

PLANNING APPLICATION FORM

Section 57 & 58

**OFFICE USE
 ONLY**

Application Number PA2026069
Assess No: A13703
PID No: 9029217

Applicant Name:	Tascad Pty Ltd		
Postal Address:			
Contact Phone:	Home	Work	Mobile
Email Address:			

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements
2. A completed application form including a detailed description of the proposal
3. A complete plan set:
 - a) Floor plans
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level)
 - c) Site Plan showing:
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.
 All plans must be to scale.*

Application Number: «Application Number» _____

APPLICANT DETAILS

Applicant Name:	
------------------------	--

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name: <i>(as per certificate of title)</i>	
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Location / Address:	
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Title Reference:	
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Zone(s):	
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Existing Development/Use:	
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Existing Developed Area:	
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DEVELOPMENT APPLICATION DETAILS

Proposed Use:	Residential: <input type="checkbox"/>	Visitor Accommodation: <input type="checkbox"/>	Commercial: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of Use:			

Development Type:	Building work: <input type="checkbox"/>	Demolition: <input type="checkbox"/>	Subdivision: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of development:			

New or Additional Area:	Area
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Estimated construction cost of the proposed development:	
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Building Materials:	Wall Type:	Colour:
	Roof Type:	Colour:

Application Number: «Application Number»

SUBDIVISION N/A

Subdivision creating additional lots

Boundary adjustment with no additional lots created

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: <i>(Existing)</i>	
Number of Employees: <i>(Proposed)</i>	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: *(if not the owner)* As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

Name (print)



Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

Crown Consent
(if required)

Name (print)

Signed

Date

Chief Executive Officer
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

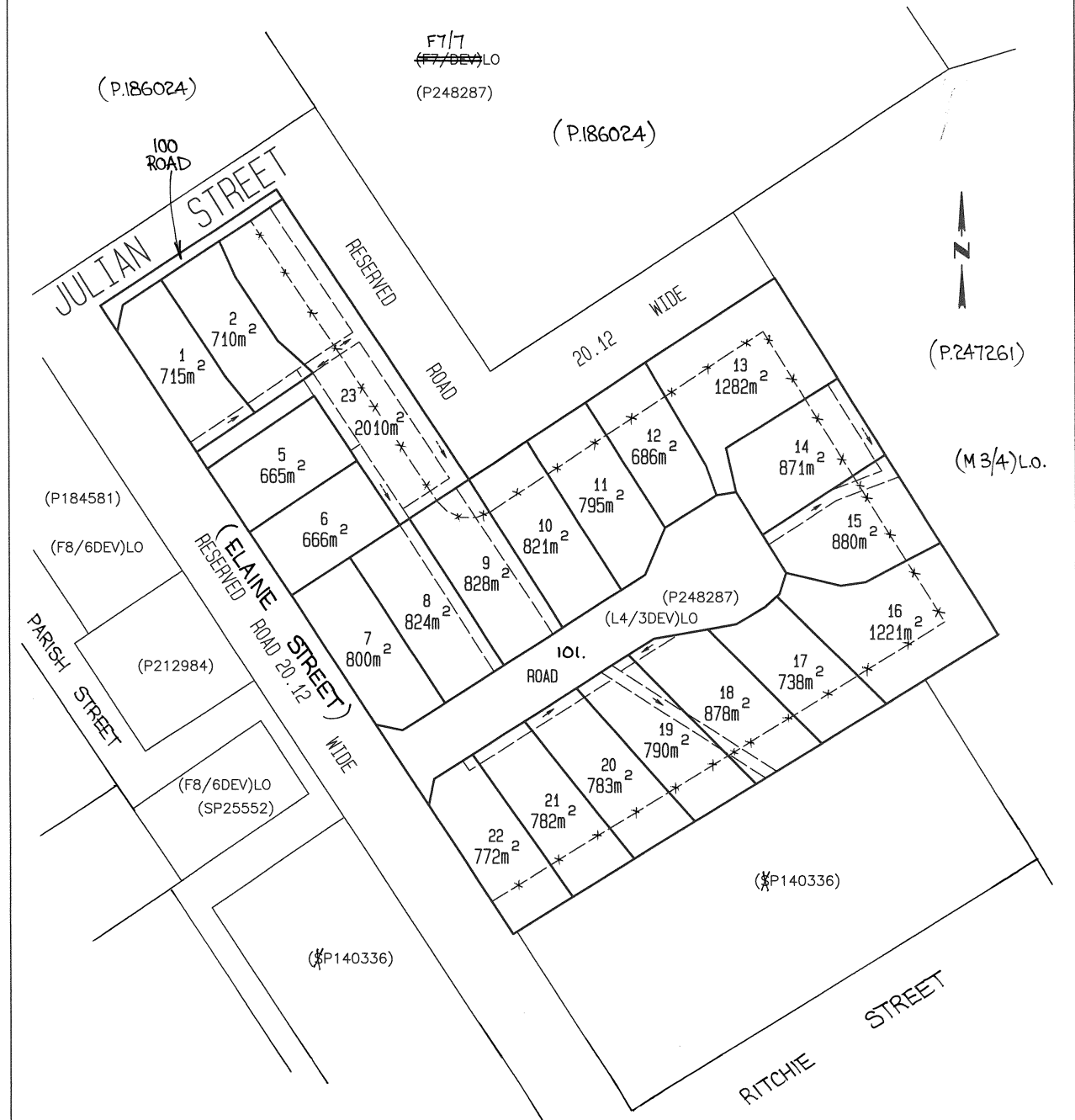
Signed

Date

OWNER: MARBELLA DEVELOPMENTS PTY LTD	PLAN OF SURVEY	REGISTERED NUMBER SP185949
FOLIO REFERENCE: CT 248287/7	BY SURVEYOR: A.J PHILLIPS	<u>APPROVED</u> EFFECTIVE FROM14 DEC 2023....
GRANTEE: WHOLE OF LOT 7, SECTION V.1 GTD TO ROBERT GORDON WALDUCK.	LOCATION: TOWN OF BEACONSFIELD	<i>Ren</i> Recorder of Titles
	SCALE 1: 1000 LENGTHS IN METRES	

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

PRIORITY FINAL PLAN

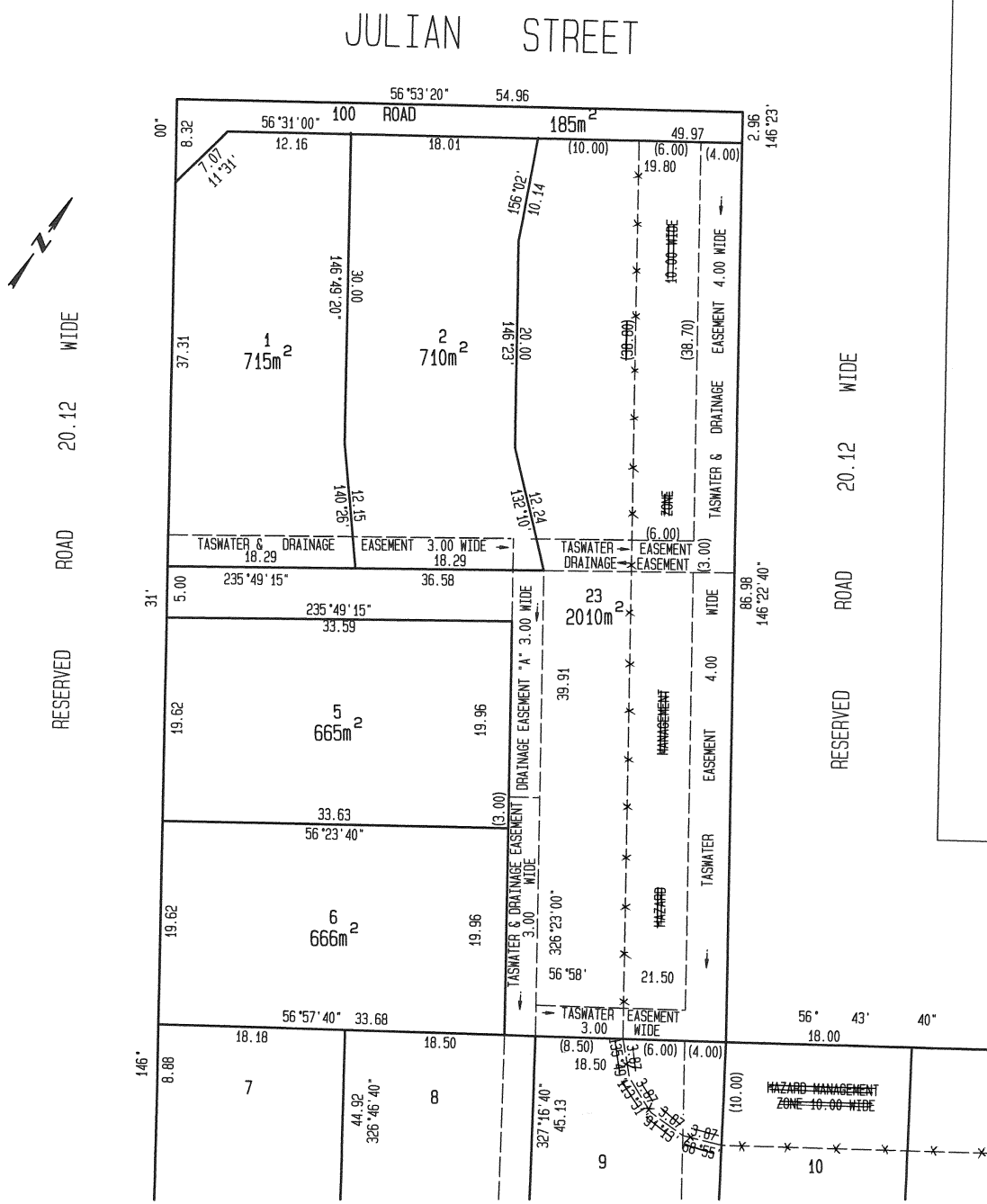


A.J. Phillips
Registered Land Surveyor 25 OCT 2023
Date

[Signature]
Council Delegate 17/11/23
Date

<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 1 OF 2 SHEETS</p>	<p>OWNER: MARBELLA DEVELOPMENTS PTY LTD</p> <p>FOLIO REFERENCE: CT 248287/7</p> <p>SCALE 1: 400 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 185949</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 17/11/23 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 25 OCT 2023 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM14 DEC 2023.....</p> <p><i>[Signature]</i> Recorder of Titles</p>

PRIORITY FINAL PLAN



SEE ANNEXURE SHEET 2



TASCAD PTY LTD
ABN 27 639 550 879
LICENCE NO.741767438

Client Acceptance & Letter of Authority

(Everyone listed on the title - please sign & return along with deposit)

I/WE, CHELSEA BERRY

wish to accept the quotation provided by Tascad Pty Ltd (Quote number # 20260107) ,

and allow Tascad Pty Ltd to act (eg. request information, make submissions) on my/our behalf for the proposed development at 14 Sylvia Court, Beaconsfield.

Name: Chelsea Berry

Signature: CBerry

Date: 9.1.26.

Phone: 0438 608701

Postal Address: 237 WELD ST, BEACONSFIELD.

Name:

Signature:

Date:

Phone:

Postal Address:

CONTENTS

COVER PAGE	P1
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DRAINAGE PLAN	P3

PROPOSED SHED & RETAINING WALLS 14 SYLVIA COURT, BEACONSFIELD



ABN 27 639 550 879

DRAWING TITLE

COVER PAGE

ADDRESS

14 SYLVIA COURT,
BEACONSFIELD

OWNER / CLIENT

J. NEW & C. BERRY

NOTES

REV.	AMENDMENT	DATE
1	SITE PLAN	23/01/26
2	FOR DA	25/03/26

DRAWN BY

W.M

LICENCE NO.

741767438

SCALE

NTS

DRAWING NO.

SLV14 1

SITE INFORMATION

TITLE REFERENCE	185949/16
PID	9029217
ZONE	GENERAL RES.
LAND SIZE	1221m2
PROP. SHED	81 m2
CLIMATE ZONE	7
ALPINE AREA	N/A
OTHER HAZARDS	N/A

NOTES:

- IF IN DOUBT ASK - DESIGNER, ENGINEER, BUILDING SURVEYOR.
- DIAL BEFORE YOU DIG
- ENGINEERING , ENERGY ASSESSMENT & ANY OTHER RELEVANT REPORT/PLANS PREPARED BY CONSULTANT TO SUPERSEDE PLANS BY TASCAD PYT LTD

- CLAUSES/NOTES/IMAGES TAKEN FROM
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FOUNDATIONS

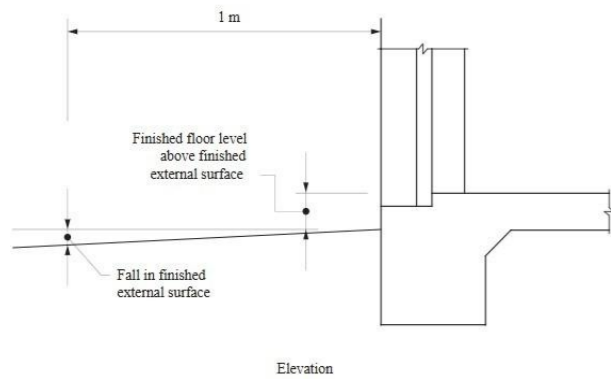
FOOTINGS, FOUNDATIONS & OR SLAB TO BE STRICTLY TO STRUCTURAL ENGINEERS PLANS

3.3.3 SURFACE WATER DRAINAGE

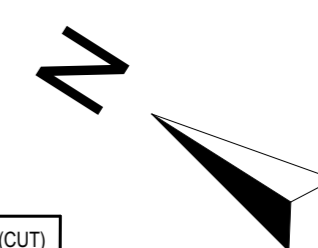
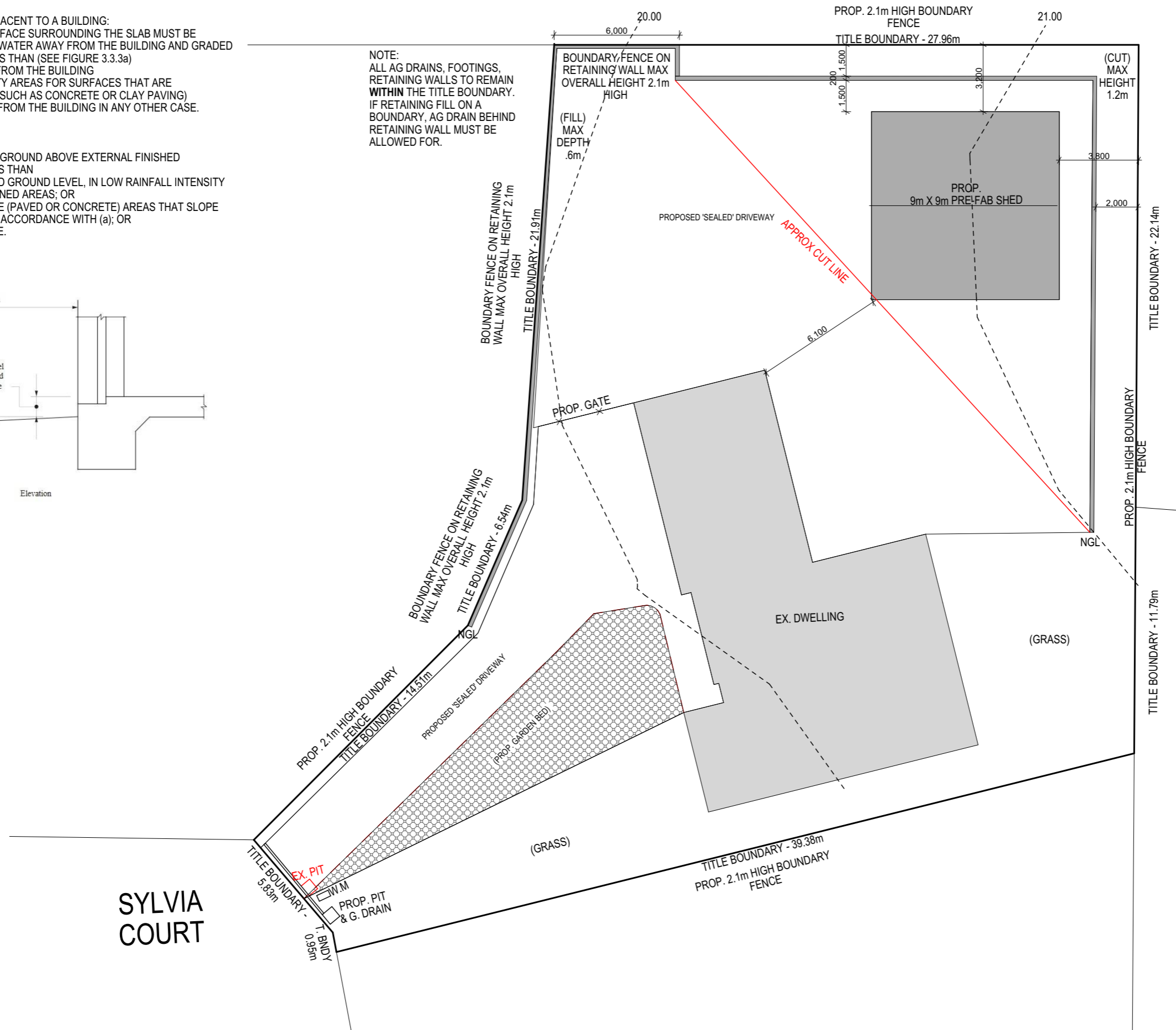
(a) SLAB ON GROUND
 FINISHED GROUND LEVEL ADJACENT TO A BUILDING:
 THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING AND GRADED TO GIVE A SLOPE OF NOT LESS THAN (SEE FIGURE 3.3.3a)
 (i) 25mm OVER THE FIRST 1m FROM THE BUILDING
 (A) IN LOW RAINFALL INTENSITY AREAS FOR SURFACES THAT ARE REASONABLY IMPERMEABLE (SUCH AS CONCRETE OR CLAY PAVING)
 (ii) 50mm OVER THE FIRST 1m FROM THE BUILDING IN ANY OTHER CASE.

(b) SLAB ON GROUND
 FINISHED SLAB HEIGHTS:
 THE HEIGHT OF THE SLAB ON GROUND ABOVE EXTERNAL FINISHED SURFACES MUST BE NOT LESS THAN
 (i) 100mm ABOVE THE FINISHED GROUND LEVEL, IN LOW RAINFALL INTENSITY AREAS OR SANDY, WELL DRAINED AREAS; OR
 (ii) 50mm ABOVE IMPERMEABLE (PAVED OR CONCRETE) AREAS THAT SLOPE AWAY FROM THE BUILDING IN ACCORDANCE WITH (a); OR
 (iii) 150mm IN ANY OTHER CASE.

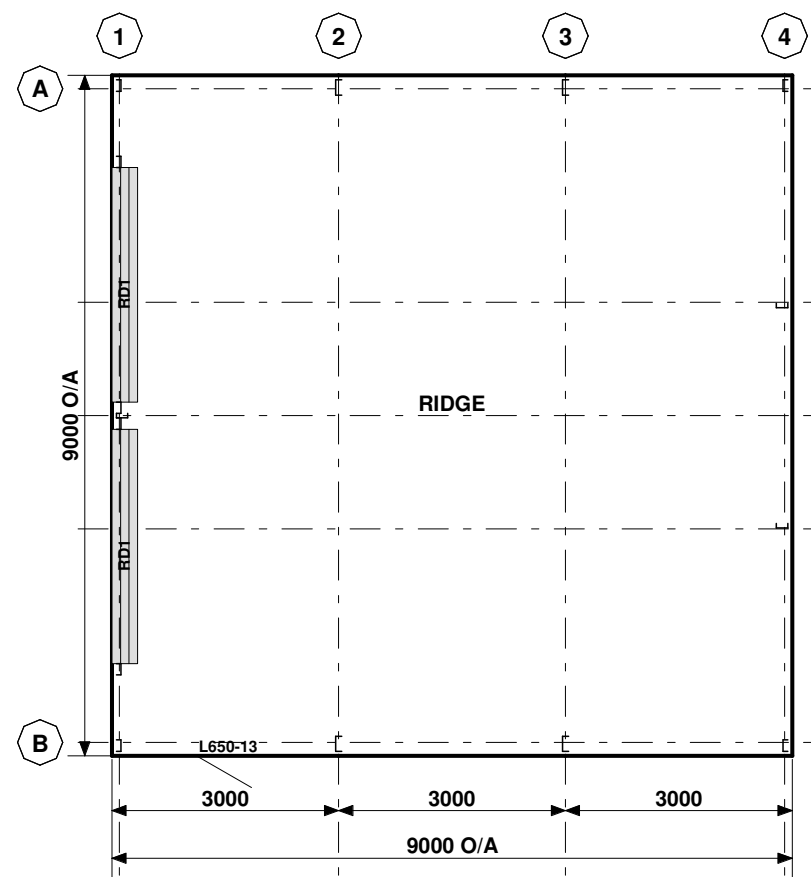
Figure 3.3.3a Site surface drainage



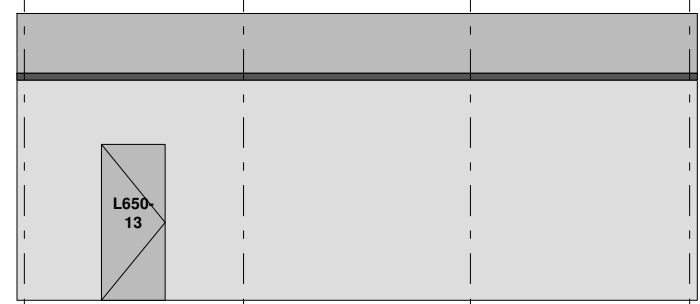
NOTE:
 ALL AG DRAINS, FOOTINGS, RETAINING WALLS TO REMAIN WITHIN THE TITLE BOUNDARY. IF RETAINING FILL ON A BOUNDARY, AG DRAIN BEHIND RETAINING WALL MUST BE ALLOWED FOR.



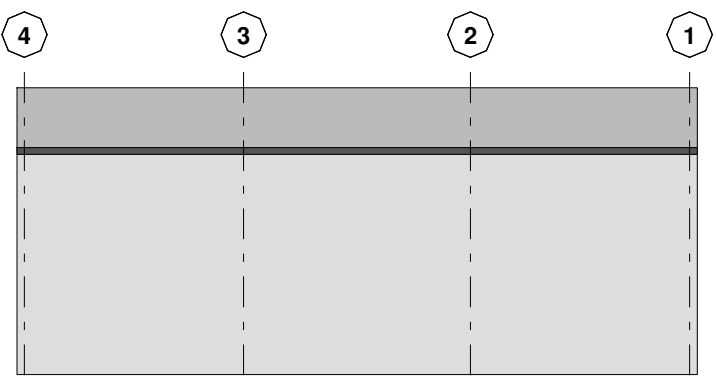
ABN 27 639 550 879		
DRAWING TITLE		
SITE PLAN		
ADDRESS		
14 SYLVIA COURT, BEACONSFIELD		
OWNER / CLIENT		
J. NEW & C. BERRY		
NOTES		
REV.	AMENDMENT	DATE
1	SITE PLAN	23/01/26
2	FOR DA	25/03/26
DRAWN BY		
W.M		
LICENCE NO.		
741767438		
SCALE		
1:200		
DRAWING NO.		
SLV14	2	



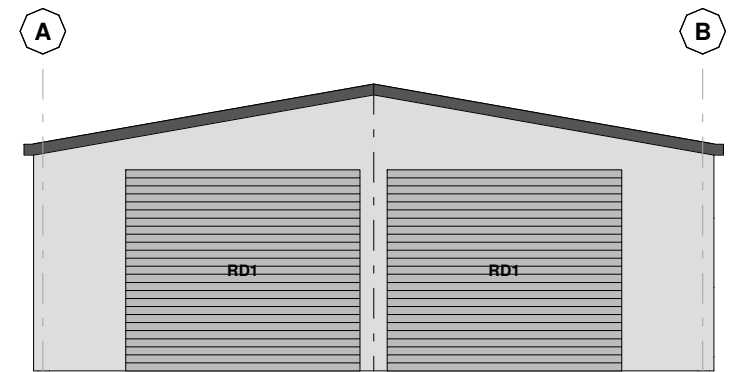
FRAME ROOF PLAN



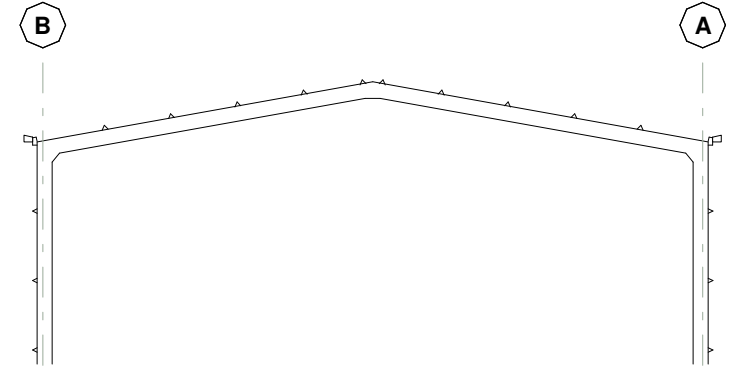
ELEVATION GRID B



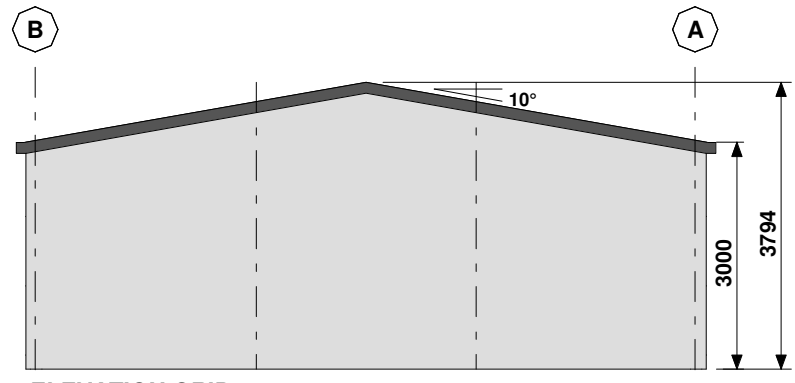
ELEVATION GRID A



ELEVATION GRID 1



SECTION GRID 2, 3



ELEVATION GRID 4

CLADDING

ITEM	PROFILE (min)	FINISH	COLOUR
ROOF	CUSTOM ORB 0.42 BMT	CB	AA
WALLS	TRIMDEK 0.42 BMT	CB	AA
CORNERS	-	CB	AA
BARGE	-	CB	AA
GUTTER	HI-QUAD	CB	AA

0.35bmt=0.40tct; 0.42bmt=0.47tct; 0.48bmt=0.53tct

ACCESSORY SCHEDULE & LEGEND

QTY	MARK	DESCRIPTION
2	RD1	B&D, Firmadoor, R.D, Residential "R1F", 2585 high x 3100 wide Clear Opening C/B
1	L650-13	Larneec Door & Frame Kit, 650/37, Std. 2040 x 820 C/Bond

Accredited Practitioner
Alexander Filonov
CC4719P
LEVEL 1, 12 BEAUMONT ST
HAMILTON NSW 2303
+61 2 4962 4311
11/02/2026

ARCHITECTURAL DRAWING ONLY, FOR BUILDING PERMIT STAGE

CLIENT
Jamie New
SITE
14 Sylvia Court
BEACONSFIELD TAS 7270

BUILDING
DELUXE
9000 SPAN x 3000 EAVE x 9000 LONG

TITLE
GENERAL ARRANGEMENT

SCALE	DRAWING NUMBER	REV	PAGE
A3 SHEET 1:100	442219-GA	B	1/6

STRUCTURAL STEELWORK SCHEDULE			CONNECTIONS		
MARK	DESCRIPTION	SECTION	BASE	EAVES	TOP
C1	COLUMN - UNCLAD FRAME	C20019	FB2	KN3	
C2	COLUMN - CLAD FRAME	C15010	FB1	KN2	
C3	COLUMN - END	C15015	EB1		ER1
R1	RAFTER - UNCLAD FRAME	C20015		KN3	AP2
R2	RAFTER - CLAD FRAME	C15010	RA1	KN2	AP1
DM1	MULLION - ROLLER DOOR	C15010	EB2	DM1	MC1
DM2	MULLION - ROLLER DOOR	Z15015 + C15010	EB2	DM2	MC1
RH1	HEAD - ROLLER DOOR	TS6160 + TS6175	RH1		
OM1	OPENING MULLION	63x35x1.0 C-Channel			
OH1	OPENING HEAD	63x35x1.0 C-Channel			
Bw	BRACING - SIDE WALL	35x1.5 STRAP	SB1		
Be	BRACING - END WALL	35x1.5 STRAP	SB1		
Br	BRACING - ROOF	35x1.5 STRAP	SB2		
LB1, 2	BRACE - LATERAL FLY	95 x 0.6 STRAP	LB1, 2		
F1	FASCIA	C10012	FS2		
P1	PURLINS	TS6175 @ 900	BL1		
P1A	STRUT PURLIN	TS6110	BL1		
G1	GIRTS - SIDE	TS6175 @ 1020	BL1		
G2	GIRTS - END	TS6175 @ 1020	BL2		

GENERAL

- THIS IS A STANDARDISED DESIGN SUITABLE FOR LIGHT INDUSTRIAL, COMMERCIAL & RURAL BUILDINGS TO STANDARDS & REQUIREMENTS PROVIDED BY RANBUILD.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH RANBUILD ASSEMBLY GUIDE.
- ANY DISCREPANCY SHALL BE REFERED TO THE ENGINEER BEFORE PROCEEDING WITH WORK.
- ALL MATERIALS & WORKMANSHIP SHALL BE IN ACCORDANCE WITH RELEVANT & CURRENT SAA CODES & WITH BY-LAWS & ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
- ALL DIMENSIONS SHOWN SHOULD BE VERIFIED BY THE BUILDER ON SITE. ENGINEERS DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
- DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION & NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS & EXCAVATIONS STABLE AT ALL TIMES.
- UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METRES & ALL DIMENSIONS ARE IN MILLIMETRES.
- THE STRUCTURAL COMPONENTS DETAILED ON THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RELEVANT SAA CODES & NORMAL ENGINEERING PRACTICE.
- ARCHITECTURAL ELEMENTS TO HAVE A MINIMUM OF 20mm CLEARANCE OF THE STRUCTURE & ARE TO BE ARTICULATED.
- IT IS COMMON SENSE TO WORK SAFELY AND TO PROTECT YOURSELF AND OTHERS FROM ACCIDENTS ON SITE. TO DO THIS, YOU MUST ENSURE YOU HAVE IN PLACE SAFE WORK PRACTICES AND APPROPRIATE EQUIPMENT. SAFETY INVOLVES PERSONAL PROTECTION OF EYES, OF SKIN(FROM SUNBURN) AND OF HEARING(FROM NOISE). FALL PROTECTION MUST ALSO BE IN PLACE AS APPLICABLE INCLUDING SAFETY MESH, PERSONAL HARNESSES AND PERIMETER GUARDRAILS. IT IS RECOMMENDED THAT YOU FAMILIARIZE YOURSELF WITH APPLICABLE LAWS, REGULATIONS, RULES, GUIDELINES, CODES OF PRACTICE AND STANDARDS AND THAT YOU ADHERE STRICTLY TO THEM.

STRUCTURAL STEEL SPECIFICATION

- ALL STRUCTURAL STEELWORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING SAA CODES & SPECIFICATIONS.
 - AS4100 STEEL STRUCTURES CODE
 - AS/NZS 4600 COLD FORMED STEEL STRUCTURES CODE.
 - AS1111 COMMERCIAL BOLTS & SCREWS.
 - AS2887 FARM STRUCTURES (WHERE APPLICABLE).
- PROPRIETARY PRODUCTS ARE TO BE IN ACCORDANCE WITH THE RESPECTIVE MANUFACTURERS INSTRUCTIONS.

FRAME ASSEMBLY

- CORRECT FRAME ASSEMBLY IS IMPORTANT TO ACHIEVE OPTIMUM PERFORMANCE OF THE STRUCTURE
- FULLY TENSION BOLTS AT KNEE & APEX JOINTS AS SPECIFIED BEFORE STANDING FRAMES.
- FULLY TENSION BOLTS AT BASE CONNECTIONS AS SPECIFIED IMMEDIATELY AFTER STANDING THE FRAME.
- ROOF & WALL BRACING PROVIDE STRUCTURAL STABILITY WHERE SPECIFIED & MUST BE INSTALLED BEFORE THE CLADDING.

SELF DRILLING SCREWS

- QUALITY AND MECHANICAL PROPERTIES OF STRUCTURAL SCREWS MUST COMPLY WITH AS3566.1.
- ALL TEK SCREWS SHALL BE NO. 12 - 14 X 20 U.N.O
- THE MINIMUM DISTANCE OF EDGE/END SCREWS MUST HAVE AN EDGE DISTANCE OF 1.5 X SCREW DIAMETER FROM THE EDGE.
- THE MINIMUM DISTANCE OF SCREW TO SCREW SPACING MUST NOT BE LESS THAN 3 X SCREW DIAMETER BETWEEN ANY SCREWS.

HIGH TENSILE BOLTS

- ALL BOLTS SHALL BE M16 / 8.8 / S U.N.O
- CONNECTIONS WITH 8.8S BOLTS SPECIFIED ARE DESIGNED AS FRICTION TYPE JOINTS & BOLTS, NUTS & WASHERS SHALL COMPLY WITH THE RELEVANT REQUIREMENTS OF AS1252.
- 8.8/S BOLTS TO BE INSTALLED IN ACCORDANCE WITH AS4100 & TENSIONED BY AN APPROVED METHOD TO PRODUCE THE FOLLOWING SHANK TENSIONS

BOLT SIZE	SHANK TENSION (kN)
M12	50
M16	90

- FOR THIS DESIGN AN ACCEPTABLE TENSIONING METHOD IS SNUG TIGHT (PODGER SPANNER TIGHT) PLUS HALF A TURN.

CLADDING

- ALL ROOF AND WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH AS1562.1 AND THE MANUFACTURER'S INSTRUCTIONS.
- ROOF AND WALL CLADDING ARE STRUCTURAL DIAPHRAGM BRACINGS. UNDER NO CIRCUMSTANCES SHOULD THE CLADDING BE REMOVED WITHOUT WRITTEN APPROVAL FROM A PRACTICING STRUCTURAL ENGINEER.

DESIGN LOADING

- THE STRUCTURAL COMPONENTS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR THE FOLLOWING LOAD CONDITIONS COMPLYING WITH RELEVANT AUSTRALIAN STANDARDS INCLUDING AS/NZS 1170.2:2021:-

ROOF DEAD LOAD	SELF WEIGHT ONLY
ROOF LIVE LOAD	(1.8/A+0.12) BUT NOT LESS THAN 0.25kPa AND 1.1kN
WIND LOAD REGION	A1-A5
TERRAIN CATEGORY	2,24
IMPORTANCE LEVEL	2
Ms	1.0
Mt	1.0
INTERNAL PRESSURE COEFFICIENTS	Cpi = -0.65 or +0.7 (OPEN)
SITE CLASS	M (CLAY)
GROUND SNOW LOAD Sg	0.5 kPa
COASTAL DISTANCE	N/A

- ALL DOORS AND WINDOWS SHALL HAVE THE SAME CYCLONIC WIND LOAD RATING AS THE REST OF THE BUILDING ENVELOPE, INCLUDING RESISTANCE TO FLYING DEBRIS AS SPECIFIED IN AS1170.2:2021 AND AS/NZS 4505-2012. DOORS AND WINDOWS SHALL BE CLOSED DURING STORMS. DOORS SHALL BE INSTALLED WITH WIND LOCKS IN CYCLONIC AREAS. SUPPORTING DOCUMENTATION INCLUDING TEST REPORTS SHALL BE AVAILABLE FROM DOORS AND WINDOWS MANUFACTURERS TO CONFIRM LOAD RATING AND ENSURE COMPLIANCE WITH ABOVE MENTIONED STANDARDS AND BCA. DOORS ARE ALSO REQUIRED TO BE SUPPLIED WITH A STICKER THAT SHOWS A RANGE OF INFORMATION INCLUDING THE DESIGN PRESSURE OF THE DOOR ACCORDING TO AS/NZS 4505-2012 REQUIREMENTS.

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DRAWING SCHEDULE

- 442219-GA GENERAL ARRANGEMENT
- ENG1/1-442219 STEEL FRAME SCHEDULE AND NOTES, COVER PAGE
- ENG2/1-442219 STEEL FRAME DIAGRAMS
- ENG3/1-442219 CONNECTION DETAILS
- ENG4/1-442219 RC SLAB PLAN & NOTES
- ENG5/1-442219 CONCRETE SPECIFICATION, SITE NOTES

Accredited Practitioner

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11/02/2026

FOR BUILDING PERMIT STAGE

CLIENT

Jamie New

SITE

14 Sylvia Court
BEACONSFIELD TAS 7270

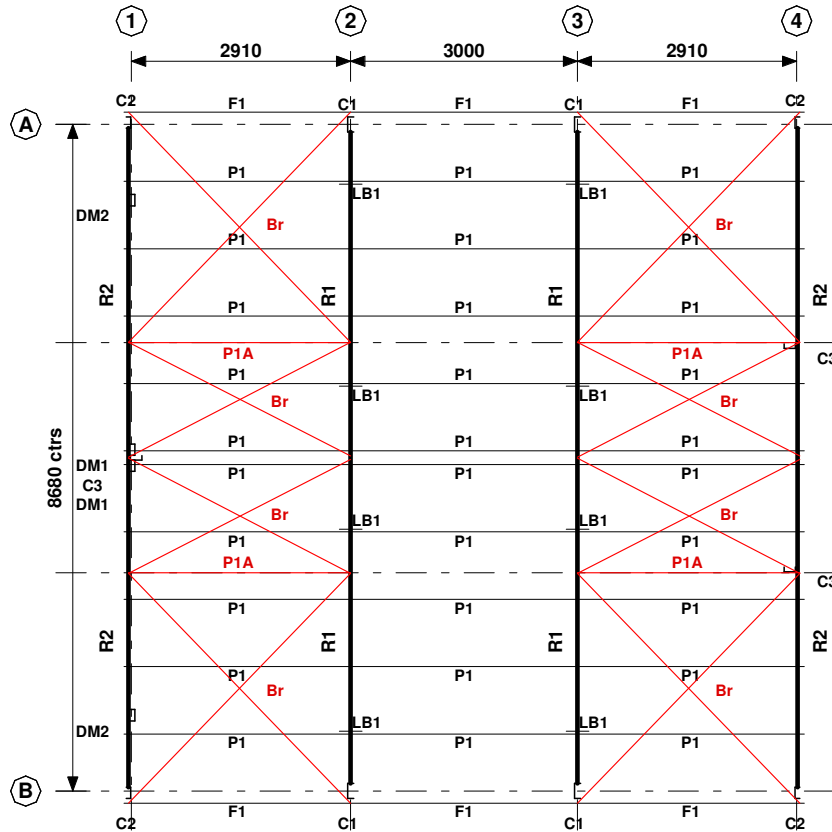
BUILDING

DELUXE
9000 SPAN x 3000 EAVE x 9000 LONG

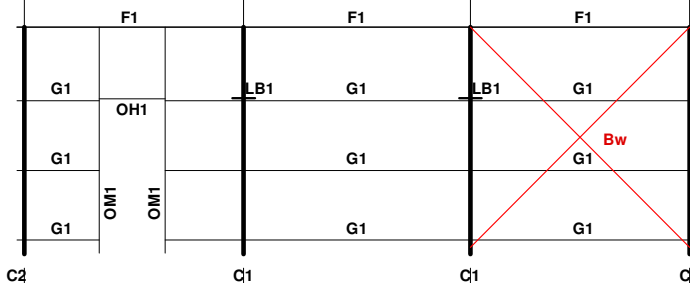
TITLE

STEEL FRAME SCHEDULE AND NOTES,
COVER PAGE

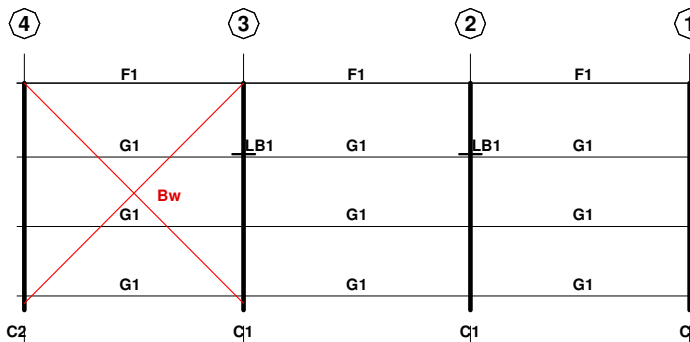
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N/A	ENG1/1-442219	B	2/6



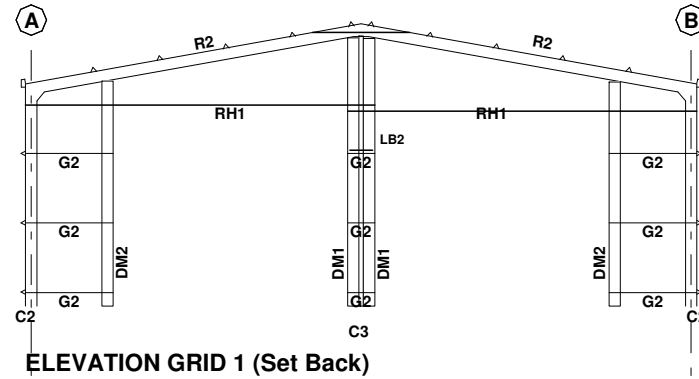
FRAME ROOF PLAN



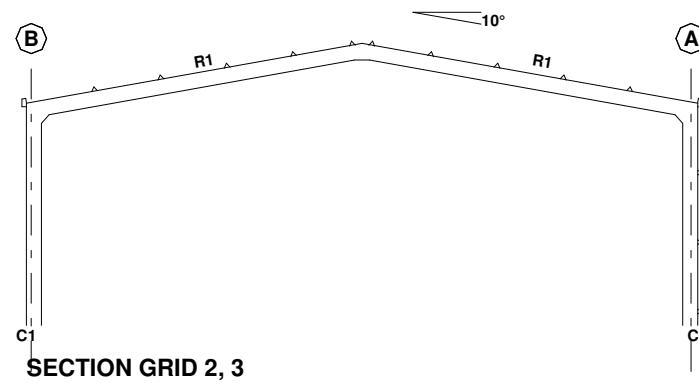
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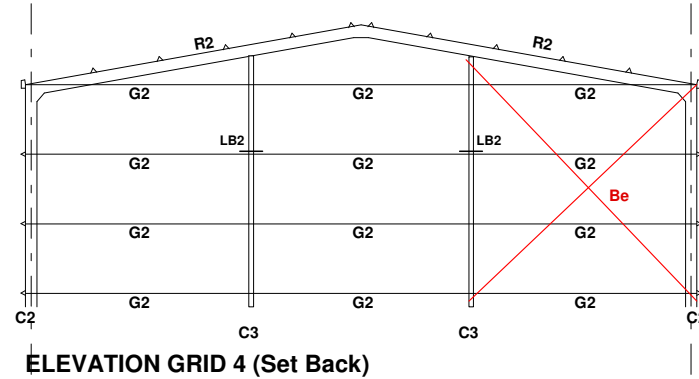
ELEVATION GRID A



ELEVATION GRID 1 (Set Back)



SECTION GRID 2, 3



ELEVATION GRID 4 (Set Back)

Accredited Practitioner
Alexander Filonov
CC4719P
LEVEL 1, 12 BEAUMONT ST
HAMILTON NSW 2303
+61 2 4962 4311
11/02/2026

FOR BUILDING PERMIT STAGE

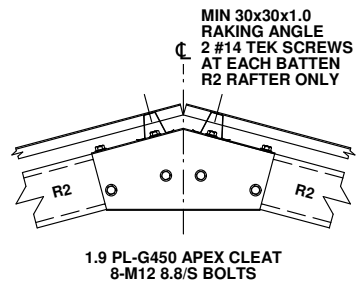
CLIENT
Jamie New

SITE
**14 Sylvia Court
BEACONSFIELD TAS 7270**

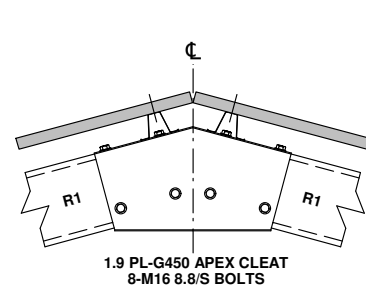
BUILDING
**DELUXE
9000 SPAN x 3000 EAVE x 9000 LONG**

TITLE
STEEL FRAME DIAGRAMS

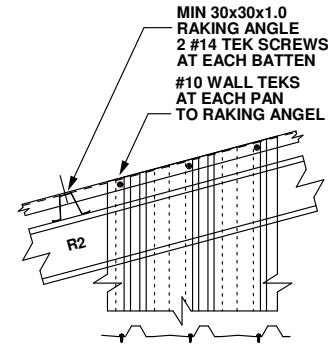
SCALE A3 SHEET 1:100	DRAWING NUMBER ENG2/1-442219	REV B	PAGE 3/6
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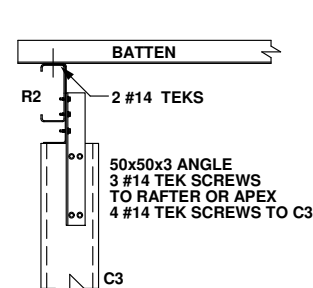
APEX CONNECTION - AP1



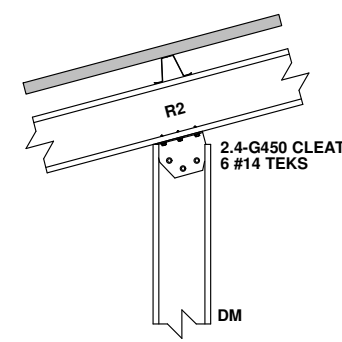
APEX CONNECTION - AP2



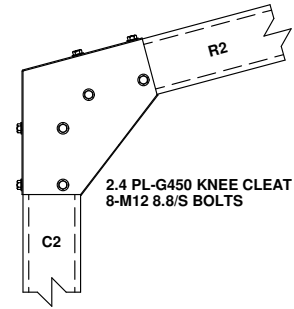
RAKING ANGLE - RA1



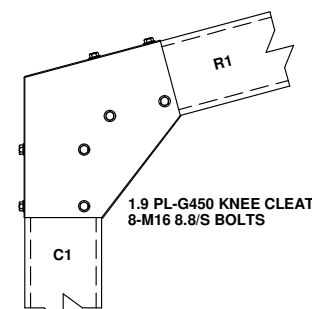
**E/W COLUMN TO RAFTER
CONNECTION - ER1**



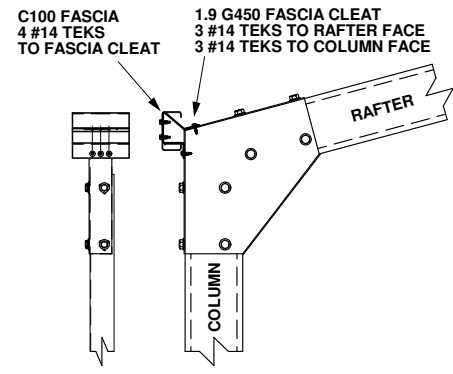
RD MULLION CAP - MC1



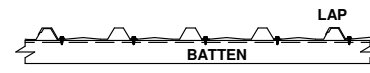
KNEE CONNECTION - KN2



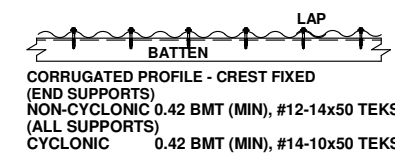
KNEE CONNECTION - KN3



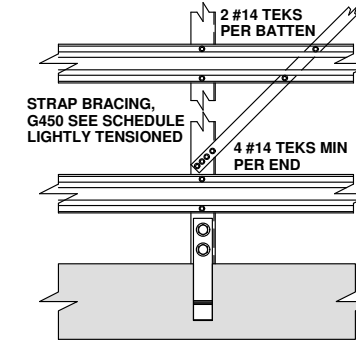
FASCIA CONNECTION - FS2



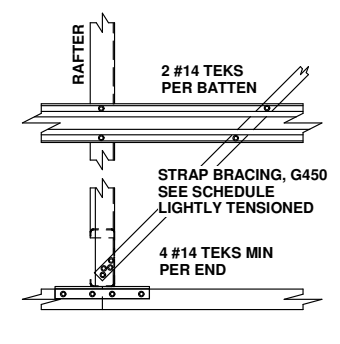
**WALL CLADDING
SHEAR DIAPHRAGM - WC1**



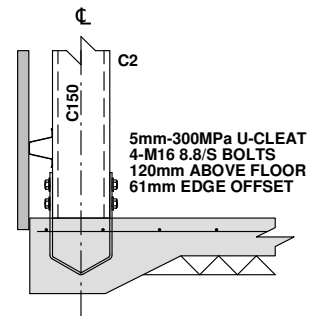
**ROOF CLADDING
SHEAR DIAPHRAGM - RC2**



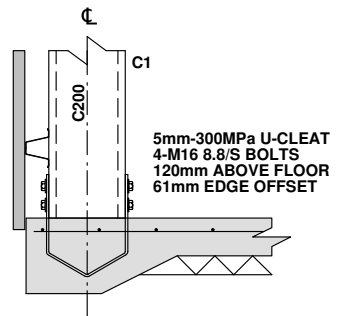
STRAP BRACING - SB1



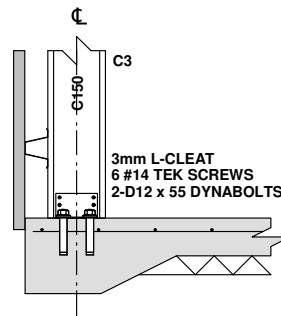
STRAP BRACING - SB2



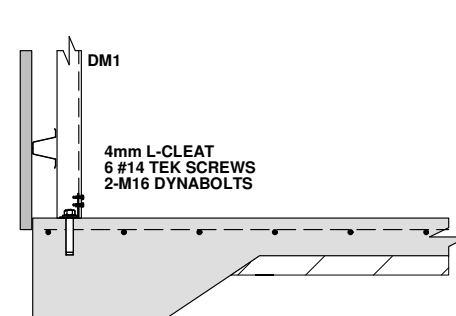
FIXED BASE - FB1



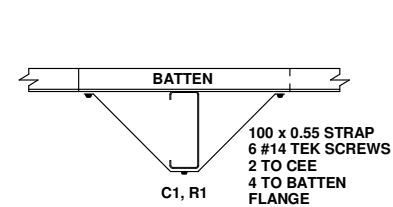
FIXED BASE - FB2



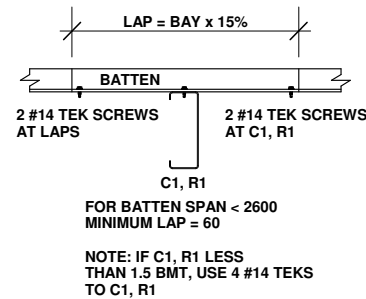
E/W COLUMN BASE - EB1



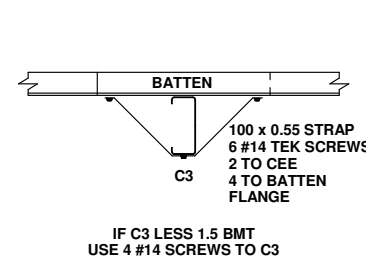
RD MULLION BASE - EB2



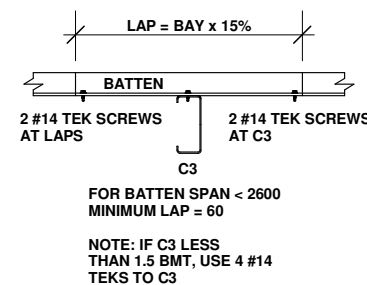
LATERAL BRACE - LB1



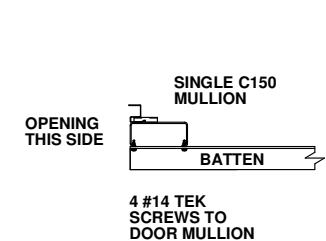
BATTEN LAP - BL1



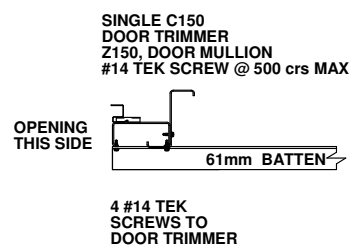
LATERAL BRACE - LB2



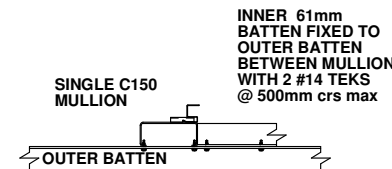
BATTEN LAP - BL2



RD MULLION - DM1



RD MULLION - DM2



RD HEAD - RH1

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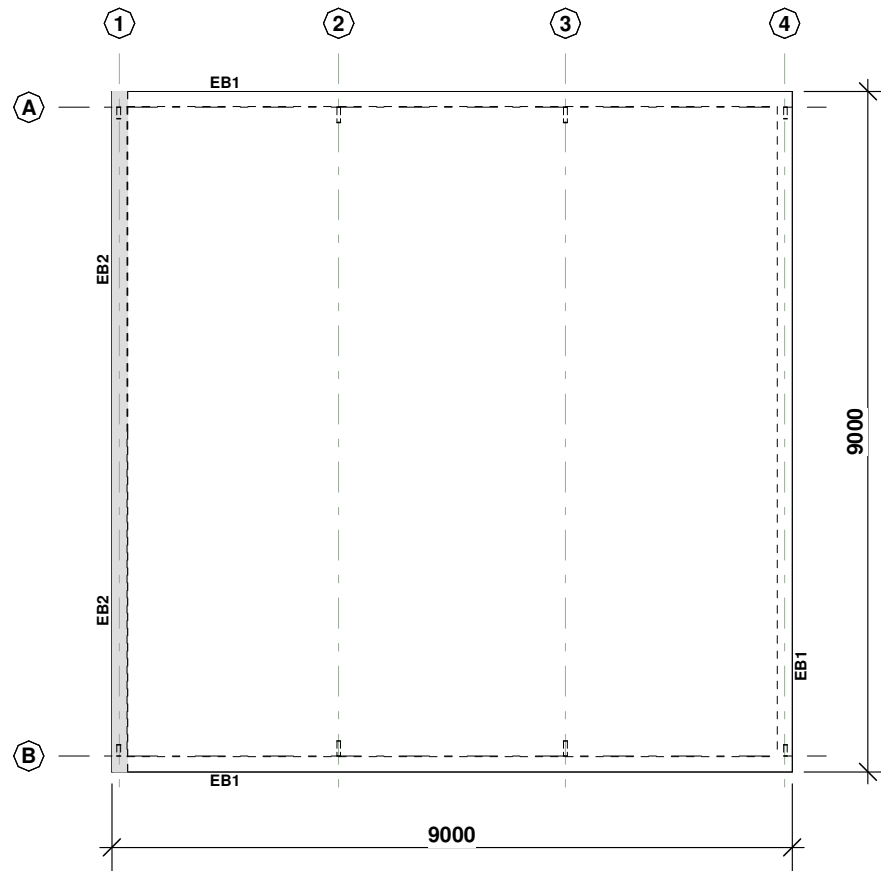
FOR BUILDING PERMIT STAGE

CLIENT
Jamie New
SITE
14 Sylvia Court
BEACONSFIELD TAS 7270

BUILDING
DELUXE
9000 SPAN x 3000 EAVE x 9000 LONG

TITLE
CONNECTION DETAILS

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RC SLAB

THIS GENERAL PURPOSE RC FLOOR DESIGN IS SUITABLE FOR STRUCTURES USED FOR DOMESTIC, FARM AND COMMERCIAL NON-HABITABLE BUILDINGS SUCH AS GARAGES, STORAGE SHEDS, BARNs, STABLES ETC. THE DESIGN IS NOT SUITABLE FOR STRUCTURES CONVERTED FOR USE AS A DWELLING. ALL DIMENSIONS SHOULD BE CHECKED AND VERIFIED PRIOR TO COMMENCEMENT OF ANY WORKS.

SEE ERECTION INSTRUCTIONS FOR ADDITIONAL NOTES.

REFERENCE

SEE SLAB DETAIL DRAWING FOR:-

- SITE FOUNDATION CLASSIFICATION NOTES
- MINIMUM SITE PREPARATION NOTES
- CONCRETE SPECIFICATION NOTES
- CONCRETE REINFORCEMENT NOTES
- SLAB ON GRADE NOTES
- DETAIL S1/EB1 - SLAB EDGE TYPE 1
- DETAIL S1/EB2 - SLAB EDGE TYPE 2
- DETAIL S1/A - SLAB CONTROL JOINT
- DETAIL S1/C - SLAB CONSTRUCTION JOINT

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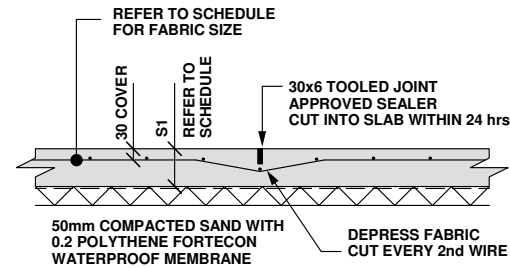
CLIENT
Jamie New

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**14 Sylvia Court
BEACONSFIELD TAS 7270**

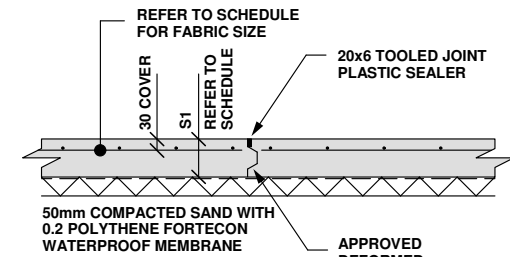
BUILDING
**DELUXE
9000 SPAN x 3000 EAVE x 9000 LONG**

TITLE
RC SLAB PLAN & NOTES

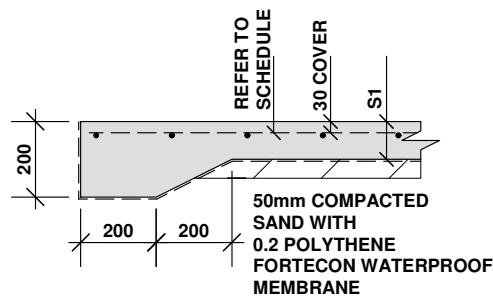
SCALE A3 SHEET 1:100 1:20	DRAWING NUMBER ENG4/1-442219	REV B	PAGE 5/6
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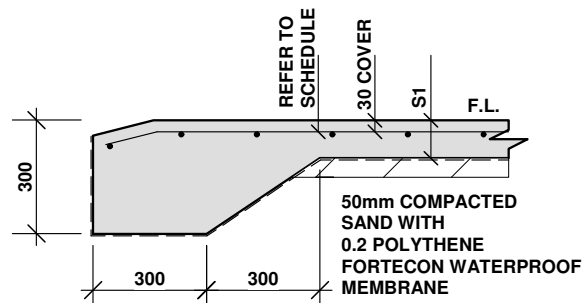
S1/A
CONTROL JOINTS MUST BE SUPPLIED AT NOT GREATER THAN 4.5M OR CONCRETE POUR AT A RATIO OF NOT MORE THAN 1:1.2 IN ANY DIRECTION.



S1/C
CONSTRUCTION JOINTS MUST BE SUPPLIED WHERE AN UNBROKEN RUN OF CONCRETE POUR EXCEEDS 30M IN ANY DIRECTION.



DET S1/EB1 FOR RC SLAB
NOT SUITABLE AT OPENINGS SUBJECT TO VEHICLE TRAFFIC



DET S1/EB2
REQUIRED AT OPENINGS SUBJECT TO VEHICLE TRAFFIC

SITE FOUNDATION CLASSIFICATION

TWO COMMON FOUNDATION CONDITIONS & SITE CLASSIFICATIONS IN ACCORDANCE WITH AS2870 ARE USED FOR THE STANDARDISED FOOTING DESIGNS AS FOLLOWS:-

- STIFF CLAY CONFORMING TO AS2870 CLASS M.
MINIMUM SAFE BEARING CAPACITY - 100 kPa.
SHAFT ADHESION - 20 kPa
- DENSE SAND CONFORMING TO AS2870 CLASS A/S.
MINIMUM SAFE BEARING CAPACITY - 100 kPa.
- A SITE SPECIFIC GEOTECHNICAL INVESTIGATION IS RECOMMENDED & IF CONDITIONS OTHER THAN ASSUMED ARE ENCOUNTERED A DIFFERENT FOOTING DESIGN MAY BE REQUIRED & SHOULD BE REFERRED TO A QUALIFIED LOCAL ENGINEER.
- ALL FOOTINGS TO BE FOUNDED IN NATURAL GROUND.
- NO FOOTING TO BE FOUNDED ON FILL MATERIAL.
- REFERENCE SHOULD BE MADE TO CSIRO PUBLICATION 10.91 GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE & FOOTING PERFORMANCE

MINIMUM SITE PREPARATION

- STRIP SITE OF ALL TOP SOIL & DISCARD TO SPOIL. THE EXPOSED SURFACE TO BE PROOF ROLLED & AREAS REMAINING SOFT OR SPONGY ARE TO BE EXCAVATED TO SPOIL.
- PLACE APPROVED GRANULAR FILL MATERIAL TO THE REQUIRED BUILDING PLATFORM LEVEL IN LAYERS NOT EXCEEDING 200mm AND COMPACT BY ROLLING WITH SUITABLE EQUIPMENT TO ACHIEVE A DRY DENSITY RATIO OF 98% STANDARD COMPACTION TO AS1289 - E1.1 AT OPTIMUM MOISTURE CONTENT. THE TOP 200mm TO BE COMPACTION TO 100% STANDARD DRY DENSITY.
- THE COMPACTION OF ALL FILL MATERIAL TO BE INSPECTED AND APPROVED BY A RESPONSIBLE GEOTECHNICAL CONSULTANT.

CONCRETE REINFORCEMENT

- REINFORCEMENT IS REPRESENTED DIAGRAMATICALLY & NOT NECESSARILY IN TRUE PROJECTION.

REINFORCEMENT NOTATION:-

N DENOTES HOT ROLLED DEFORMED BAR.

SL DENOTES HARD DRAWN WELDED WIRE FABRIC. THE NUMBER IMMEDIATELY FOLLOWING BAR NOTATION IS THE NOMINAL DIAMETER IN mm.

- PROVIDE BAR SUPPORTS OR SPACERS TO GIVE THE FOLLOWING COVER TO ALL REINFORCEMENT UNLESS NOTED OTHERWISE.

FOOTINGS 80 BOTTOM, 65 TOP & SIDES
SLABS 30 BOTTOM, 20 TOP
BEAMS 40 BOTTOM & SIDES TO STIRRUPS. TOP COVER AS DETAILED

- PROVIDE 2N12 DIAGONAL CORNER BARS 900 LONG AT ALL RE-ENTRANT CORNERS OF OPENINGS IN SLABS AND THESE BARS TO BE POSITIONED 30mm FROM THE CORNER.

CONCRETE SPECIFICATION

- CARRY OUT ALL WORK IN ACCORDANCE WITH THE CURRENT ISSUE OF AS3600 & THE SPECIFICATION.
- CONCRETE SIZES SHOWN DO NOT INCLUDE FINISH & MUST NOT BE REDUCED OR HOLED IN ANY WAY WITHOUT THE ENGINEERS APPROVAL. DEPTH OF BEAMS INCLUDE SLAB THICKNESS.
- SLABS & BEAMS ARE TO BE POURED TOGETHER.
- CONSOLIDATE BY VIBRATION.
- SLAB CONCRETE TO BE AS SHOWN IN SLAB ON GRADE CRITERIA.
- BORED PIER CONCRETE SHALL HAVE F'c = 20 MPa, MAXIMUM AGGREGATE SIZE = 20 mm, SLUMP = 100 mm, EXCEPT FOR BCA CLASSES 2 TO 9 BUILDINGS CONCRETE SHALL HAVE F'c = 32MPa.

SLABS ON GRADE

- SLABS TO BE PLACED OVER 25 CONSOLIDATED SAND OVER PREPARED SUBGRADE.
- PROVIDE 0.2 POLYTHENE FORTICON WATERPROOF MEMBRANE UNDER ALL SLABS WITH LAPPED & TAPED JOINTS.
- PLACE PUMP MIX CONCRETE AS SPECIFIED BELOW TO ACCURATE LEVELS AS PER ARCHITECTS SPECIFICATION.
- PROVIDE CONTROL JOINTS AS INDICATED BY NEATLY SAW CUTTING 40 x 6 GROOVES WITHIN 12 HOURS OF THE FINAL FLOAT OF THE CONCRETE.
- CURE SLAB FOR 7 DAYS AFTER PLACEMENT BY MAINTAINING A CONTINUOUSLY WET SURFACE BY APPROVED METHODS. FLOODING & COVERING WITH POLYTHENE IMMEDIATELY AFTER FINISHING IS AN APPROVED METHOD.
- SEALING OF JOINTS TO BE CARRIED OUT ONE MONTH MINIMUM AFTER CURING IS COMPLETE.
- PROVIDE PROPER STORMWATER DRAINAGE AWAY FROM THE BUILDING.

SLAB ON GRADE CRITERIA

CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS (MPa)	20
FLEXURAL STRENGTH AT 90 DAYS (MPa)	5
SLUMP (mm)	100
AGGREGATE MAXIMUM SIZE (MM)	20
CEMENT TYPE	SL
CEMENT CONTENT (kg/cubic metre) MIN	320
FLY ASH CONTENT (kg/cubic metre) MAX	70
WATER / CEMENT RATIO (MAX)	0.45
MICROSTRAIN AT 56 DAYS	600
FLOOR FINISH - BURNISHED STEEL TROWEL	NON SLIP
FLOOR TOLERANCE	CLASS B

- FOR OTHER LOAD CONDITIONS A DESIGN VARIATION IS REQUIRED & SHOULD BE REFERRED TO A QUALIFIED LOCAL ENGINEER.

DIMENSION SCHEDULE

S1	100RC SLAB
FABRIC	SL62T mesh

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TITLE RC SLAB DETAILS, CONCRETE SPECIFICATION, SITE NOTES

SCALE A3 SHEET 1:20	DRAWING NUMBER ENG5/1-442219	REV B	PAGE 6/6
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