

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE ONLY	Application Number	PA2025429
	Assess No:	A7694
	PID No:	6090035

Applicant Name:	S. Group P/L				
Applicant Contact Name					
Postal Address:					
Contact Phone:	Home		Work		Mobile
Email Address:					

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements
2. A completed application form including a detailed description of the proposal
3. A complete plan set:
 - a) Floor plans
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level)
 - c) Site Plan showing:
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

If submitting plans in over the counter please ensure they are A3.

All plans must be to scale.

Application Number: «Application_Number»

APPLICANT DETAILS

Applicant Name:	S. Group P/L (Damon Marshall)
-----------------	-------------------------------

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name: (as per certificate of title)	Australian Executor Trustees Limited
--	--------------------------------------

Location / Address:	152 Oxford St, Beauty Point
---------------------	-----------------------------

Title Reference:	60037/6
------------------	---------

Zone(s):	General Residential
----------	---------------------

Existing Development/Use:	Residential Dwelling
---------------------------	----------------------

Existing Developed Area:	154m2
--------------------------	-------

Are any of the components in this Application seeking retrospective approval? E.g. Use and/or development that has commenced without a Planning Permit.	YES <input type="checkbox"/>
--	------------------------------

YES

NO

(If yes please specify the relevant components):

DEVELOPMENT APPLICATION DETAILS

Proposed Use:	Residential: <input checked="" type="checkbox"/>	Visitor Accommodation: <input type="checkbox"/>	Commercial: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of Use: Residential Dwelling			

Development Type:	Building work: <input checked="" type="checkbox"/>	Demolition: <input checked="" type="checkbox"/>	Subdivision: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of development: Demolition of existing dwelling - replacement with new dwelling in the same position and associated site works.			

New or Additional Area:	232m2		
Estimated construction cost of the proposed development:	\$600,000		
Building Materials:	Wall Type:	FC Sheet	Colour: Surfmist/Monument
	Roof Type:	Steel	Colour: Surfmist

WEST TAMAR COUNCIL



Application Number: «Application_Number»

VISITOR ACCOMMODATION

N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION

N/A

Subdivision creating additional lots

Boundary adjustment with no additional lots created

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: <i>(Existing)</i>	
Number of Employees: <i>(Proposed)</i>	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: «Application_Number»**APPLICANT DECLARATION**

Owner: *As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,*

Name (print)

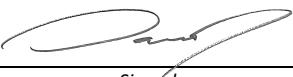
Signed

Date

Applicant: *As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,*
(if not the owner)

Damon Marshall (S. Group)

Name (print)



Signed

4/12/2025

Date

Please Note: *If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.*

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**Chief
Executive
Officer**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

New Dwelling

152 Oxford St, Beauty Point

GENERAL INFORMATION:

Accredited Architect:	Sam Haberle
Accreditation Number:	CC5618U
Certificate of Title:	60037/6
PID:	6090035
Soil Classification:	TBC
Wind Classification:	TBC
Alpine Area:	N/A
Bushfire-prone Area BAL rating:	TBC
Corrosive Environment:	TBC
Site Area:	751 m ²
Existing Building Footprint:	154m ²
Proposed Building Footprint:	242m ²

Property Information

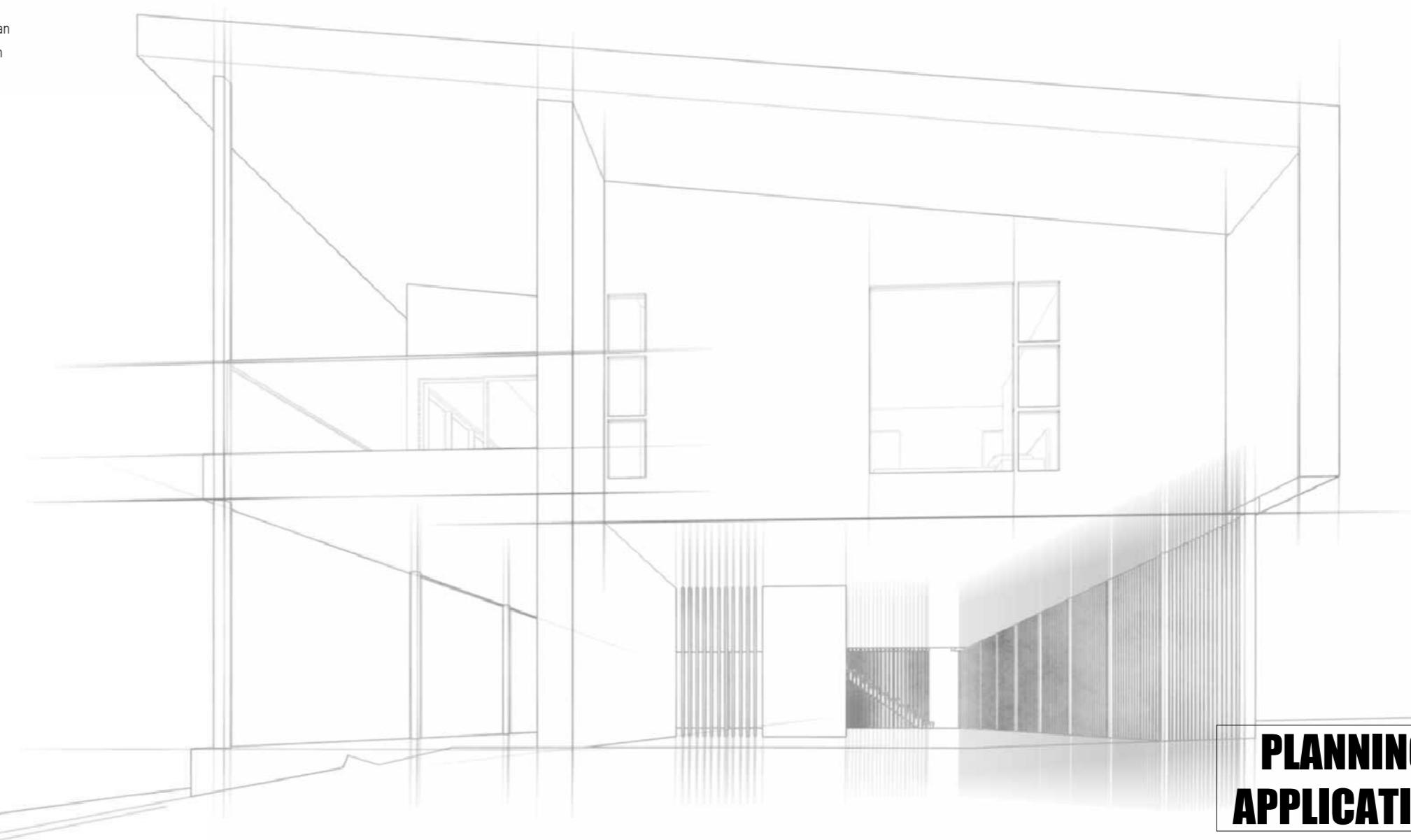
152 OXFORD ST BEAUTY POINT TAS 7270

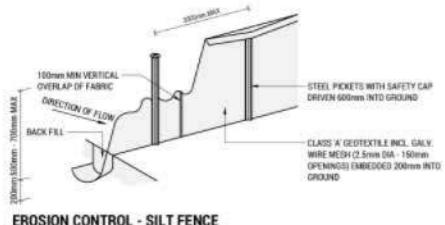
Property Type	Primary
Property Identification Number (PID)	6090035
Certificate of Title Reference (Volume/Folio)	60037/6
Total Area	751 sqm
Locality	Beauty Point
Municipality	West Tamar
Planning Scheme	Tasmanian Planning Scheme
Planning Zones	General Residential
Planning Code Overlay	Low landslip hazard band, Medium landslip hazard band



Drawing Schedule

A000	A	03/12/2025	Cover Sheet
A101	A	03/12/2025	Site Plan
A201	A	03/12/2025	Ground Level Plan
A202	A	03/12/2025	Upper Level Plan
A301	A	03/12/2025	Elevations 1
A302	A	03/12/2025	Elevations 2



SITE PLAN NOTES:	
CONTOURS & HEIGHTS SHOWN ON PLANS ARE DERIVED FROM A DETAILED FEATURES SURVEY COMPLETED BY OTHERS.	
SITE LEVELS ARE TO BE CONFIRMED ONSITE PRIOR TO THE COMMENCEMENT OF WORKS.	
SITE SERVICES ARE APPROXIMATES & SHALL BE CONFIRMED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.	
CONTRACTOR TO CONFIRM SERVICES WITH DIAL-BEFORE-YOU-DIG.	
AREA SCHEDULE:	
SITE AREA	751m ² Approx.
EXISTING DWELLING FOOTPRINT (Excl. SHEDS)	154m ² Approx.
PROPOSED DWELLING FOOTPRINT	130m ² (Ground Level) 202m ² (Upper Level incl. decks)
SOIL & WATER MANAGEMENT NOTES	
1. ALL RUNOFF & SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY & MAINTAINED IN A FUNCTIONAL CONDITION.	
2. ALL VEGETATION OUTSIDE THE BUILDING ENVELOPE WILL BE RETAINED.	
SEDIMENT CONTROL FENCE NOTES	
1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.	
2. DRIVE 1.5M LONG STAR PICKETS INTO GROUND @ MAX. 3.0M SPACINGS.	
3. DIG A 150MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.	
4. BACKFILL TRENCH OVER BASE OF FABRIC.	
5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.	
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH 150MM OVERLAP.	
SEDIMENT RETENTION NOTES	
1. GENERAL:	
(A). TEMPORARY DRAINAGE CONTROL. FLOW SHOULD BE DIVERTED AROUND THE WORK SITE WHERE POSSIBLE.	
(B). ALL DRAINAGE, EROSION AND SEDIMENT CONTROLS TO BE INSTALLED AND BE OPERATIONAL BEFORE COMMENCING UP-SLOPE EARTHWORKS.	
(C). ALL CONTROL MEASURES TO BE INSPECTED AT LEAST WEEKLY AND AFTER SIGNIFICANT RUNOFF PRODUCING STORMS.	
(D). CONTROL MEASURES MAY BE REMOVED WHEN ON-SITE EROSION IS CONTROLLED AND 70% PERMANENT SOIL COVERAGE IS OBTAINED OVER ALL UPSTREAM DISTURBED LAND.	
(E). IN AREAS WHERE RUNOFF TURBIDITY IS TO BE CONTROLLED, EXPOSED SURFACES TO BE EITHER MULCHED, COVERED WITH EROSION CONTROL BLANKETS OR TURFED IF EARTHWORKS ARE EXPECTED TO BE DELAYED FOR MORE THAN 14 DAYS.	
(F). STRAW BALE SEDIMENT TRAPS ARE A SECONDARY OPTION WHICH GENERALLY SHOULD NOT BE USED IF OTHER OPTIONS ARE AVAILABLE.	
2. SEDIMENT FENCE:	
(A). NOT TO BE LOCATED IN AREAS OF CONCENTRATED FLOW.	
(B). NORMALLY LOCATED ALONG THE CONTOUR WITH A MAXIMUM CATCHMENT AREA 0.6 HA PER 100M LENGTH OF FENCE.	
(C). WOVEN FABRICS ARE PREFERRED, NON-WOVEN FABRICS MAY BE USED ON SMALL WORK SITES, I.E. OPERATIONAL PERIOD LESS THAN 6 MONTHS OR ON SITES WHERE SIGNIFICANT SEDIMENT RUNOFF IS NOT EXPECTED.	
(D). WHERE FENCES NEED TO BE LOCATED ACROSS THE CONTOUR THE LAYOUT SHALL CONFORM TO 'TYPICAL LAYOUT ACROSS GRADE'.	
(E). FENCES ARE REQUIRED 2M MIN. FROM TOE OF CUT OR FILL BATTERS, WHERE NOT PRACTICAL ONE FENCE CAN BE AT THE TOE WITH A SECOND FENCE 1M MIN. AWAY. FENCE SHOULD NOT BE LOCATED PARALLEL TO THE TOE IF CONCENTRATION OF FLOW WILL OCCUR BEHIND THE FENCE.	
3. TEMP. CONSTRUCTION ENTRY / EXIT SEDIMENT TRAP.	
(A). ADJACENT STORMWATER RUNOFF TO BE DIVERTED AWAY FROM ENTRY/EXIT.	
(B). WHEEL - WASH OR SPRAY UNIT MAY BE REQUIRED DURING WET WEATHER.	
4. SAFETY ISSUES MUST BE CONSIDERED AT ALL TIMES, INCORPORATE TRAFFIC CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT.	
5. ALL DIMENSIONS IN MILLIMETRES UNLESS INDICATED OTHERWISE.	
 <p>EROSION CONTROL - SILT FENCE SCALE N.T.S.</p>	

1 Site plan
1:200



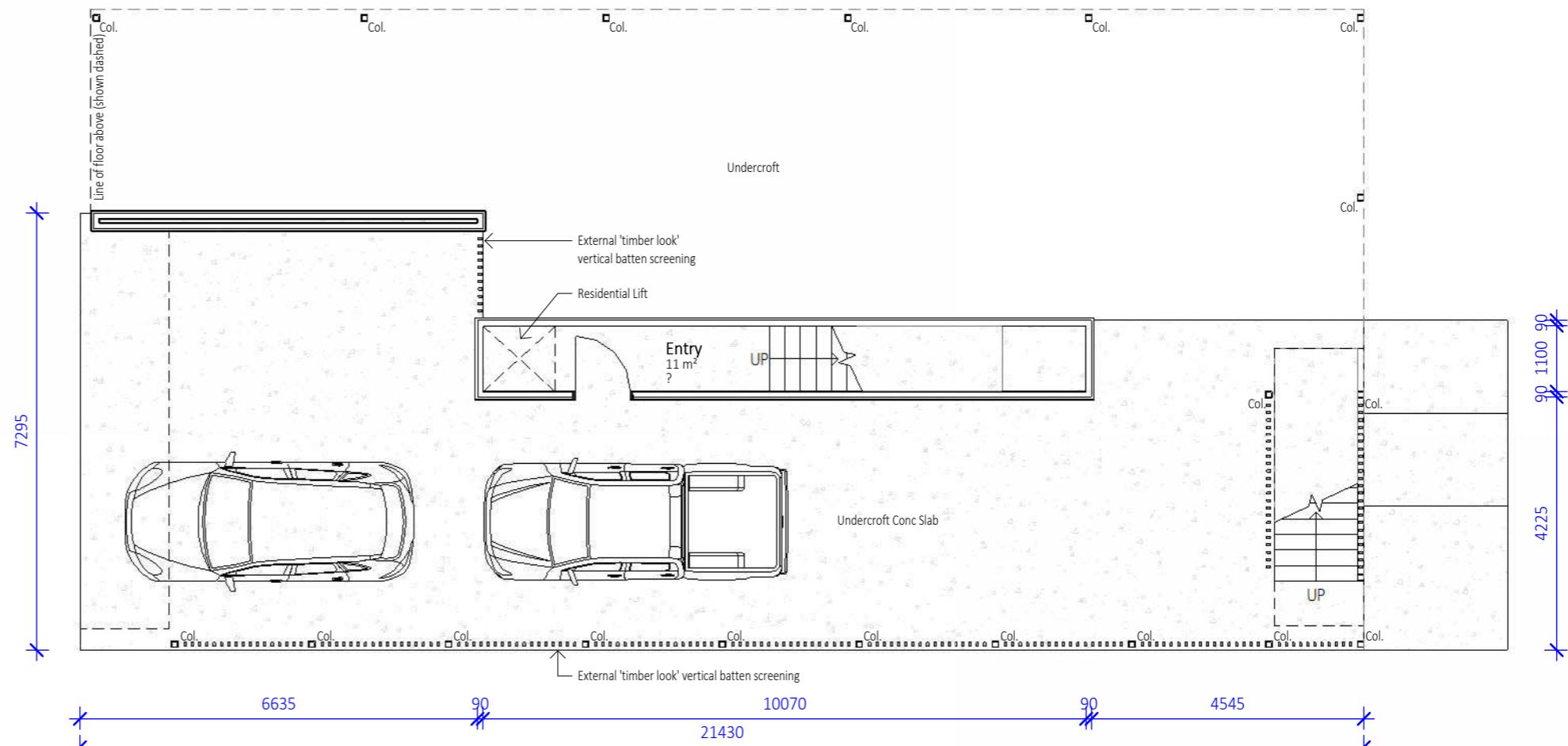
0 1 2 3 4 5m

**PLANNING
APPLICATION**

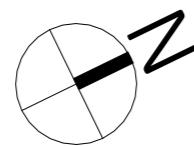


A	03/12/2025	Planning Application
REV	DATE	DESCRIPTION
PROJECT New Dwelling		PROJECT # J009496
ADDRESS 152 Oxford St, Beauty Point		DWG #
CLIENT Ward	SCALE @ A3As indicated	ACCREDITED DESIGNER CC 5618 U
DWG Site Plan	DRAWN Author CHKD Checker	

Drawing Key	
NEW WALLS	REFER TO SCHEDULE FOR CONSTRUCTION
EXISTING WALLS	
DEMOLITION WORKS	
EXISTING DOORS	
NEW DOORS	
ABBREVIATIONS	
D.xx	DOOR NUMBER - REFER TO SCHEDULE
W.xx	WINDOW NUMBER - REFER TO SCHEDULE
Px	WALL PARTITION TYPE
J.xx	JOINERY TYPE
CF-x	CEILING TYPE
SP	SERVICE PANEL
CT-x	CARPET TILE TYPE
VP-x	VINYL PLANK
NSV-x	NON-SLIP VINYL
GENERAL NOTES	
FIXTURES, FITTINGS & EQUIPMENT	
ALL FIXTURE, FITTINGS & EQUIPMENT SHOWN DASHED ARE SUPPLIED BY OWNER AND EXCLUDED FROM CONTRACT PRICE.	
ALL DIMENSIONS SHOWN TO BE CONFIRMED ON SITE.	
ALL ALUMINIUM FRAMES TO BE POWDER-COATED FINISH - COLOUR: MONUMENT.	
ALL THRESHOLD PLATES TO BE COUNTERSUNK.	
INSULATION REQUIREMENTS:	
INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.	
HARDWARE:	
CROSS REFERENCE DOOR & WINDOW SCHEDULE WITH DOOR FURNITURE SCHEDULE BY OTHERS.	
ALL DOOR HANDLE HARDWARE TO BE MOUNTED TO 1000H UP TO CENTERLINE.	
CEILING LININGS:	
REFER TO REFLECTED CEILING PLAN FOR ALL CEILING TYPES & SPECIFICATIONS.	
FLOOR FINISHES:	
REFER TO FLOOR FINISHES PLAN FOR ALL FLOOR FINISH TYPES & SPECIFICATIONS.	
ARCHITECTURAL PLANS & DRAWINGS & SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH DRAWINGS BY OTHERS FOR ALL ELECTRICAL, MECHANICAL, LIGHTING, FIRE DETECTION, CIVIL & STRUCTURAL WORKS SPECIFICATIONS.	



1 GROUND LEVEL
1:100



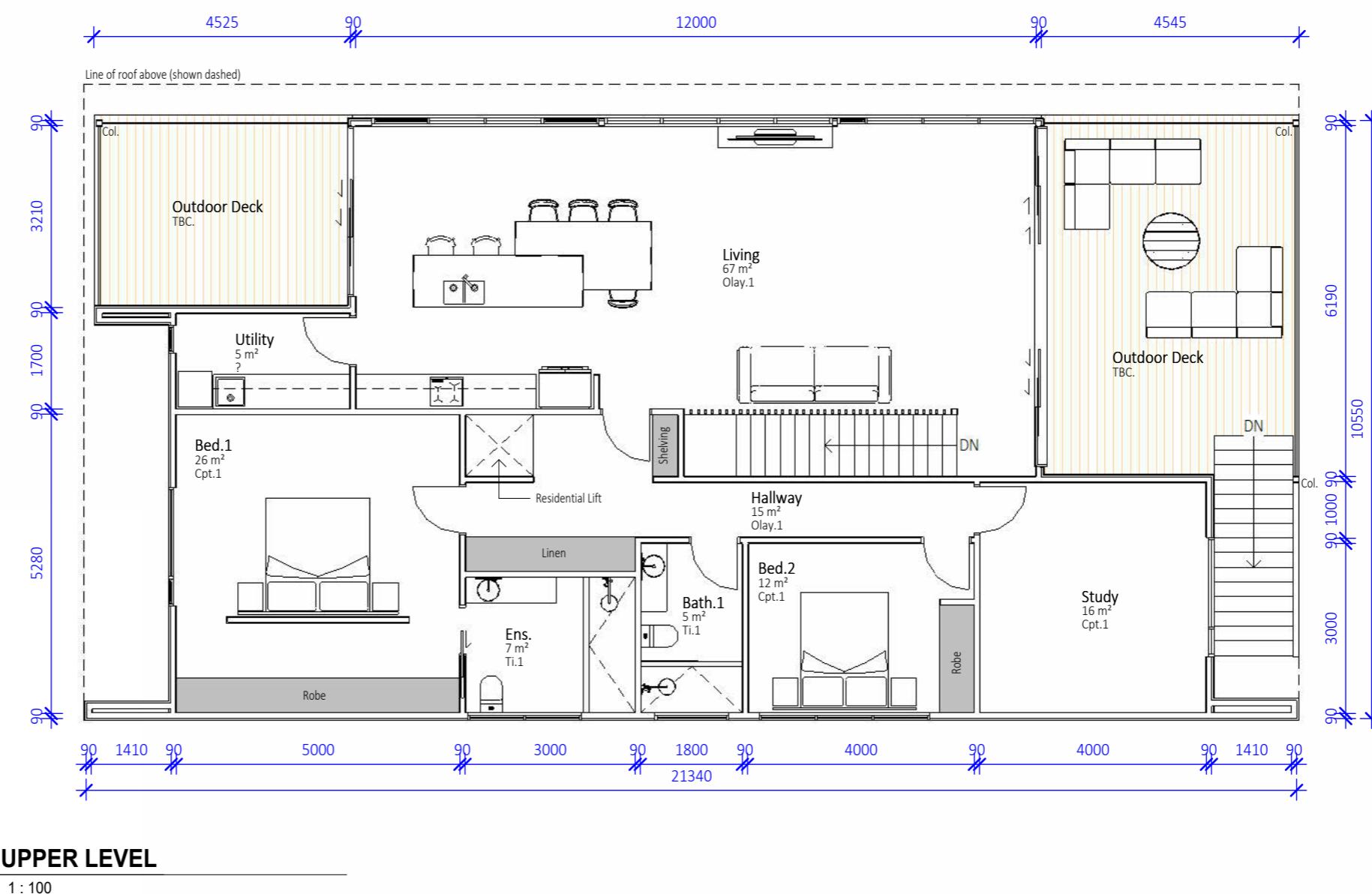
0 1 2 3 4 5m

PLANNING
APPLICATION



A	03/12/2025	Planning Application
REV	DATE	DESCRIPTION
PROJECT	New Dwelling	PROJECT # J009496
ADDRESS	152 Oxford St, Beauty Point	DWG #
CLIENT	Ward	SCALE @ A3 1:100
DWG	Ground Level Plan	DRAWN Author CHKD Checker ACCREDITED DESIGNER CC 5618 U

Drawing Key	
	NEW WALLS REFER TO SCHEDULE FOR CONSTRUCTION
	EXISTING WALLS
	DEMOLITION WORKS
	EXISTING DOORS
	NEW DOORS
ABBREVIATIONS	
D.xx	DOOR NUMBER - REFER TO SCHEDULE
W.xx	WINDOW NUMBER - REFER TO SCHEDULE
Px	WALL PARTITION TYPE
J.xx	JOINERY TYPE
CF-x	CEILING TYPE
SP	SERVICE PANEL
CT-x	CARPET TILE TYPE
VP-x	VINYL PLANK
NSV-x	NON-SLIP VINYL
GENERAL NOTES	
FIXTURES, FITTINGS & EQUIPMENT	
ALL FIXTURE, FITTINGS & EQUIPMENT SHOWN DASHED ARE SUPPLIED BY OWNER AND EXCLUDED FROM CONTRACT PRICE.	
 ALL DIMENSIONS SHOWN TO BE CONFIRMED ON SITE. ALL ALUMINIUM FRAMES TO BE POWDER-COATED FINISH - COLOUR: MONUMENT ALL THRESHOLD PLATES TO BE COUNTERSUNK.	
 INSULATION REQUIREMENTS: INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS	
 HARDWARE: CROSS REFERENCE DOOR & WINDOW SCHEDULE WITH DOOR FURNITURE SCHEDULE BY OTHERS. ALL DOOR HANDLE HARDWARE TO BE MOUNTED TO 1000H UP TO CENTERLINE.	
 CEILING LININGS: REFER TO REFLECTED CEILING PLAN FOR ALL CEILING TYPES & SPECIFICATIONS.	
 FLOOR FINISHES: REFER TO FLOOR FINISHES PLAN FOR ALL FLOOR FINISH TYPES & SPECIFICATIONS.	
 ARCHITECTURAL PLANS & DRAWINGS & SPECIFICATIONS ARE TO BE READ INCONJUNCTION WITH DRAWINGS BY OTHERS FOR ALL ELECTRICAL, MECHANICAL, LIGHTING, FIRE DETECTION, CIVIL & STRUCTURAL WORKS SPECIFICATIONS.	



1

UPPER LEVEL

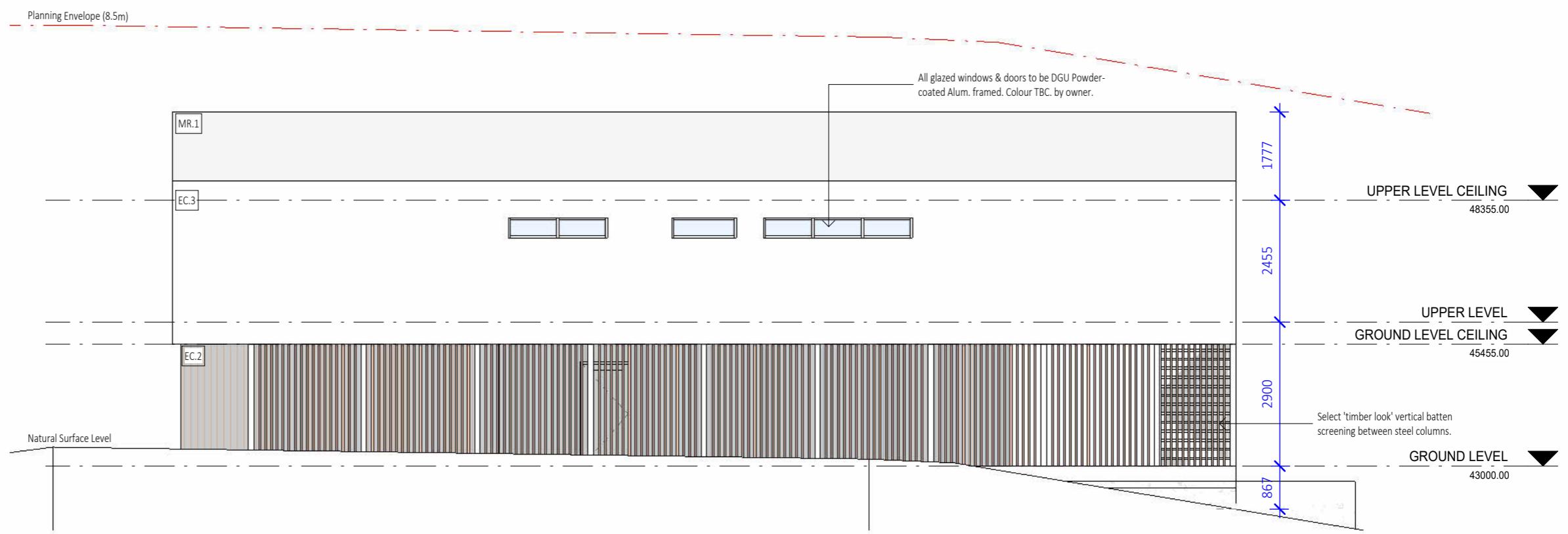
1:1

S. Group
73 - 75 St John Street, Launceston
100 Elizabeth Street, Hobart
552 Victoria St, North Melbourne, VIC
p 03 6311 1403 e info@sgroup.com.au
abn 33 625 566 618 sgroup.com.au

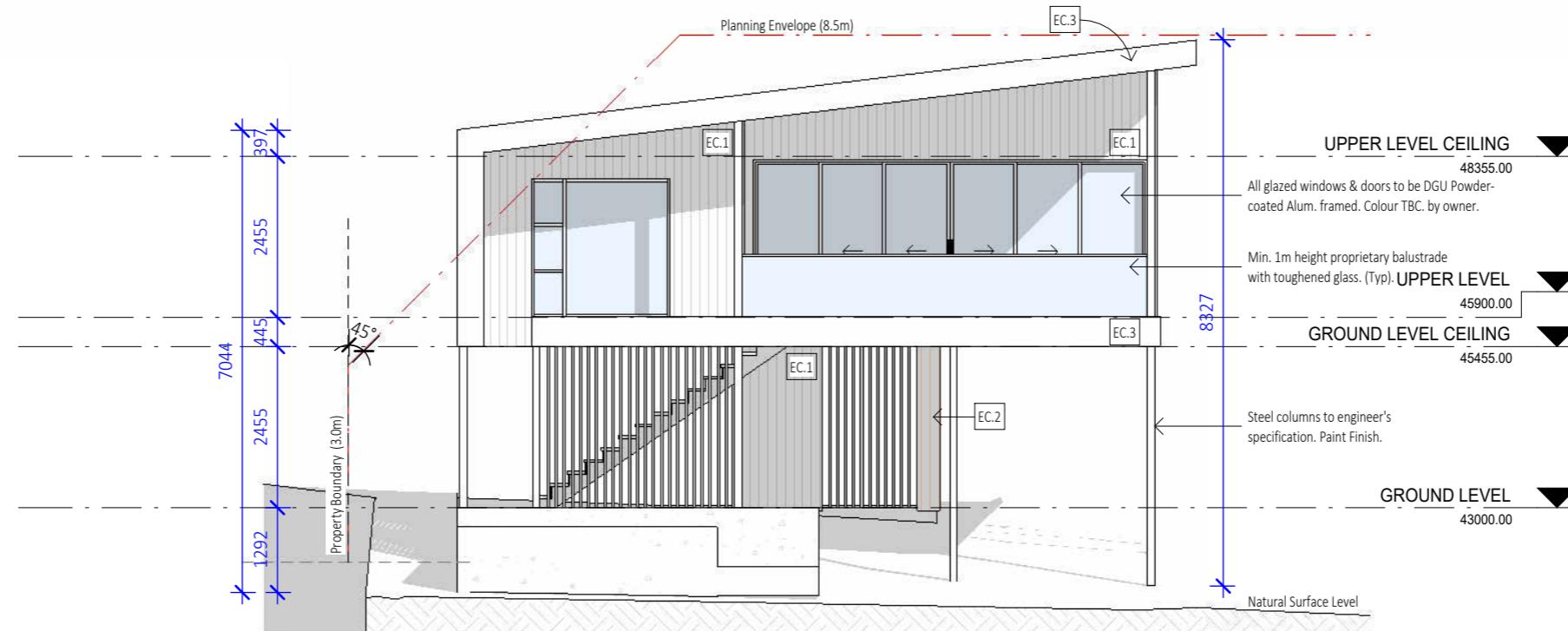


A	03/12/2025	Planning Application
REV	DATE	DESCRIPTION
PROJECT	New Dwelling	
ADDRESS	152 Oxford St, Beauty Point	
CLIENT	Ward	SCALE @ A3 1 : 100
DWG	Upper Level Plan	DRAWN CHKD Author Checker
		ACCREDITED DESIGNER CC 5618 U
		PROJECT # J009496 DWG # A202

CLADDING TYPE SCHEDULE	
CLADDING TYPE 1 (EC.1):	
TYPE:	FIBRE-CEMENT SHEET CLADDING. VERTICAL ORIENTATION
PRODUCT:	JAMES HARDIE™, SCYON AXON™. 9mm 133 SMOOTH PROFILE. EXTERIOR PAINT FINISH.
FIXING / CAVITY:	INSTALL OVER JAMES HARDIE PROPRIETARY CAVITY BATTEN TO MANUFACTURER'S SPECIFICATION. OR APPROVED EQUIVALENT
FLASHINGS / TRIMS:	INSTALL ALL FLASHINGS & TRIMS TO MANUFACTURER'S SPECIFICATION. COLOUR TO MATCH CLADDING
COLOUR:	DULUX® WEATHERSHIELD® - COLOUR: COLOURBOND®: MONUMENT®
CLADDING TYPE 2 (EC.2):	
TYPE:	FIBRE-CEMENT SHEET CLADDING. VERTICAL ORIENTATION
PRODUCT:	CEMINTEL® TERRITORY™ WOODLANDS 16mm TEXTURED
FIXING / CAVITY:	INSTALL OVER CEMINTEL® PROPRIETARY CAVITY BATTEN TO MANUFACTURER'S SPECIFICATION.
FLASHINGS / TRIMS:	INSTALL ALL FLASHINGS & TRIMS TO MANUFACTURER'S SPECIFICATION. COLOUR TO MATCH CLADDING
COLOUR:	WOODLANDS TEAK.
CLADDING TYPE 3 (EC.3):	
TYPE:	FIBRE-CEMENT SHEET CLADDING.
PRODUCT:	JAMES HARDIE™, BRUSHED CONCRETE CLADDING. 8.5mm EXTERIOR PAINT FINISH.
FIXING / CAVITY:	INSTALL OVER JAMES HARDIE PROPRIETARY CAVITY BATTEN TO MANUFACTURER'S SPECIFICATION.
FLASHINGS / TRIMS:	INSTALL ALL FLASHINGS & TRIMS TO MANUFACTURER'S SPECIFICATION. COLOUR TO MATCH CLADDING
COLOUR:	DULUX® WEATHERSHIELD® - COLOUR: COLOURBOND®: SURFMIST®
GENERAL NOTES:	
REFER TO THE WINDOW & DOOR SCHEDULES FOR SIZES AND COLOUR SPECIFICATION.	
ALL EXTERNAL WALLS TO WRAPPED WITH CLASS 4 VAPOUR PERMEABLE WALL WRAP TO MANUFACTURER'S SPECIFICATION.	



1 Elevation 1
1 : 100



2 Elevation 2
1 : 100

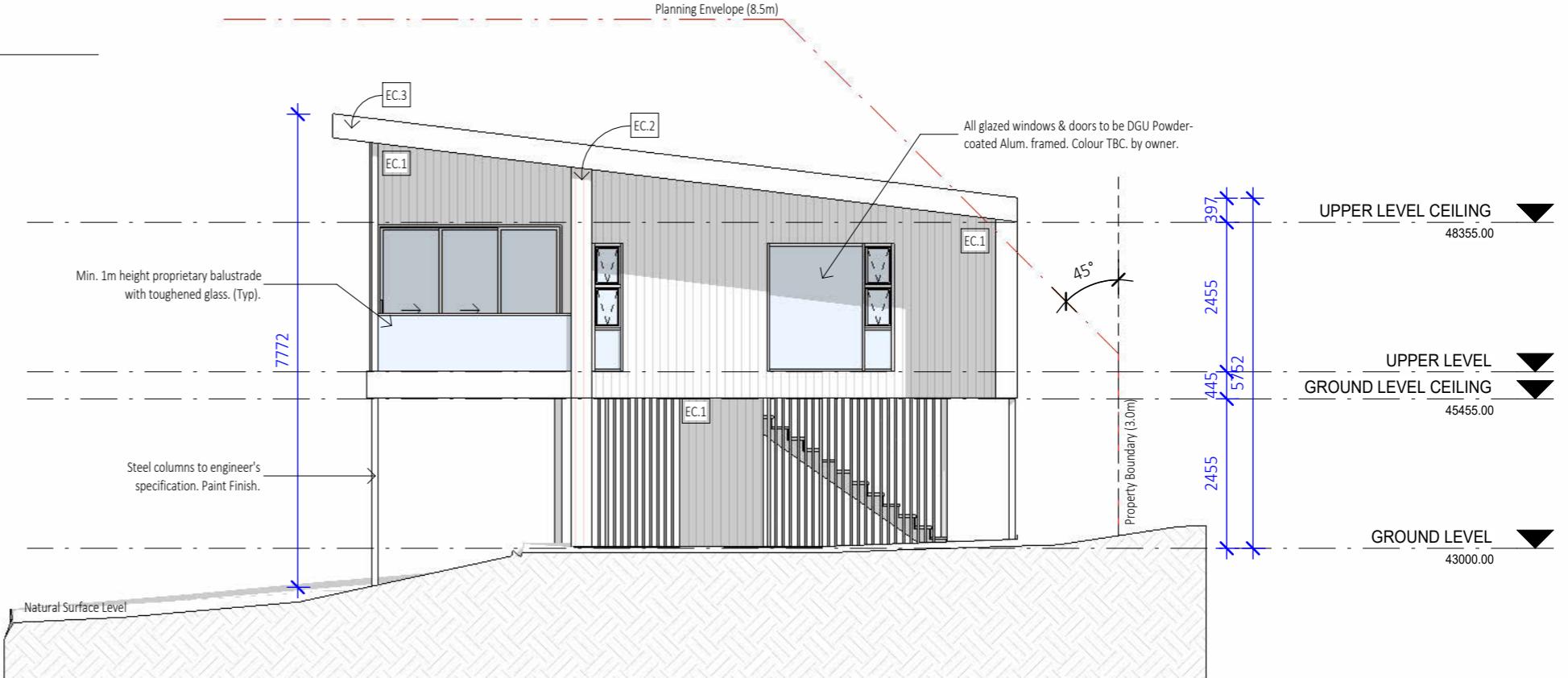


A	03/12/2025	Planning Application	PROJECT #	J009496
REV	DATE	DESCRIPTION		
PROJECT	New Dwelling		PROJECT #	J009496
ADDRESS	152 Oxford St, Beauty Point		DWG #	
CLIENT	Ward	SCALE @ A3 1 : 100	A301	
DWG	Elevations 1	DRAWN Author CHKD Checker	ACCREDITED DESIGNER CC 5618 U	

CLADDING TYPE SCHEDULE	
CLADDING TYPE 1 (EC.1):	
TYPE:	FIBRE-CEMENT SHEET CLADDING. VERTICAL ORIENTATION
PRODUCT:	JAMES HARDIE™, SCYON AXON™. 9mm 133 SMOOTH PROFILE. EXTERIOR PAINT FINISH.
FIXING / CAVITY:	INSTALL OVER JAMES HARDIE PROPRIETARY CAVITY BATTEN TO MANUFACTURER'S SPECIFICATION. OR APPROVED EQUIVALENT
FLASHINGS / TRIMS:	INSTALL ALL FLASHINGS & TRIMS TO MANUFACTURER'S SPECIFICATION. COLOUR TO MATCH CLADDING
COLOUR:	DULUX® WEATHERSHIELD® - COLOUR: COLOURBOND®: MONUMENT®
CLADDING TYPE 2 (EC.2):	
TYPE:	FIBRE-CEMENT SHEET CLADDING. VERTICAL ORIENTATION
PRODUCT:	CEMINTEL® TERRITORY™ WOODLANDS 16mm TEXTURED
FIXING / CAVITY:	INSTALL OVER CEMINTEL® PROPRIETARY CAVITY BATTEN TO MANUFACTURER'S SPECIFICATION.
FLASHINGS / TRIMS:	INSTALL ALL FLASHINGS & TRIMS TO MANUFACTURER'S SPECIFICATION. COLOUR TO MATCH CLADDING
COLOUR:	WOODLANDS TEAK.
CLADDING TYPE 3 (EC.3):	
TYPE:	FIBRE-CEMENT SHEET CLADDING.
PRODUCT:	JAMES HARDIE™, BRUSHED CONCRETE CLADDING. 8.5mm EXTERIOR PAINT FINISH.
FIXING / CAVITY:	INSTALL OVER JAMES HARDIE PROPRIETARY CAVITY BATTEN TO MANUFACTURER'S SPECIFICATION.
FLASHINGS / TRIMS:	INSTALL ALL FLASHINGS & TRIMS TO MANUFACTURER'S SPECIFICATION. COLOUR TO MATCH CLADDING
COLOUR:	DULUX® WEATHERSHIELD® - COLOUR: COLOURBOND®: SURFMIST®
GENERAL NOTES:	REFER TO THE WINDOW & DOOR SCHEDULES FOR SIZES AND COLOUR SPECIFICATION.
ALL EXTERNAL WALLS TO WRAPPED WITH CLASS 4 VAPOUR PERMEABLE WALL WRAP TO MANUFACTURER'S SPECIFICATION.	



1 Elevation 3
1 : 100



2 Elevation 4
1 : 100





create.
wonder.

S. Group
73 - 75 St John Street, Launceston
100 Elizabeth Street, Hobart
552 Victoria St, North Melbourne, VIC
p 03 6311 1403 e info@sgroup.com.au
abn 33 625 566 618 sgroup.com.au

**PLANNING
APPLICATION**



A	25/11/2025	Planning Application - Client Review	
REV	DATE	DESCRIPTION	
PROJECT	New Dwelling		PROJECT # J009496
ADDRESS	152 Oxford St, Beauty Point		DWG #
CLIENT	Ward	SCALE @ A3	
DWG	View 1	DRAWN CHKD	ACCREDITED DESIGNER Author Checker CC 5618 U

© Copyright 2025



create.
wonder.

S. Group
73 - 75 St John Street, Launceston
100 Elizabeth Street, Hobart
552 Victoria St, North Melbourne, VIC
p 03 6311 1403 e info@sgroup.com.au
abn 33 625 566 618 sgroup.com.au

**PLANNING
APPLICATION**



A	25/11/2025	Planning Application - Client Review	
REV	DATE	DESCRIPTION	
PROJECT	New Dwelling		PROJECT # J009496
ADDRESS	152 Oxford St, Beauty Point		DWG #
CLIENT	Ward	SCALE @ A3	
DWG	View 2	DRAWN CHKD	ACCREDITED DESIGNER Author Checker CC 5618 U

© Copyright 2025

A902



create.
wonder.

S. Group
73 - 75 St John Street, Launceston
100 Elizabeth Street, Hobart
552 Victoria St, North Melbourne, VIC
p 03 6311 1403 e info@sgroup.com.au
abn 33 625 566 618 sgroup.com.au

**PLANNING
APPLICATION**



A	25/11/2025	Planning Application - Client Review	
REV	DATE	DESCRIPTION	
PROJECT	New Dwelling		PROJECT # J009496
ADDRESS	152 Oxford St, Beauty Point		DWG #
CLIENT	Ward	SCALE @ A3	
DWG	View 3	DRAWN CHKD	ACCREDITED DESIGNER Author Checker CC 5618 U

© Copyright 2025



create.
wonder.

S. Group
73 - 75 St John Street, Launceston
100 Elizabeth Street, Hobart
552 Victoria St, North Melbourne, VIC
p 03 6311 1403 e info@sgroup.com.au
abn 33 625 566 618 sgroup.com.au

**PLANNING
APPLICATION**



A	25/11/2025	Planning Application - Client Review
REV	DATE	DESCRIPTION
PROJECT	New Dwelling	PROJECT # J009496
ADDRESS	152 Oxford St, Beauty Point	DWG #
CLIENT	Ward	SCALE @ A3
DWG	View 4	DRAWN Author CHKD Checker ACCREDITED DESIGNER CC 5618 U

© Copyright 2025



create.
wonder.

S. Group
73 - 75 St John Street, Launceston
100 Elizabeth Street, Hobart
552 Victoria St, North Melbourne, VIC
p 03 6311 1403 e info@sgroup.com.au
abn 33 625 566 618 sgroup.com.au

**PLANNING
APPLICATION**



A	25/11/2025	Planning Application - Client Review	
REV	DATE	DESCRIPTION	
PROJECT	New Dwelling		PROJECT # J009496
ADDRESS	152 Oxford St, Beauty Point		DWG #
CLIENT	Ward	SCALE @ A3	
DWG	View 5	DRAWN CHKD	ACCREDITED DESIGNER Author Checker CC 5618 U

© Copyright 2025

A905