

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE ONLY	Application Number	PA2025421
	Assess No:	A13670
	PID No:	9424112

Applicant Name:	HOTONDO HOMES LAUNCESTON		
Postal Address:			
Contact Phone:	Home	Work	Mobile
Email Address:			

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ✓
2. A completed application form including a detailed description of the proposal ✓
3. A complete plan set:
 - a) Floor plans ✓
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ✓
 - c) Site Plan showing:
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name:	HOTONDO HIMES LAUNCESTON
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Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name: (as per certificate of title)	VOS CONSTRUCTION AND JOINERY
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Location / Address:	Lot 30 Connemara Close, Legana
Title Reference:	186003/24
Zone(s):	General Residential, Bushfire Prone Overlay, Priority Vegetation

Existing Development/Use:	Vacant Land
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Existing Developed Area:	0m ²
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Are any of the components in this Application seeking retrospective approval? E.g. Use and/or development that has commenced without a Planning Permit.	YES <input type="checkbox"/>
	NO <input checked="" type="checkbox"/>

(If yes please specify the relevant components):
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Proposed Use:	Residential: <input checked="" type="checkbox"/>	Visitor Accommodation: <input type="checkbox"/>	Commercial: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of Use: New residential dwelling			

Development Type:	Building work: <input checked="" type="checkbox"/>	Demolition: <input type="checkbox"/>	Subdivision: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of development: New construction, 3 bedroom, 2 Bath dwelling			

New or Additional Area:	180m ²		
Estimated construction cost of the proposed development:	\$429,000		
Building Materials:	Wall Type:	Brick	Colour:
	Roof Type:	Colorbond	Colour:

Application Number: «Application Number»

SUBDIVISION		✓ N/A
<input type="checkbox"/> Subdivision creating additional lots <input type="checkbox"/> Boundary adjustment with no additional lots created		
Number of Lots (existing) :		Number of Lots (proposed) :
Description:		
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:		
1.		
2.		
3.		

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE		✓ N/A		
Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	
Existing Car Parking:				
Proposed Car Parking:				
Number of Employees: <i>(Existing)</i>				
Number of Employees: <i>(Proposed)</i>				
Type of Machinery installed:				
Details of trade waste and method of disposal:				

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: *As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,*

Name (print)

Signed

Date

Applicant: *As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,*
(if not the owner)

Trisha Pickersgill



Signed

09.12.25

Date

Please Note: *If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.*

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**Chief
Executive
Officer**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

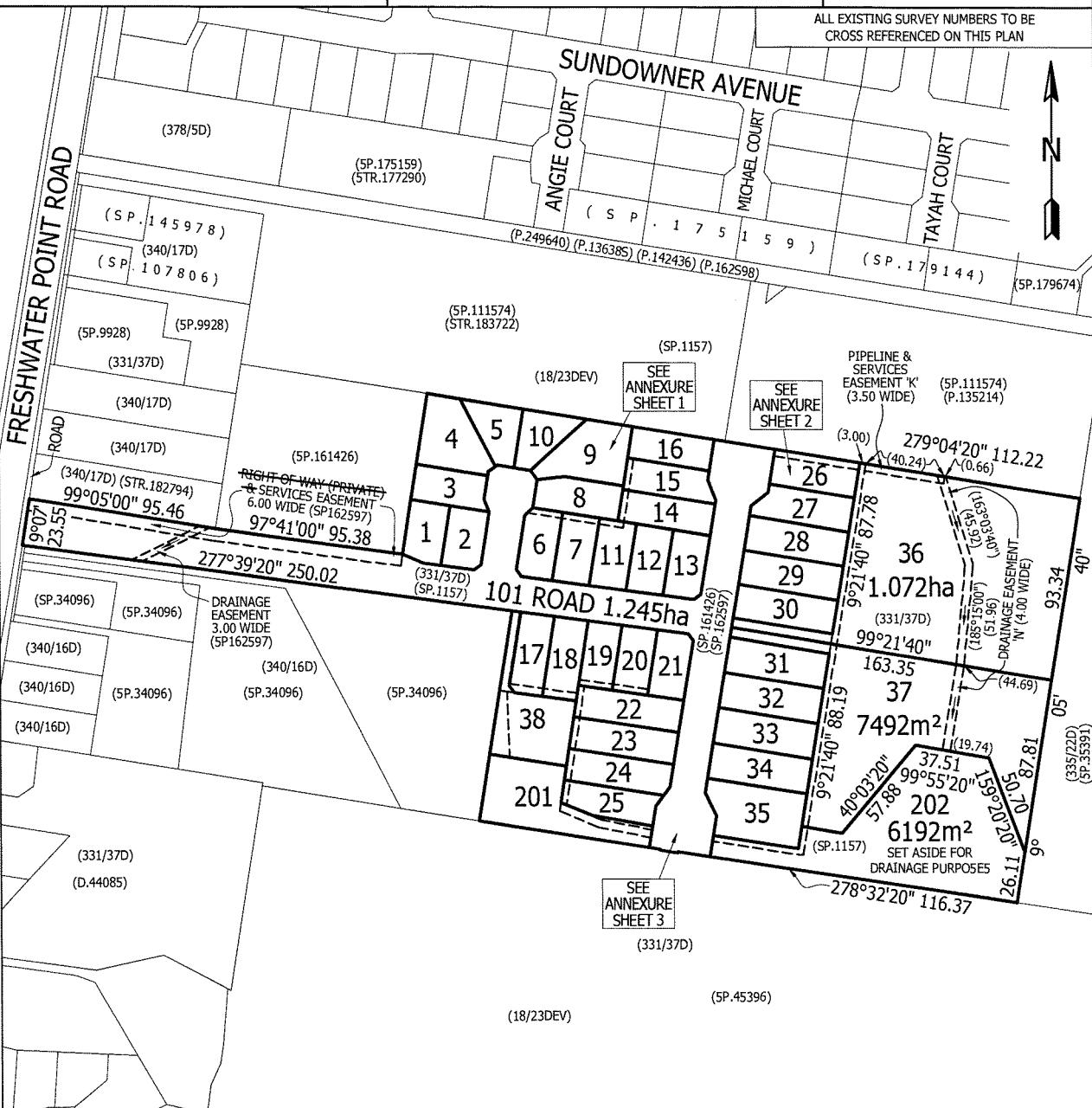
As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

PRIORITY FINAL PLAN

OWNER: LEGANA PARK DEVELOPMENT PTY LTD FOLIO REFERENCE: C.T.162597/1	PLAN OF SURVEY WOOLCOTT SURVEYS BY SURVEYOR: COLIN STERLING SMITH LOCATION: Town of LEGANA SCALE 1:2000 LENGTHS IN METRES	REGISTERED NUMBER SP186003 APPROVED EFFECTIVE FROM 21 NOV 2023 Recorder of Titles
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		
 <p>FRESHWATER POINT ROAD</p> <p>SUNDOWNER AVENUE</p> <p>ANGIE COURT</p> <p>MICHAEL COURT</p> <p>TAYAH COURT</p> <p>LOT NUMBERS</p> <p>RIGHT OF WAY (PRIVATE) 6.00 WIDE (SP162597) 99°05'00" 95.46 97°41'00" 95.38</p> <p>SEE ANNEXURE SHEET 1</p> <p>SEE ANNEXURE SHEET 2</p> <p>SEE ANNEXURE SHEET 3</p> <p>LOT 101 1.245ha</p> <p>LOT 201 7492m²</p> <p>LOT 202 6192m²</p> <p>LOT 203 1.072ha</p> <p>LOT 204 163.35m²</p> <p>LOT 205 40.69m²</p> <p>LOT 206 93.34m²</p> <p>LOT 207 23.55m²</p> <p>LOT 208 250.02m²</p> <p>LOT 209 277°39'20" 250.02m²</p> <p>LOT 210 279°04'20" 112.22m²</p> <p>LOT 211 40.24m²</p> <p>LOT 212 0.66m²</p> <p>LOT 213 87.78m²</p> <p>LOT 214 9°21'40" 87.78m²</p> <p>LOT 215 99°21'40" 163.35m²</p> <p>LOT 216 40.69m²</p> <p>LOT 217 9°21'40" 88.19m²</p> <p>LOT 218 99°21'40" 163.35m²</p> <p>LOT 219 40.69m²</p> <p>LOT 220 99°55'20" 157.88m²</p> <p>LOT 221 37.51m²</p> <p>LOT 222 19.74m²</p> <p>LOT 223 202m²</p> <p>LOT 224 6192m²</p> <p>LOT 225 202m²</p> <p>LOT 226 202m²</p> <p>LOT 227 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PRIORITY FINAL PLAN

PRIORITY FINAL PLAN

PRIORITY FINAL PLAN

SCHEDULE OF EASEMENTS

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED.
SIGNATURES MUST BE ATTESTED.

Registered Number

SP 186003

PAGE 1 OF 4 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 6, 7, 11, 14 and 15 on the Plan are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 'A' (3.00 WIDE)" shown passing through those lots on the Plan ("the Easement Land").

Lots 6, 7, 11, 14 and 15 on the Plan are subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'B' (3.00 WIDE)" shown passing through those lots on the Plan.

Lots 17, 18 and 38 on the Plan are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 'C' (4.00 WIDE)" shown passing through those lots on the Plan ("the Easement Land").

Lots 17, 18 and 38 on the Plan are subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'D' (4.00 WIDE)" shown passing through those lots on the Plan.

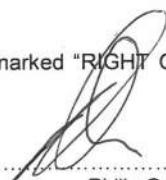
Lots 19, 20, 22, 23, 24 and 25 on the Plan are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 'E' (3.00 WIDE)" shown passing through those lots on the Plan ("the Easement Land").

Lots 19, 20, 22, 23, 24 and 25 on the Plan are subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'F' (3.00 WIDE)" shown passing through those lots on the Plan.

Lot 26 on the Plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'J' (3.50 WIDE)" shown passing through Lot 26 on the Plan.

Lots 30 and 36 on the Plan are together with a Right of Carriageway over the area marked "RIGHT OF WAY 'P' (PRIVATE) (5.00 WIDE)" shown passing through Lot 37 on the Plan.

Lots 30 and 37 on the Plan are together with a Right of Carriageway over the area marked "RIGHT OF WAY 'Q' (PRIVATE) (5.00 WIDE)" shown passing through Lot 36 on the Plan.


Philip Grant Connors

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Legana Park Development Pty Ltd
FOLIO REF: Volume 162597 Folio 1
SOLICITOR
& REFERENCE: Barry Sproal - BDS:PS:222809

PLAN SEALED BY: WEST TAMAR COUNCIL
DATE: 8/11/27
PA2020499
REF NO.


Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES	Registered Number SP 186003
SUBDIVIDER: Legana Park Development Pty Ltd FOLIO REFERENCE: Volume 162597 Folio 1	

Lot 36 on the Plan is subject to a Right of Carriageway (appurtenant to Lots 30 and 37 on the Plan) over the area marked "RIGHT OF WAY 'Q' (PRIVATE) (5.00 WIDE)" shown passing through Lot 36 on the Plan.

Lot 36 on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 'K' (3.50 WIDE)" shown passing through Lot 36 on the Plan ("the Easement Land").

Lots 36 and 37 on the Plan are subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'L' (3.00 WIDE)" shown passing through those lots on the Plan.

Lots 36, 37 and 202 on the Plan are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 'M' (3.00 WIDE)" shown passing through those lots on the Plan ("the Easement Land").

Lots 36 and 37 on the Plan are subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'N' (4.00 WIDE)" shown passing through those lots on the Plan.

Lot 37 on the Plan is subject to a Right of Carriageway (appurtenant to Lots 30 and 36 on the Plan) over the area marked "RIGHT OF WAY 'P' (PRIVATE) (5.00 WIDE)" shown passing through Lot 37 on the Plan.

Lot 38 on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 'G' (VARIABLE WIDTH)" shown passing through Lot 38 on the Plan ("the Easement Land").

Lot 101 on the Plan is subject to a Services Easement (as defined in SP162597) (appurtenant to Lot 1 on SP161426) over the land marked "RIGHT OF WAY (PRIVATE) & SERVICES EASEMENT 6.00 WIDE (SP162597)" shown passing through Lot 101 on the Plan.

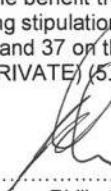
Lot 101 on the Plan is subject to a Right of Drainage in favour of the West Tamar Council and TasWater over the land marked "DRAINAGE EASEMENT 3.00 WIDE (SP162597)" shown passing through lot 101 on the Plan.

Lot 101 on the Plan is subject to a Right of Drainage (appurtenant to Lot 1 on SP161426) over the land marked "RIGHT OF WAY (PRIVATE) & SERVICES EASEMENT 6.00 WIDE (SP162597)" shown passing through Lot 101 on the Plan.

Lot 201 on the Plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'H' (4.00 WIDE)" shown passing through Lot 201 on the Plan.

RESTRICTIVE COVENANT** and bind*

The Owner of Lot 36 on the Plan covenants with the owner for the time being of Lot 37 on the Plan to the intent that the burden of this covenant may run with the covenantor's Lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of Lot 37 on the Plan to observe the following stipulation, namely, not erect a fence or other obstruction along that part of the common boundary between Lots 36 and 37 on the Plan within the areas marked "RIGHT OF WAY 'P' (PRIVATE) (5.00 WIDE)" and "RIGHT OF WAY 'Q' (PRIVATE) (5.00 WIDE)" on the plan.


.....
Philip Grant Connors

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 4 PAGES	Registered Number SP 186003
SUBDIVIDER: Legana Park Development Pty Ltd FOLIO REFERENCE: Volume 162597 Folio 1	

The Owner of Lot 37 on the Plan covenants with the owner for the time being of Lot 36 on the Plan to the intent that the burden of this covenant may run with* the covenantor's Lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of Lot 36 on the Plan to observe the following stipulation, namely, not erect a fence or other obstruction along that part of the common boundary between Lots 36 and 37 on the Plan within the areas marked "RIGHT OF WAY 'P' (PRIVATE) (5.00 WIDE)" and "RIGHT OF WAY 'Q' (PRIVATE) (5.00 WIDE)" on the plan.

FENCING COVENANT

The Owner of each lot on the Plan covenants with the Vendor (Legana Park Development Pty Ltd) that the Vendor shall not be required to fence.

INTERPRETATION

In this Schedule of Easements:

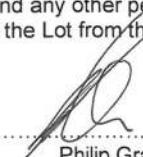
"Pipeline Easement" means:-

~~The full and free right and liberty to draw water through pipes now or to be installed as hereinafter appears within that portion of each Lot subject thereto marked pipeline easement on the plan and for that purpose to enter thereon and to lay in, under and upon the pipeline easement such pipe or pipes as shall from time to time be necessary for the purposes aforesaid and to draw water through such pipes and at all times to enter into and upon the pipeline easement for the purpose of maintaining any pumping system and inspecting, cleaning, maintaining, removing and renewing such pipes and to carry out all necessary work thereon causing as little damage as possible and making reasonable compensation for all damage done or caused thereby.~~

"Pipeline & Services Easement" means:

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorized by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorized to do or undertake
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure
- (4) run and pass sewerage, water and electricity through and along the Infrastructure
- (5) do all works reasonably required in connection with such activities or as may be authorized or required by any law:
 - (a) without doing unnecessary damage to the Easement Land, and
 - (b) leaving the Easement Land in a clean and tidy condition.
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorized by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land, and


Philip Grant Connors

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**ANNEXURE TO
SCHEDULE OF EASEMENTS**
PAGE 4 OF 4 PAGES

Registered Number

SP 186003SUBDIVIDER: Legana Park Development Pty Ltd
FOLIO REFERENCE: Volume 162597 Folio 1

(7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

"Infrastructure" means infrastructure owned on or for which TasWater is responsible and includes but is not limited to:

- (a) Sewer pipes and water pipes and associated valves
- (b) Telemetry and monitoring devices
- (c) Inspection and access pits
- (d) Electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) Markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure
- (f) Anything reasonably required to support, protect or cover any other Infrastructure;
- (g) Any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewerage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity, and
- (h) Where the context permits, any part of the Infrastructure.

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

EXECUTED by LEGANA PARK DEVELOPMENT PTY LTD (ACN 631 627 195) being the registered proprietor of the land comprised in folio of the Register Volume 162597 Folio 1 pursuant to Section 127 of the Corporations Act 2001:

MURDOCH CLARKE MORTGAGE MANAGEMENT LIMITED (ACN 115 958 560) as mortgagee under Mortgage No. M758441 hereby consents to this Schedule of Easements:

WALLIS BACKUP PTY LTD (ACN 631 627 195) as mortgagee under Mortgage No. N141107 hereby consents to this Schedule of Easements:

.....
Philip Grant Connors
Sole Director and Sole Secretary

EXECUTED by MURDOCH CLARKE MORTGAGE MANAGEMENT LIMITED ACN 115 958 560 as Responsible Entity of the MURDOCH CLARKE MORTGAGE FUND ARSN 093 255 559 by its duly authorised Attorney REBECCA SANDRA KRIE pursuant to Power of Attorney registered on 15 January 2018 Registered Number PA109270 having received no notice of the revocation thereof in the presence of:

.....
Andrew Francis Wallis
Director

.....
Anne-Maree Therese Coombe
Director

[Handwritten signatures and notes]
.....
NAME: ANDREA
MAREE THOMAS
ADDRESS:
10 VICTORIA STREET
ORRINGTON:
LEGAL SECRETARY

* HOBART TAS 7000

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

PROJECT ADDRESS:

30 Connemara Close, Legana

OWNER:

W. & T. VAN DER WALT

DATE:

16.12.25

PROJECT No:

HHL25023

REV:

00

Drawing List

No.	Drawing	Rev.
00	Cover Page	
01	Site Plan	
02	Concept Plan	
03	Floor Plan	
04	Elevations	
05	Roof Plan	
06	Electrical Plan	
07	3D Views	

Floor Areas

Garage	36.76
Porch	1.92
Al Fresco	12.48
Residence	128.97
TOTAL	180.13



Site Classification: H1
Wind Classification: N1
Climate Zone: 7
BAL: 12.5



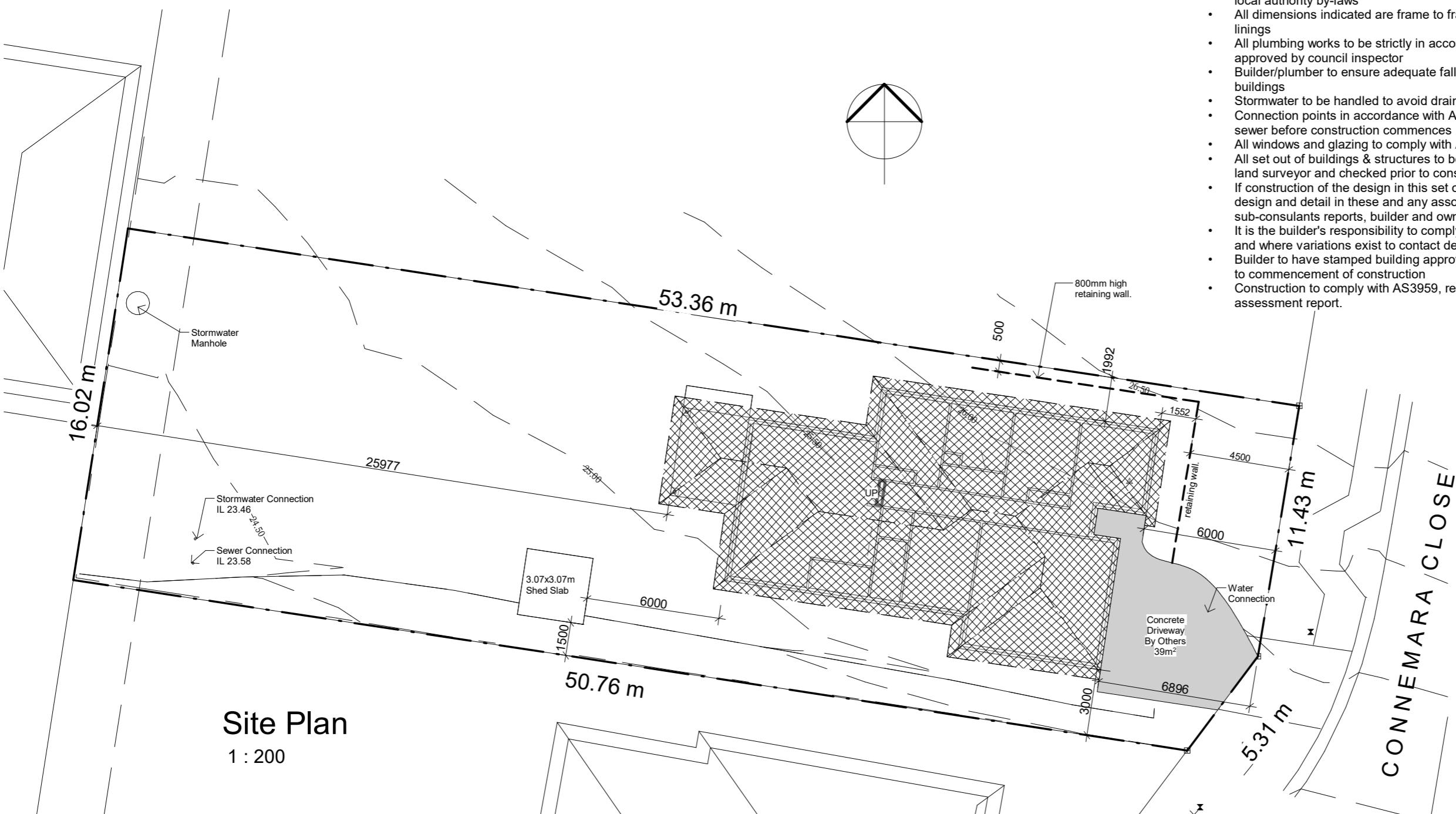
**Hotondo
Homes**

PLANNING

Conceptual Design Disclaimer: These drawings are provided for conceptual design purposes only and should not be used for construction.

Pricing-Only Disclaimer: These drawings are provided solely for the purpose of contractor pricing and are not intended for construction.

Contractor must verify all dimensions and levels on site before beginning any work or producing shop drawings. Do not scale drawings—use written dimensions only. All dimensions provided in this drawing are nominal.



Driveway and Carparking:

- Gradient to be not less than 1:4
- Surface to be of a durable all weather material -Concrete by Others.
- Connected to approved stormwater drainage.

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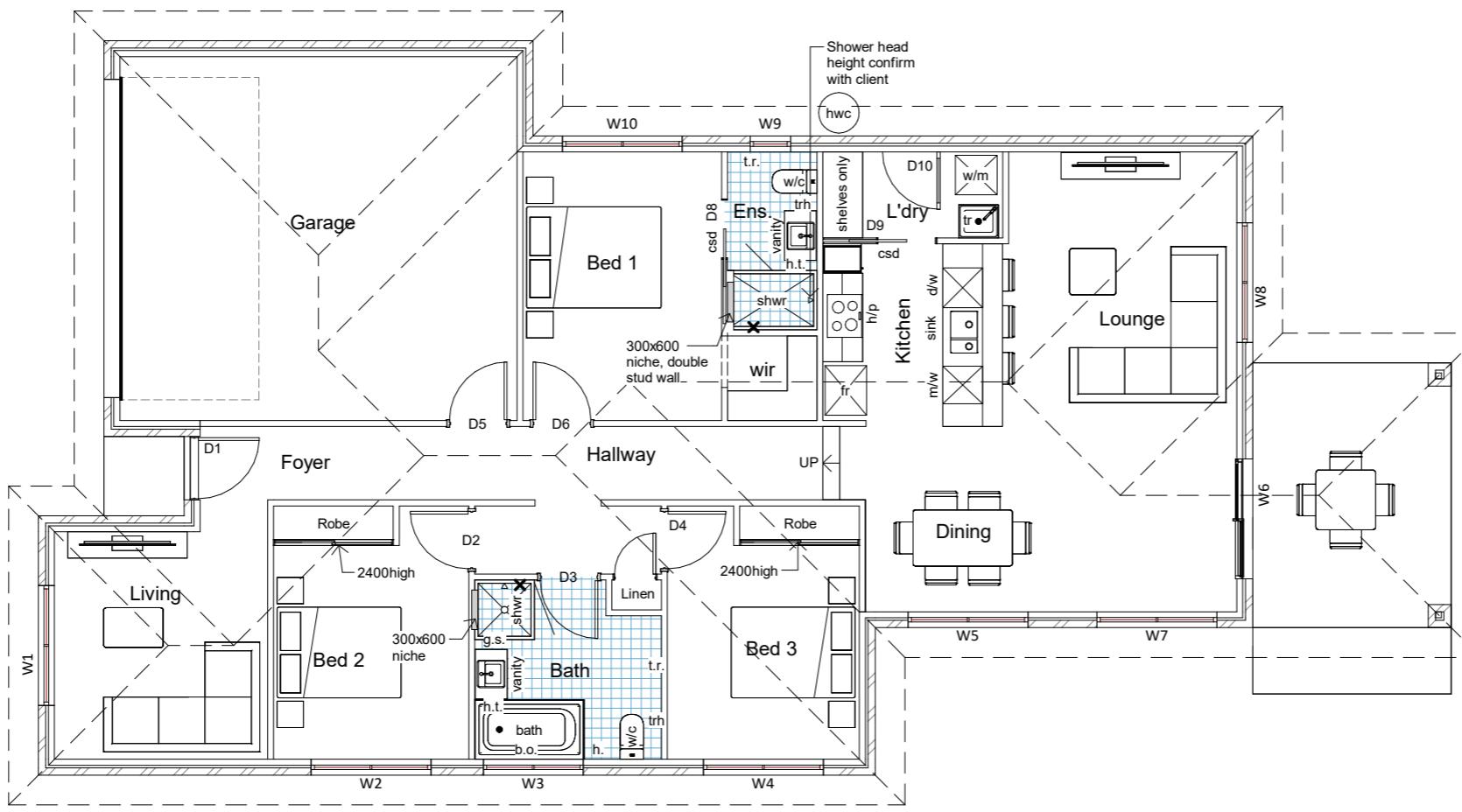
Hotondo Homes

JOB ADDRESS:	30 Connemara Close, Legana	
OWNER:	W. & T. VAN DER WALT	
DESIGN NAME:	MADISON 168	
DRAWING:	Site Plan	
DRAWN BY:	tcp	APPROVED BY:
DATE:	16.12.25	
SCALE:	1 : 200	
PROJECT/PAGE No:	HLD25023 -01	REV:
		00

PLANNING

Concept Plan

1 : 100



Hotondo Homes

Door Schedule

Mark	Width	Description	Comments
1	920	Front Entry Door	
2	870	Internal Timber Door	
3	870	Internal Timber Door	
4	870	Internal Timber Door	
5	870	Internal Timber Door	
6	870	Internal Timber Door	
8	870	Cavity Sliding Door	
9	870	Cavity Sliding Door	
10	870	External Glazed Door	
11	620		

Window Schedule

Mark	Height	Width	Description	Comments
1	1800	1810	Awning Window	
2	1000	1810	Awning Window	
3	1000	1510	Awning Window	Opaque
4	1000	1810	Awning Window	
5	1800	1810	Awning Window	
6	2100	1810	Glass Sliding Door	
7	1800	1810	Awning Window	
8	1800	1810	Awning Window	
9	1000	610	Awning Window	Opaque
10	1000	1810	Awning Window	

All windows to be checked measured on-site prior to order and installation. Ensure flyscreens are BAL compliant.
Glazing certification to be provided to Building Surveyor.

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JOB ADDRESS:
30 Connemara Close,
Legana

OWNER:
W. & T. VAN DER WALT

DESIGN NAME:
MADISON 168

DRAWING:
Concept Plan

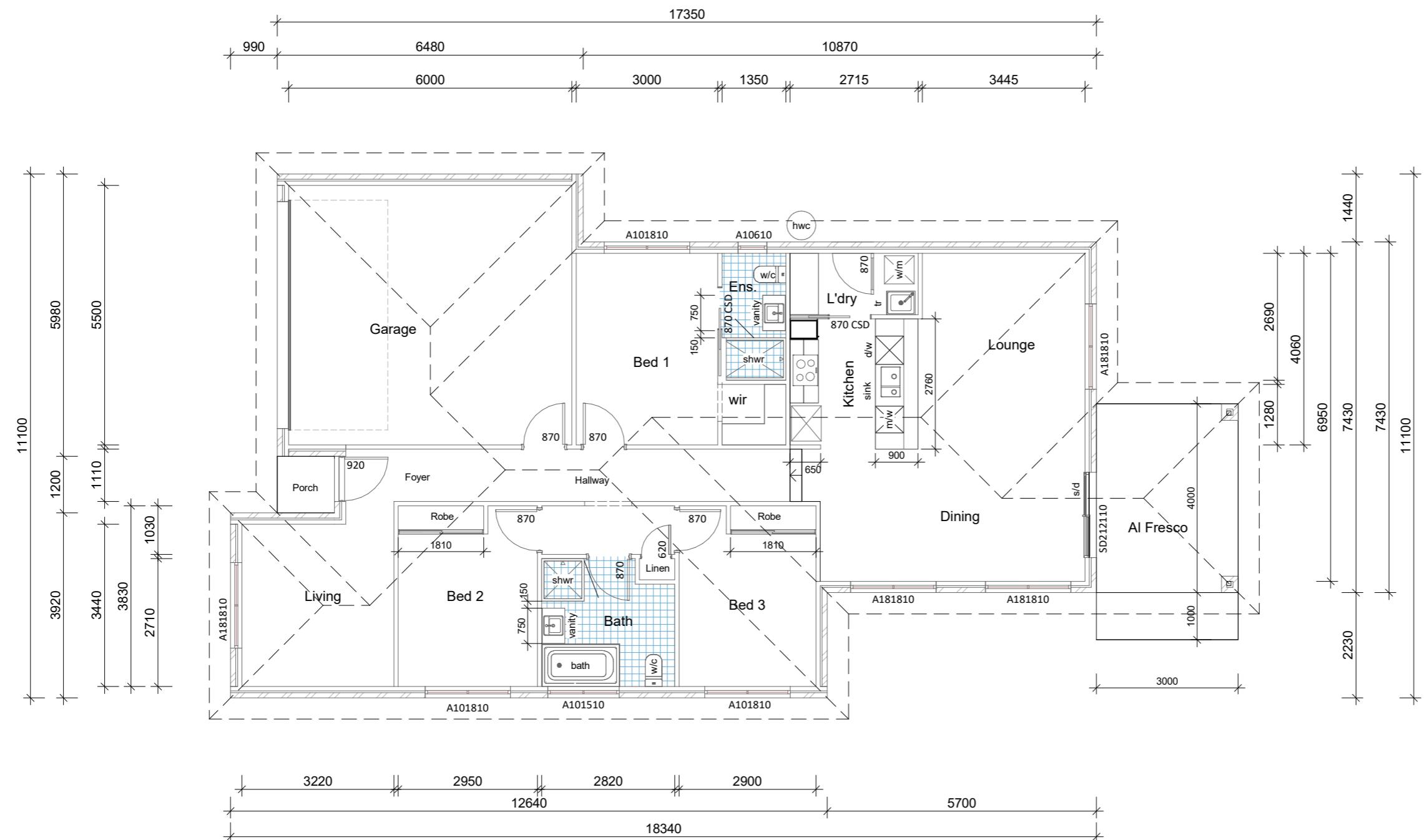
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tcp tcp

DATE: SCALE:
16.12.25 1 : 100

PROJECT/PAGE No: REV:
HLD25023 -02 **00**



PLANNING



Hotondo Homes

JOB ADDRESS:
30 Connemara Close,
Legana

OWNER:
W. & T. VAN DER WALT

DESIGN NAME:
MADISON 168
DRAWING:
Floor Plan

DRAWN BY: APPROVED BY:
tcp tcp
DATE: SCALE:
16.12.25 1 : 100

PROJECT/PAGE No: REV:
HLD25023 -03 00

Ground Floor

1 : 100

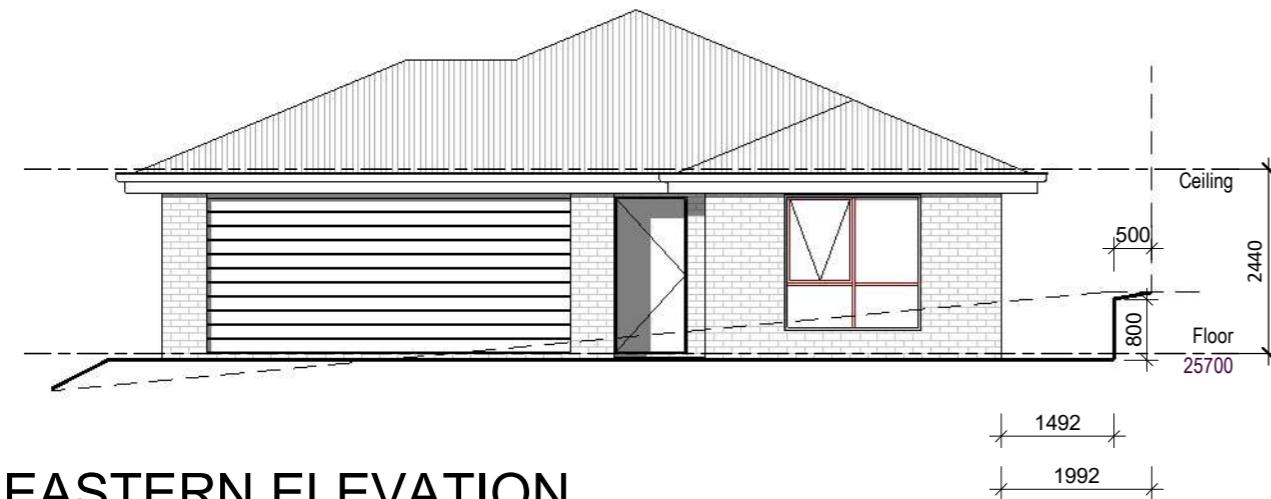
Floor Areas

Garage	36.76
Porch	1.92
Al Fresco	12.48
Residence	128.97
TOTAL	180.13

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PLANNING



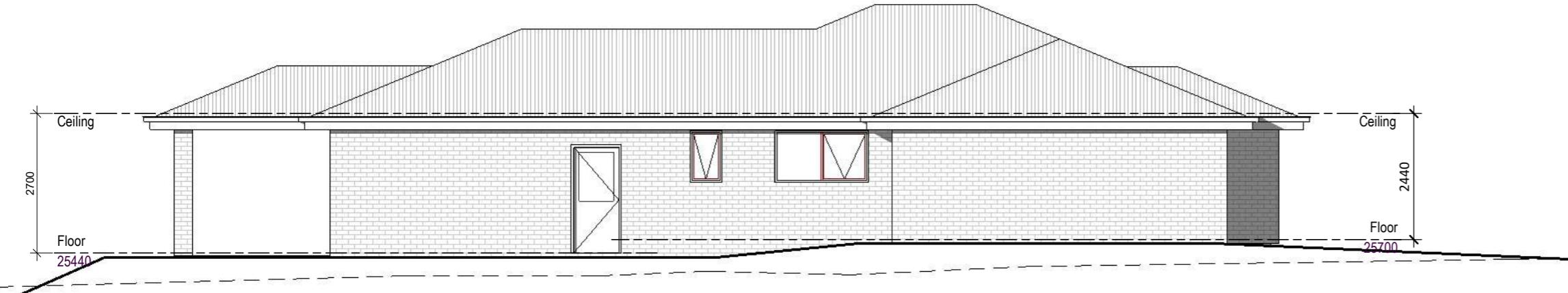
EASTERN ELEVATION

1 : 100



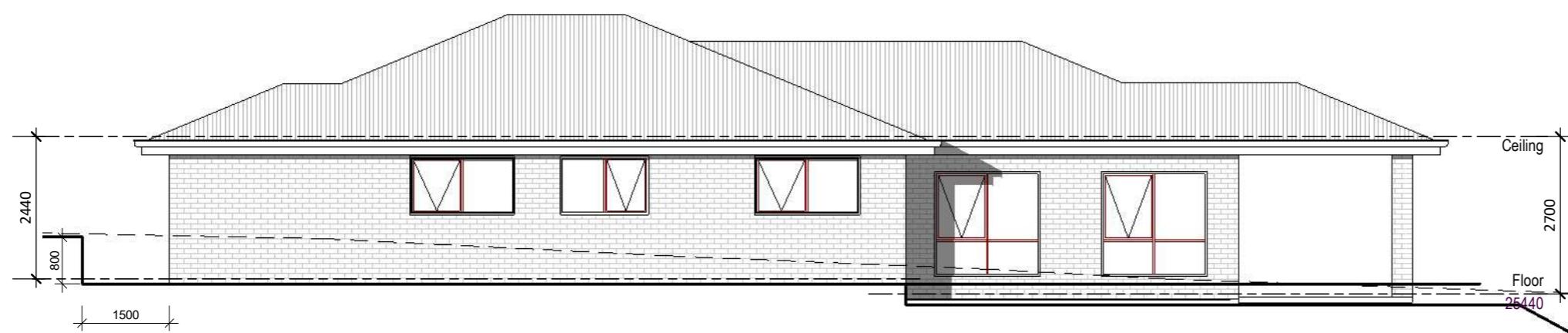
WESTERN ELEVATION

1 : 100



SOUTHERN ELEVATION

1 : 100



NORTHERN ELEVATION

1 : 100



**Hotondo
Homes**

JOB ADDRESS:
30 Connemara Close,
Legana

OWNER:
W. & T. VAN DER WALT

DESIGN NAME:
MADISON 168
DRAWING:
Elevations

DRAWN BY: APPROVED BY:
tcp tcp
DATE: SCALE:
16.12.25 1 : 100

PROJECT/PAGE No: REV:
HLD25023 -04 **00**

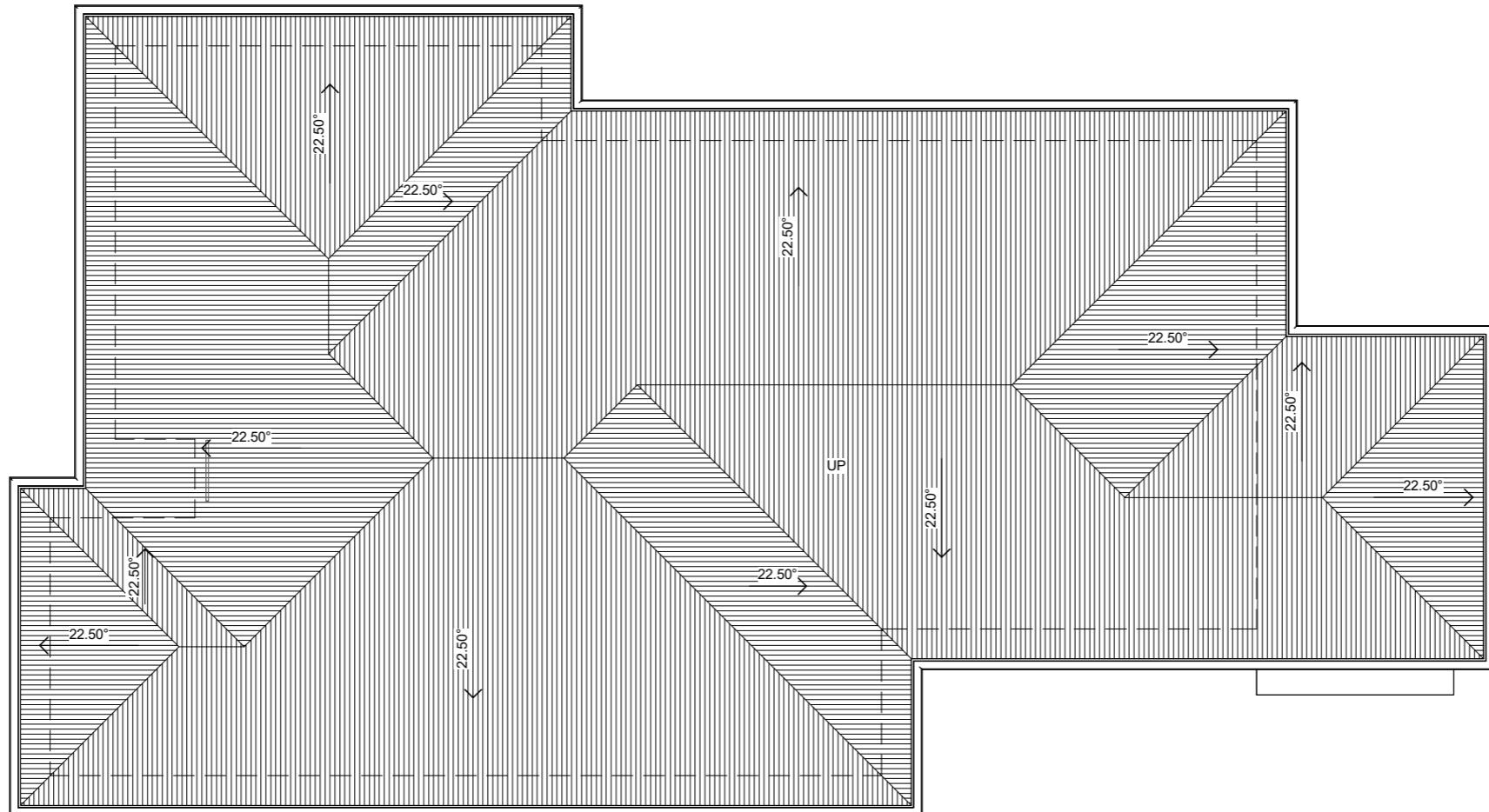
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PLANNING



Roof Plan

1 : 100

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JOB ADDRESS:
 30 Connemara Close,
 Legana

OWNER:
 W. & T. VAN DER WALT

DESIGN NAME:
 MADISON 168

DRAWING:
 Roof Plan

DRAWN BY: APPROVED BY:
 tcp tcp

DATE: SCALE:
 16.12.25 1 : 100

PROJECT/PAGE No: REV:
HLD25023 -05 **00**



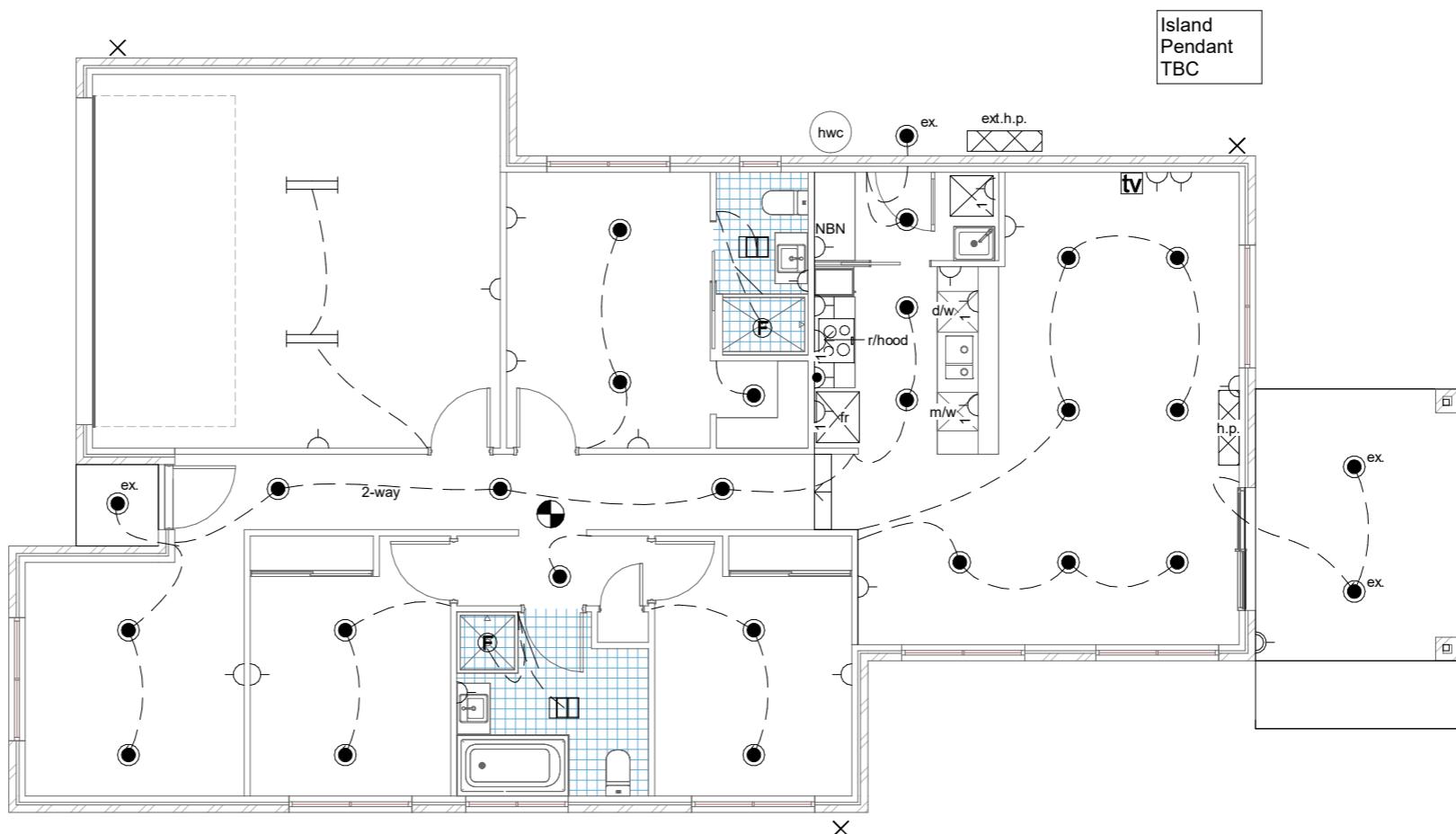
PLANNING

Legend

-  ext. Wall Light
(ext.=External, int.=Internal)
-  Batten Fix Ceiling Light
-  ex. LED Down Light (ext. External)
(ext.=External, w.=Wet Area)
-  LED Down Light
-  Four Light with Fan and Heat
c/w Damper exhaust to outside.
-  Sens. Sensor Wall Light
-  F Exhaust Fan to outside
-  Dimmer Switch
-  1 Single General Purpose Outlet (GPO)
-  Double General Purpose Outlet (GPO)
-  Outdoor Double General Purpose Outlet (Weatherproof)
-  tv Television Outlet
-  F Exhaust Fan to outside
-  h.p. Heat Pump Wall Unit (Internal)
-  ext.h.p. Heat Pump Outdoor Unit (External)
-  Heat Pump -Return Air Vent
-  Heat Pump -Ceiling Outlet
-  Smoke Alarm
-  LED Tube Light
- NBN National Broadband Network -Box
-  Main Switch Board

Electrical Plan

1 : 100



Detail Item Schedule

Type	Count	Keynote	Comments
Dble GPO Outlet	18	2	
Exhaust Fan	2	fan	
External	4	ex.	
External GPO	1	ext.	
External Tap	3	tap	
Heat Pump Wall Unit	1	h.p.	
Heat Pump Wall Unit External	1	ext.h.p.	
Internal Downlight	23	int.	
LED Tube Light	2	led	
Sgl GPO Outlet	5	1	
Sgl GPO Outlet	1	1	
Smoke Alarm	1		
Solid Fill - Grey 2	3		
Tastic 4	2	ex.fan	
Television Outlet	1	phone	

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**Hotondo
Homes**

JOB ADDRESS:
30 Connemara Close,
Legana

OWNER:
W. & T. VAN DER WALT

DESIGN NAME:
MADISON 168

DRAWING:
Electrical Plan

DRAWN BY: APPROVED BY:
tcp tcp

DATE: SCALE:
16.12.25 1 : 100

PROJECT/PAGE No: REV:
HLD25023 -06 **00**