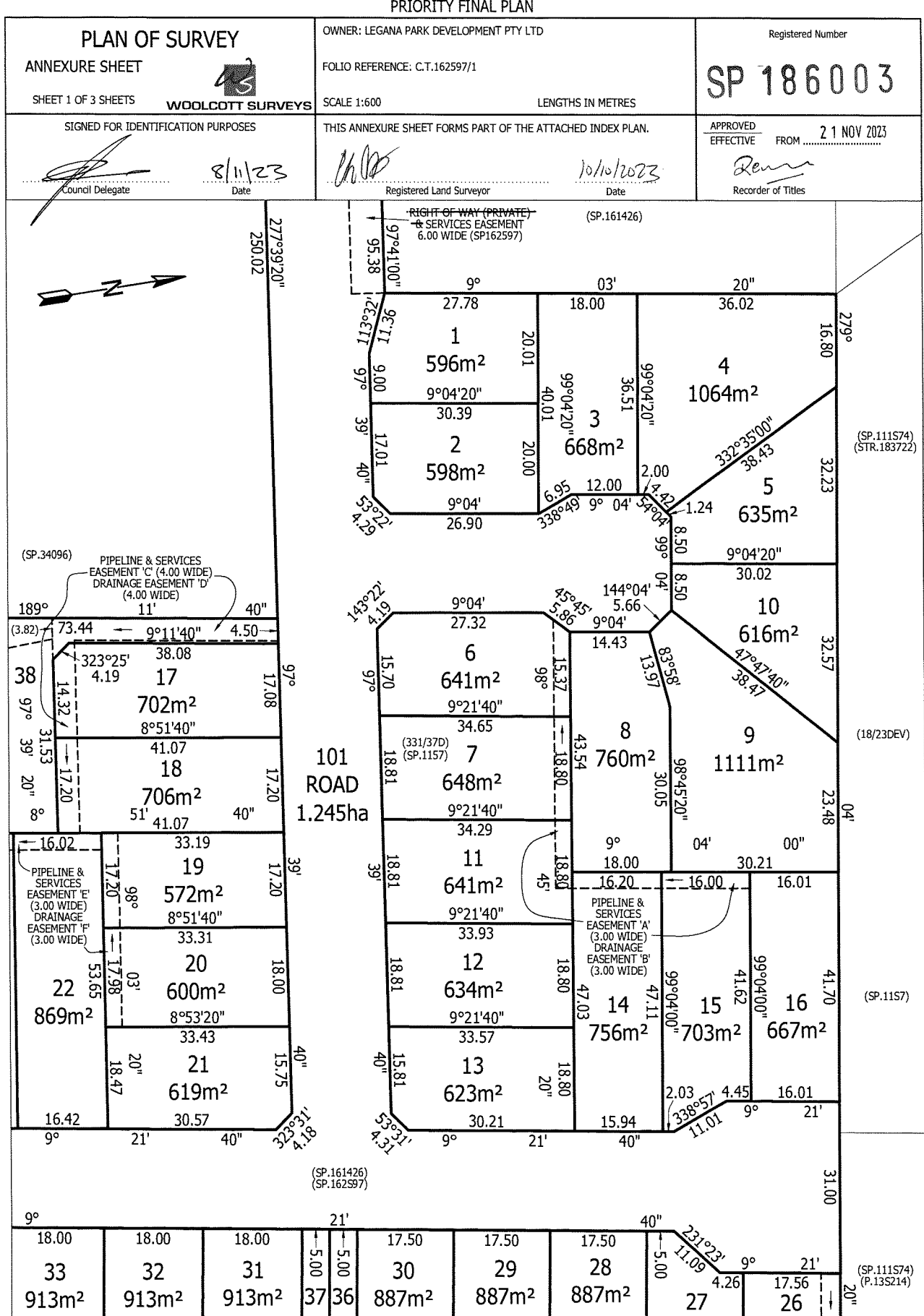
Signed

Date

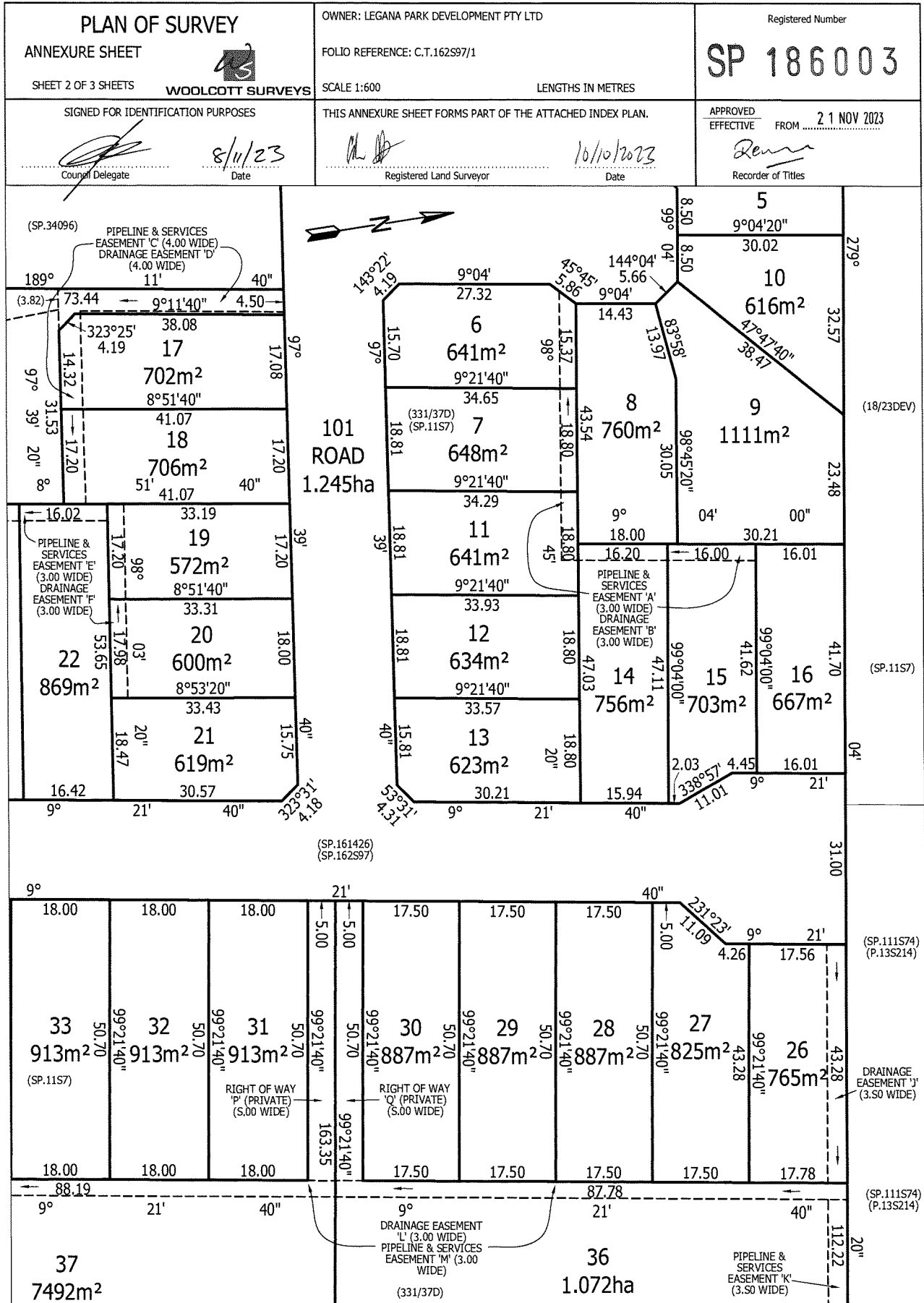
PRIORITY FINAL PLAN

OWNER: LEGANA PARK DEVELOPMENT PTY LTD	<b>PLAN OF SURVEY</b>  <b>WOOLCOTT SURVEYS</b> BY SURVEYOR: COLIN STERLING SMITH LOCATION: Town of LEGANA SCALE 1:2000      LENGTHS IN METRES	REGISTERED NUMBER <b>SP186003</b>
FOLIO REFERENCE: C.T.162597/1		APPROVED EFFECTIVE FROM 21 NOV 2023  Recorder of Titles
GRANTEE: Part of 2500 Acres Granted to John Griffiths		





PRIORITY FINAL PLAN





PRIORITY FINAL PLAN

[illegible]



<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 186003

PAGE 1 OF 4 PAGE/S

## EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 6, 7, 11, 14 and 15 on the Plan are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 'A' (3.00 WIDE)" shown passing through those lots on the Plan ("the Easement Land").

Lots 6, 7, 11, 14 and 15 on the Plan are subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'B' (3.00 WIDE)" shown passing through those lots on the Plan.

Lots 17, 18 and 38 on the Plan are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 'C' (4.00 WIDE)" shown passing through those lots on the Plan ("the Easement Land").

Lots 17, 18 and 38 on the Plan are subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'D' (4.00 WIDE)" shown passing through those lots on the Plan.

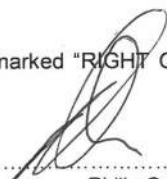
Lots 19, 20, 22, 23, 24 and 25 on the Plan are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 'E' (3.00 WIDE)" shown passing through those lots on the Plan ("the Easement Land").

Lots 19, 20, 22, 23, 24 and 25 on the Plan are subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'F' (3.00 WIDE)" shown passing through those lots on the Plan.

Lot 26 on the Plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'J' (3.50 WIDE)" shown passing through Lot 26 on the Plan.

Lots 30 and 36 on the Plan are together with a Right of Carriageway over the area marked "RIGHT OF WAY 'P' (PRIVATE) (5.00 WIDE)" shown passing through Lot 37 on the Plan.

Lots 30 and 37 on the Plan are together with a Right of Carriageway over the area marked "RIGHT OF WAY 'Q' (PRIVATE) (5.00 WIDE)" shown passing through Lot 36 on the Plan.

  
 Philip Grant Connors

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Legana Park Development Pty Ltd FOLIO REF: Volume 162597 Folio 1 SOLICITOR & REFERENCE: Barry Sproal - BDS:PS:222809	PLAN SEALED BY: WEST TAMAR COUNCIL DATE: 8/11/23 PA2020499 REF NO.
 Council Delegate	
<b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.	

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 2 OF 4 PAGES	Registered Number <b>SP 186003</b>
SUBDIVIDER: Legana Park Development Pty Ltd FOLIO REFERENCE: Volume 162597 Folio 1	

Lot 36 on the Plan is subject to a Right of Carriageway (appurtenant to Lots 30 and 37 on the Plan) over the area marked "RIGHT OF WAY 'Q' (PRIVATE) (5.00 WIDE)" shown passing through Lot 36 on the Plan.

Lot 36 on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 'K' (3.50 WIDE)" shown passing through Lot 36 on the Plan ("the Easement Land").

Lots 36 and 37 on the Plan are subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'L' (3.00 WIDE)" shown passing through those lots on the Plan.

Lots 36, 37 and 202 on the Plan are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 'M' (3.00 WIDE)" shown passing through those lots on the Plan ("the Easement Land").

Lots 36 and 37 on the Plan are subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'N' (4.00 WIDE)" shown passing through those lots on the Plan.

Lot 37 on the Plan is subject to a Right of Carriageway (appurtenant to Lots 30 and 36 on the Plan) over the area marked "RIGHT OF WAY 'P' (PRIVATE) (5.00 WIDE)" shown passing through Lot 37 on the Plan.

Lot 38 on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 'G' (VARIABLE WIDTH)" shown passing through Lot 38 on the Plan ("the Easement Land").

Lot 101 on the Plan is subject to a Services Easement (as defined in SP162597) (appurtenant to Lot 1 on SP161426) over the land marked ~~"RIGHT OF WAY (PRIVATE) & SERVICES EASEMENT 6.00 WIDE (SP162597)"~~ shown passing through Lot 101 on the Plan.

Lot 101 on the Plan is subject to a Right of Drainage in favour of the West Tamar Council and TasWater over the land marked "DRAINAGE EASEMENT 3.00 WIDE (SP162597)" shown passing through lot 101 on the Plan.


Lot 101 on the Plan is subject to a Right of Drainage (appurtenant to Lot 1 on SP161426) over the land marked ~~"RIGHT OF WAY (PRIVATE) & SERVICES EASEMENT 6.00 WIDE (SP162597)"~~ shown passing through Lot 101 on the Plan.

Lot 201 on the Plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'H' (4.00 WIDE)" shown passing through Lot 201 on the Plan.

## RESTRICTIVE COVENANT

*\* and bind*

The Owner of Lot 36 on the Plan covenants with the owner for the time being of Lot 37 on the Plan to the intent that the burden of this covenant may run with the covenantor's Lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of Lot 37 on the Plan to observe the following stipulation, namely, not erect a fence or other obstruction along that part of the common boundary between Lots 36 and 37 on the Plan within the areas marked "RIGHT OF WAY 'P' (PRIVATE) (5.00 WIDE)" and "RIGHT OF WAY 'Q' (PRIVATE) (5.00 WIDE)" on the plan.

  
Philip Grant Connors

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 3 OF 4 PAGES	Registered Number <b>SP 186003</b>
SUBDIVIDER: Legana Park Development Pty Ltd FOLIO REFERENCE: Volume 162597 Folio 1	

The Owner of Lot 37 on the Plan covenants with the owner for the time being of Lot 36 on the Plan to the intent that the burden of this covenant may run with the covenantor's Lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of Lot 36 on the Plan to observe the following stipulation, namely, not erect a fence or other obstruction along that part of the common boundary between Lots 36 and 37 on the Plan within the areas marked "RIGHT OF WAY 'P' (PRIVATE) (5.00 WIDE)" and "RIGHT OF WAY 'Q' (PRIVATE) (5.00 WIDE)" on the plan.

## FENCING COVENANT

The Owner of each lot on the Plan covenants with the Vendor (Legana Park Development Pty Ltd) that the Vendor shall not be required to fence.

## INTERPRETATION

In this Schedule of Easements:

~~"Pipeline Easement" means:~~

~~The full and free right and liberty to draw water through pipes now or to be installed as hereinafter appears within that portion of each Lot subject thereto marked pipeline easement on the plan and for that purpose to enter thereon and to lay in, under and upon the pipeline easement such pipe or pipes as shall from time to time be necessary for the purposes aforesaid and to draw water through such pipes and at all times to enter into and upon the pipeline easement for the purpose of maintaining any pumping system and inspecting, cleaning, maintaining, removing and renewing such pipes and to carry out all necessary work thereon causing as little damage as possible and making reasonable compensation for all damage done or caused thereby.~~

"Pipeline & Services Easement" means:

**FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY** for TasWater and its employees, contractors, agents and all other persons duly authorized by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorized to do or undertake
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure
- (4) run and pass sewerage, water and electricity through and along the Infrastructure
- (5) do all works reasonably required in connection with such activities or as may be authorized or required by any law:
  - (a) without doing unnecessary damage to the Easement Land, and
  - (b) leaving the Easement Land in a clean and tidy condition.
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorized by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land, and

  
Philip Grant Connors

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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 4 OF 4 PAGES	Registered Number <b>SP 186003</b>
SUBDIVIDER: Legana Park Development Pty Ltd FOLIO REFERENCE: Volume 162597 Folio 1	

- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

**SECONDLY**, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

**Interpretation:**

"Infrastructure" means infrastructure owned on for which TasWater is responsible and includes but is not limited to:

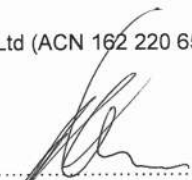
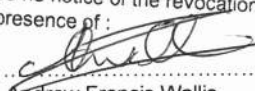

- (a) Sewer pipes and water pipes and associated valves
- (b) Telemetry and monitoring devices
- (c) Inspection and access pits
- (d) Electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) Markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure
- (f) Anything reasonably require to support, protect or cover any other Infrastructure;
- (g) Any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewerage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity, and
- (h) Where the context permits, any part of the Infrastructure.

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

EXECUTED by LEGANA PARK DEVELOPMENT PTY LTD (ACN 631 627 195) being the registered proprietor of the land comprised in folio of the Register Volume 162597 Folio 1 pursuant to Section 127 of the Corporations Act 2001:

MURDOCH CLARKE MORTGAGE MANAGEMENT LIMITED (ACN 115 958 560) as mortgagee under Mortgage No. M758441 hereby consents to this Schedule of Easements:

WALLIS BACKUP PTY LTD (ACN 631 627 195) as mortgagee under Mortgage No. N141107 hereby consents to this Schedule of Easements:

  
 Philip Grant Connors  
 Sole Director and Sole Secretary  
 EXECUTED by MURDOCH CLARKE MORTGAGE MANAGEMENT LIMITED ACN 115 958 560 as Responsible Entity of the MURDOCH CLARKE MORTGAGE FUND ARSN 093 255 559 by its duly authorised Attorney KARLEA SANDRA REID pursuant to Power of Attorney registered on 15 January 2018 Registered Number PA109270 having received no notice of the revocation thereof in the presence of :  
  
 Andrew Francis Wallis  
 Director  
  
 Anne-Maree Therese Coombe  
 Director

**WITNESSES:** ANDREA MARIE THOMAS  
**ADDRESS:** 10 VICTORIA STREET  
**OCCUPATION:** LEGAL SECRETARY  
 4 HOSIER TAS 7000

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



PROJECT ADDRESS:

30 Connemara Close,  
Legana

OWNER:

W. & T. VAN DER WALT

DATE:

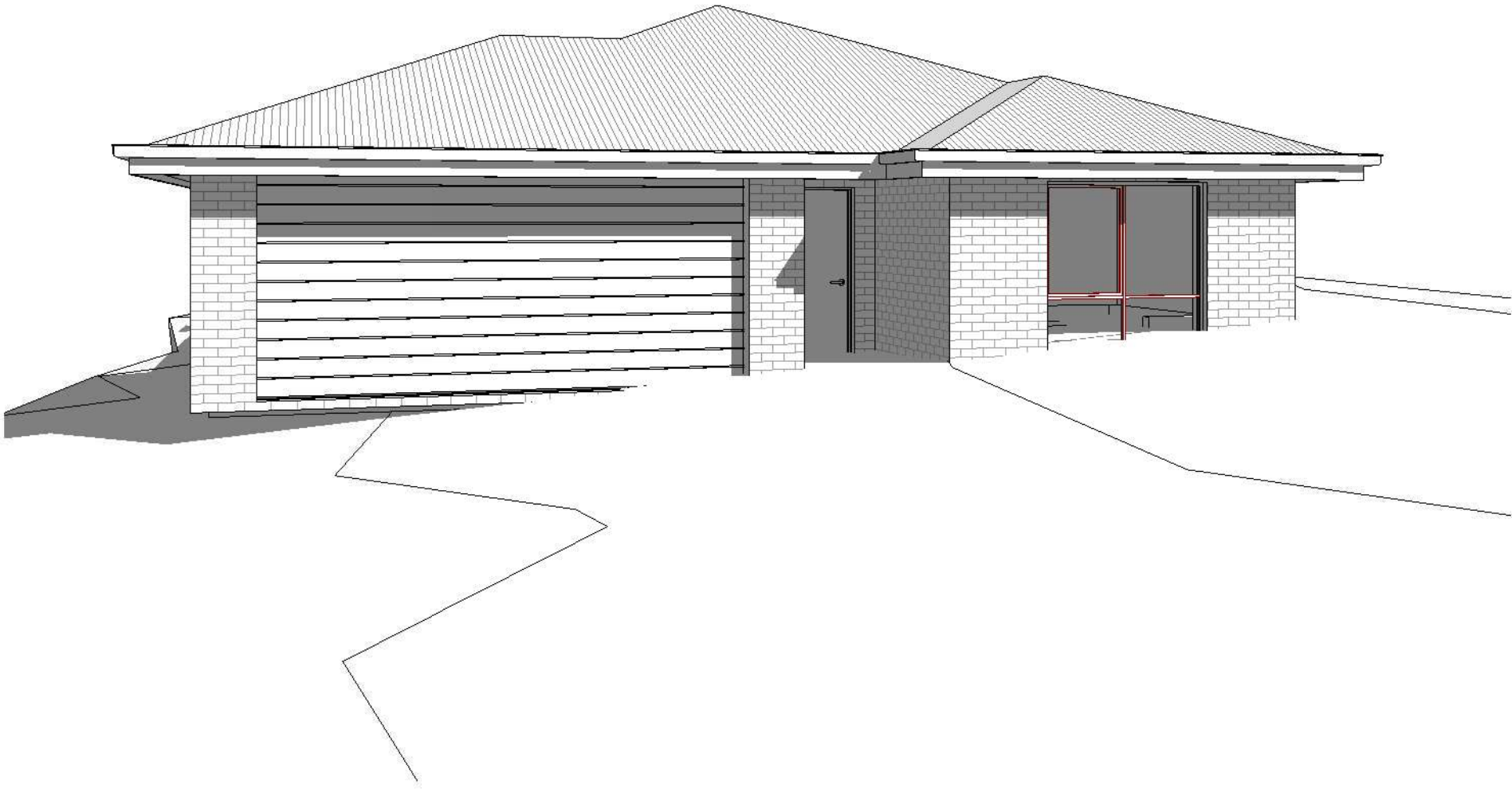
16.12.25

PROJECT No:

HHL25023

REV:

00



Drawing List

No.	Drawing	Rev.
00	Cover Page	
01	Site Plan	
02	Concept Plan	
03	Floor Plan	
04	Elevations	
05	Roof Plan	
06	Electrical Plan	
07	3D Views	

Floor Areas

Garage	36.76
Porch	1.92
Al Fresco	12.48
Residence	128.97
TOTAL	180.13

Site Classification:	H1
Wind Classification:	N1
Climate Zone:	7
BAL:	12.5

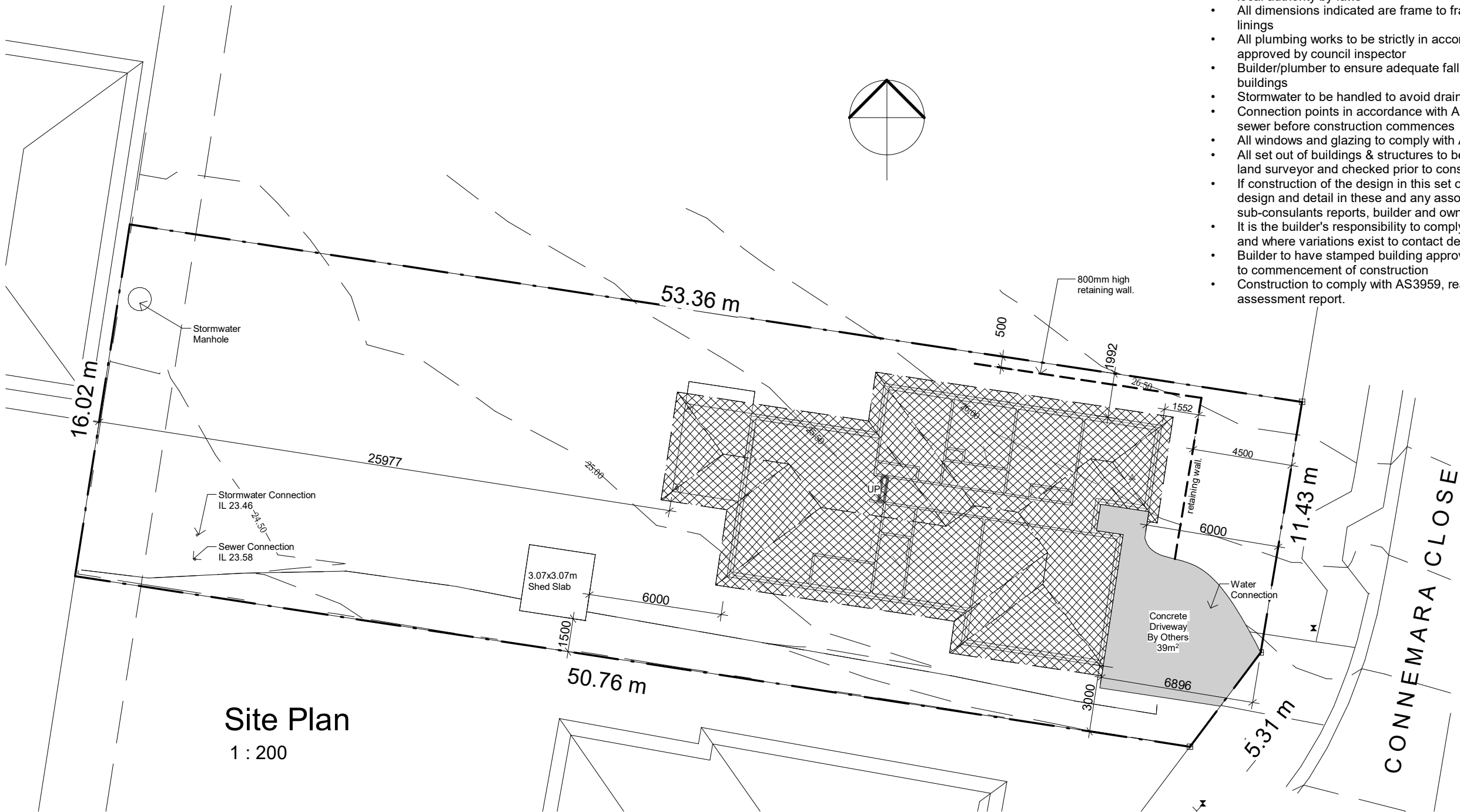


Hotondo  
Homes

PLANNING

**Conceptual Design Disclaimer:** These drawings are provided for conceptual design purposes only and should not be used for construction.  
**Pricing-Only Disclaimer:** These drawings are provided solely for the purpose of contractor pricing and are not intended for construction.  
Contractor must verify all dimensions and levels on site before beginning any work or producing shop drawings. Do not scale drawings—use written dimensions only. All dimensions provided in this drawing are nominal.

- General notes
- Check & verify all dimensions, levels and floor areas on site
  - Written dimensions to take preference over scaled
  - This drawing is to be read in conjunction with the engineer's structural drawings
  - All work to be strictly in accordance with NCC 2019, all SAA Codes & local authority by-laws
  - All dimensions indicated are frame to frame and do not allow for wall linings
  - All plumbing works to be strictly in accordance with AS3500 & approved by council inspector
  - Builder/plumber to ensure adequate fall to site and away from buildings
  - Stormwater to be handled to avoid drainage to neighbouring sites.
  - Connection points in accordance with AS3500 for stormwater and sewer before construction commences
  - All windows and glazing to comply with AS1288 & AS2047
  - All set out of buildings & structures to be carried out by a registered land surveyor and checked prior to construction
  - If construction of the design in this set of drawings differ from the design and detail in these and any associated documents inclusive of sub-consultants reports, builder and owner are to notify designer
  - It is the builder's responsibility to comply with all planning conditions and where variations exist to contact designer
  - Builder to have stamped building approval drawings and permits prior to commencement of construction
  - Construction to comply with AS3959, read in conjunction with bushfire assessment report.



Site Plan  
1 : 200

Survey Notes:

1. Survey Undertaken **13.11.25**
2. Purpose for this survey is for residential dwelling design and not to be used for other purposes
3. **Location: 30 Connemara Close, Legana**
4. Underground Assets not located
5. Survey conducted by 6ty°
6. Co-ordinate datum plane based on MGA2020 co-ords at SPM10472
7. Level datum AHD83 per Smartnet GNSS connection.
8. **Contour Interval 0.5m**
9. Boundaries and easements compiled only from **title pegs**
10. Boundaries are indicative only and are subject to remark survey where proposed works are close to or along boundaries.
11. Adjoining house levels to ridge lines, gutter heights or top of window openings where shown.

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- Driveway and Carparking:**
- Gradient to not be less than 1:4
  - Surface to be of a durable all weather material -Concrete by Others.
  - Connected to approved stormwater drainage.



**Hotondo  
Homes**

JOB ADDRESS:  
30 Connemara Close,  
Legana

OWNER:  
W. & T. VAN DER WALT

DESIGN NAME:  
**MADISON 168**  
  
DRAWING:  
Site Plan

DRAWN BY:	APPROVED BY:
tcp	tcp
DATE:	SCALE:
16.12.25	1 : 200

PROJECT/PAGE No:	REV:
<b>HLD25023 -01</b>	<b>00</b>



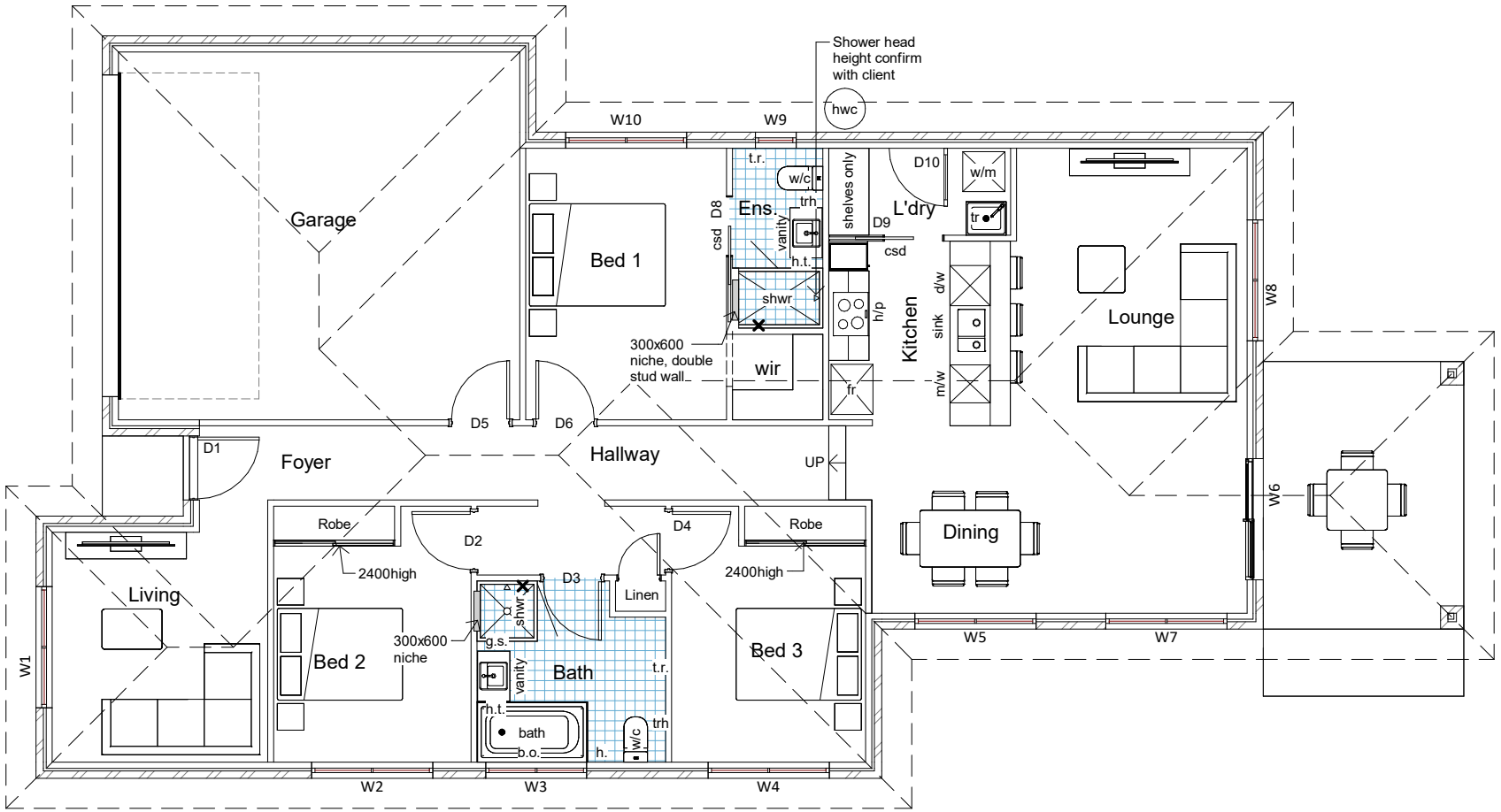
Hotondo  
Homes

Floor Areas

Garage	36.76
Porch	1.92
Al Fresco	12.48
Residence	128.97
TOTAL	180.13

Legend

- Painted Feature wall
- g.s. Glass Screen
- t.r. Towel Rail
- trh Toilet Roll Holder
- h.t. Hand Towel Rail
- b.o. Bath Outlet (Spout)
- s.h. Shower Head
- ✕ Mixer Tap



Door Schedule

Mark	Width	Description	Comments
1	920	Front Entry Door	
2	870	Internal Timber Door	
3	870	Internal Timber Door	
4	870	Internal Timber Door	
5	870	Internal Timber Door	
6	870	Internal Timber Door	
8	870	Cavity Sliding Door	
9	870	Cavity Sliding Door	
10	870	External Glazed Door	
11	620		

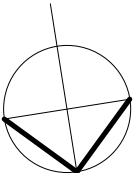
Window Schedule

Mark	Height	Width	Description	Comments
1	1800	1810	Awning Window	
2	1000	1810	Awning Window	
3	1000	1510	Awning Window	Opaque
4	1000	1810	Awning Window	
5	1800	1810	Awning Window	
6	2100	1810	Glass Sliding Door	
7	1800	1810	Awning Window	
8	1800	1810	Awning Window	
9	1000	610	Awning Window	Opaque
10	1000	1810	Awning Window	

All windows to be check measured on-site prior to order and insallation. Ensure flyscreens are BAL compliant.  
Glazing certification to be provided to Building Surveyor.

Concept Plan  
1 : 100

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JOB ADDRESS:  
30 Connemara Close,  
Legana

OWNER:  
W. & T. VAN DER WALT

DESIGN NAME:  
MADISON 168  
DRAWING:  
Concept Plan

DRAWN BY:	APPROVED BY:
tcp	tcp
DATE:	SCALE:
16.12.25	1 : 100

PROJECT/PAGE No:	REV:
HLD25023 -02	00



Legend

- Painted Feature wall
- g.s. Glass Screen
- t.r. Towel Rail
- trh Toilet Roll Holder
- h.t. Hand Towel Rail
- b.o. Bath Outlet (Spout)
- s.h. Shower Head
- ✕ Mixer Tap

PLANNING



Hotondo  
Homes

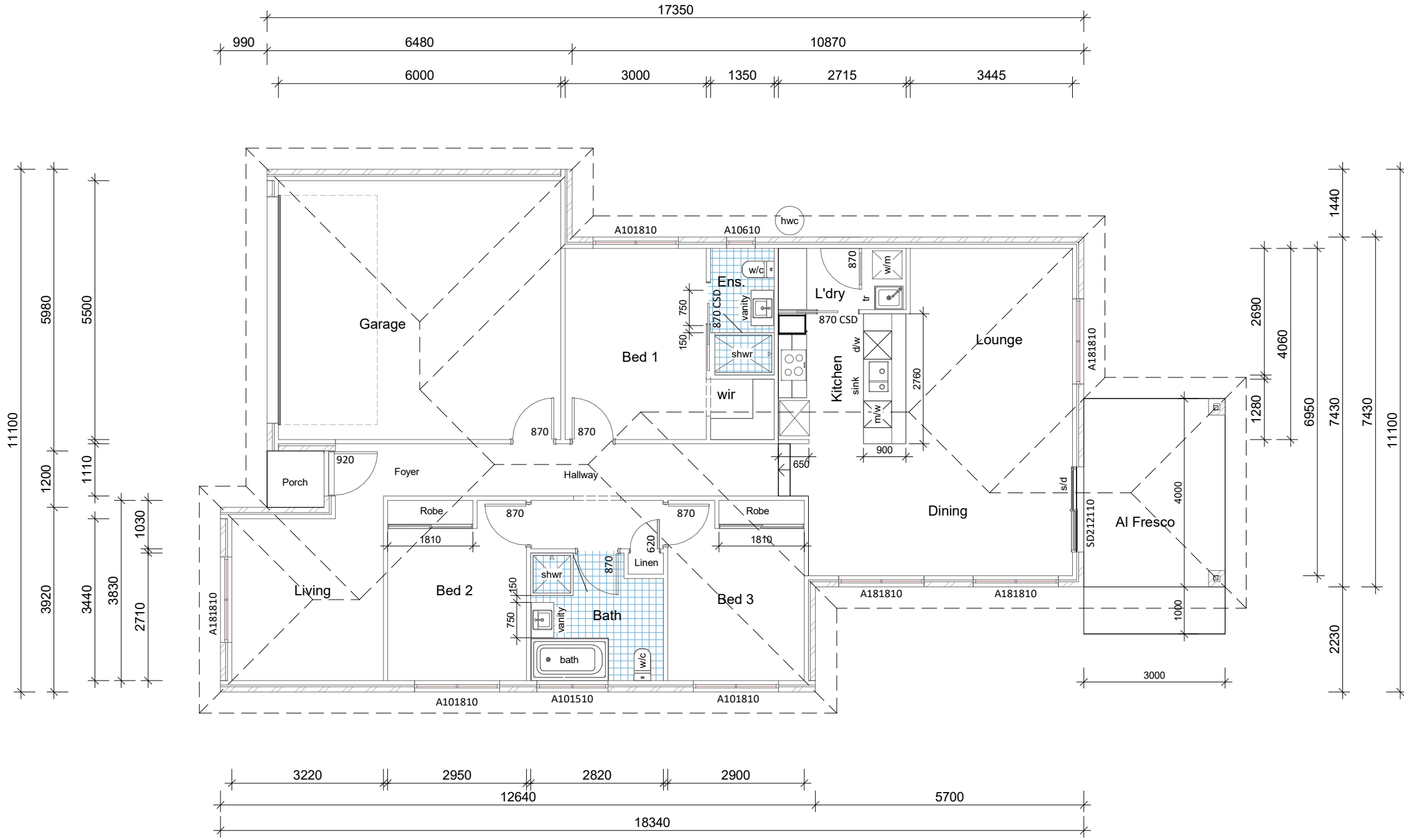
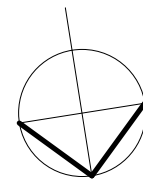
JOB ADDRESS:  
30 Connemara Close,  
Legana

OWNER:  
W. & T. VAN DER WALT

DESIGN NAME:  
MADISON 168  
DRAWING:  
Floor Plan

DRAWN BY:	APPROVED BY:
tcp	tcp
DATE:	SCALE:
16.12.25	1 : 100

PROJECT/PAGE No:	REV:
HLD25023 -03	00



Ground Floor  
1 : 100

Floor Areas

Garage	36.76
Porch	1.92
Al Fresco	12.48
Residence	128.97
TOTAL	180.13

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All dimensions provided in this drawing are nominal.



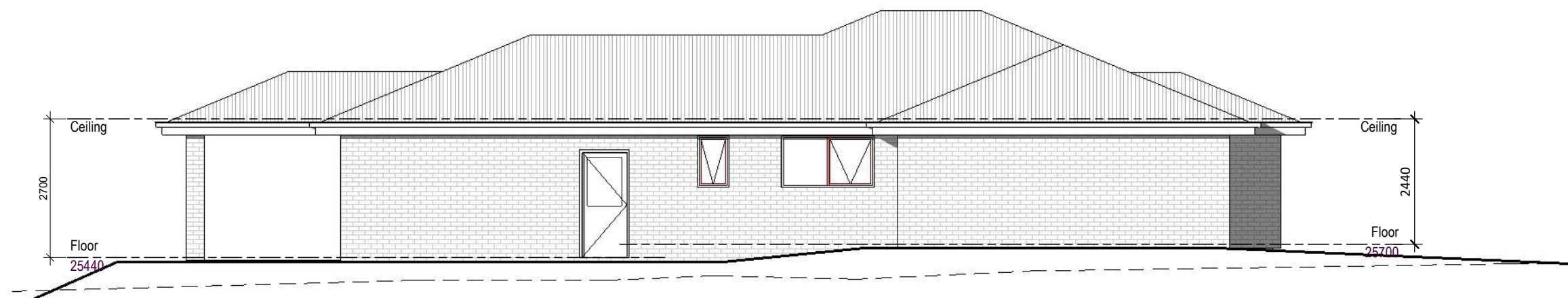
EASTERN ELEVATION

1 : 100



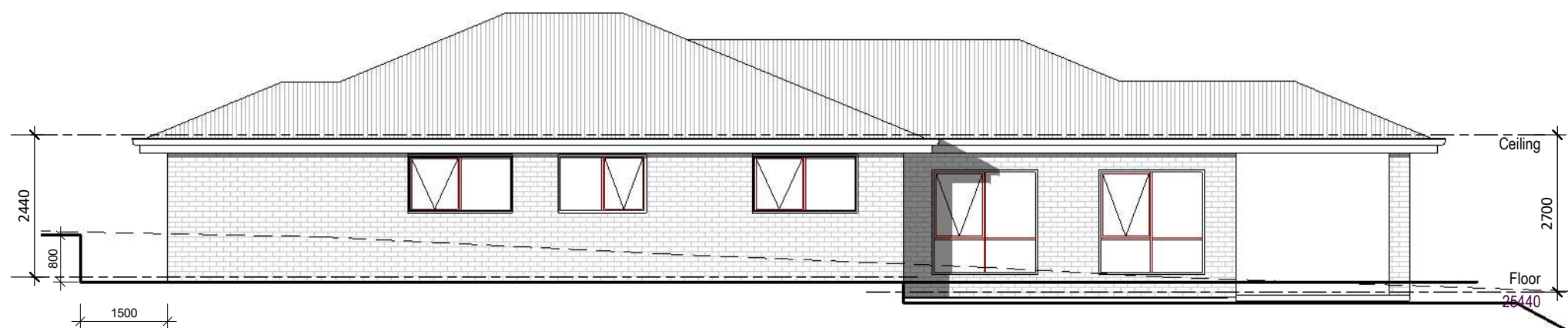
WESTERN ELEVATION

1 : 100



SOUTHERN ELEVATION

1 : 100



NORTHERN ELEVATION

1 : 100



Hotondo  
Homes

JOB ADDRESS: 30 Connemara Close, Legana	
OWNER: W. & T. VAN DER WALT	
DESIGN NAME: MADISON 168	
DRAWING: Elevations	
DRAWN BY: tcp	APPROVED BY: tcp
DATE: 16.12.25	SCALE: 1 : 100
PROJECT/PAGE No: HLD25023 -04	REV: 00

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Hotondo  
Homes

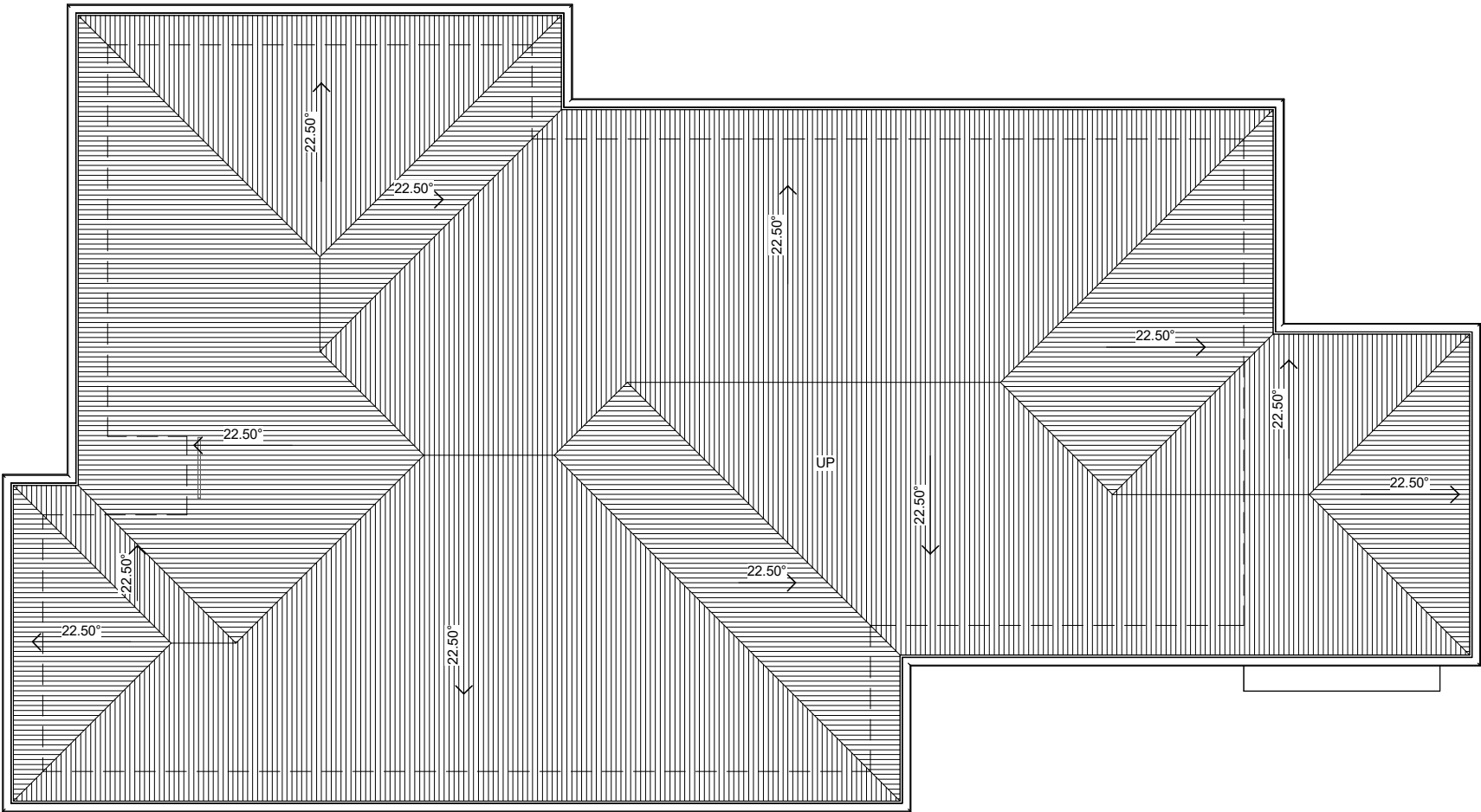
JOB ADDRESS:  
30 Connemara Close,  
Legana

OWNER:  
W. & T. VAN DER WALT

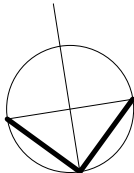
DESIGN NAME:  
MADISON 168  
  
DRAWING:  
Roof Plan

DRAWN BY: tcp	APPROVED BY: tcp
DATE: 16.12.25	SCALE: 1 : 100

PROJECT/PAGE No: <b>HLD25023 -05</b>	REV: <b>00</b>
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Roof Plan  
1 : 100



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Legend

- Wall Light  
(ext.=External, int.=Internal)
- Batten Fix Ceiling Light
- LED Down Light (ext. External)  
(ext.=External, w.=Wet Area)

LED Down Light
- Four Light with Fan and Heat  
c/w Damper exhaust to outside.

Sensor Wall Light
- Exhaust Fan to outside

Dimmer Switch

Single General Purpose Outlet (GPO)

Double General Purpose Outlet (GPO)

Outdoor Double General Purpose Outlet (Weatherproof)

Television Outlet

Exhaust Fan to outside

Heat Pump Wall Unit (Internal)

Heat Pump Outdoor Unit (External)

Heat Pump -Return Air Vent

Heat Pump -Ceiling Outlet

Smoke Alarm

LED Tube Light

NBN National Broadband Network -Box

Main Switch Board

Electrical Plan

1 : 100

Detail Item Schedule			
Type	Count	Keynote	Comments
Dble GPO Outlet	18	2	
Exhaust Fan	2	fan	
External	4	ex.	
External GPO	1	ext.	
External Tap	3	tap	
Heat Pump Wall Unit	1	h.p.	
Heat Pump Wall Unit External	1	ext.h.p.	
Internal Downlight	23	int.	
LED Tube Light	2	led	
Sgl GPO Outlet	5	1	
Sgl GPO Outlet	1	1	
Smoke Alarm	1		
Solid Fill - Grey 2	3		
Tastic 4	2	ex.fan	
Television Outlet	1	phone	

PLANNING

Hotondo  
Homes

JOB ADDRESS:  
30 Connemara Close,  
Legana

OWNER:  
W. & T. VAN DER WALT

DESIGN NAME:  
MADISON 168  
DRAWING:  
Electrical Plan

DRAWN BY:	APPROVED BY:
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16.12.25	1 : 100

PROJECT/PAGE No:	REV:
HLD25023 -06	00

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