

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE ONLY	Application Number	PA2026030
	Assess No:	A13843
	PID No:	9351870

Applicant Name:	C de Deuge				
Applicant Contact Name					
Postal Address:					
Contact Phone:	Home		Work		Mobile
Email Address:	-				

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements
2. A completed application form including a detailed description of the proposal
3. A complete plan set:
 - a) Floor plans
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level)
 - c) Site Plan showing:
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

If submitting plans in over the counter please ensure they are A3.

All plans must be to scale.

Application Number: «Application_Number»

APPLICANT DETAILS

Applicant Name:	In Pals We Trust
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Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name: (as per certificate of title)	In Pals We Trust
Location / Address:	3 Thorne Avenue Legana 7277
Title Reference:	187077/174
Zone(s):	General Residential

Existing Development/Use:	Vacant Land
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Existing Developed Area:	N/A
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Are any of the components in this Application seeking retrospective approval? E.g. Use and/or development that has commenced without a Planning Permit.	YES <input type="checkbox"/>
	NO <input checked="" type="checkbox"/>
(If yes please specify the relevant components):	

DEVELOPMENT APPLICATION DETAILS

Proposed Use:	Residential: <input checked="" type="checkbox"/>	Visitor Accommodation: <input type="checkbox"/>	Commercial: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of Use: Multiple Dwellings			

Development Type:	Building work: <input type="checkbox"/>	Demolition: <input type="checkbox"/>	Subdivision: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of development: Multiple Dwellings			

New or Additional Area:	352m2		
Estimated construction cost of the proposed development:	\$750,000		
Building Materials:	Wall Type: Brick Veneer	Colour: TBD	
	Roof Type: Colorbond	Colour:TBD	

Application Number: «Application_Number»

VISITOR ACCOMMODATION

N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION

N/A

Subdivision creating additional lots

Boundary adjustment with no additional lots created

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			

If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:

1.	
2.	
3.	

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: (Existing)	
Number of Employees: (Proposed)	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: «Application_Number»**APPLICANT DECLARATION**

Owner: *As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,*

Chris de Deuge

Name (print)



Signed

29/01/2026

Date

Applicant: *As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,*
(if not the owner)

Chris de Deuge

Name (print)



Signed

29/01/2026

Date

Please Note: *If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.*

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**Chief
Executive
Officer**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

OWNER : VOS CONSTRUCTION & JOINERY PTY LTD	PLAN OF SURVEY		REGISTERED NUMBER
FOLIO REFERENCE : F.R.174662/1 & 174706/1	BY SURVEYOR: M.R. HEATLEY of 3/23 BRISBANE STREET, LAUNCESTON TOWN OF LEGANA	OPDA SURVEYORS, ENGINEERS & PLANNERS	SP187077
GRANTEE : PART OF 2500 ACRES GRANTED TO JOHN GRIFFITHS	LOCATION: LAND DISTRICT OF DEVON PARISH OF STANLEY	SCALE 1:2500 LENGTHS IN METRES	APPROVED EFFECTIVE FROM 13 DEC 2024 <i>Recurve</i> Recorder of Titles
PRIORITY FINAL PLAN		SURVEYORS REF: 51920DP	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
<p>INDEX PLAN</p> <p>(SP21924)</p> <p>SEE ANNEXURE SHEET 1</p> <p>SEE ANNEXURE SHEET 2</p> <p>SEE ANNEXURE SHEET 3</p> <p>RIDGE ROAD</p> <p>COLES</p> <p>MONTAGUE PARK AVENUE</p> <p>GARDEN</p> <p>HANCOX DRIVE</p> <p>THORNE AVENUE</p> <p>CANED WAY</p> <p>JETTY ROAD</p> <p>185 19.92ha</p>			
Registered Land Surveyor <i>[Signature]</i>	08/04/2024 Date	27/11/24 Date Council Delegate <i>[Signature]</i>	

PLAN OF SURVEY
ANNEXURE SHEET

SHEET 1 OF 3 SHEETS

OWNER: VOS CONSTRUCTION & JOINERY PTY LTD
FOLIO REFERENCE: F.R.174662/1 & 174706/1
SCALE 1:600
LENGTH IN METRES

SIGNED FOR IDENTIFICATION PURPOSES

[Signature] **27/11/24** **Date**

THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.

[Signature] **08/09/2024** **Date**

APPROVED
EFFECTIVE FROM **13 DEC 2024**

Recorder of Titles

185
19.92ha

(SP 18801)

SEE ANNEXURE SHEET 2

(P 174706)
(P 610B)

PARCEL 185: 19.92ha

PARCEL 102: 911m²

PARCEL 103: 866m²

PARCEL 104: 866m²

PARCEL 105: 866m²

PARCEL 106: 866m²

PARCEL 128: 709m²

PARCEL 129: 709m²

PARCEL 130: 709m²

PARCEL 131: 709m²

PARCEL 132: 751m²

PARCEL 133: 751m²

PARCEL 901: 6910m²

PARCEL 185: 19.92ha

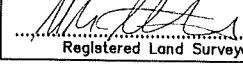
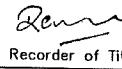
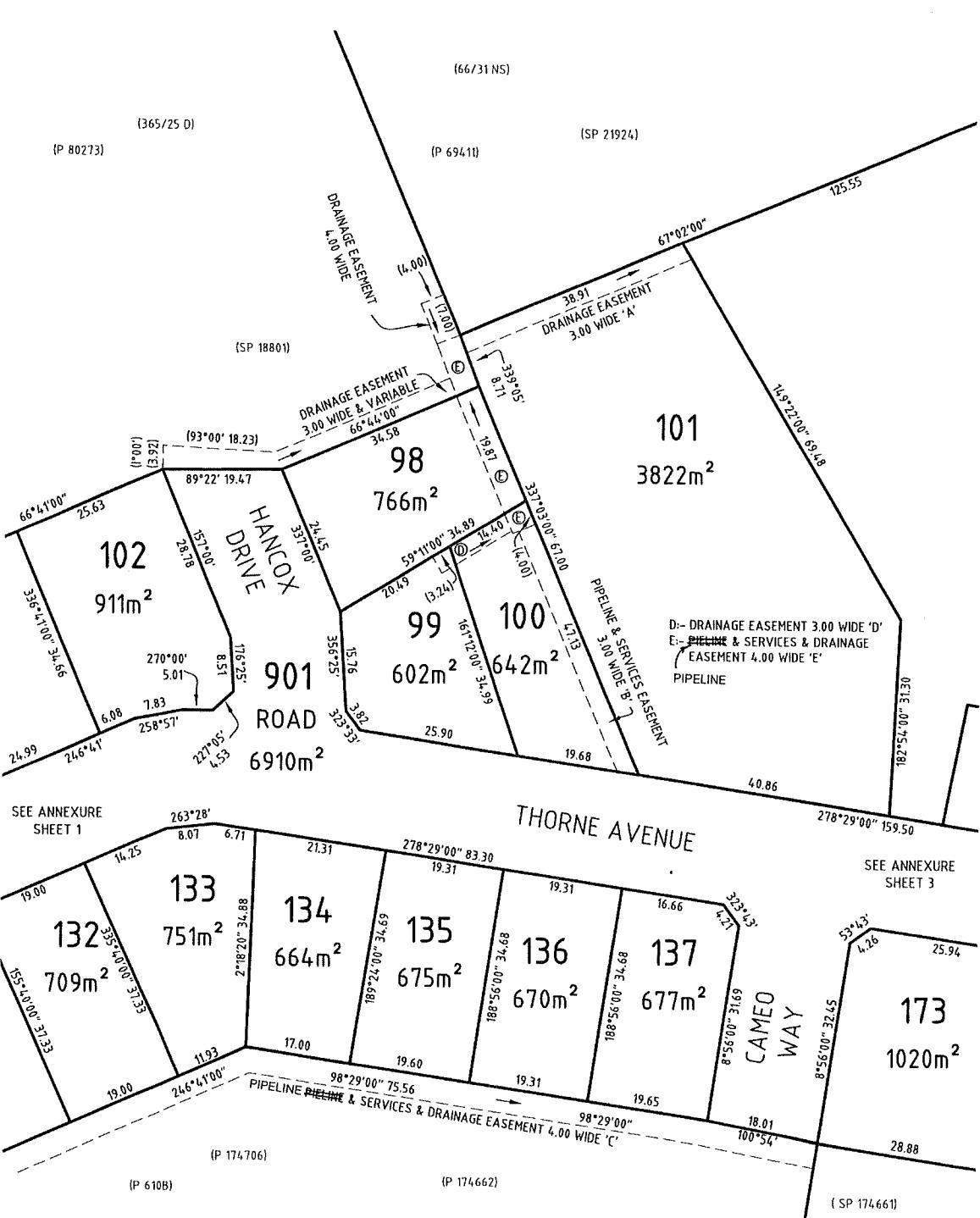
ANGLE EASEMENT

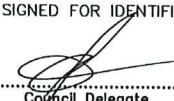
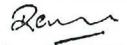
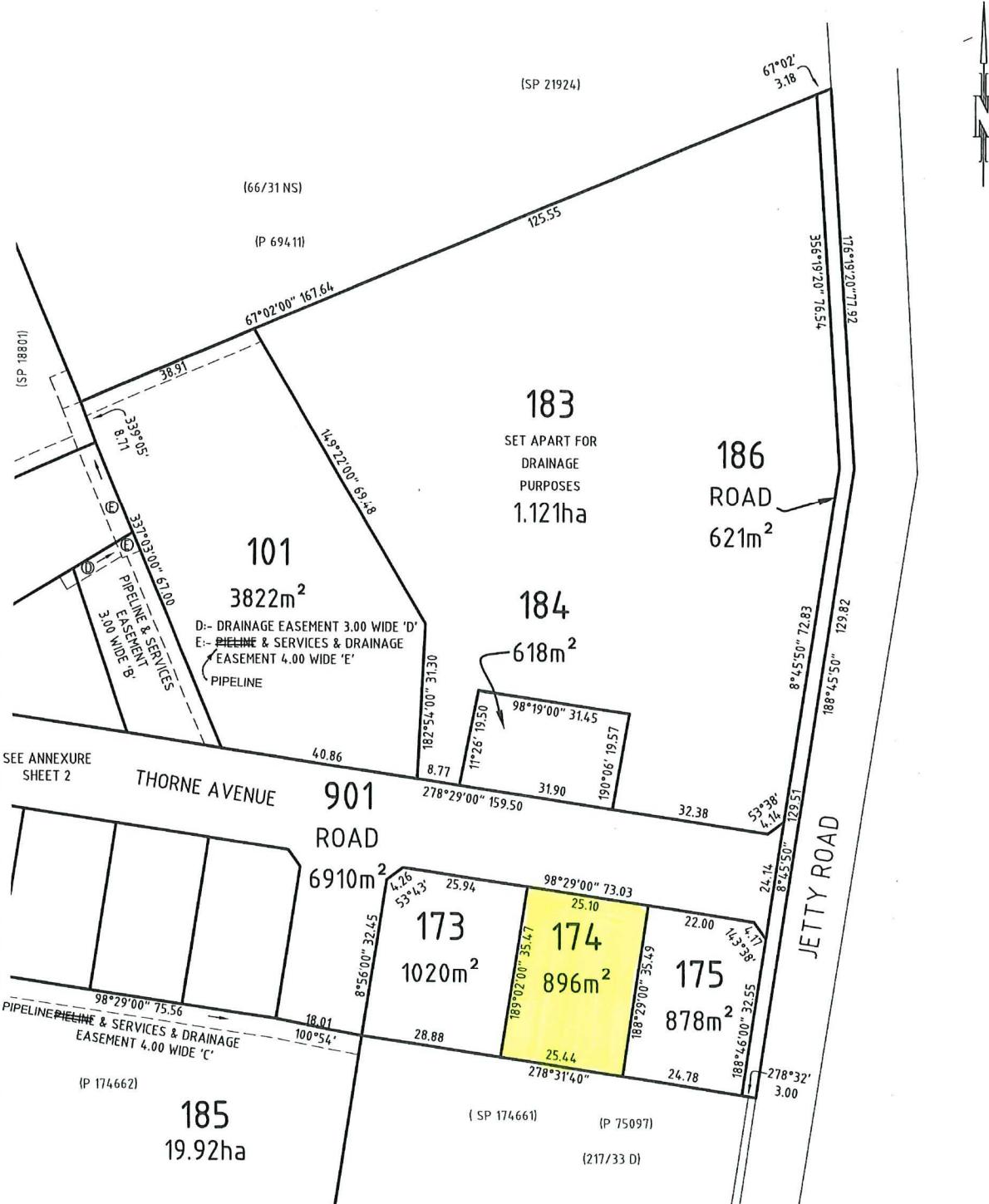
HANCOX DRIVE

ROAD

THORNE AVENUE

Pipeline & Services & Drainage Easement 4.00 wide 'C'

PLAN OF SURVEY ANNEXURE SHEET SHEET 2 OF 3 SHEETS		OWNER: VOS CONSTRUCTION & JOINERY PTY LTD FOLIO REFERENCE: F.R.174662/1 & 174706/1 SCALE 1:600	Registered Number SP 187077
SIGNED FOR IDENTIFICATION PURPOSES  Council Delegate 27/11/24 Date		THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.  Registered Land Surveyor 08/04/2024 Date	APPROVED EFFECTIVE FROM 13 DEC 2024  Recorder of Titles
			

PLAN OF SURVEY ANNEXURE SHEET SHEET 3 OF 3 SHEETS		OWNER: VOS CONSTRUCTION & JOINERY PTY LTD FOLIO REFERENCE: F.R.174662/1 & 174706/1 SCALE 1:750 LENGTH IN METRES	Registered Number SP 187077
SIGNED FOR IDENTIFICATION PURPOSES  Council Delegate 27/11/24 Date		THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.  Registered Land Surveyor 08/04/2024 Date	APPROVED EFFECTIVE FROM 13 DEC 2024  Recorder of Titles
			

SCHEDULE OF EASEMENTS

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS
& MORTGAGEES OF THE LAND AFFECTED.
SIGNATURES MUST BE ATTESTED.

Registered Number

SP 187077

PAGE 1 OF 3 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 98, 100 and 185 on the Plan are subject to a Right of Drainage of the in favour of the West Tamar Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'E'" shown passing through those lots on the Plan.

Lots 98, 100 and 185 on the Plan ("the Lot") are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'E'" shown on the Plan ("the Easement Land").

Lots 99 and 100 on the Plan are subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE 'D'" shown passing through those lots on the Plan.

Lot 100 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE 'B'" shown on the Plan ("the Easement Land").

Lot 101 on the Plan is subject to a Right of Drainage of the in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE 'A'" shown passing through Lot 101 on the Plan.

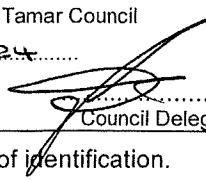
Lot 185 on the Plan is subject to a Right of Drainage of the in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE & VARIABLE" shown passing through Lot 185 on the Plan.

Lot 185 on the Plan is subject to a Right of Drainage of the in favour of the West Tamar Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'C'" shown passing through Lot 185 on the Plan.

Lot 185 on the Plan ("the Lot") is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'C'" shown on the Plan ("the Easement Land").

Lot 185 on the Plan is subject to a Right of Drainage of the in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 4.00 WIDE" shown passing through Lot 185 on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Vos Construction & Joinery Pty Ltd	PLAN SEALED BY: West Tamar Council
FOLIO REF: Volume 174662 Folio 1 and Volume 174706 Folio 1	DATE: 27/11/2024 PA 2021064
SOLICITOR & REFERENCE: Penny Sproat - 246482	REF NO.  Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 3 PAGES	Registered Number SP. 187077
SUBDIVIDER: Vos Construction & Joinery Pty Ltd FOLIO REFERENCE: Volume 174662 Folio 1 and Volume 174706 Folio 1	

That part of each lot on the plan formerly comprised in Lot 1 on Plan 174662 is together with a right of carriage way over all the Roadways shown on Plan No. 610 other than the Roadway marked thereon as "Track from West Tamar Road to Homestead".

INTERPRETATION

In this Schedule of Easements:

"Pipeline Easement" means:

The full and free right and liberty to draw water through pipes now or to be installed as hereinafter appears within that portion of each Lot subject thereto marked pipeline easement on the plan and for that purpose to enter thereon and to lay in, under and upon the pipeline easement such pipe or pipes as shall from time to time be necessary for the purposes aforesaid and to draw water through such pipes and at all times to enter into and upon the pipeline easement for the purpose of maintaining any pumping system and inspecting, cleaning, maintaining, removing and renewing such pipes and to carry out all necessary work thereon causing as little damage as possible and making reasonable compensation for all damage done or caused thereby.

"Pipeline & Services Easement" means:

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorized by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorized to do or undertake
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure
- (4) run and pass sewerage, water and electricity through and along the Infrastructure
- (5) do all works reasonably required in connection with such activities or as may be authorized or required by any law:
 - (a) without doing unnecessary damage to the Easement Land, and
 - (b) leaving the Easement Land in a clean and tidy condition.
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorized by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land, and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 3 PAGES	Registered Number SP 187077
SUBDIVIDER: Vos Construction & Joinery Pty Ltd FOLIO REFERENCE: Volume 174662 Folio 1 and Volume 174706 Folio 1	

Interpretation:

"Infrastructure" means infrastructure owned on or for which TasWater is responsible and includes but is not limited to:

- (a) Sewer pipes and water pipes and associated valves,
- (b) Telemetry and monitoring devices,
- (c) Inspection and access pits,
- (d) Electricity assets and other conducting media (excluding telemetry and monitoring devices),
- (e) Markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure,
- (f) Anything reasonably required to support, protect or cover any other Infrastructure,
- (g) Any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewerage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity, and
- (h) Where the context permits, any part of the Infrastructure.

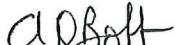
"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

FENCING COVENANT

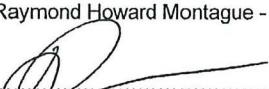
The Owner of each lot on the Plan covenants with the Vendor (Vos Construction & Joinery Pty Ltd) that the Vendor shall not be required to fence.

EXECUTED by VOS CONSTRUCTION & JOINERY PTY LTD (ACN 009 558 258) being the registered proprietor of the lands comprised in Folio of the Register Volume 174706 Folio 1 and Folio of the Register Volume 174662 Folio 1 in accordance with Section 127 of the Corporations Act 2001:


.....
Darren Roelf Vos - Director


.....
Adrian Donald Bott - Secretary


.....
Raymond Howard Montague - Director


.....
Darren Paul Gardner Barber - Director

LEGANA ORCHARDS PTY LTD (ACN 009 520 852) as mortgagee under Mortgage No. E308992 hereby consents to this Schedule of Easements:

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

MULTIPLE DWELLINGS FOR IN PALS WE TRUST

3 THORNE AVE
LEGANA
TAS. 7277

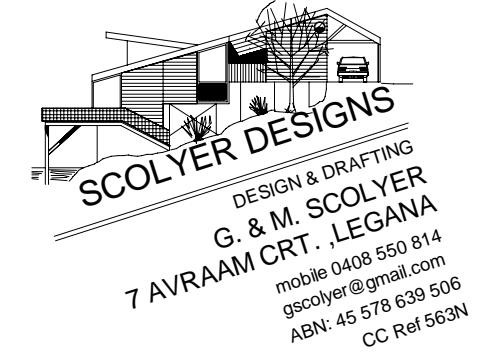


Locality Plan
SCALE 1 : 2000

DEVELOPMENT APPLICATION

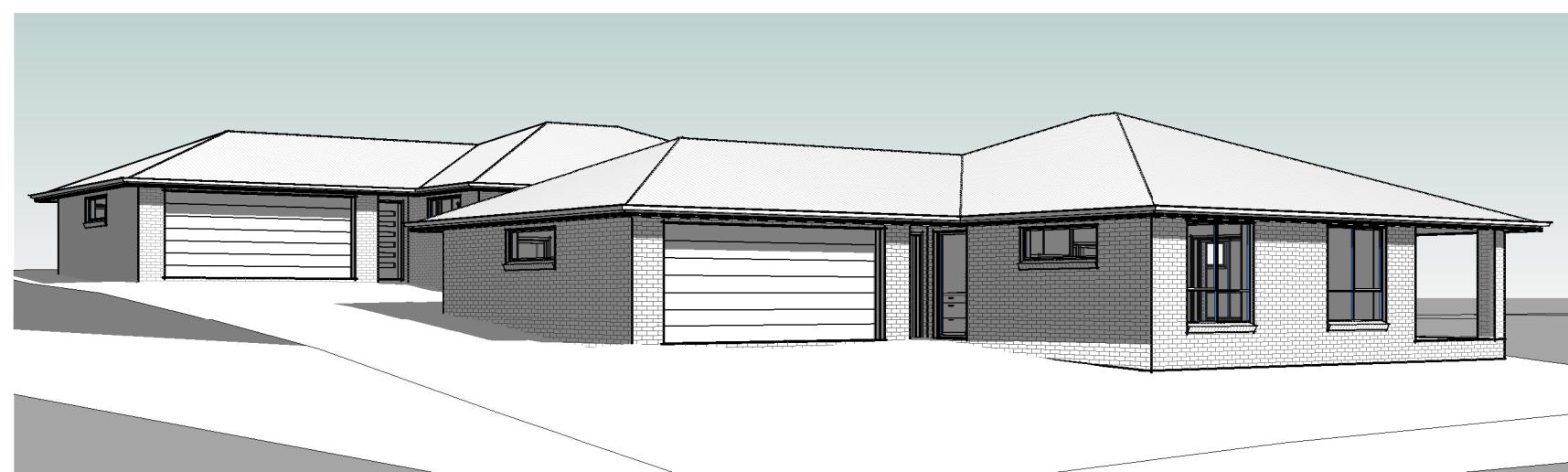
Drawing Schedule

Sheet Number	Sheet Name
A00	COVER SHEET
A01	SITE PLAN
A02	PLUMBING PLAN
A03	SWEPT PATH PLAN
A04	SITE SECTION
A05	DETAILS
A06	NCC GENERAL NOTES
A07	BAL 12.5 NOTES
A08	SHADOW DIAGRAMS
A09	AREA PLANS
A10	UNIT 1 - FLOOR PLAN
A11	UNIT 1 - ELEVATIONS
A20	UNIT 1 - 3D VIEWS
A25	UNIT 2 - FLOOR PLAN
A26	UNIT 2 - ELEVATIONS
A35	UNIT 2 - 3D VIEWS



PROJECT INFORMATION

Land Title Reference: 187077/174
PID: 9351870
Soil Classification: ?? to AS2870
Wind Classification: N? to AS4055
Climate Zone: 7
Planning Scheme Zone: 8 - General Residential
Local Government Authority: West Tamar Council
Building Classification: Class 1a
BAL Rating: 12.5 (refer separate report)
Energy Rating: ?? Stars



JANUARY 2026

EROSION & SEDIMENT CONTROLS FOR BUILDING SITE

- MINIMISE AREA TO BE CLEARED AND LEAVE AS MUCH NATURAL VEGETATION AS POSSIBLE.
- INSTALL TEMPORARY FENCES TO DEFINE 'NO GO' AREAS THAT ARE NOT TO BE DISTURBED.
- INSTALL SEDIMENT FENCE(S) ALONG THE LOW SIDE OF THE SITE BEFORE WORK BEGINS.
- DIVERT WATER AROUND THE WORK SITE AND STABILISE CHANNELS, ENSURING NO FLOODING OF THE NEIGHBORING / ADJOINING PROPERTIES.
- ESTABLISH A SINGLE STABILISED ENTRY/EXIT POINT. CLEARLY MARK THE ACCESS POINT AND GIVE AN ACCESS MAP THAT HAS A DELIVERY POINT INDICATED FOR ALL SUPPLIES.
- CONSTRUCTION VEHICLES TO BE PARKED ON THE STREET ONLY TO PREVENT TRANSFER OF MUD, SOIL & DEBRIS ONTO PAVEMENT.
- LEAVE OR LAY A KERB-SIDE TURF STRIP (FOR EXAMPLE, THE NATURE STRIP) TO SLOW THE SPEED OF WATER FLOWS AND TO TRAP SEDIMENT.
- CHECK THE EROSION AND SEDIMENT CONTROLS EVERY DAY AND KEEP THEM IN GOOD WORKING CONDITION.
- STOCKPILE TOPSOIL WITHIN THE SEDIMENT CONTROLLED ZONE. ENSURE STOCKPILES ARE REGULARLY WATERED DOWN TO CONTROL DUST DURING WEATHER EVENTS.
- ALWAYS BE AWARE OF THE WEATHER FORECAST.
- STABILISE EXPOSED EARTH BANKS (E.G. VEGETATION, EROSION CONTROL MATS).
- FILL IN AND COMPACT ALL TRENCHES IMMEDIATELY AFTER SERVICES HAVE BEEN LAID.
- INSTALL SITE WASTE RECEPTACLES (MINI-SKIP, BINS, WIND-PROOF LITTER RECEPTACLES).
- SWEEP THE ROAD AND FOOTPATH EVERY DAY AND PLACE SOIL BEHIND THE SEDIMENT CONTROLS. HOsing DOWN STREET AND FOOTPATHS IS UNACCEPTABLE.
- CONNECT DOWNPipes FROM THE GUTTERING TO THE STORMWATER DRAIN AS SOON AS THE ROOF CLADDING IS INSTALLED.
- REVEGETATE THE SITE AS SOON AS POSSIBLE. THE EROSION AND SEDIMENT CONTROL DEVICES MUST BE KEPT IN PLACE UNTIL 70% OF THE SITE HAS BEEN REVEGETATED.

No 5



Print Date: 13/02/2026 7:09:05 PM

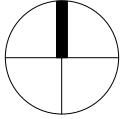


TOPOGRAPHIC BASEMAP / CADASTRE DATA FROM www.theLIST.tas.gov.au © STATE OF TASMANIA

DEVELOPMENT APPLICATION

Site Plan
SCALE 1:200

IMPERVIOUS AREA
DRIVEWAY = 179m²
UNIT 1 = 173m²
UNIT 2 = 179m²
total area = 531m²



GENERAL NOTES:

1. CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
2. WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED, DO NOT SCALE
3. ALL WORK TO BE STRICTLY IN ACCORDANCE WITH THE NCC 2022 VOLUME 2, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS.
4. ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500 & APPROVED BY COUNCIL INSPECTOR.
5. BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES.
6. ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & NCC PART 8.
7. CHECK ON SITE FOR ALL EXISTING UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF WORKS. TAKE ALL NECESSARY PRECAUTIONS & RE-CONNECT WHERE REQUIRED.
8. ALL JOINERY, FITMENTS, APPLIANCES, PLUMBING FITTINGS & HARDWARE SHALL BE AS SCHEDULED BY OWNER.
9. PROPERTY BOUNDARY TO BE IDENTIFIED & CONFIRMED BY SURVEY PRIOR TO CONSTRUCTION.
10. SURFACE DRAINAGE - FINISHED GROUND TO FALL AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 1000mm AT 1:20 AND TO A POINT WHERE PONDING WILL NOT OCCUR.
11. FINISHED FLOOR LEVEL IS TO BE A MINIMUM
 - 150mm ABOVE FINISHED GROUND LEVEL.
 - 50mm ABOVE PAVED SURFACES
 - PREVENT PONDING OF WATER UNDER SUSPENDED FLOORS

0 2000 4000 6000 mm

SCALE 1: 200 AT ORIGINAL SIZE

SCOLYER DESIGNS
BUILDING DESIGNER
G. & M. SCOLYER
7 AVRAAM CRT., LEGANA
mobile 0408 550 814
gscolyer@gmail.com
ABN: 45 578 639 506
CC Ref 563N

C	ADDITIONAL INFORMATION	13.02.26
B	ADDITIONAL INFORMATION	12.02.26
A	DEVELOPMENT APPLICATION	29.01.26
Rev No.	Description:	Date:

Client:

IN PALS WE TRUST

Project:

MULTIPLE DWELLINGS
3 THORNE AVE
LEGANA
TAS. 7277

Title:

SITE PLAN

Date: JAN '26	Project No: IPWT-01	Rev No: C
Scale: As indicated	Sheet: OF	No: A01

SERVICES
THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF NCC VOLUME THREE - PLUMBING CODE OF AUSTRALIA.

THEMIAL INSULATION FOR HEATED WATER PIPING MUST:
A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND
B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING; AND
C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4891.

HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

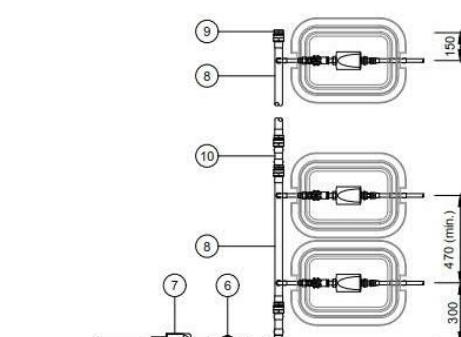
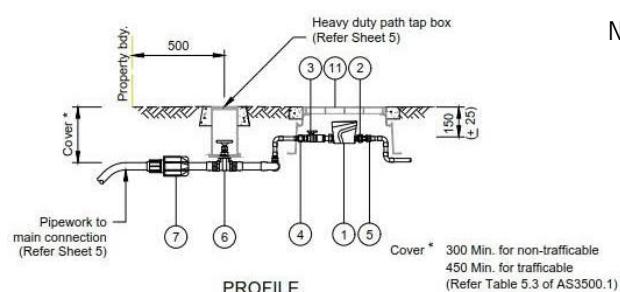
1. INTERNAL PIPING
A) ALL FLOW AND RETURN INTERNAL PIPING THAT IS -
I) WITHIN AN UNVENTILATED WALL SPACE
II) WITHIN AN INTERNAL FLOOR BETWEEN STOREYS; OR
III) BETWEEN CEILING INSULATION AND A CEILING
MUST HAVE A MINIMUM R-VALUE OF 0.2 (IE 9mm OF CLOSED CELL POLYMER INSULATION)

2. PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE

A) ALL FLOW AND RETURN PIPING
B) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING- WITHIN 500MM OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM
MUST HAVE A MINIMUM R-VALUE OF 0.45 (IE 19mm OF CLOSED CELL POLYMER INSULATION)

3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB-FLOOR OR ROOF SPACE

A) ALL FLOW AND RETURN PIPING
B) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING- WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM
MUST HAVE A MINIMUM R-VALUE OF 0.6 (IE 25mm OF CLOSED CELL POLYMER INSULATION)
PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.

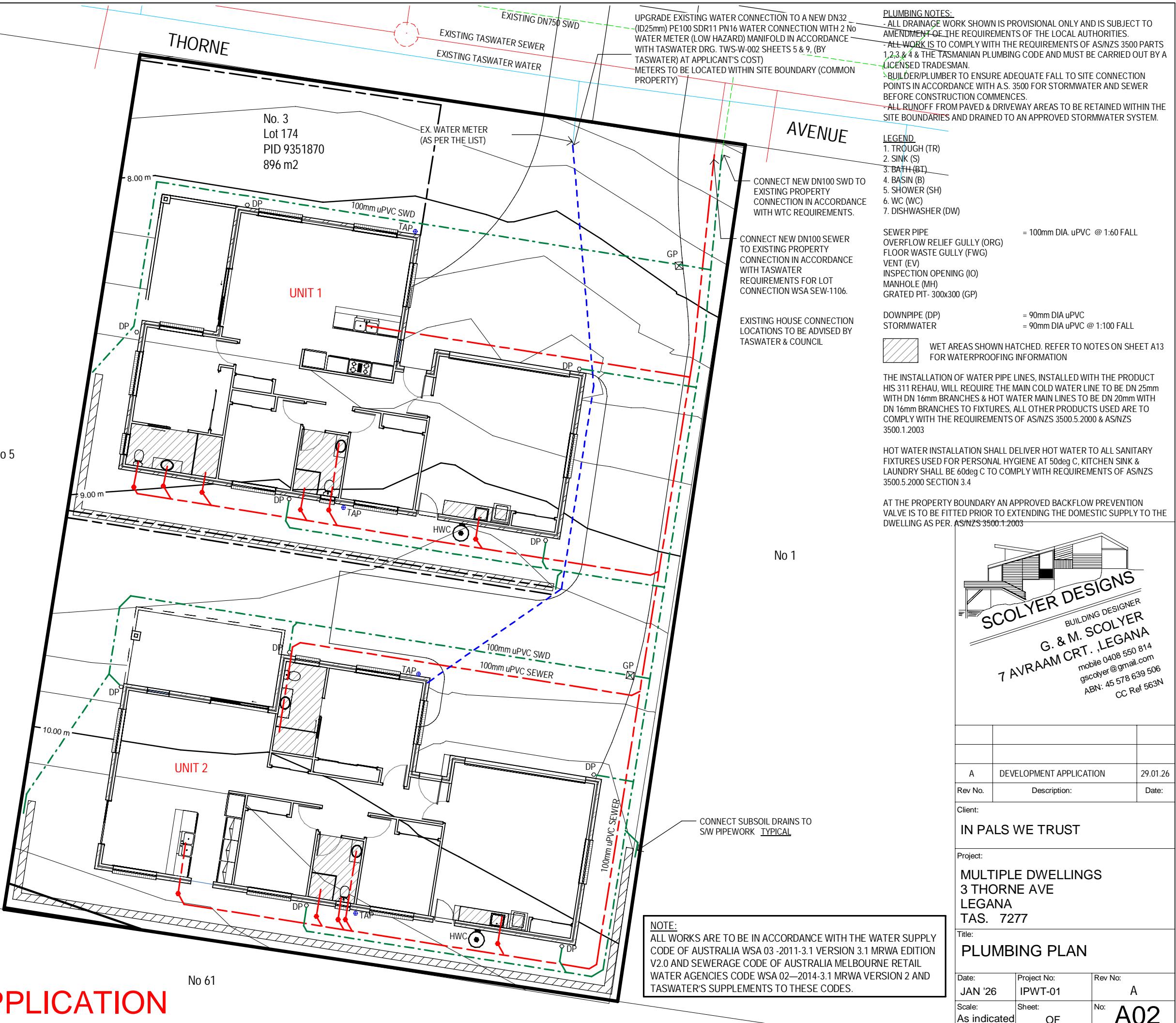


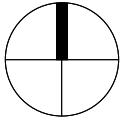
PLAN VIEW
BELOW GROUND

PROPERTY CONNECTION MANIFOLD

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DEVELOPMENT APPLICATION





THORNE

AVENUE



Swept Path Plan

SCALE 1:200

DEVELOPMENT APPLICATION

0 2000 4000 6000 mm
SCALE 1:200 AT ORIGINAL SIZE

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Rev No.	Description:	Date:
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Client:

IN PALS WE TRUST

Project:

MULTIPLE DWELLINGS
3 THORNE AVE
LEGANA
TAS. 7277

Title:

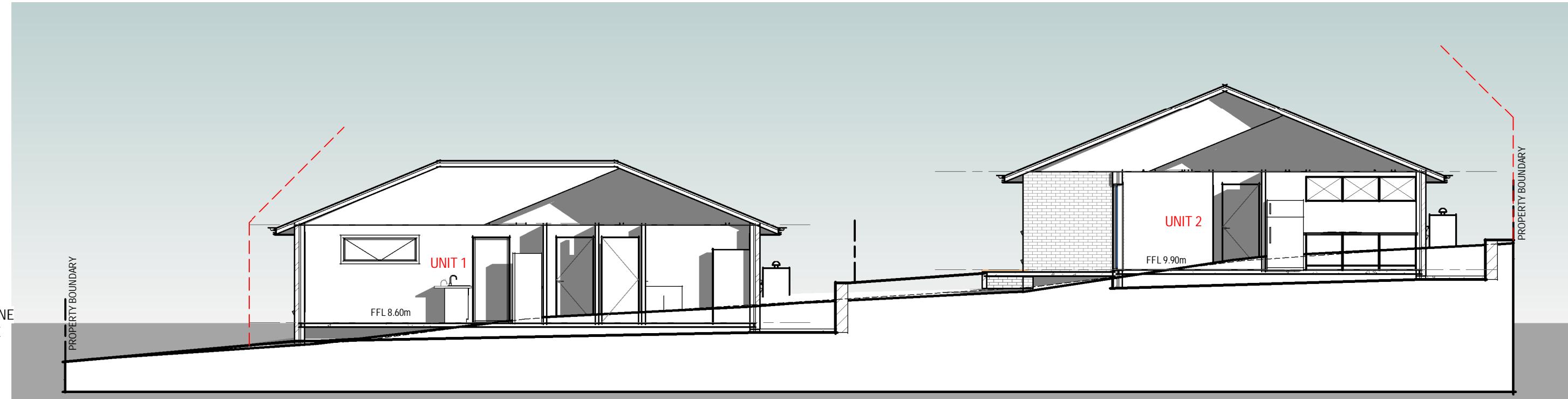
SWEPT PATH PLAN

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JAN '26 IPWT-01

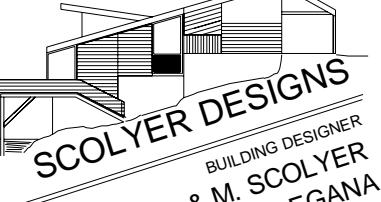
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SECTION
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A01


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A	DEVELOPMENT APPLICATION	29.01.26

Rev No. Description: Date:

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Project:

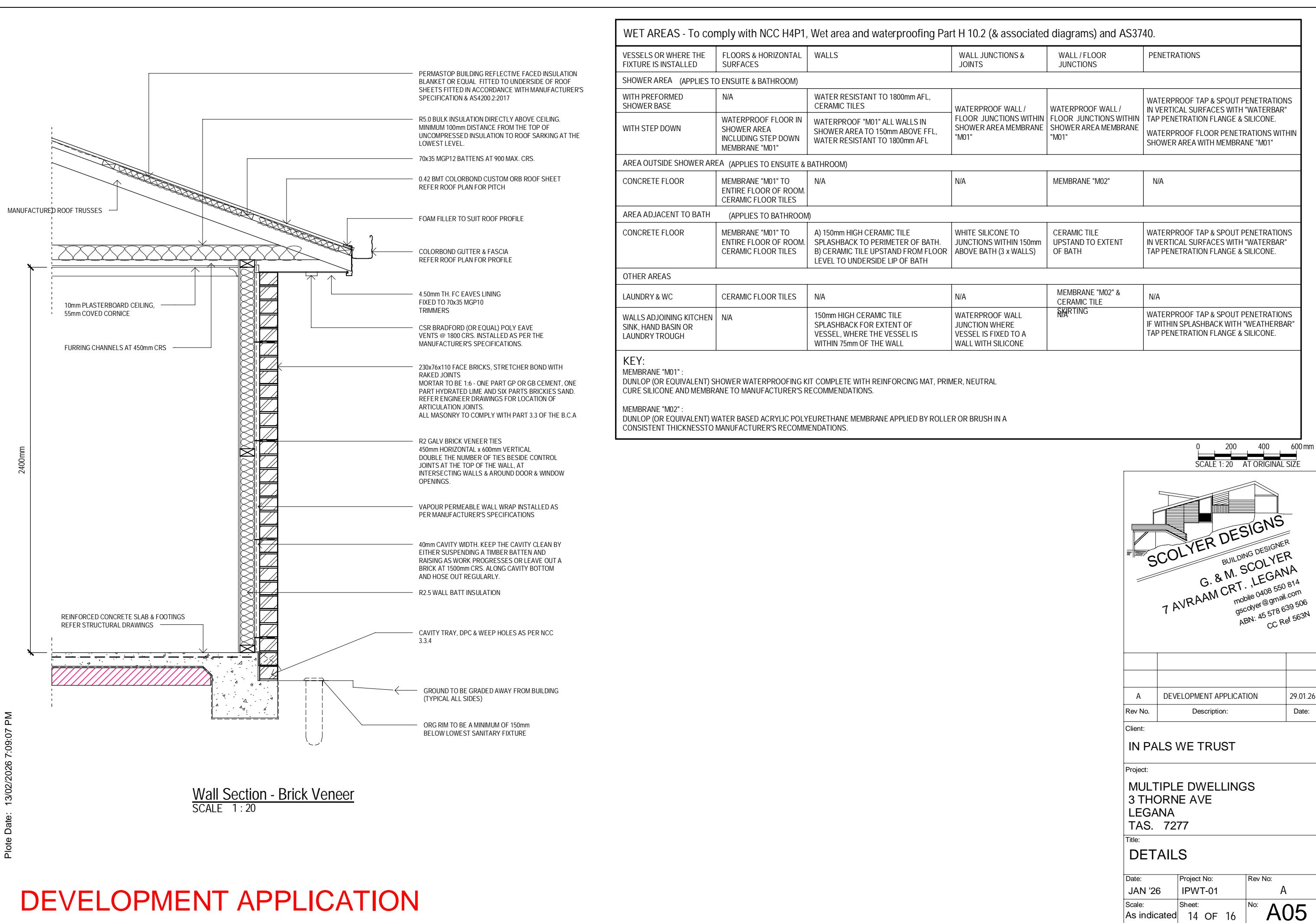
MULTIPLE DWELLINGS
3 THORNE AVE
LEGANA
TAS. 7277

Title:

SITE SECTION

Date: JAN '26	Project No: IPWT-01	Rev No: A
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DEVELOPMENT APPLICATION



NCC COMPLIANCE NOTES

SITEWORKS

Excavation and filling of site to be in accordance with NCC 2022 Part 3.1 and AS 2870.
 Drainage works to be in accordance with NCC 2022 Part 3.1. & AS/NZS 3500.3.2.
 Surface drainage - finished ground to fall away from building 50mm in 1000mm.
 Finished slab level to be
 - 150 above finished ground.
 - 50 above paved surfaces.
 - Prevent ponding of water under suspended floors.

FOOTINGS AND SLABS

Generally to be in accordance with AS 2870.
 Preparation for placement of concrete and reinforcement to be to AS 2870. Concrete & steel reinforcement to be in accordance with AS 2870 & AS 3500.
 The site classification to be in accordance with AS 2870.
 Alternatively footings & slabs to be in accordance with the Structural Engineers design & specification.

MASONRY

Generally masonry walls to be constructed in accordance with NCC H1D5 & AS 3700
 Un-reinforced masonry to NCC H1D5
 Reinforced masonry to NCC H1D5
 Masonry accessories to NCC H1D5
 Weatherproofing of masonry to NCC H1D5
 Approved galv. wall ties at 600mm x 600mm crs. and 300mm crs. for raised floor levels.

FRAMING

Timber framing to be in accordance with AS 1684 & NCC Vol 2 - H1D6
 Manufactured timber members to be in accordance with prescribed framing manual. Sub floor ventilation in accordance with NCC H1D6. Sub floor area to be clear of organic materials & rubbish. Provide vent openings in substructure walls at a rate of 7300mm²/m of wall length, with vents not more than 600 mm from corners. 150 mm clearance required to underside of floor framing members unless specified otherwise by flooring material specification.
 Tie down and bracing of frame to be in accordance with AS 1684 & AS 4055. Structural steel framing to be in accordance with NCC H1D6, AS 1250, AS 4100 & structural engineers design & specification.

SUB-FLOOR VENTILATION

Generally in accordance with NCC H2D5

SERVICES

Generally in accordance with NCC 3.12.5 Hot water supply system designed and installed in accordance with AS/NZS 3500

ROOF AND WALL CLADDING

Generally to be in accordance with NCC 2022 Part 7.2 & H1D7
 Roof cladding to be in accordance with NCC H1D7. and ;
 Roof tiles AS2049 & AS 2050
 Metal sheet roofing AS 1562.1
 Plastic sheet roofing AS/NZS 4256.1,2,3 & 5 & AS1562.3
 Gutters and downpipes, generally to be in accordance with NCC H1D7 & AS/NZS 3500.3.2. & The Tasmanian Plumbing Code.
 Eaves, internal and valley guttering to have cross sectional area of 6500mm².
 Downpipes to be 90 dia. or 100x50 rectangular section at max. 12000 crs and to be within 1000 of internal/valley gutter.
 Wall cladding to be installed in accordance with NCC 2022 H1D7 & manufacturer's written specification.
 Flashings to NCC 2022 Part H2D8

GLAZING

Generally glazing to be in accordance with AS 1288 & NCC Vol 2 - H1D8.
 Refer to window legend for sizes and type.

FIRE SAFETY

Generally to be in accordance with NCC H3D1
 Fire separation to be in accordance with NCC H3D1. External walls and gable ends constructed within 900 of boundary are to extend to underside of non combustible roofing/eaves & are to be constructed of a masonry skin 90 thick with an FRL of 60/60/60.
 Sarking to have a flammability index less than 5.
 Roof lights not to be placed closer than 900mm from boundary.
 Smoke alarm installation to be in accordance with NCC H3D6 & comply with AS3786
 Locations indicated on floor plan.
 Installation locations:-
 - ceilings - 300mm away from wall junction.
 - cathedral ceiling - 500mm down from apex.
 - walls - 300mm down from ceiling junction.

Heating appliances generally to be in compliance with NCC H7D5 & AS 2918
 Fireplace - extend hearth 150mm to side of opening. 300mm in front of opening
 Freestanding - extend hearth 400mm beyond unit.
 Freestanding appliance to be 1200mm from combustible wall surface.
 50mm from masonry wall.
 Heat shield - 90mm masonry with 25mm air gap to combustible wall, extend 600mm above unit.
 Flue installation to NCC 2022 H7D5. Top of chimney/flue to terminate 300mm above horizontal plane 3600 away from roof.
 Construction in Bush Fire Areas to be in accordance with NCC H7D4 & AS 3959.

HEALTH AND AMENITY

Generally to be in accordance with NCC Part H4
 Generally wet area waterproofing to be in accordance with AS 3740 and NCC H4D2.
 Waterproofing of surfaces adjacent to open shower, including shower over bath, to extend 1.5m from a vertical line projected from shower rose, to a height 1.8m above finished floor. Wall surfaces adjacent to plumbing fixtures, bath etc. to be protected to a height of 150mm above fixture. Room heights to be in accordance with NCC H4D4. Refer to drawing.

FACILITIES

Generally to be in accordance with NCC Part H4
 Required facilities in accordance with NCC H4D5
 Refer to plan for locations.
 Sanitary compartment to be in accordance with NCC H4D5
 Refer to plan for detail.
 Provision of natural light to be in accordance with NCC H4D6
 Windows / rooflights to provide light transmission area equal to 10% of floor area of room.
 Ventilation to be in accordance with NCC Part H4D7 or AS 1668.2 for mechanical ventilation. Exhaust fan from bathroom / wc to be vented to outside for steel roof and to roof space for tile roof. Natural ventilation to be provided at a rate of 5% of room floor area, in accordance with NCC H4D7.

STAIR CONSTRUCTION

Generally to be in accordance with NCC H5D1 (Part 11.2)

Stairs.
 Maximum of 18 risers to each flight.
 Riser opening to be less than 125.
 Treads to have non slip surface or nosing.
 Riser - min. 115, max. 190.
 Tread - min 240, max. 355.

Barriers & handrails.
 Generally in accordance with NCC H5D1
 A continuous barrier is required where area is not bounded by a wall or where level exceeds 1000 above floor level or ground level.
 865 high on stairs, measured from line of stair nosing. 1000 high above floor or landing.
 Openings between balusters / infill members to be constructed so as not to allow 125 sphere to pass between members. Where floor level exceeds 4000 above lower level, infill members between 150 and 760 above floor level, to be constructed so as to restrict climbing.

ENERGY EFFICIENCY

Generally in accordance with NCC 2019 Amendment 1 Part 2.6 Climate Zone 7 applicable to Tasmania (Zone 8 applicable to Alpine areas)

BUILDING FABRIC

Generally in accordance with NCC H6D1

BUILDING FABRIC INSULATION
 Insulation to be fitted to form continuous barrier to roof/ceiling, walls and floors.
REFLECTIVE BUILDING MEMBRANE
 Installed to form 20mm airspace between reflective face and external lining / cladding, fitted closely up to penetrations / openings, adequately supported and joints to be lapped min. 150
BULK INSULATION To maintain thickness and position after installation. Continuous cover without voids except around services /fittings

ROOF INSULATION (Climate Zone 7)
 Roof construction to achieve a minimum Total R Value of R4.6
 Roof lights to comply with H6D1

EXTERNAL WALLS (Climate Zone 7)
 External wall construction to achieve a minimum Total R Value of R2.8
 Wall surface density minimum - 220kg/m²

FLOORS (Climate Zone 7)
 Generally in accordance with H6D1
 Suspended floor with an enclosed perimeter required to achieve a minimum Total R Value of R2.75
 Concrete slab on ground with an in slab heating system to be insulated to R1.0 around vertical edge of slab perimeter

ATTACHED CLASS 10a BUILDING
 External wall or separating wall between class 1 building required to achieve minimum Total R Value of 2.5

EXTERNAL GLAZING

Generally in accordance with NCC H6D1

BUILDING SEALING

Generally in accordance with NCC H6D1
 Chimneys or flues to be fitted with sealing damper or flap.
 Roof lights to habitable rooms to be fitted with operable or permanent seal to minimise air leakage. External windows & doors to habitable rooms / conditioned spaces to be fitted with air seal to restrict air infiltration. Exhaust fans to habitable rooms / conditioned spaces to be fitted with self closing damper or filter.
 Building envelope to be constructed to minimise air leakage.
 Construction joints and junctions of adjoining surfaces to be tight fitting and sealed by caulking, skirting, architrave's and cornices.

LIVEABLE HOUSING

Generally to be in accordance with NCC Part H8

Performance Requirements H8P1
 A Class 1a building must be provided with -
 (a) A continuous and step-free path to a dwelling entrance door from either -
 (i) the pedestrian entry at the allotment boundary; or
 (ii) an appurtenant Class 10a garage or carport; or
 (iii) a car parking space provided for the exclusive use of the occupants of the dwelling; and
 (b) At least one level and step-free entrance door into the dwelling from the access path required by (a); and
 (c) Internal doors and corridors on the ground or entrance level which facilitate unimpeded movement between spaces; and
 (d) A sanitary compartment that -
 (i) facilitates independent access and use; and
 (ii) is located on the ground or entry level; and
 (e) A shower that facilitates independent access and use; and
 (f) The walls of the sanitary compartment referred to in (d), the shower referred to in (e) and a bath (where installed other than a freestanding bath) constructed so as to facilitate future installation of grab rails, or the like, in a way that minimises the removal of existing wall linings.



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MULTIPLE DWELLINGS 3 THORNE AVE LEGANA TAS. 7277		
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BUSHFIRE RELATED NOTES (BAL-12.5)

To comply with Section 5 of AS3959-2018. Including, but not limited to the following:

GENERAL

1. THE FOLLOWING REQUIREMENTS APPLY TO ALL PARTS OF THE SUBJECT BUILDING, INCLUDING (BUT NOT LIMITED TO) ANY ATTACHED OR ADJACENT GARAGE, CARPORT, VERANDAH OR SIMILAR ROOFED STRUCTURE AND ANY GARAGE OR CARPORT BELOW THE SUBJECT BUILDING, UNLESS PARTS ARE SEPARATED BY A FIRE-WALL COMPLYING WITH AS3959, SECTION 3.2.
2. ANY ELEMENTS OR SYSTEMS THAT SATISFY THE TEST CRITERIA OF AS1530.8.1 MAY BE USED IN LIEU OF THE FOLLOWING APPLICABLE REQUIREMENTS.

SUB-FLOOR SUPPORTS

1. THERE ARE NO SPECIFIC REQUIREMENTS WHERE THE SUB-FLOOR SPACE IS ENCLOSED WITH A WALL MADE OF, OR EXTERNALLY CLAD IN, A BUSHFIRE RESISTANT OR NON COMBUSTIBLE MATERIAL. ALTERNATIVELY A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION RESISTANT STEEL. ALUMINIUM MAY BE USED.
2. WHERE THE SUB-FLOOR SPACE IS UNENCLOSED, THE SUPPORT POSTS, COLUMNS, STUMPS, PIERS AND POLES SHALL BE MADE OF A BUSHFIRE RESISTANT OR NON COMBUSTIBLE MATERIAL.

FLOORS

1. THERE ARE NO SPECIFIC REQUIREMENTS FOR A CONCRETE SLAB ON GROUND.
2. THERE ARE NO SPECIFIC REQUIREMENTS FOR ELEVATED FLOORS, WHERE THE SUB FLOOR SPACE IS ENCLOSED WITH A WALL MADE OF, OR EXTERNALLY CLAD IN, A BUSHFIRE RESISTANT OR NON-COMBUSTIBLE MATERIAL OR A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION RESISTANT STEEL OR ALUMINIUM MAY BE USED (SEE ABOVE).
3. WHERE THE SUB-FLOOR SPACE IS UNENCLOSED, THE BEARERS, JOISTS AND FLOORING, LESS THAN 400mm ABOVE FINISHED GROUND LEVEL, SHALL BE MADE OF A BUSHFIRE RESISTANT OR NON-COMBUSTIBLE MATERIAL.
4. WHERE FLOORING IS TIMBER (OTHER THAN BUSHFIRE RESISTING TIMBER), PARTICLEBOARD OR PLYWOOD, THE UNDERSIDE MAY BE LINED WITH SARKING-TYPE MATERIAL OR MINERAL WOOL INSULATION.

EXTERNAL WALLS

1. EXPOSED COMPONENTS OF ANY EXTERNAL WALLS (INCLUDING ANY WALLS THAT ENCLOSE A SUB-FLOOR SPACE) THAT ARE LESS THAN 400mm FROM THE GROUND OR LESS THAN 400mm ABOVE DECKS, CARPORT ROOFS, AWNINGS AND SIMILAR ELEMENTS OR FITTINGS HAVING AN ANGLE LESS THAN 18° TO THE HORIZONTAL AND EXTENDING MORE THAN 110mm IN WIDTH FROM THE WALL SHALL BE MADE OF, OR EXTERNALLY CLAD IN, A BUSHFIRE RESISTANT OR NON-COMBUSTIBLE MATERIAL.
2. JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT-JOINED
3. VENTS AND WEEP-HOLES IN EXTERNAL WALLS SHALL BE SCREENED WITH MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION RESISTANT STEEL OR ALUMINIUM.
4. UNLESS OTHERWISE REQUIRED, COMBUSTIBLE EXTERNAL MOULDINGS, JOINTING STRIPS, TRIMS & SEALANTS MAY BE USED FOR DECORATIVE PURPOSES OR TO COVER JOINTS BETWEEN SHEETING MATERIAL.

WINDOWS & DOORS

1. WHERE FITTED, BUSHFIRE SHUTTERS SHALL BE MADE OF A BUSHFIRE RESISTANT OR NON-COMBUSTIBLE MATERIAL.
2. WHERE FITTED, BUSHFIRE SHUTTERS SHALL BE FIXED TO THE BUILDING, BE NON REMOVABLE AND PROTECT THE ENTIRE WINDOW OR DOOR ASSEMBLY.
3. WHERE FITTED, BUSHFIRE SHUTTERS SHALL HAVE NO GAP GREATER THAN 2mm BETWEEN THE SHUTTER AND THE WALL, THE SILL OR THE HEAD, WHEN IN THE CLOSED POSITION.
4. WHERE FITTED, BUSHFIRE SHUTTERS SHALL BE READILY OPERABLE FROM EITHER INSIDE OR OUTSIDE. WHERE SHUTTERS ARE FITTED TO ALL EXTERNAL DOORS THEN AT LEAST ONE OF THOSE SHUTTERS SHALL BE OPERABLE FROM THE INSIDE.
5. WHERE FITTED, SCREENS SHALL HAVE A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION RESISTANT STEEL OR ALUMINIUM. GAPS BETWEEN THE PERIMETER OF THE SCREEN ASSEMBLY AND THE BUILDING SHALL NOT EXCEED 3mm. THE FRAME SUPPORTING THE MESH SHALL BE MADE FROM METAL.

6. WINDOW ASSEMBLIES THAT ARE LESS THAN 400mm FROM THE GROUND OR LESS THAN 400mm ABOVE DECKS, CARPORT ROOFS, AWNINGS AND SIMILAR ELEMENTS OR FITTINGS HAVING AN ANGLE LESS THAN 18° TO THE HORIZONTAL AND EXTENDING MORE THAN 110mm IN WIDTH FROM THE WINDOW FRAME SHALL BE COMPLETELY PROTECTED BY BUSHFIRE SHUTTERS, EXTERNALLY SCREENED (SEE ABOVE) OR MADE FROM METAL.

7. EXTERNALLY FITTED HARDWARE THAT SUPPORTS THE SASH IN ITS FUNCTIONS OF OPENING AND CLOSING SHALL BE METAL.

8. GLAZING LESS THAN 400mm FROM THE GROUND OR LESS THAN 400mm ABOVE DECKS, CARPORT ROOFS, AWNINGS AND SIMILAR ELEMENTS OR FITTINGS HAVING AN ANGLE LESS THAN 18° TO THE HORIZONTAL AND EXTENDING MORE THAN 110mm IN WIDTH FROM THE WINDOW FRAME, SHALL BE GRADE-A SAFETY GLASS (MINIMUM 4mm THICK) AND FOR DOUBLE-GLAZED UNITS THE EXTERNAL FACE OF THE WINDOW ASSEMBLY SHALL BE GRADE-A SAFETY GLASS (MINIMUM 4mm THICK). ALL OTHER GLAZING MAY BE ANNEALED GLASS.

9. OPENABLE PORTIONS OF WINDOWS SHALL BE INTERNALLY OR EXTERNALLY SCREENED (SEE ABOVE).

10. SIDE-HUNG EXTERNAL DOORS (INCLUDING FRENCH DOORS, PANEL FOLD & BI-FOLD DOORS) SHALL BE MADE OF SOLID TIMBER (MINIMUM 35mm THICK), A NON COMBUSTIBLE MATERIAL OR BE FULLY FRAMED GLAZED DOORS IN A NON-COMBUSTIBLE FRAME.

11. GLAZING INCORPORATED IN SIDE-HUNG DOORS SHALL BE GRADE-A SAFETY GLASS (MINIMUM 4mm THICK).

12. DOORS SHALL BE TIGHT-FITTING IN THEIR FRAMES AND TO ANY ABUTTING DOOR, IF APPLICABLE.

13. DOOR FRAMES THAT ARE LESS THAN 400mm FROM THE GROUND OR LESS THAN 400mm ABOVE DECKS, CARPORT ROOFS, AWNINGS AND SIMILAR ELEMENTS OR FITTINGS HAVING AN ANGLE LESS THAN 18° TO THE HORIZONTAL AND EXTENDING MORE THAN 110mm IN WIDTH FROM THE DOOR SHALL BE MADE FROM METAL.

14. WEATHER STRIPS, DRAUGHT EXCLUDERS OR DRAUGHT SEALS SHALL BE INSTALLED AT THE BASE OF ALL SIDE-HUNG EXTERNAL DOORS.

15. GLAZING INCORPORATED IN SLIDING DOORS SHALL BE GRADE-A SAFETY GLASS COMPLYING WITH AS1288.

16. DOOR FRAMES SUPPORTING SLIDING DOORS & THE FRAMING SURROUNDING ANY GLAZING SHALL BE MADE FROM METAL.

17. SLIDING DOORS SHALL BE TIGHT-FITTING IN THEIR FRAMES.

18. LOWER PORTIONS OF VEHICLE ACCESS DOORS THAT ARE WITHIN 400mm OF THE GROUND WHEN THE DOOR IS CLOSED SHALL BE MADE FROM A BUSHFIRE RESISTANT OR NON-COMBUSTIBLE MATERIAL.

19. PANEL-LIFT, TILT DOORS AND SIDE-HUNG DOORS SHALL BE FITTED WITH SUITABLE WEATHER STRIPS, DRAUGHT EXCLUDERS, DRAUGHT SEALS OR GUIDE TRACKS, AS APPROPRIATE TO THE DOOR TYPE, WITH A GAP NO GREATER THAN 3mm.

20. ROLLER-DOORS SHALL HAVE GUIDE TRACKS WITH A GAP NO GREATER THAN 3mm AND SHALL BE FITTED WITH A NYLON BRUSH THAT IS IN CONTACT WITH THE DOOR.

21. VEHICLE ACCESS DOORS WITH VENTILATION SLOTS TO COMPLY WITH SECTION 3.6 AND 16. EAVES PENETRATIONS SHALL BE ADEQUATELY SEALED WITH A NON-COMBUSTIBLE MATERIAL TO PREVENT GAPS GREATER THAN 3mm.

22. EAVES VENTILATION OPENINGS GREATER THAN 3mm SHALL BE FITTED WITH EMBER GUARDS MADE OF NON-COMBUSTIBLE MATERIAL OR A MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION RESISTANT STEEL OR ALUMINIUM.

23. JOINTS IN EAVES LININGS & FASCIAS MAY BE SEALED WITH PLASTIC JOINING STRIPS OR TIMBER STORM MOULDS.

24. THERE ARE NO SPECIFIC REQUIREMENTS FOR FASCIAS, BARGEBOARDS OR EAVES LININGS.

25. THERE ARE NO SPECIFIC REQUIREMENTS FOR (EAVES) GUTTERS OR DOWNPPIPES.

26. WHERE INSTALLED, GUTTER OR VALLEY LEAF GUARDS SHALL BE NON-COMBUSTIBLE.

27. BOX GUTTERS SHALL BE NON-COMBUSTIBLE AND FLASHED AT THE JUNCTION WITH THE ROOF WITH NON-COMBUSTIBLE MATERIALS.

ROOFS

1. ROOF MATERIALS AND ROOF COVERING ACCESSORIES SHALL BE NON-COMBUSTIBLE (EXCLUDING VERANDAS, CARPORTS OR AWNINGS SEPARATED FROM MAIN BUILDING, ALLOWING FOR CERTAIN TRANSLUCENT MATERIALS, SEE 5.6.4 FOR DETAILS)

2. ROOF / WALL JUNCTIONS SHALL BE SEALED, TO PREVENT OPENINGS GREATER THAN 3mm, EITHER BY THE USE OF FASCIA AND EAVES LININGS OR BY SEALING BETWEEN THE TOP OF THE WALL AND THE UNDERSIDE OF THE ROOF AND BETWEEN THE RAFTERS AT THE LINE OF THE WALL.

3. ROOF VENTILATION OPENINGS SHALL BE FITTED WITH EMBER GUARDS MADE OF NON COMBUSTIBLE MATERIAL OR A MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION RESISTANT STEEL OR ALUMINIUM.

4. SARKING SHALL COVER THE ENTIRE ROOF AREA INCLUDING RIDGES & HIPS AND EXTEND INTO GUTTERS & VALLEYS.

5. SARKING SHALL BE LOCATED ON TOP OF ROOF FRAMING, EXCEPT THAT ROOF BATTENS MAY BE FIXED ABOVE THE SARKING (FOR TILED ROOFS) AND FOIL-BACKED INSULATION BLANKETS MAY BE INSTALLED OVER THE BATTENS (FOR SHEET ROOFS).

6. SARKING SHALL HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5 WHEN TESTED TO AS1530.2.

7. SHEET ROOFS SHALL HAVE GAPS GREATER THAN 3mm SEALED AT THE FASCIA OR WALL LINE AND AT VALLEYS, HIPS & RIDGES BY A NON-COMBUSTIBLE MATERIAL OR A MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION RESISTANT STEEL OR ALUMINIUM.

8. VERANDA, CARPORT OR AWNING ROOFS FORMING PART OF THE MAIN ROOF SPACE SHALL MEET ALL THE REQUIREMENTS OF THE MAIN ROOF.

9. VERANDA, CARPORT OR AWNING ROOFS SEPARATED FROM THE MAIN ROOF SPACE BY AN EXTERNAL WALL SHALL HAVE A NON-COMBUSTIBLE ROOF COVERING. THERE IS NO REQUIREMENT TO LINE THE UNDERSIDE OF THE ROOF.

10. ROOF PENETRATIONS, INCLUDING ROOF LIGHTS, ROOF VENTILATORS, AERIALS, VENT PIPES AND SUPPORTS FOR SOLAR COLLECTORS SHALL BE ADEQUATELY SEALED AT THE ROOF WITH A NON-COMBUSTIBLE MATERIAL TO PREVENT GAPS GREATER THAN 3mm.

11. OPENINGS IN VENTED ROOF LIGHTS, ROOF VENTILATORS OR VENT PIPES SHALL BE FITTED WITH EMBER GUARDS MADE FROM A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION RESISTANT STEEL OR ALUMINIUM. EMBER GUARDS SHALL NOT BE FITTED TO THE EXHAUST FLUES OF HEATING OR COOKING DEVICES WITH CLOSED COMBUSTION CHAMBERS OR GAS APPLIANCE FLUES.

12. OVERHEAD GLAZING SHALL BE GRADE-A SAFETY GLASS COMPLYING WITH AS1288.

13. FLASHING ELEMENTS OF SKYLIGHTS MAY BE OF A FIRE-RETARDANT MATERIAL, PROVIDED THE ROOF INTEGRITY IS MAINTAINED BY AN UNDER-FLASHING OF A MATERIAL HAVING A FLAMMABILITY INDEX OF NOT MORE THAN 5 WHEN TESTED TO AS1530.2.

14. VENT PIPES MADE FROM PVC ARE PERMITTED.

15. GABLES SHALL BE SUBJECT TO THE SAME REQUIREMENTS AS EXTERNAL WALLS.

16. EAVES PENETRATIONS SHALL BE ADEQUATELY SEALED WITH A NON-COMBUSTIBLE MATERIAL TO PREVENT GAPS GREATER THAN 3mm.

17. EAVES VENTILATION OPENINGS GREATER THAN 3mm SHALL BE FITTED WITH EMBER GUARDS MADE OF NON-COMBUSTIBLE MATERIAL OR A MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION RESISTANT STEEL OR ALUMINIUM.

18. JOINTS IN EAVES LININGS & FASCIAS MAY BE SEALED WITH PLASTIC JOINING STRIPS OR TIMBER STORM MOULDS.

19. THERE ARE NO SPECIFIC REQUIREMENTS FOR FASCIAS, BARGEBOARDS OR EAVES LININGS.

20. THERE ARE NO SPECIFIC REQUIREMENTS FOR (EAVES) GUTTERS OR DOWNPPIPES.

21. WHERE INSTALLED, GUTTER OR VALLEY LEAF GUARDS SHALL BE NON-COMBUSTIBLE.

22. BOX GUTTERS SHALL BE NON-COMBUSTIBLE AND FLASHED AT THE JUNCTION WITH THE ROOF WITH NON-COMBUSTIBLE MATERIALS.

VERANDAHS, DECKS, STEPS, RAMPS AND LANDINGS

1. DECKING MAY BE SPACED (3mm GAPS PREFERRED).

2. THERE IS NO REQUIREMENT TO ENCLOSE THE SUB-FLOOR SPACES OF VERANDAHS, DECKS, STEPS, RAMPS OR LANDINGS.

3. THERE ARE NO SPECIFIC REQUIREMENTS FOR THE SUPPORTS OR FRAMING OF VERANDAHS, DECKS, RAMPS OR LANDINGS.

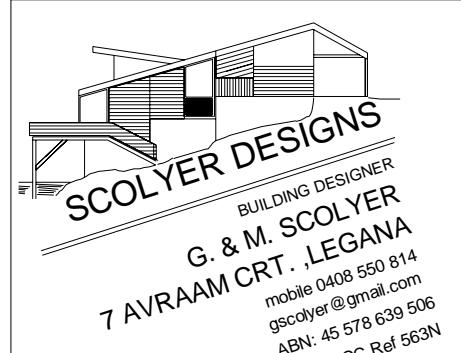
4. THERE ARE NO SPECIFIC REQUIREMENTS FOR DECKING, STAIR TREADS AND THE TRAFFICABLE SURFACES OF RAMPS & LANDINGS MORE THAN 300mm FROM GLAZED ELEMENTS.

5. DECKING, STAIR TREADS AND THE TRAFFICABLE SURFACES OF RAMPS & LANDINGS LESS THAN 300mm (MEASURED HORIZONTALLY AT DECK LEVEL) FROM GLAZED ELEMENTS THAT ARE LESS THAN 400mm (MEASURED VERTICALLY) FROM THE SURFACE OF THE DECK SHALL BE MADE OF A BUSHFIRE RESISTANT OR NON-COMBUSTIBLE MATERIAL.

6. THERE ARE NO SPECIFIC REQUIREMENTS FOR BALUSTRADES, HANDRAILS OR OTHER BARRIERS.

WATER & GAS SUPPLIES

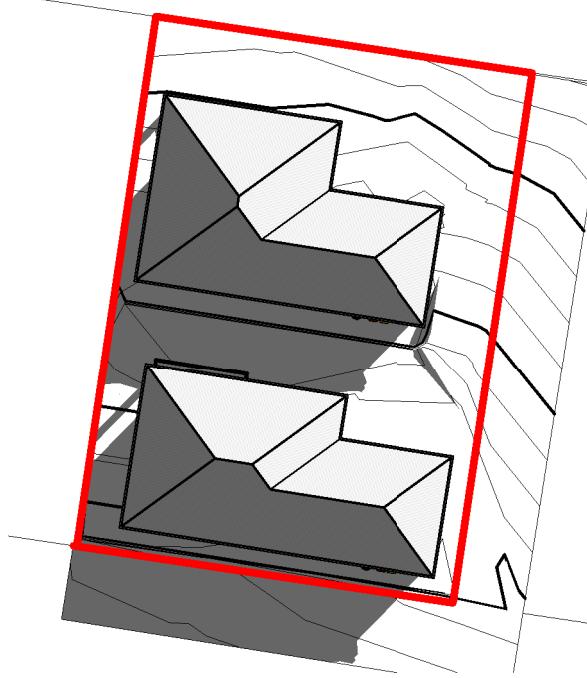
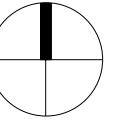
1. ABOVE GROUND, EXPOSED WATER AND GAS SUPPLY PIPES SHALL BE METAL.



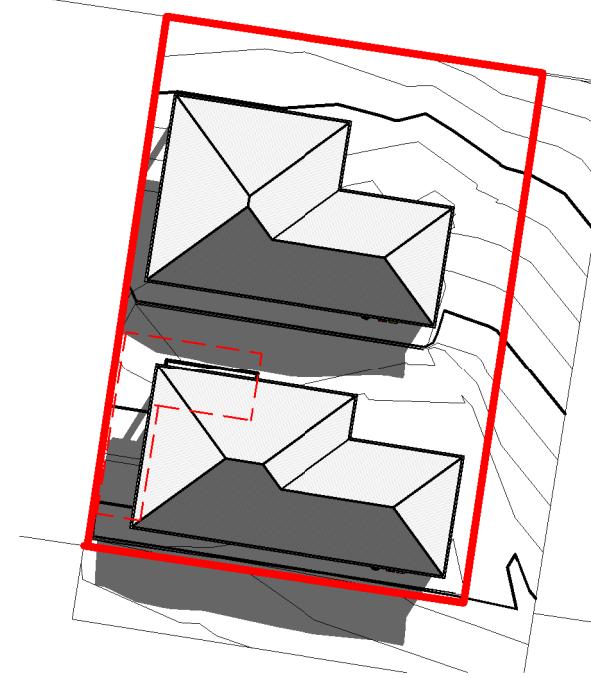
A	DEVELOPMENT APPLICATION	29.01.26
Rev No.	Description:	Date:

Client: IN PALS WE TRUST		
Project: MULTIPLE DWELLINGS 3 THORNE AVE LEGANA TAS. 7277		
Title: BAL 12.5 NOTES		
Date: JAN '26 Project No: IPWT-01 Rev No: A		

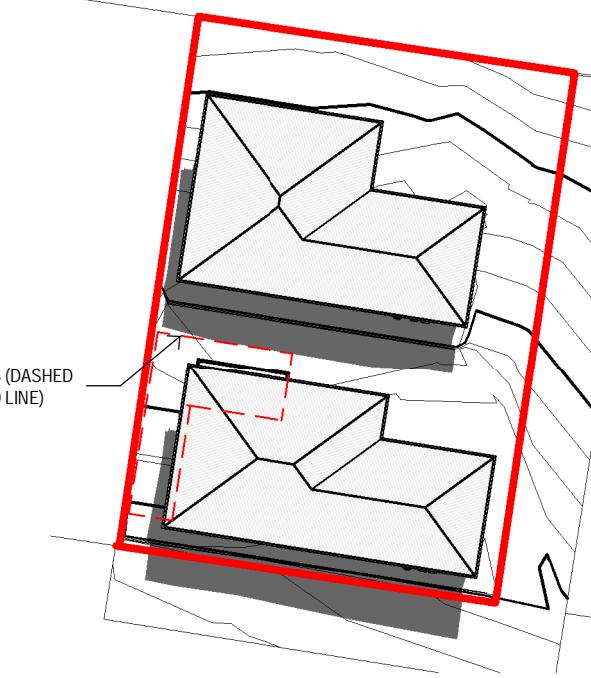
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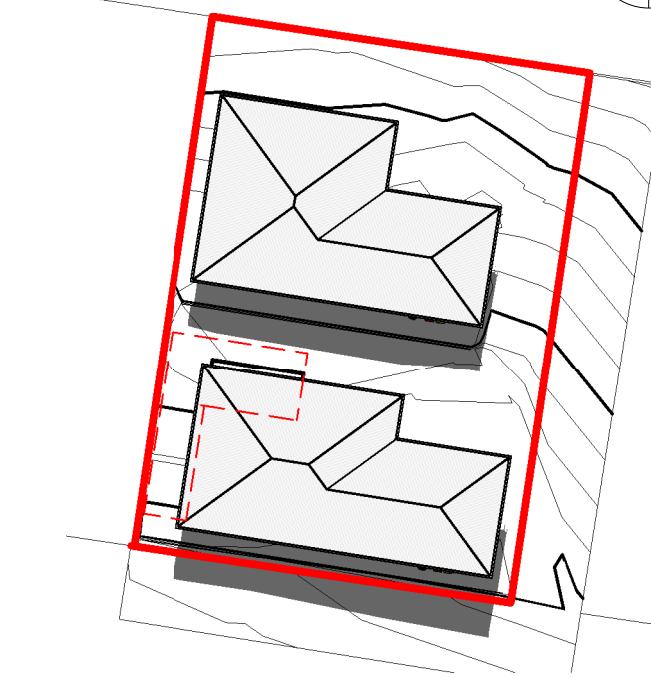
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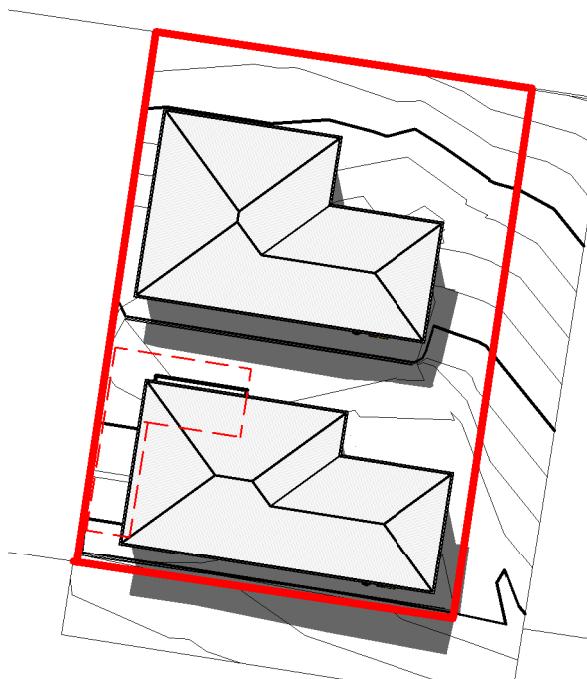
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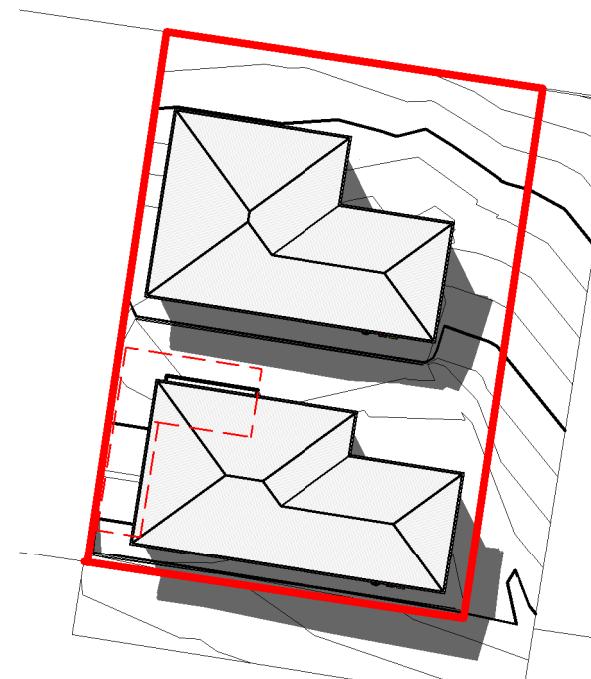
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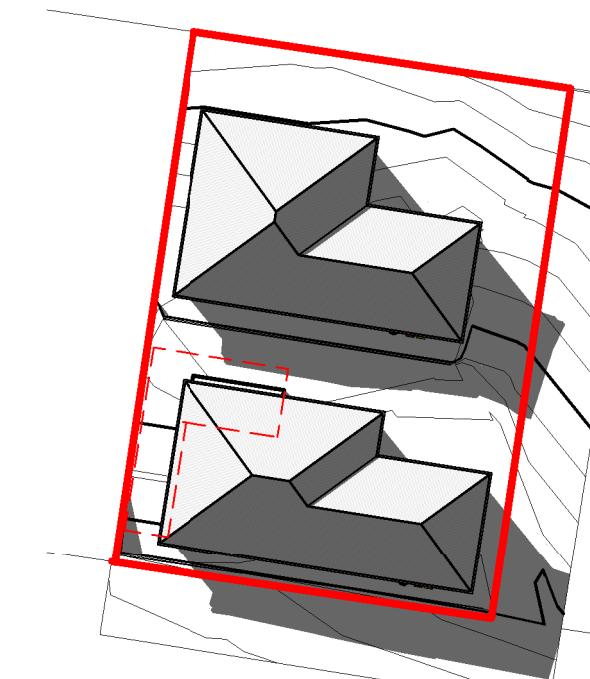
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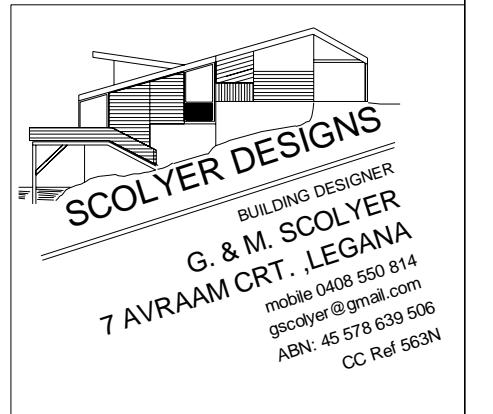
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SCALE 1:500



Shadow 21-6 14-00
SCALE 1:500



Shadow 21-6 15-00
SCALE 1:500



A	DEVELOPMENT APPLICATION	12.02.26
Rev No.	Description:	Date:

Client:

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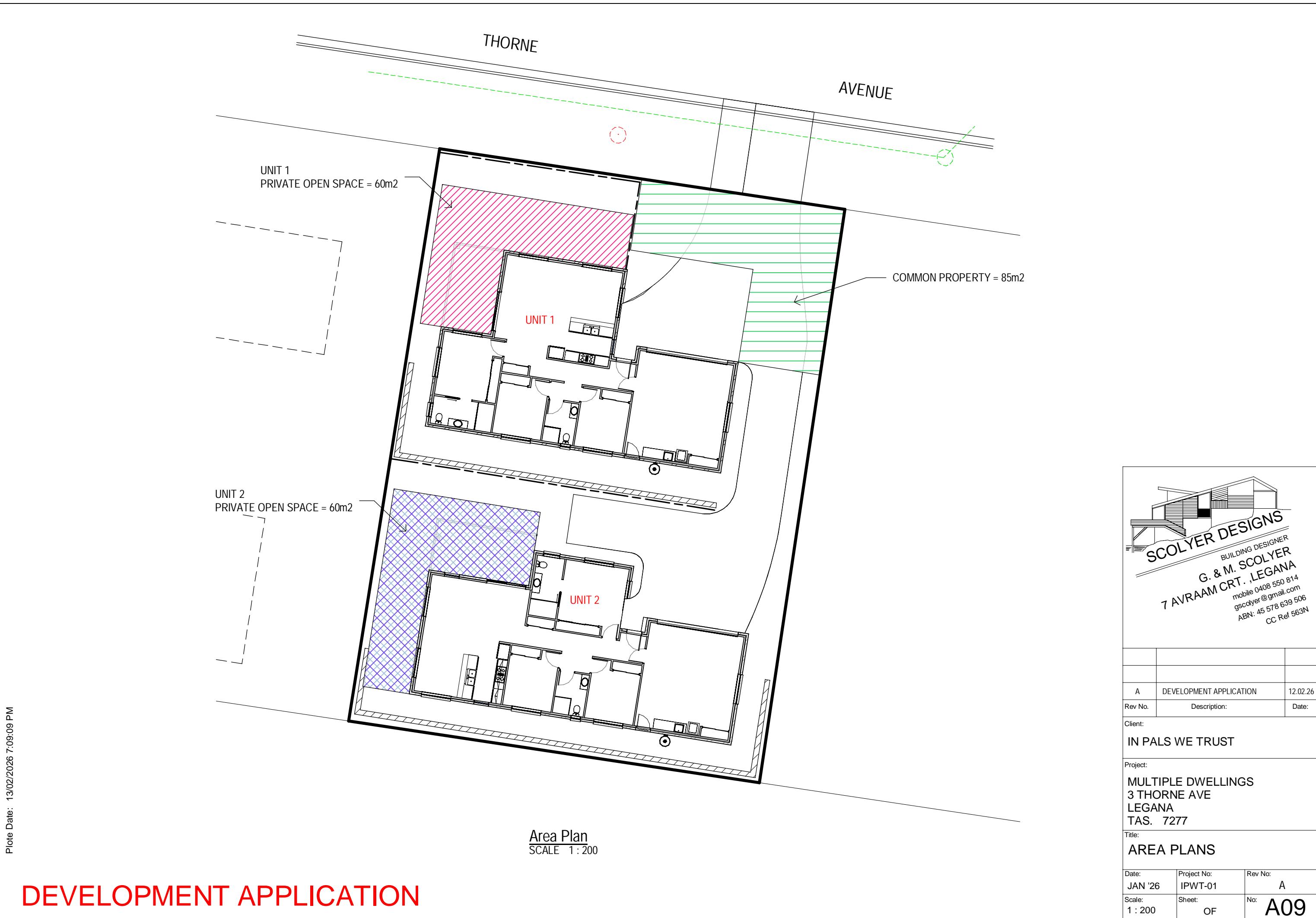
Project:

MULTIPLE DWELLINGS
3 THORNE AVE
LEGANA
TAS. 7277

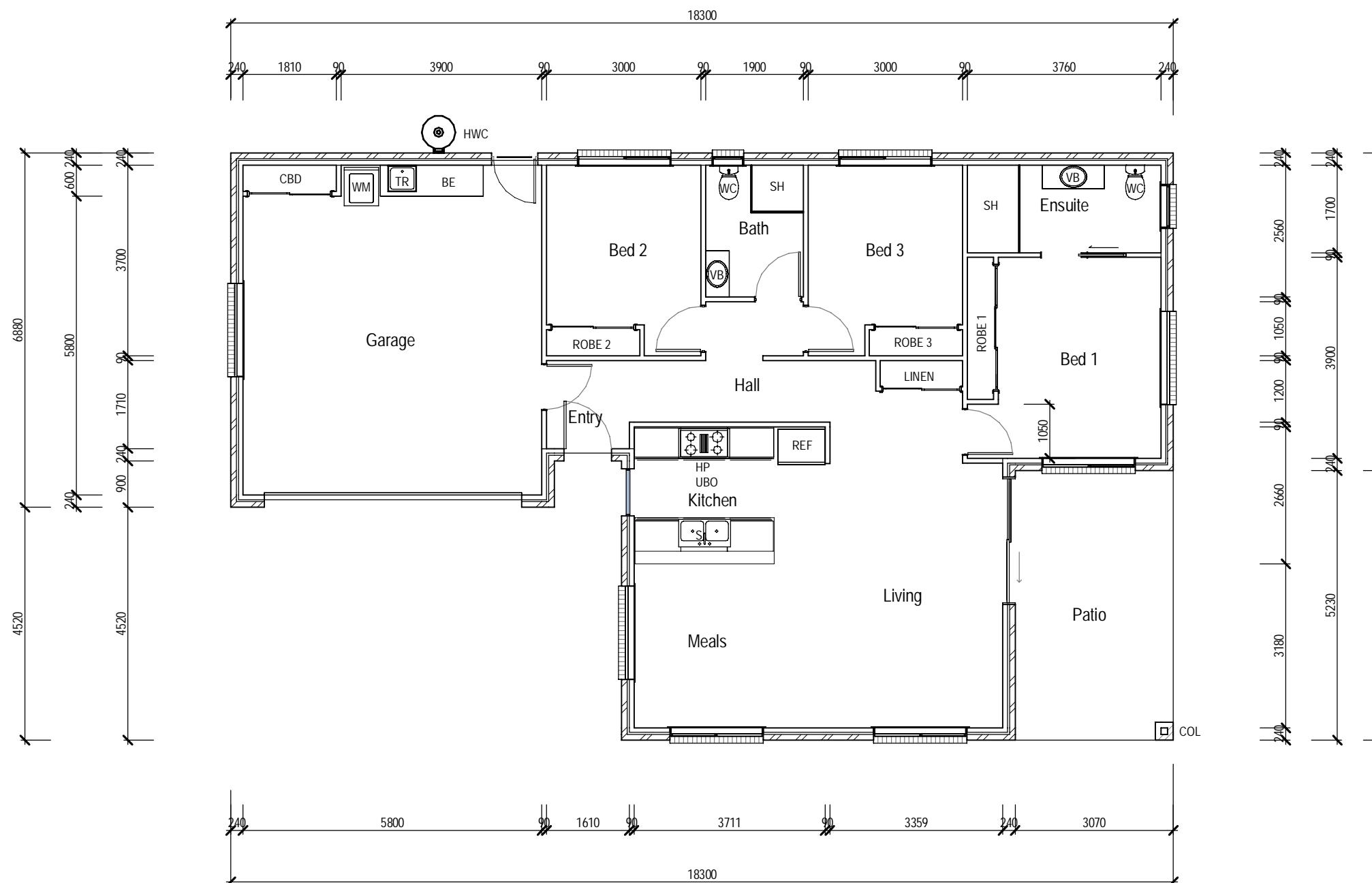
Title:

SHADOW DIAGRAMS

Date: JAN '26	Project No: IPWT-01	Rev No: A
Scale: 1:500	Sheet: OF	No: A08



DEVELOPMENT APPLICATION



Area Schedule (Gross Building)		
Name	Area	Area (sq)
Garage	42.31 m ²	4.55
Living	114.77 m ²	12.35
Patio	16.06 m ²	1.73
	173.13 m ²	18.64

UNIT 1

LEGEND	
BATH.	BATHROOM
LDRY.	LAUNDRY
KITCH.	KITCHEN
WC.	WATER CLOSET
ROBE	WARDROBE
WIR	WALK IN ROBE
BRM.	BROOM CLOSET
LINEN	LINED CUPBOARD
PTY.	PANTRY
VB	VANITY BASIN
S	SINK
WC	TOILET SUITE
TR	TRough
WM	WASHING MACHINE
BA	BATH
SHR	SHOWER
REF	REFRIGERATOR
DW	DISHWASHER
HP	HOT PLATES
UBO	UNDER BENCH OVEN
RH	RANGE HOOD
COL	COLUMN
DP	DOWNPIPE
CSD	CAVITY SLIDING DOOR
BH	BULKHEAD
A/C	AIR CONDITIONER
ODU	A/C OUTDOOR UNIT
WH	FREE STANDING WOOD HEATER
BE	BENCH
CBD	CUPBOARD
BRM	BRRM CUPBOARD
FFL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL

NOTES:
- REFER SHEET A01 FOR GENERAL NOTES
- ALL DIMENSIONS ARE FRAME DIMENSIONS

SCALE 1: 100 AT ORIGINAL SIZE

SCOLYER DESIGNS
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A	DEVELOPMENT APPLICATION	29.01.26
Rev No.	Description:	Date:

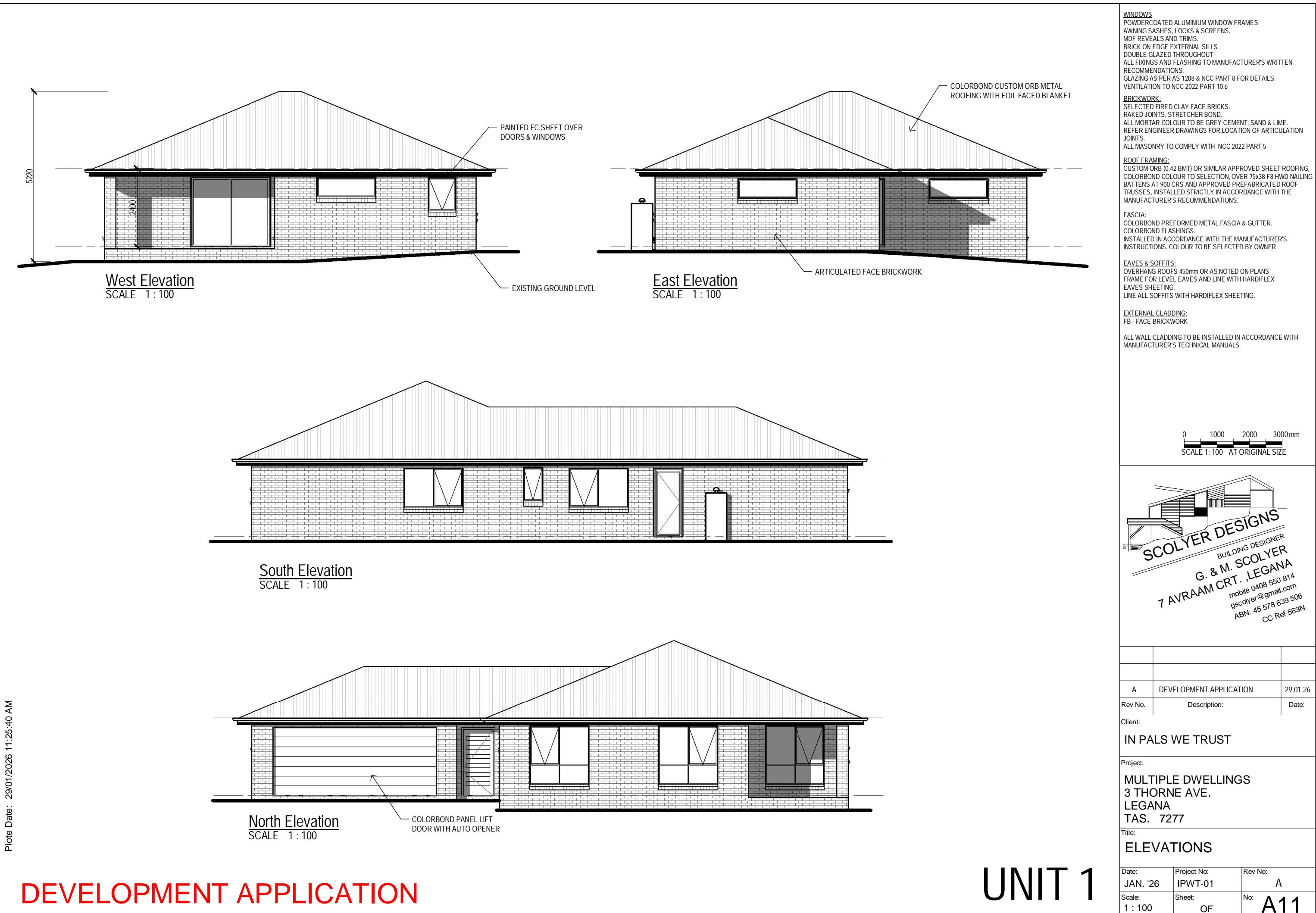
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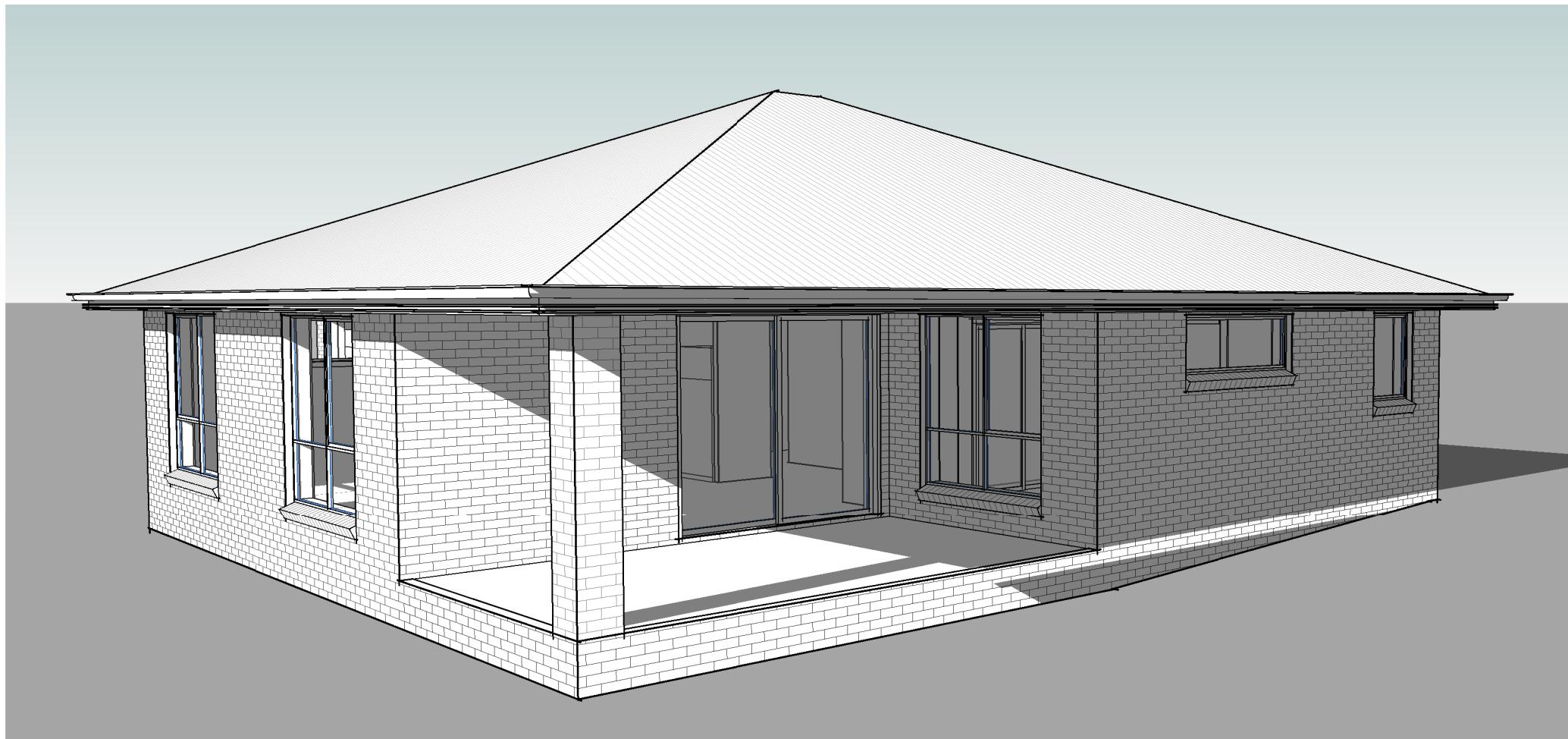
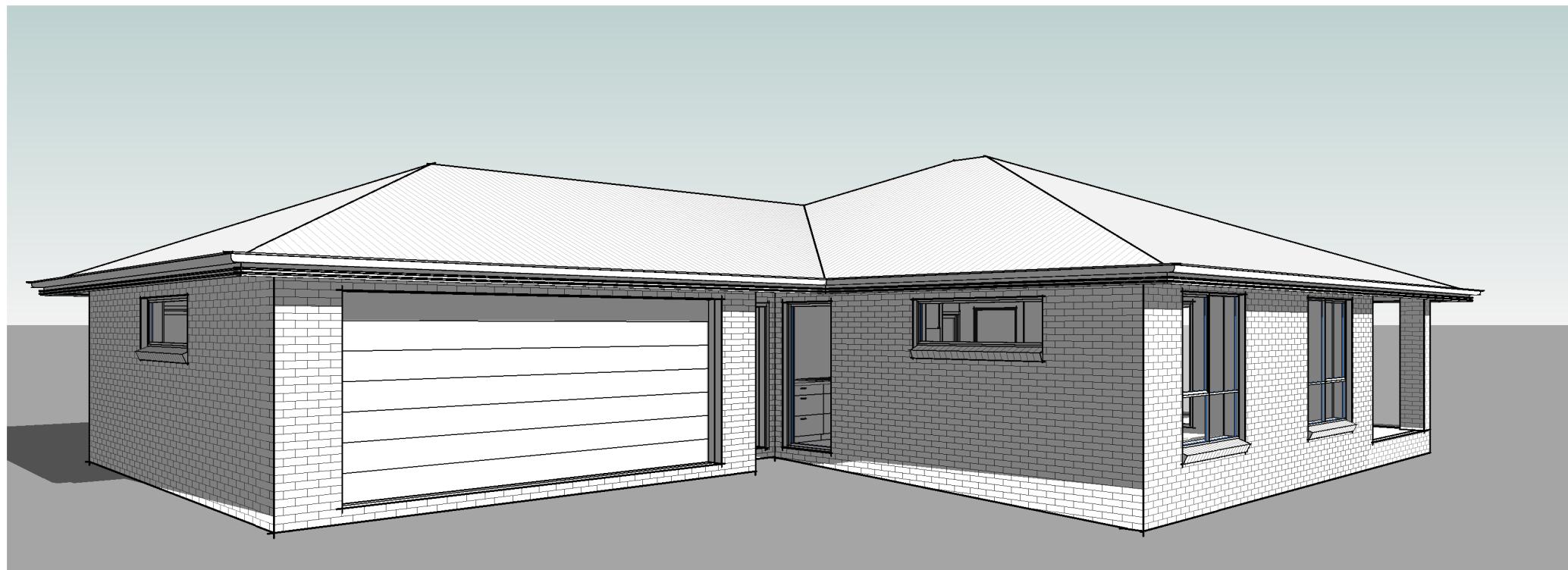
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Project:
MULTIPLE DWELLINGS
3 THORNE AVE.
LEGANA
TAS. 7277

Title:
FLOOR PLAN

Date: JAN. '26	Project No: IPWT-01	Rev No: A
Scale: As indicated	Sheet: OF	No: A10





NOTE: COMPUTER IMPRESSION ONLY

DEVELOPMENT APPLICATION

UNIT 1

Print Date: 29/01/2026 11:25:40 AM



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Rev No.	Description:	Date:

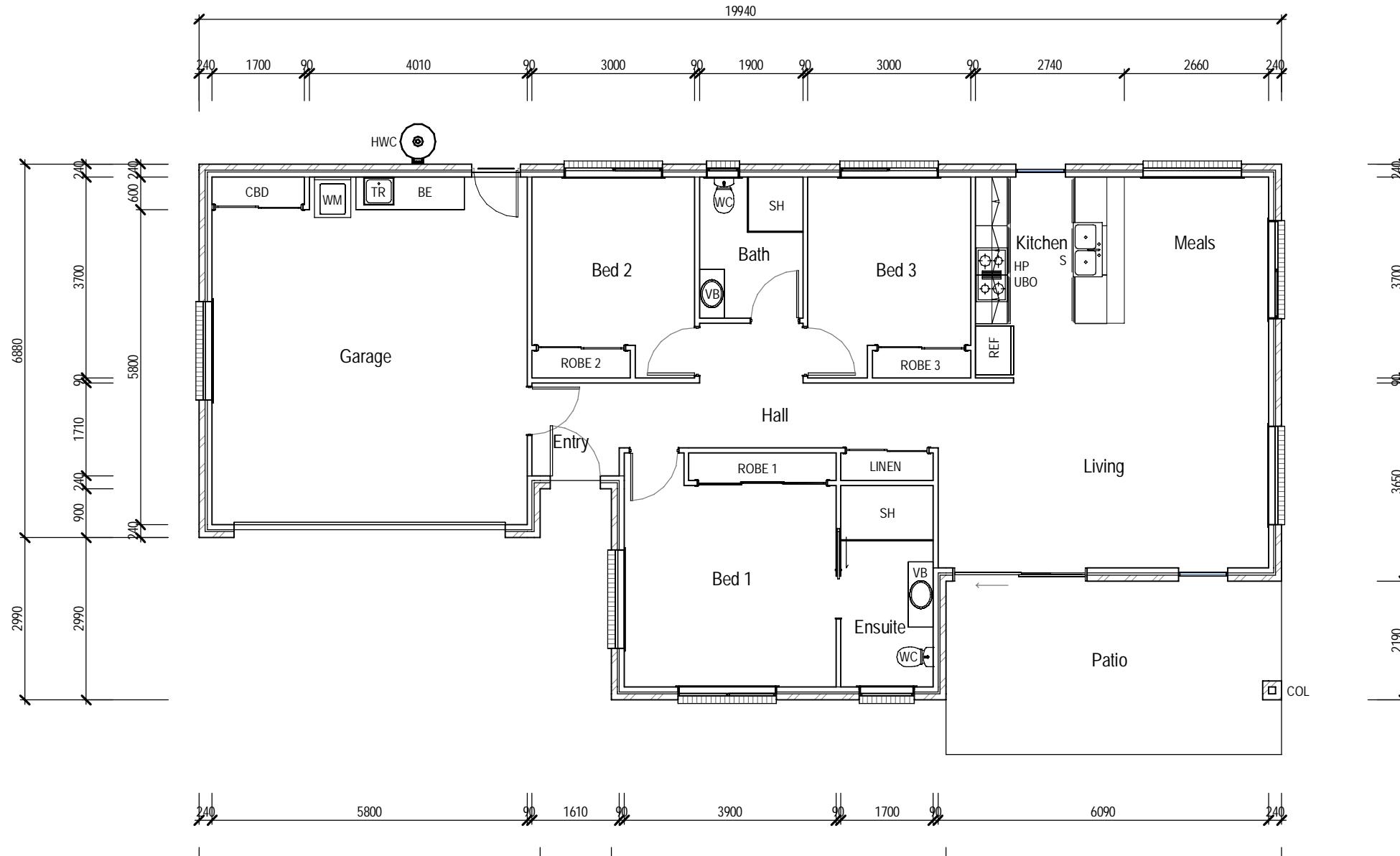
Client:

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Project:
**MULTIPLE DWELLINGS
3 THORNE AVE.
LEGANA
TAS. 7277**

Date:	Project No:	Rev No:
JAN. '26	IPWT-01	A
Scale:	Sheet:	No: A20 OF

DEVELOPMENT APPLICATION



Area Schedule (Gross Building)		
Name	Area	Area (sq)
Garage	42.31 m ²	4.55
Living	117.09 m ²	12.60
Patio	19.71 m ²	2.12
	179.11 m ²	19.28

UNIT 2

LEGEND	
BATH.	BATHROOM
LDRY.	LAUNDRY
KITCH.	KITCHEN
WC.	WATER CLOSET
ROBE	WARDROBE
WIR	WALK IN ROBE
BRM.	BROOM CLOSET
LINEN	LINED CUPBOARD
PTY.	PANTRY
VB	VANITY BASIN
S	SINK
WC	TOILET SUITE
TR	TRough
WM	WASHING MACHINE
BA	BATH
SHR	SHOWER
REF	REFRIGERATOR
DW	DISHWASHER
HP	HOT PLATES
UBO	UNDER BENCH OVEN
RH	RANGE HOOD
COL	COLUMN
DP	DOWNPIPE
CSD	CAVITY SLIDING DOOR
BH	BULKHEAD
A/C	AIR CONDITIONER
ODU	A/C OUTDOOR UNIT
WH	FREE STANDING WOOD HEATER
BE	BENCH
CBD	CUPBOARD
BRM	BRROM CUPBOARD
FFL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL

NOTES:
- REFER SHEET A01 FOR GENERAL NOTES
- ALL DIMENSIONS ARE FRAME DIMENSIONS

SCALE 1: 100 AT ORIGINAL SIZE

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A	DEVELOPMENT APPLICATION	29.01.26
Rev No.	Description:	Date:

Client:

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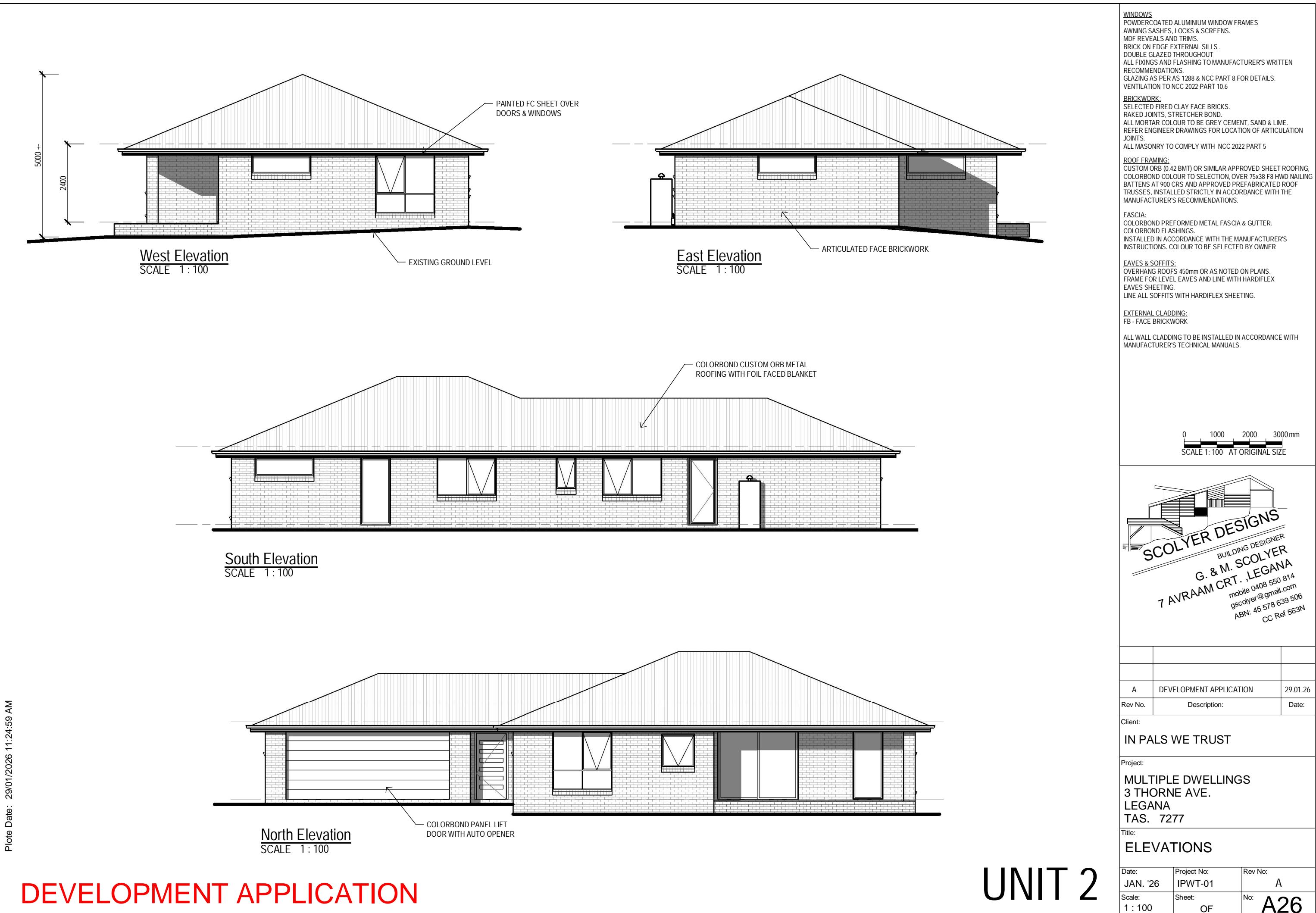
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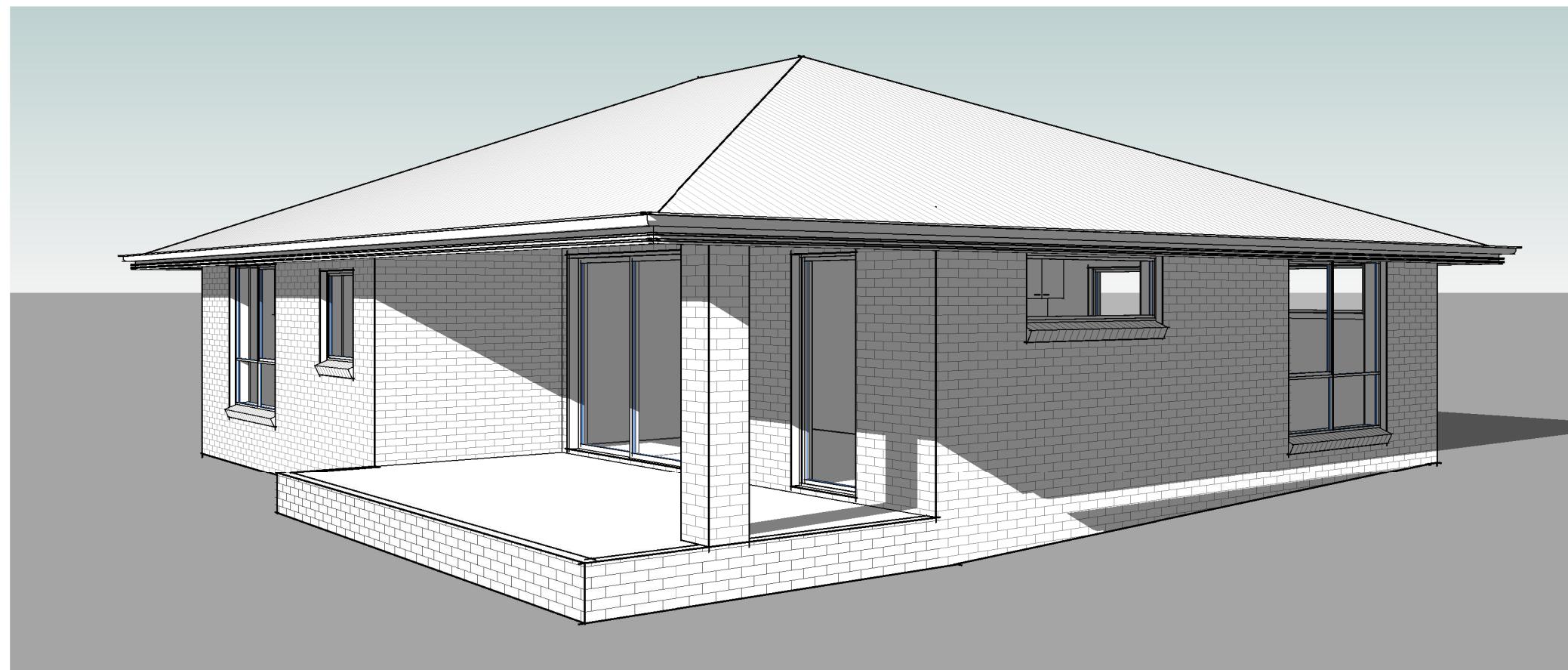
MULTIPLE DWELLINGS
3 THORNE AVE.
LEGANA
TAS. 7277

Title:

FLOOR PLAN

Date: JAN. '26	Project No: IPWT-01	Rev No: A
Scale: As indicated	Sheet: OF	No: A25



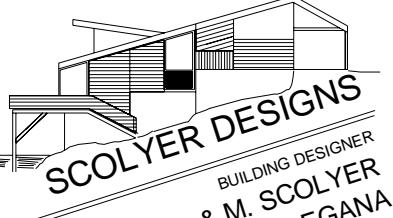


NOTE: COMPUTER IMPRESSION ONLY

DEVELOPMENT APPLICATION

UNIT 2

Plot Date: 29/01/2026 11:25:00 AM

 SCOLYER DESIGNS BUILDING DESIGNER G. & M. SCOLYER 7 AVRAAM CRT., LEGANA mobile 0408 550 814 gscolyer@gmail.com ABN: 45 578 639 506 CC Ref 563N		
A	DEVELOPMENT APPLICATION	29.01.26
Rev No.	Description:	Date:
Client: IN PALS WE TRUST		
Project: MULTIPLE DWELLINGS 3 THORNE AVE. LEGANA TAS. 7277		
Title: 3D VIEWS		
Date: JAN. '26	Project No: IPWT-01	Rev No: A
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