



# WEST TAMAR COUNCIL



Application Number: «Application Number» \_\_\_\_\_

## APPLICANT DETAILS

<b>Applicant Name:</b>	Design To Live
------------------------	----------------

*Note: Full name(s) of person(s) or company making the application and postal address for correspondence.*

## LAND DETAILS

<b>Owner/Authority Name:</b> <i>(as per certificate of title)</i>	GINA & KIRK STUART
--	--------------------

<b>Location / Address:</b>	37 FORESHORE ROAD, KELSO
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<b>Title Reference:</b>	75126/11
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<b>Zone(s):</b>	LOW DENSITY RESIDENTIAL
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<b>Existing Development/Use:</b>	RESIDENTIAL
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<b>Existing Developed Area:</b>	Area 216.18
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## DEVELOPMENT APPLICATION DETAILS

<b>Proposed Use:</b>	Residential: <input checked="" type="checkbox"/>	Visitor Accommodation: <input type="checkbox"/>	Commercial: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of Use: RESIDENTIAL			

<b>Development Type:</b>	Building work: <input checked="" type="checkbox"/>	Demolition: <input type="checkbox"/>	Subdivision: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of development: PROPOSED INTERNAL MODIFICATIONS			

<b>New or Additional Area:</b>	Area REF. PLANS- INTERNAL MODIFICATIONS
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<b>Estimated construction cost of the proposed development:</b>	\$ 30,000.00
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<b>Building Materials:</b>	Wall Type: REF. PLANS	Colour: REF. PLANS
	Roof Type: REF. PLANS	Colour: REF. PLANS

# WEST TAMAR COUNCIL



Application Number: «Application Number» \_\_\_\_\_

**SUBDIVISION**  N/A

- Subdivision creating additional lots   
 Boundary adjustment with no additional lots created

<b>Number of Lots (existing) :</b>		<b>Number of Lots (proposed) :</b>	
<b>Description:</b>			
<b>If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:</b>			
1.			
2.			
3.			

**COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE**  N/A

<b>Hours of Operation:</b>	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

<b>Existing Car Parking:</b>	
<b>Proposed Car Parking:</b>	

<b>Number of Employees:</b> <i>(Existing)</i>	
<b>Number of Employees:</b> <i>(Proposed)</i>	

<b>Type of Machinery installed:</b>	
<b>Details of trade waste and method of disposal:</b>	

Application Number: «Application Number» \_\_\_\_\_

**APPLICANT DECLARATION**

**Owner:** *As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,*

*Name (print)*

*Signed*

*Date*

**Applicant:** *As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,*

**(if not the owner)**

*Name (print)*

*Signed*

*Date*

*Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.*

**Crown Consent**

*(if required)*

*Name (print)*

*Signed*

*Date*

**General Manager**

*(if required)*

*Name (print)*

*Signed*

*Date*

*If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.*

**Right of Way Owner:**

*As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.*

*Name (print)*

*Signed*

*Date*

**D 351**  
**29**  
Lands Office  
20748  
9 SEP 1957  
10:00 AM  
TASMANIA

**DIAGRAM FROM ACTUAL SURVEY**

P/I

P/I

**COUNTY OF DEVON**  
**PARISH OF STOCKPORT.**

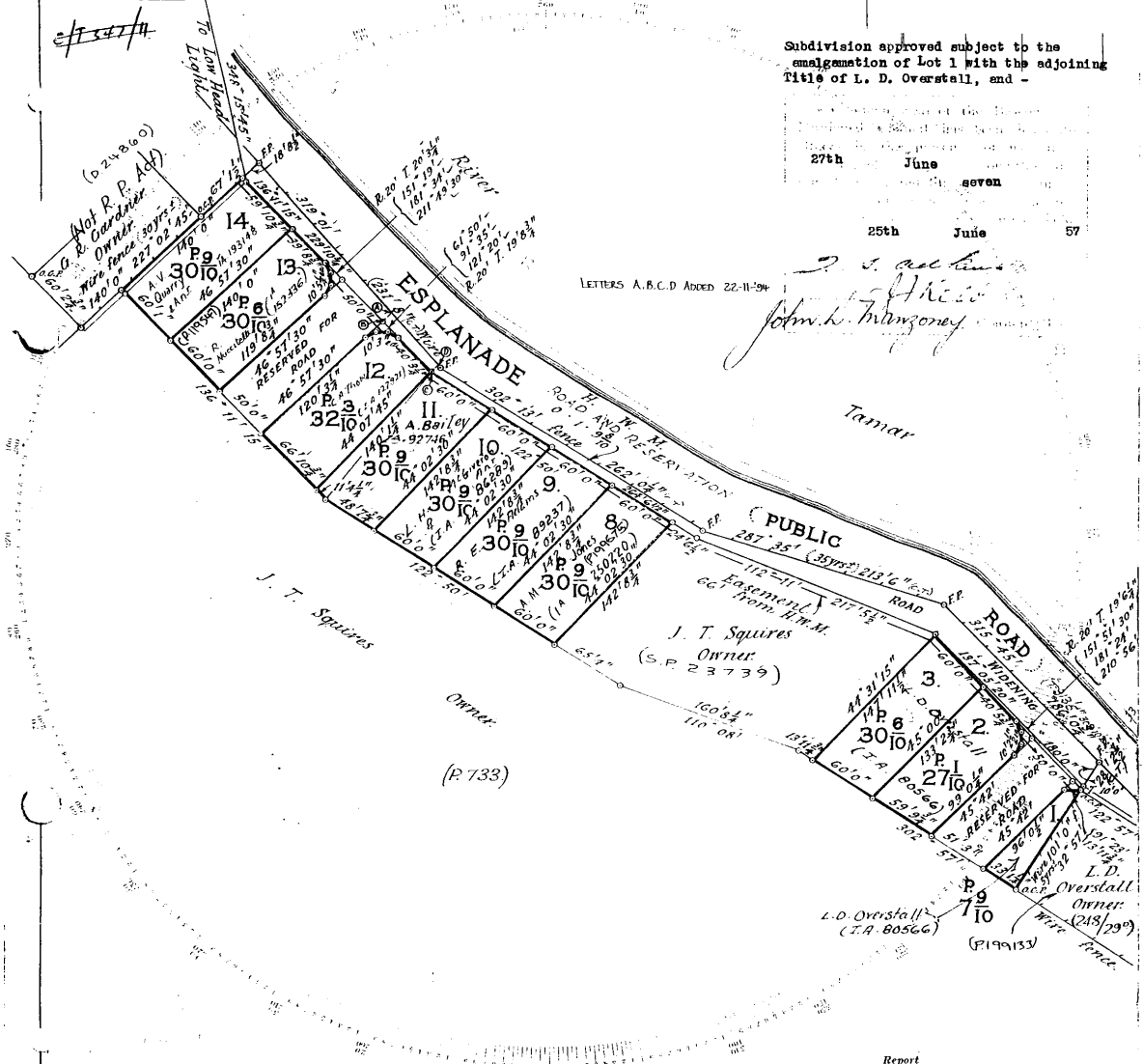
No. OF APPLICATION *Part of 13,000 acres Granted to Thos. Manifold.*  
**J. T. Squires 52A-8C**  
Owner:

Scale - 80-FT. to an inch

REFERENCE TO CORNERS  
REGISTERED NUMBER  
**75126**

Subdivision approved subject to the  
amalgamation of Lot 1 with the adjoining  
Title of L. D. Overstall, and -

27th June seven  
25th June 57



To be filled in  
by Surveyor

Date of Instructions  
Survey commenced 9.5.1957  
Survey finished 15.5.1957  
Error of close 4-in Nil.

Plot  
Regulations Checked 11.10.57  
Computations Checked 11.10.57  
Examination as to Boundaries  
Entered on Diagrams  
Entered on General Plan  
State Permanent Markers 11.10.57  
Finally examined

May be acted upon  
Acted upon

PURCHASER'S NAME	ACT	DATE OF CONTRACT	GRANTED
		12th June 1957	

*Paul A. Schell*  
Authorized Surveyor.



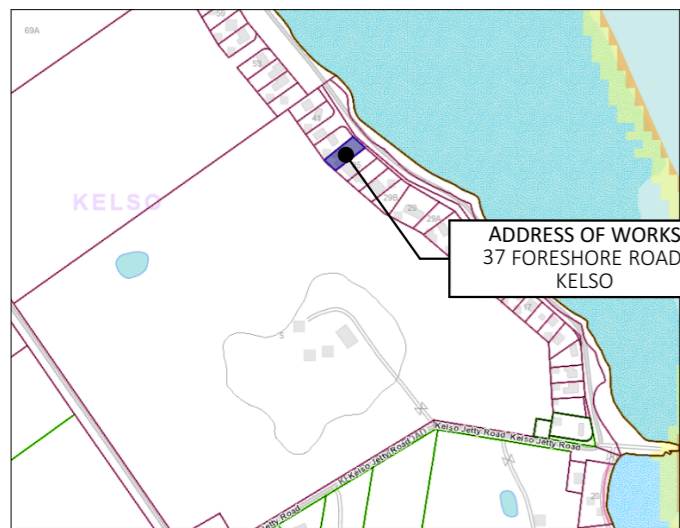
PROPOSED INTERNAL MODIFICATIONS &  
RETROSPECTIVE WORKS  
37 FORESHORE ROAD,  
KELSO, 7270.

**DRAWINGS**

- A01 COVER PAGE
- A02 SITE PLAN
- A03 DEMOLITION PLAN
- A04 FLOOR PLAN PROPOSED
- A05 EXTERNAL SERVICES
- A06 INTERIOR PLUMBING
- A07 ELECTRICAL PLAN
- A08 REFLECTED CEILING PLAN
- A09 ELEVATIONS
- A10 ENSUITE DETAIL
- A11 WATERPROOFING DETAILS
- A12 LIVABLE HOUSING BATHROOM DETAILS
- A13 CONSTRUCTION NOTES
- A14 FRAMING FLOOR PLAN
- A15 LINTEL & LOAD BEARING PLAN
- A16 STRUCTURAL NOTES

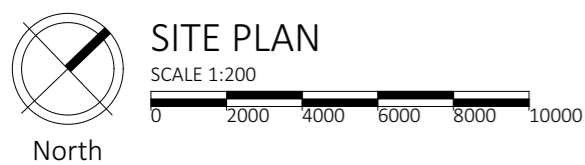
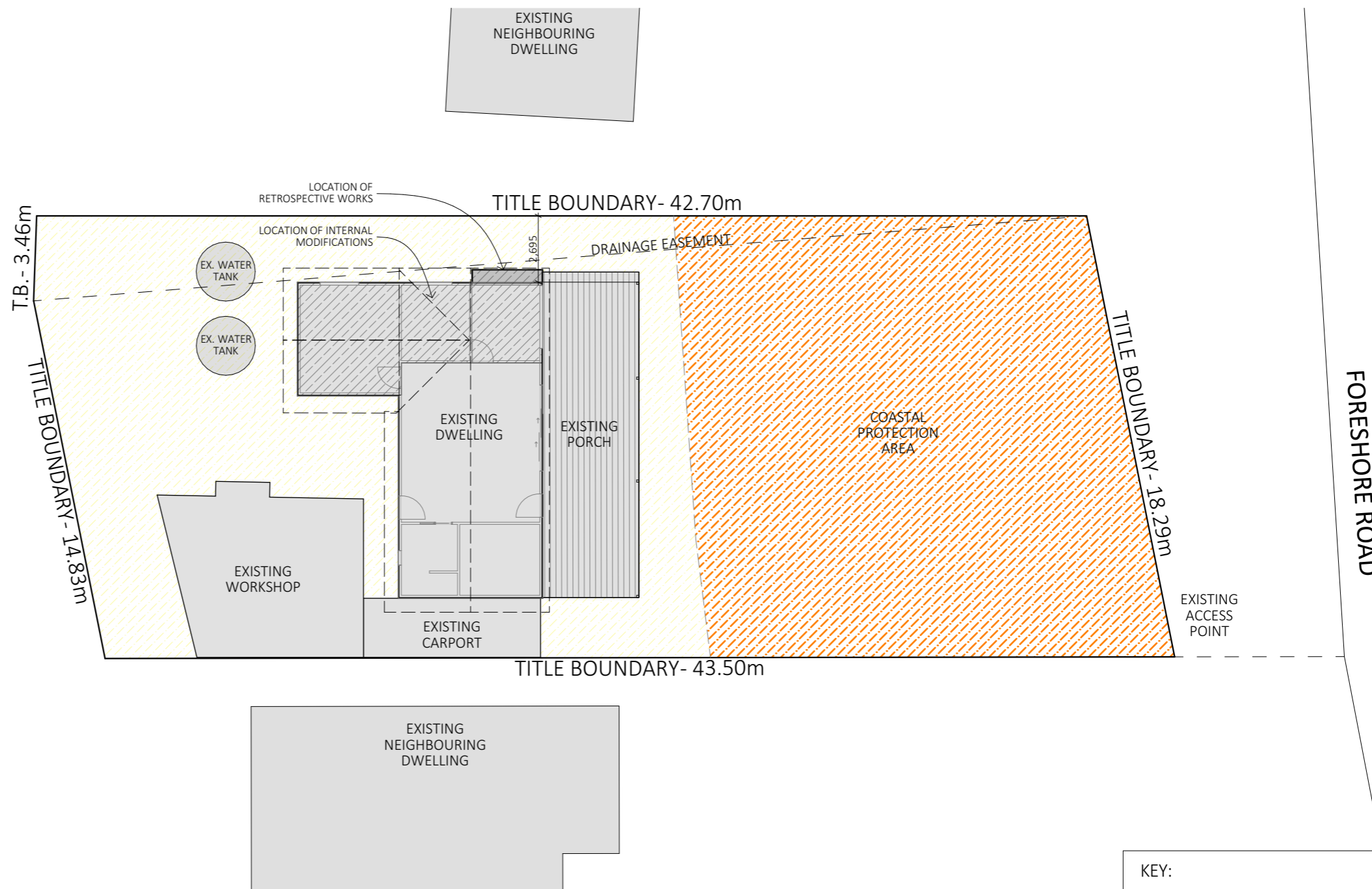
CLASSIFICATION OF BUILDING CLASS 1A		COUNCIL WEST TAMAR		ZONE LOW DENSITY RESIDENTIAL	
AREAS	(m <sup>2</sup> )	LAND TITLE REFERENCE	75126/11	ENERGY STAR RATING	N/A
EXISTING DWELLING	96.10	PROPERTY ID	2871088	CLIMATE ZONE	7
EXISTING PORCH	52.08	LOT SIZE (M <sup>2</sup> )	804	ALPINE AREA	N/A
EXISTING CARPORT	17.28	BAL RATING	N/A	CORROSION ENV'	MED.
EXISTING SHED	50.72	DESIGN WIND CLASS	N/A	SITE HAZARDS BUSHFIRE-PRONE AREA, COASTAL EROSION	
		SOIL CLASSIFICATION	N/A		
		PLANNING OVERLAY	WATERWAY AND COASTAL PROTECTION AREA, BUSHFIRE-PRONE AREAS, HIGH COASTAL EROSION HAZARD BAND, MEDIUM COASTAL INUNDATION HAZARD BAND, LOW COASTAL INUNDATION HAZARD BAND, LOW COASTAL EROSION HAZARD BAND		

<p>ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au</p>	<p><b>CLIENT/S:</b> GINA &amp; KIRK STUART</p>	<p><b>DRAWING</b> COVER PAGE</p>	<p>I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.</p> <p><b>SIGNATURE:</b>                      <b>DATE:</b> <b>SIGNATURE:</b>                      <b>DATE:</b></p>	<p><b>COPYRIGHT:</b> This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.</p>	<b>REV.</b>	<b>DATE</b>	<b>DESCRIPTION</b>	<b>DESIGNER</b>	M.L.	<b>JOB NUMBER</b>	FRSH37
							<b>DRAWN</b>	E.T.	<b>DRAWING</b>	A01 1 of 16	
							<b>CHECKED</b>	M.L.	<b>PAGE SIZE</b>	<b>A3</b>	



LOCALITY PLAN  
NOT TO SCALE

AREA	m <sup>2</sup>
EXISTING DWELLING	96.10
EXISTING PORCH	52.08
EXISTING CARPORT	17.28
EXISTING SHED	50.72



KEY:	
	HIGH- COASTAL EROSION HAZARD BAND
	LOW- COASTAL EROSION HAZARD BAND

**DESIGN TO LIVE**

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ABN. 71 615 812 747  
PH. 6344 7319  
E. info@designtolive.com.au  
W. designtolive.com.au

**CLIENT/S:**  
GINA & KIRK STUART

**SITE ADDRESS:**  
37 FORESHORE ROAD,  
KELSO, 7270.

**DRAWING**  
SITE PLAN



I/WE APPROVE THESE DRAWING TO BE  
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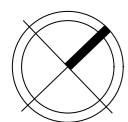
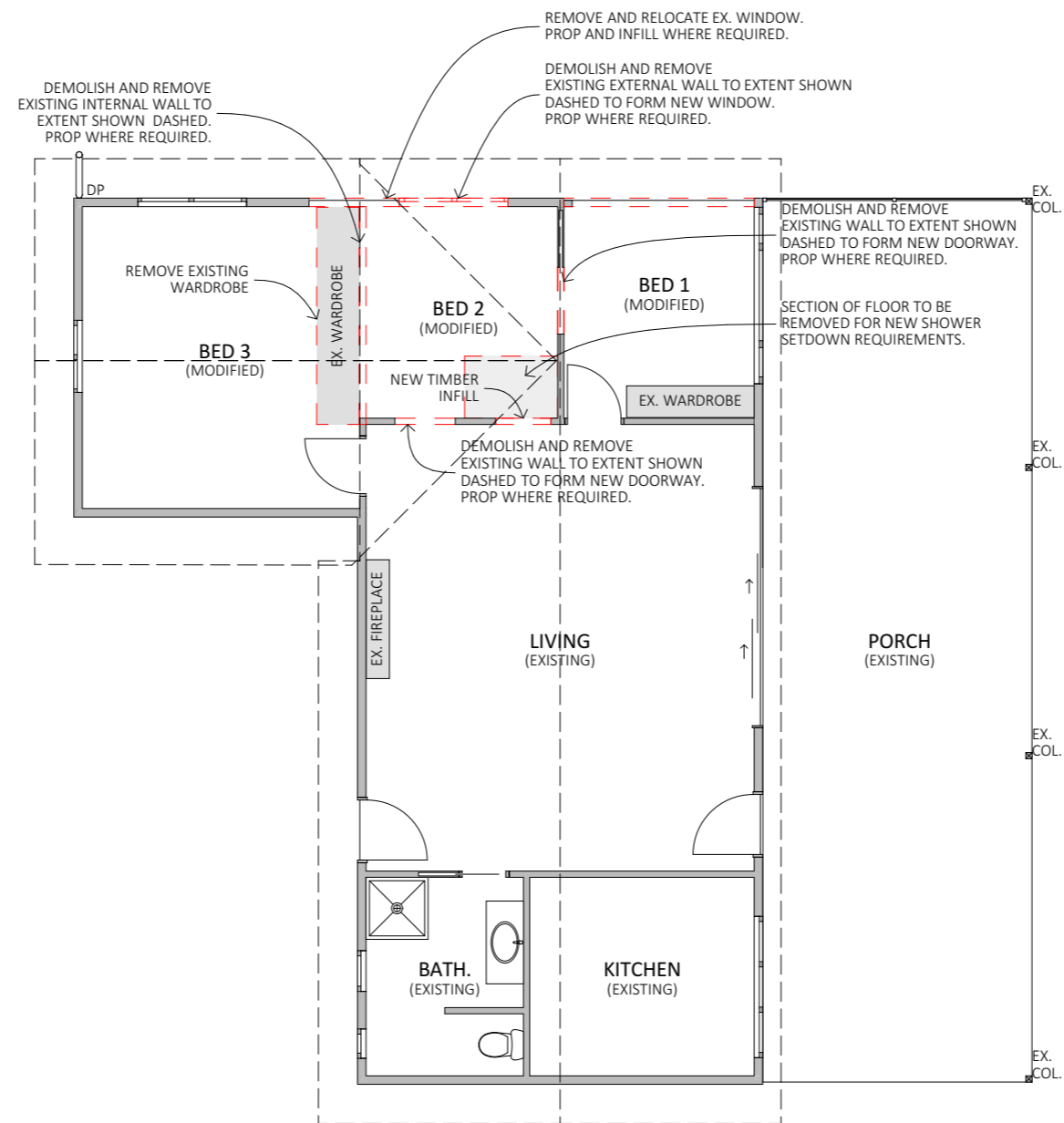
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**SIGNATURE:**                      **DATE:**

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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	FRSH37
R1	18/03/2026	FOR REVIEW	<b>DRAWN</b>	E.T.	<b>DRAWING</b>	A02 2 OF 16
R2	30/03/2026	FOR REVIEW				
R3	13/05/2026	FOR D.A.	<b>CHECKED</b>	M.L.	<b>PAGE SIZE</b>	<b>A3</b>
R4	14/05/2026	FOR D.A.				

KEY:	
	WALL TO BE REMOVED
	EXISTING/UNMODIFIED



**DEMOLITION PLAN**

SCALE 1:100  
 0 1000 2000 3000 4000 5000

North



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 ABN. 71 615 812 747  
 PH. 6344 7319  
 E. info@designtolive.com.au  
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**CLIENT/S:**  
 GINA & KIRK STUART

**SITE ADDRESS:**  
 37 FORESHORE ROAD,  
 KELSO, 7270.

**DRAWING  
 DEMOLITION  
 PLAN**

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**SIGNATURE:**

**DATE:**  
**DATE:**

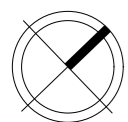
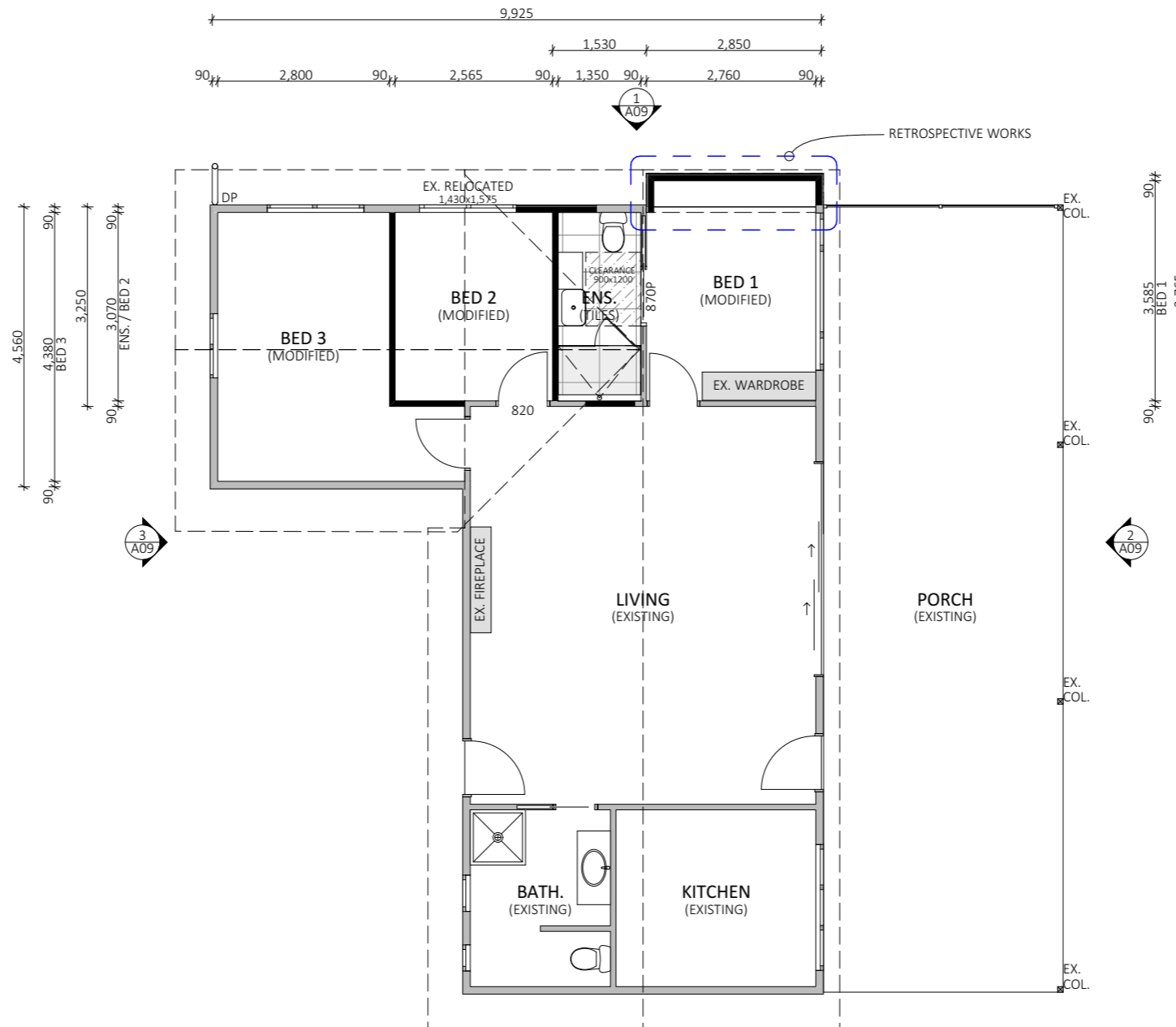
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R2	30/03/2026	FOR REVIEW				3 OF 16
R3	13/05/2026	FOR D.A.	CHECKED	M.L.	PAGE SIZE	A3
R4	14/05/2026	FOR D.A.				

KEY:	
	NEW WALL
	EXISTING/UNMODIFIED

NOTE:  
INTERNAL WORKS & RELOCATION OF EXISTING WINDOW WILL NOT BE DETRIMENTAL TO THE THERMAL PERFORMANCE OF THE EXISTING DWELLING.



**FLOOR PLAN PROPOSED**

SCALE 1:100  
0 1000 2000 3000 4000 5000

North



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PH. 6344 7319  
E. info@designtolive.com.au  
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**CLIENT/S:**  
GINA & KIRK STUART

**SITE ADDRESS:**  
37 FORESHORE ROAD,  
KELSO, 7270.

**DRAWING**  
**FLOOR PLAN**  
**PROPOSED**

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R1	18/03/2026	FOR REVIEW	DRAWN	E.T.	DRAWING	A04
R2	30/03/2026	FOR REVIEW				4 OF 16
R3	13/05/2026	FOR D.A.	CHECKED	M.L.	PAGE SIZE	A3
R4	14/05/2026	FOR D.A.				

INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

**SERVICES**

THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF THE NCC VOLUME THREE- PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST:

- A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND
- B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING ; AND
- C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

**1. INTERNAL PIPING**

- a) ALL FLOW AND RETURN INTERNAL PIPING THAT IS-
  - i) WITHIN AN UNVENTILATED WALL SPACE
  - ii) WITHIN AN INTERNAL FLOOR BETWEEN STOREYS: OR
  - iii) BETWEEN CEILING INSULATION AND A CEILING
 MUST HAVE A MINIMUM R-VALUE OF 0.2

**2. PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE**

- a) ALL FLOW AND RETURN PIPING
- b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM, MUST HAVE A MINIMUM R-VALUE OF 0.45

**3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB FLOOR OR ROOF SPACE**

- a) ALL FLOW AND RETURN PIPING
- b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM MUST HAVE A MINIMUM R-VALUE OF 0.6

PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.




**NOTES:**

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH AS-3500 AND LOCAL PLUMBING CODE AND SHOULD BE CARRIED OUT BY A LICENSED PLUMBER.

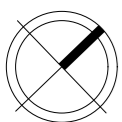
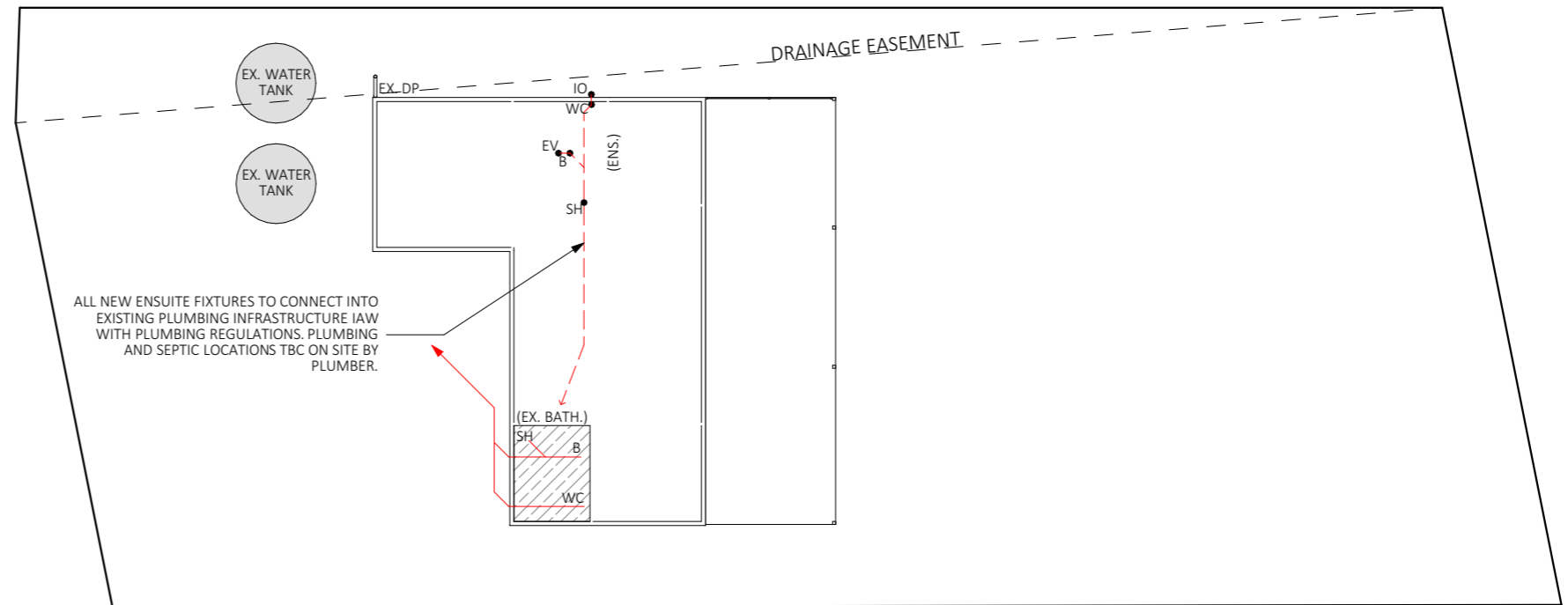
ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 03-2011-3.1 VERSION 3.1 MRWA VERSION 2.0) AND THE SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 02-2014-3.1 MRWA VERSION 2.0) AND TASWATER'S SUPPLEMENTS TO THESE CODES.

**NOTE:**

NEW PLUMBING FIXTURES TO RUN THROUGH EXISTING ORG. ORG TO BE UPGRADED TO SUIT CURRENT STANDARDS IF REQUIRED. TBC ON SITE BY LICENSED PLUMBER.

LEGEND	
B	BASIN
SH	SHOWER
WC	WATER CLOSET
EV	VENT (THROUGH TO ROOF)
IO	INSPECTION OPENING
DP	DOWNPIPE (90Ø)
	WET AREAS
	SEWER LINE (100mm PVC)
	EXISTING SEWER LINE

THIS PAGE IS TO BE PRINTED AND READ IN COLOUR.



**EXTERNAL SERVICES**

SCALE 1:200



North



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 ABN. 71 615 812 747  
 PH. 6344 7319  
 E. info@designtolive.com.au  
 W. designtolive.com.au

**CLIENT/S:**  
 GINA & KIRK STUART

**SITE ADDRESS:**  
 37 FORESHORE ROAD,  
 KELSO, 7270.

**DRAWING  
 EXTERNAL  
 SERVICES**

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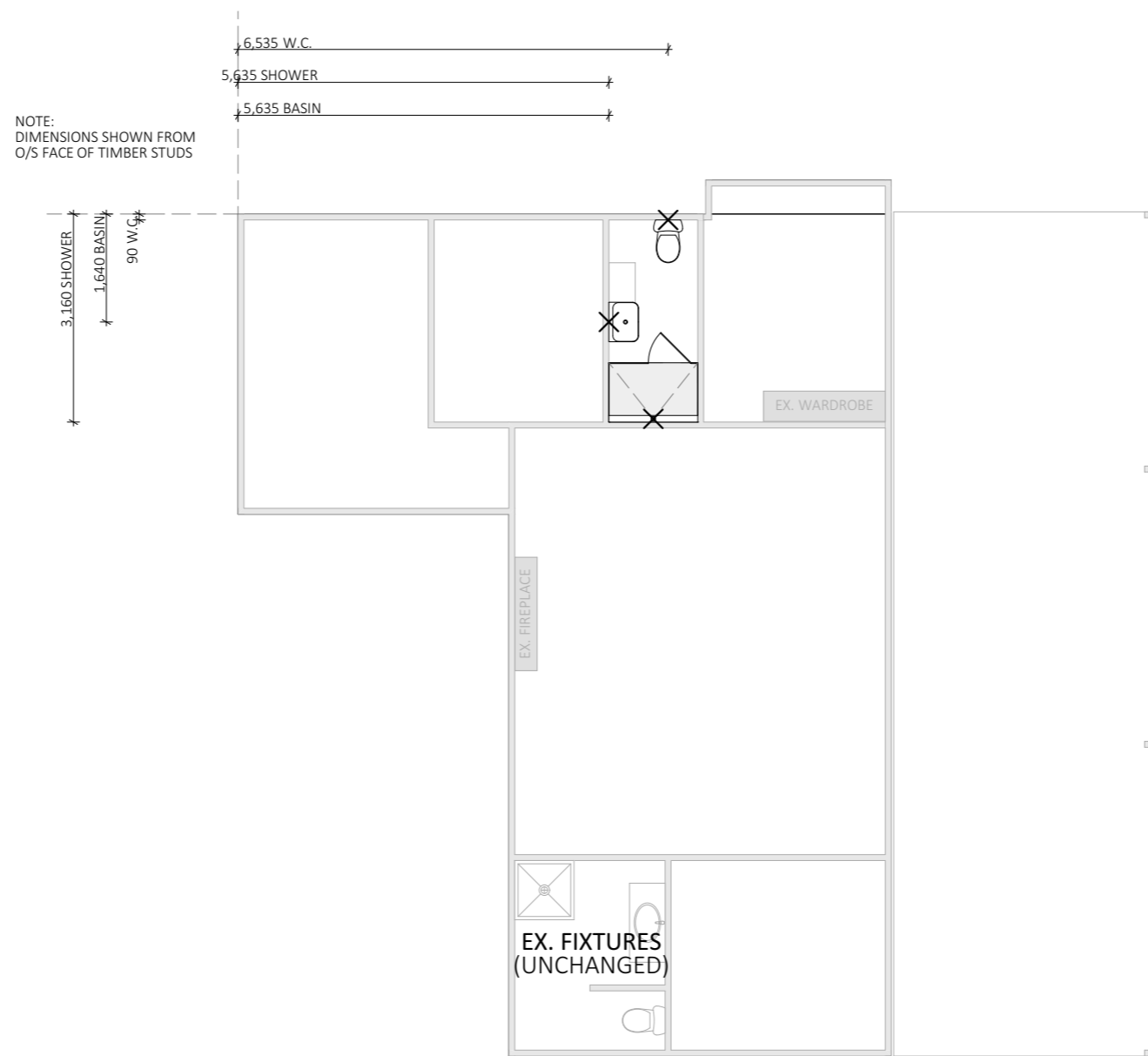
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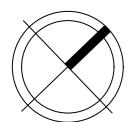
REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	FRSH37
R1	18/03/2026	FOR REVIEW	DRAWN	E.T.	DRAWING	A05
R2	30/03/2026	FOR REVIEW				5 OF 16
R3	13/05/2026	FOR D.A.	CHECKED	M.L.	PAGE SIZE	A3
R4	14/05/2026	FOR D.A.				



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DIMENSIONS TO BASINS AND TOILETS ARE CENTERED TO THE FIXTURE AND ALIGNED WITH THE WALL FRAME. BUILDER TO CONFIRM PRODUCT SPECIFICATION WITH CLIENT PRIOR TO CONSTRUCTION AND INSTALL PLUMBING PENETRATIONS IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.



**INTERIOR PLUMBING**

SCALE 1:100  
0 1000 2000 3000 4000 5000

North



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**CLIENT/S:**  
GINA & KIRK STUART

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37 FORESHORE ROAD,  
KELSO, 7270.

**DRAWING**  
**INTERIOR**  
**PLUMBING**

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



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R1	18/03/2026	FOR REVIEW	DRAWN	E.T.	DRAWING	A06
R2	30/03/2026	FOR REVIEW				6 OF 16
R3	13/05/2026	FOR D.A.	CHECKED	M.L.	PAGE SIZE	A3
R4	14/05/2026	FOR D.A.				

ELECTRICAL SYMBOLS		
LEGEND	TYPE	QUANTITY
	4 GLOBE HEAT, FAN, LIGHT	1
	DOUBLE GPO 1050 OFF FLOOR	1
	DOWNLIGHT (LED)	1
	HEATED TOWEL RAIL	1
	SMOKE DETECTOR	1

NCC 2022 SCHEDULE 9 - TAS PART 13.6 (WHOLE-OF-HOME ENERGY USAGES AS PER NCC 2019 VOL 2 PART 3.12.5.5 ARTIFICIAL LIGHTING)		
MAX ILLUMINATION POWER DENSITY ROOM ALLOWANCES		
ROOM	AREA (m2)	MAX IPD (W)
BED 2	7.87	39.37
ENS.	4.14	20.72

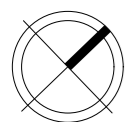
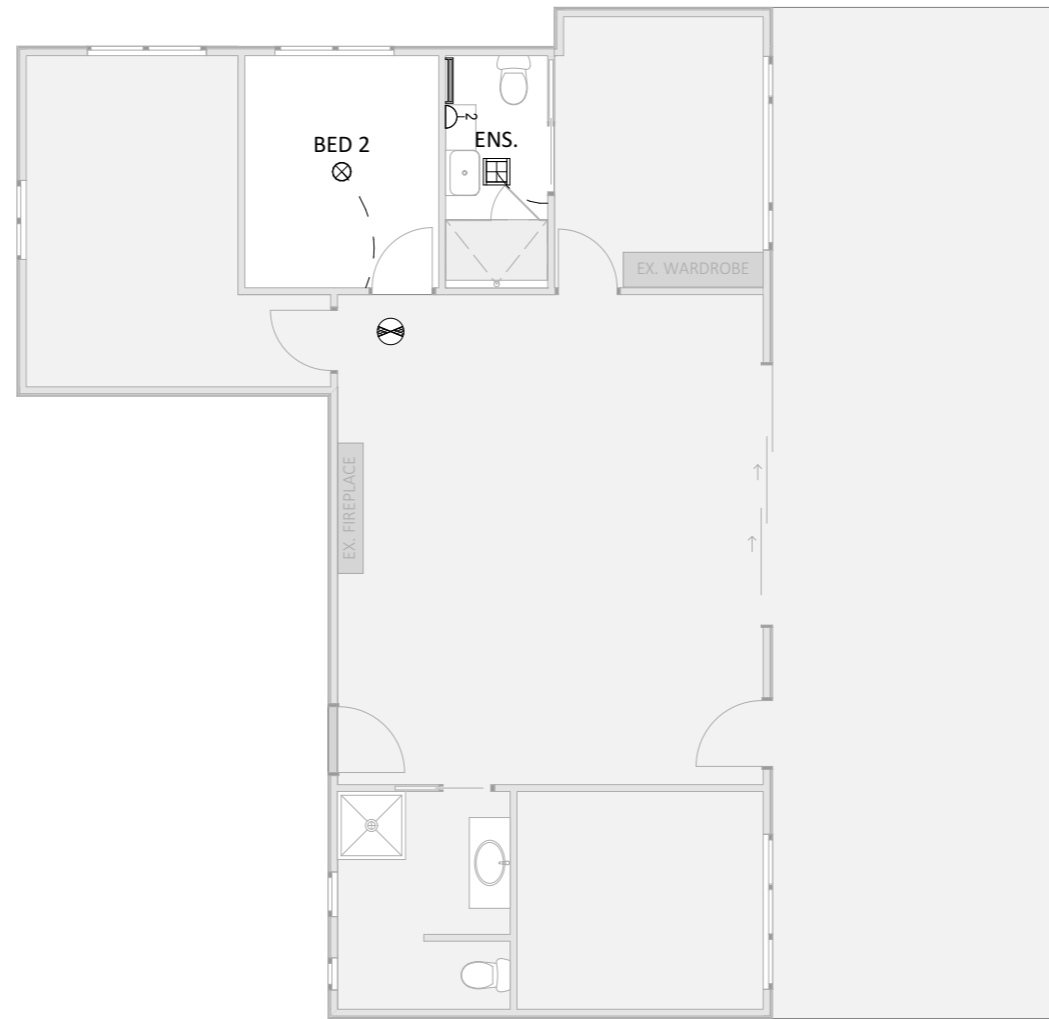
**GENERAL:**

- ALL EXHAUST FANS TO BE SELF CLOSING, MAX 250MM DIA
- ALL GAPS AND CRACKS SEALED
- DOWN LIGHTS- LED (SEALED)
- HEAT LAMPS NOT INCLUDED IN MAX IPD

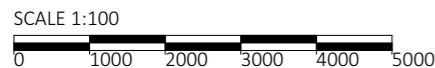
**NOTES:**

LOCATE EXISTING SMOKE DETECTOR & CONFIRM IF HARDWIRED. UPGRADE TO HARDWIRED SMOKE DETECTOR IF REQUIRED.

-SMOKE ALARMS MUST COMPLY WITH AS3786, BE POWERED FROM THE MAINS AND INTERCONNECTED IAW NCC VOL.2 ABCB HOUSING PROVISIONS PART 9.5.1




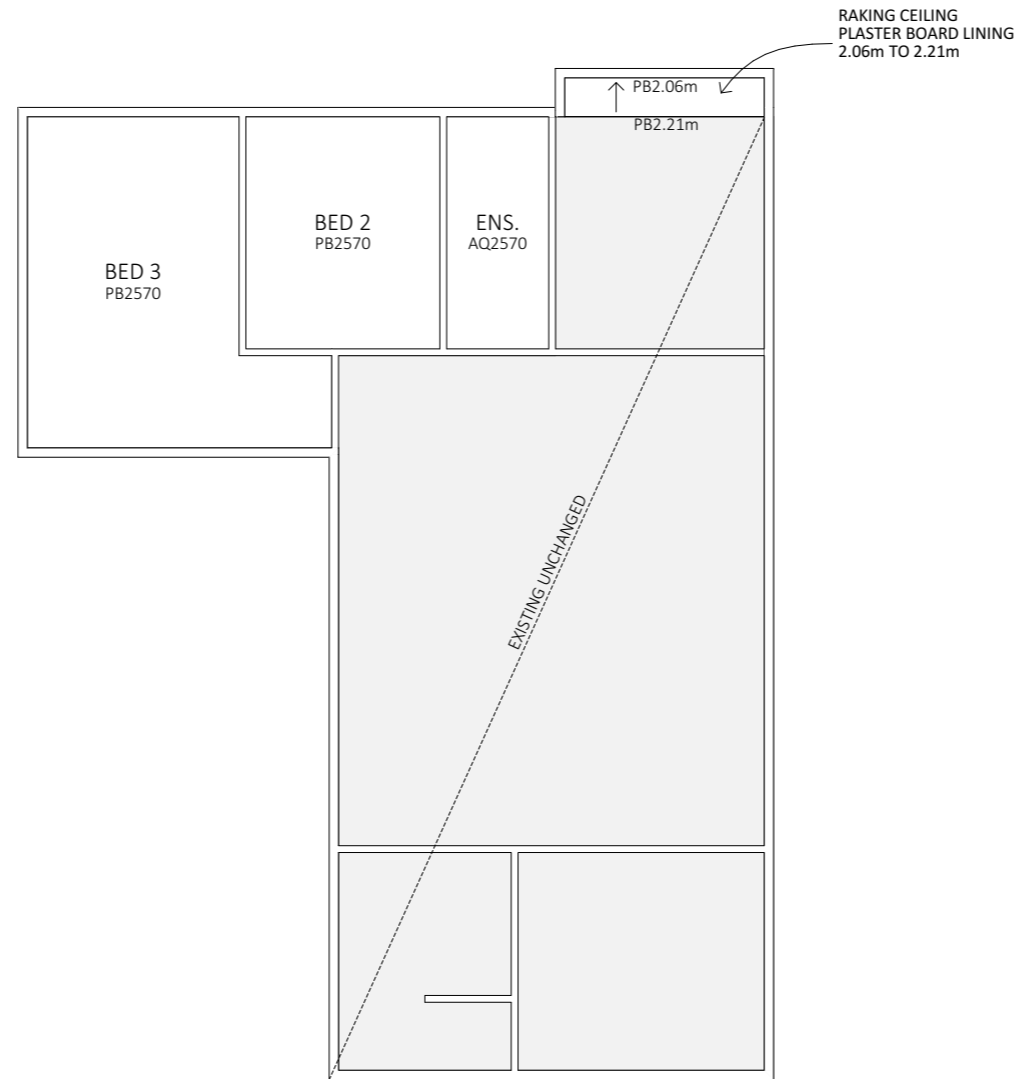
**ELECTRICAL PLAN**



North

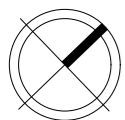
ELECTRICAL LAYOUT  
TO BE CONFIRMED  
ON SITE BY CLIENT  
WITH ELECTRICIAN

	ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	<b>CLIENT/S:</b> GINA & KIRK STUART	<b>DRAWING</b> ELECTRICAL PLAN	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.  <b>SIGNATURE:</b> _____ <b>DATE:</b> _____ <b>SIGNATURE:</b> _____ <b>DATE:</b> _____	<b>COPYRIGHT:</b> This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	<b>REV.</b>	<b>DATE</b>	<b>DESCRIPTION</b>	<b>DESIGNER</b>	M.L.	<b>JOB NUMBER</b>	FRSH37
							<b>DRAWN</b>	E.T.	<b>DRAWING</b>	A07		
							<b>CHECKED</b>	M.L.	<b>PAGE SIZE</b>	A3		
										7 OF 16		



**KEY:**

PB: 10mm PLASTERBOARD  
AQ: 10mm AQUACHEK



**REFLECTED CEILING PLAN**

SCALE 1:100  
0 1000 2000 3000 4000 5000

North



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PH. 6344 7319  
E. info@designtolive.com.au  
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**CLIENT/S:**  
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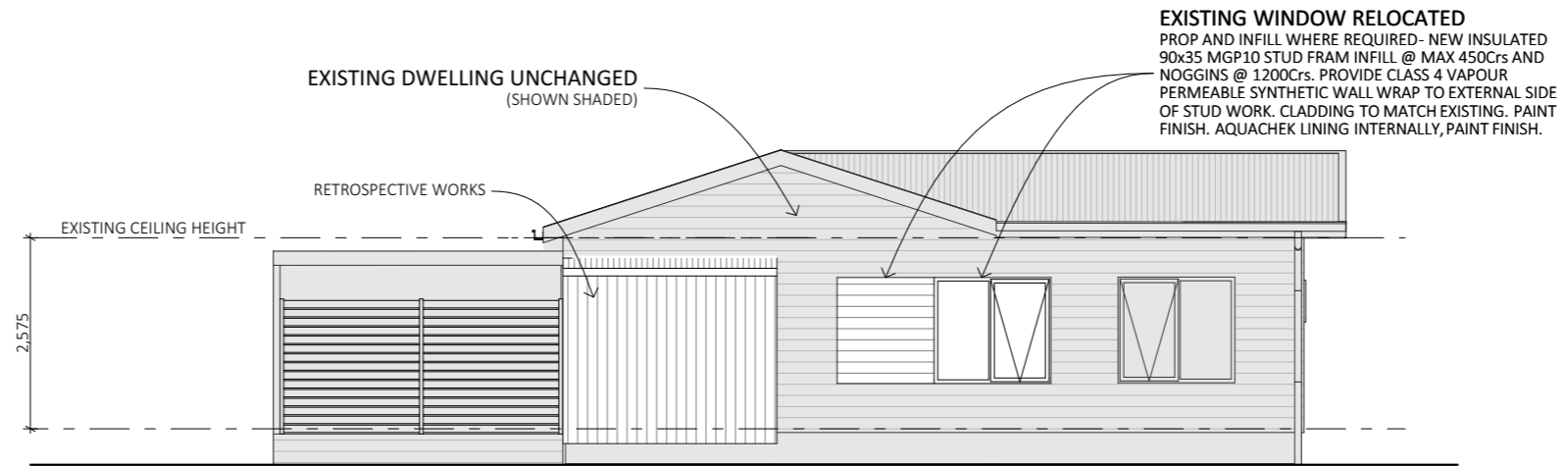
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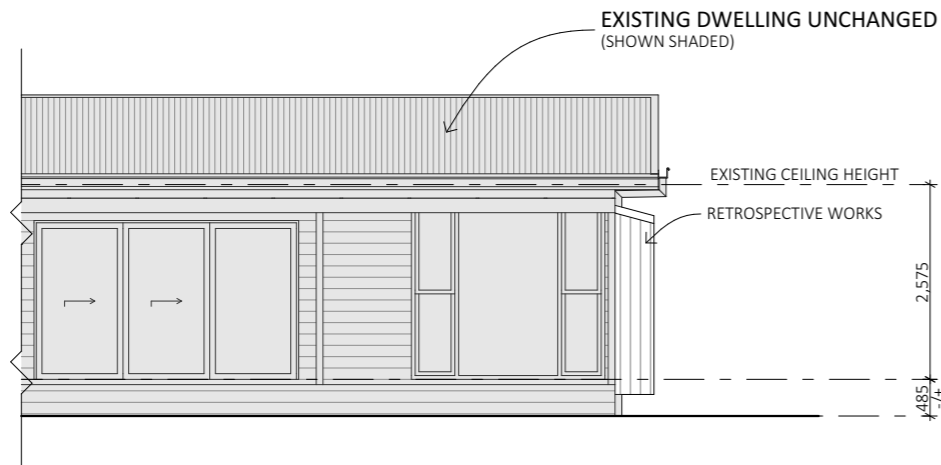
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R4	14/05/2026	FOR D.A.				



1  
A04

**NORTH WESTERN ELEVATION**

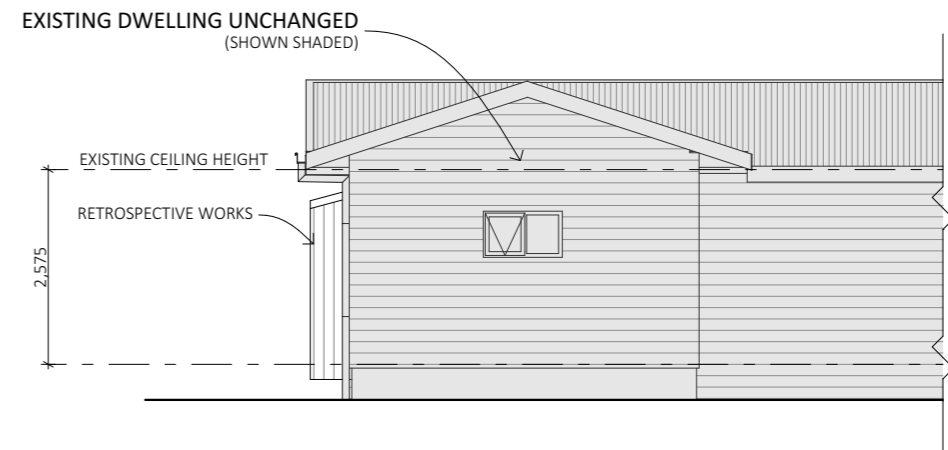
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2  
A04

**NORTH EASTERN ELEVATION**

SCALE 1:100  
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3  
A04

**SOUTH WESTERN ELEVATION**

SCALE 1:100  
0 1000 2000 3000 4000 5000



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ABN. 71 615 812 747  
PH. 6344 7319  
E. info@designtolive.com.au  
W. designtolive.com.au

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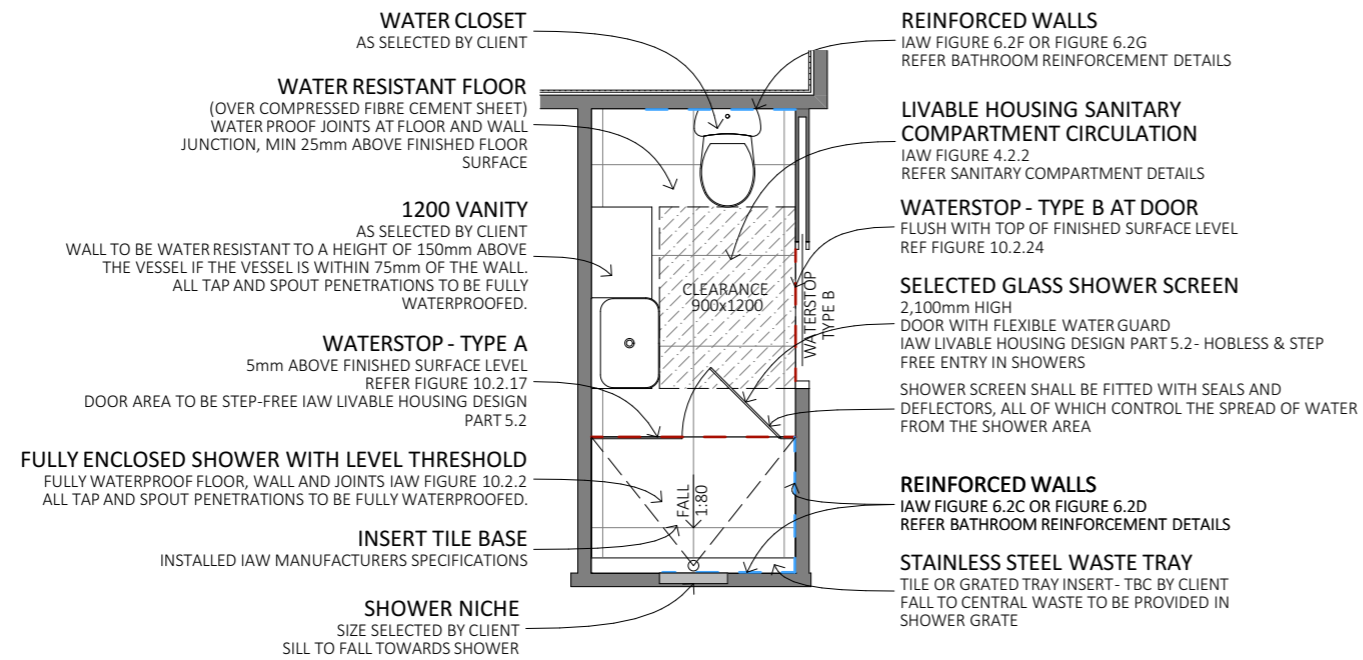
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## ENSUITE PART PLAN



### NCC VOL 2 PART 10.2 WET AREA WATERPROOFING

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH LEVEL THRESHOLD IAW PARTS 10.2.2 AND 10.2.17	AT THE EXTREMITY OF THE SHOWER AREA A WATERSTOP MUST BE INSTALLED & POSITIONED SO THAT ITS VERTICAL LEG FINISHES WHERE A SHOWER SCREEN IS TO BE INSTALLED, NOT LESS THAN 5mm ABOVE FINISHED FLOOR LEVEL- SEE FIGURE 10.2.17 AND 10.2.25.	WATERPROOF TO A HEIGHT OF NOT LESS THAT 1800mm ABOVE THE FINISHED FLOOR SUBSTRATE - SEE FIGURE 10.2.2. WHERE WALL SHEETING IS USED WITH AN EXTERNAL MEMBRANE SYSTEM IN A SHOWER AREA IT MUST BE WATERPROOF TO PREVENT WATER MOVEMENT BY CAPILLARY ACTION.	WHERE WATERSTOP INTERSECTS WITH WALL OR HAS A JOINT, THE JUNCTION MUST BE WATERPROOF.	ALL PENETRATIONS WITH THE SHOWER TO BE WATERPROOF - REFER TO NCC 2022 VOL 2 PART 10.2.23 PENETRATIONS.
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING IAW PART 10.2.3	WATER RESISTANT TO ENTIRE FLOOR	N/A	MUST BE WATERPROOF AND WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST NOT BE LESS THAN 40mm	N/A
WALLS ADJOINING OTHER VESSELS (E.G. SINKS, LAUNDRY TUBS AND BASINS IAW PART 10.2.5	N/A	WATER RESISTANT TO A HEIGHT OF NOT LESS THAT 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL -SEE FIGURE 10.2.5	WATERPROOF WALL JUNCTIONS WHERE A VESSEL IS FIXED TO WALL	ALL TAP & SPOUT PENETRATIONS TO BE WATERPROOF - REFER TO NCC 2022 VOL 2 PART 10.2.5 AND 10.2.23 PENETRATIONS.
LAUNDRIES AND WCS IAW PART 10.2.5	WATER RESISTANT TO ENTIRE FLOOR	N/A	WATER-RESISTANT ALL WALL/FLOOR JUNCTIONS, WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAT 40MM	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS IAW PART 10.2.3	WATER PROOF ENTIRE FLOOR	N/A	MUST BE WATERPROOF AND WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST NOT BE LESS THAN 40mm	N/A



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 PH. 6344 7319  
 E. info@designtolive.com.au  
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SHOWER AREAS (ENCLOSED & UNENCLOSED)

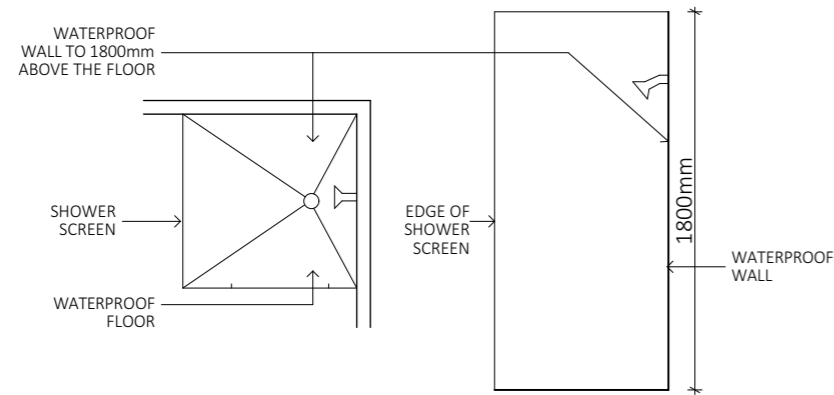


FIGURE 10.2.2- ENCLOSED SHOWER

ENCLOSED SHOWERS LEVEL THRESHOLD

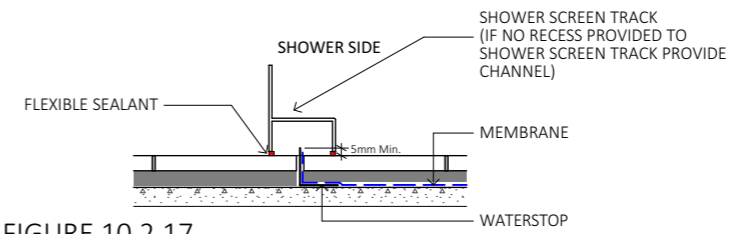


FIGURE 10.2.17  
WATERSTOP TYPE A

TYPICAL BATHROOM DOOR DETAILS FOR WHOLE BATHROOM WATERPROOFING

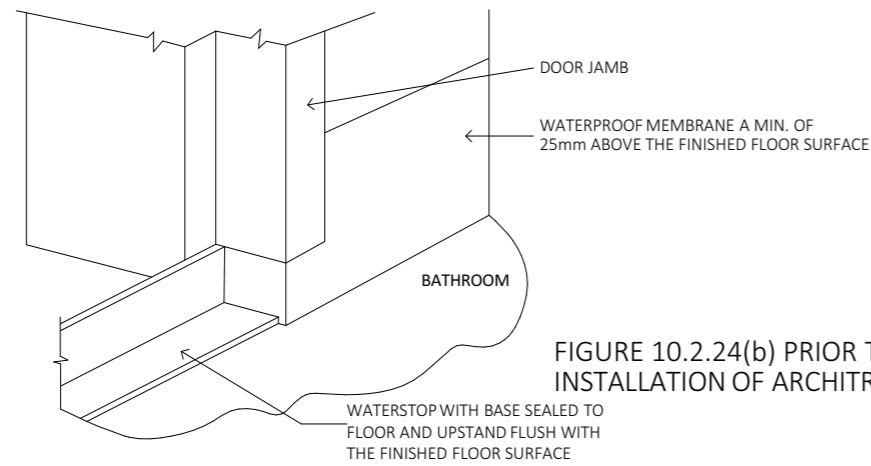


FIGURE 10.2.24(b) PRIOR TO INSTALLATION OF ARCHITRAVE

WATERSTOP TYPE B

TYPICAL BATHROOM DOOR DETAILS FOR WHOLE BATHROOM WATERPROOFING

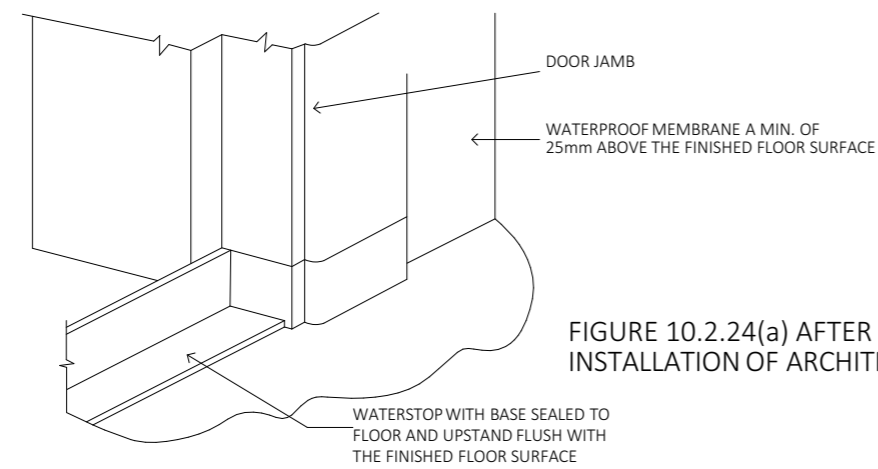
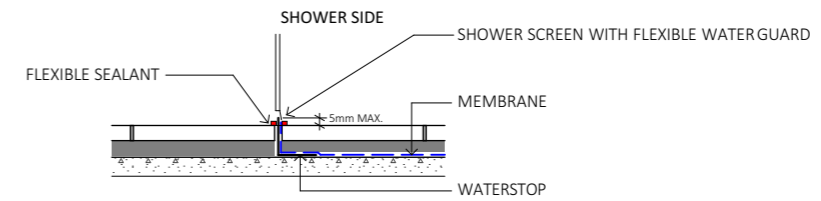


FIGURE 10.2.24(a) AFTER INSTALLATION OF ARCHITRAVE

WATERSTOP TYPE B



LIVABLE HOUSING DESIGN PART 5.2- HOBLESS & STEP FREE ENTRY IN SHOWERS  
NOTE: ONE SHOWER TO BE PROVIDED WITH STEP-FREE SHOWER ACCESS  
WATERSTOP TYPE A

BOND BREAKER INSTALLATION OF BONDED MEMBRANES

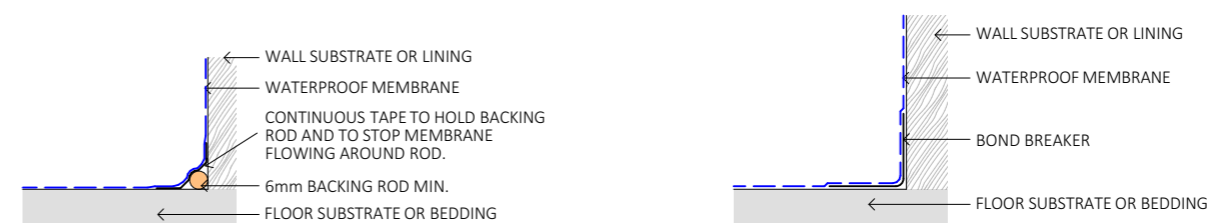
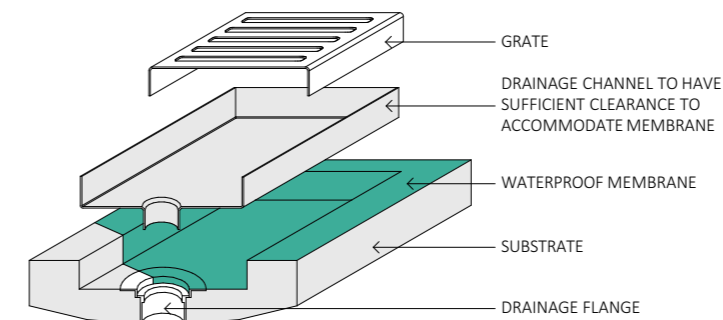


FIGURE 10.2.27- BOND BREAKER DETAILS

TYPICAL MEMBRANE DRAINAGE WITH CHANNEL & GRATE



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# SANITARY COMPARTMENT CIRCULATION

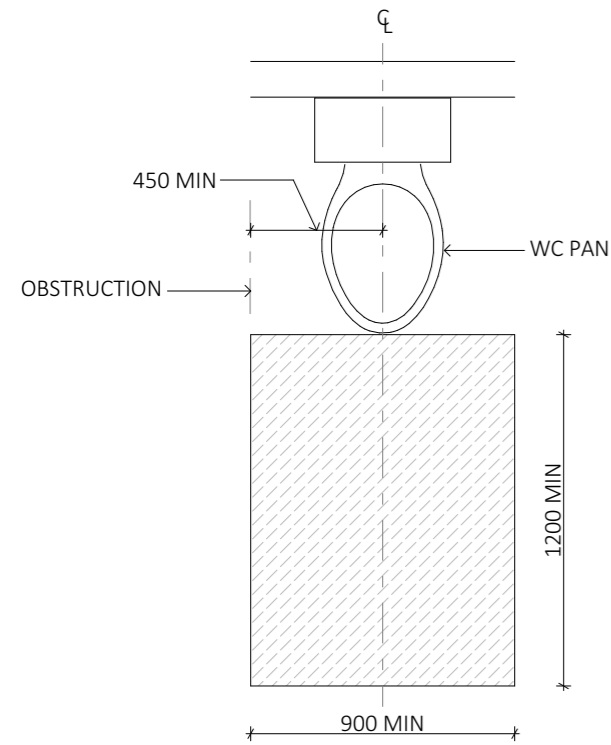


FIGURE 4.2 - CIRCULATION SPACE FOR A TOILET PAN

NOTES:  
 -SKIRTING BOARDS, ARCHITRAVES, TOILET ROLL HOLDERS, SKIRTING TILES, DOOR STOPS AND THE LIKE MAY BE DISREGARDED WHEN DETERMINING COMPLIANCE WITH CLAUSE 4.2.

# TYPICAL DETAILS FOR REINFORCING BATHROOMS & SANITARY COMPARTMENT WALLS

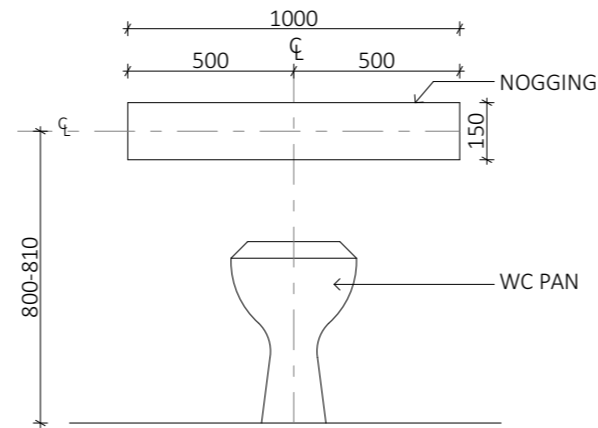


FIGURE 6.2F - LOCATION OF NOGGINGS FOR A WALL BEHIND A TOILET PAN

OPTION 1

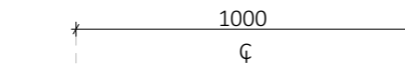


FIGURE 6.2G - LOCATION OF SHEETING FOR A WALL BEHIND A TOILET PAN

OPTION 2

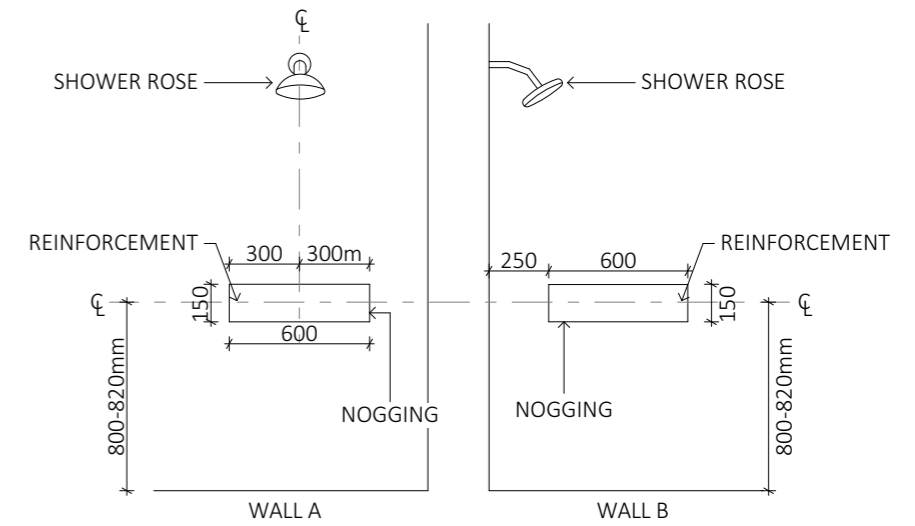


FIGURE 6.2C - LOCATION OF NOGGINGS FOR SHOWER WALLS

OPTION 1

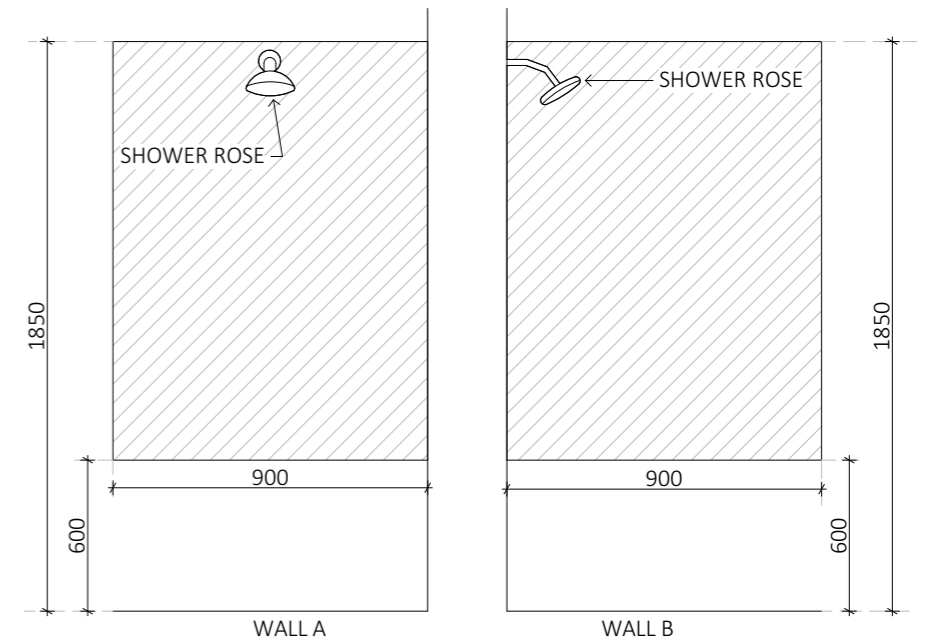


FIGURE 6.2D - LOCATION OF SHEETING FOR SHOWER WALLS

OPTION 2

### CONSTRUCTION NOTES:

- TIMBER NOGGINGS OPTION TO USE A MINIMUM 25mm THICKNESS.
- WALL SHEETING OPTION TO BE A MINIMUM 12mm THICK STRUCTURAL GRADE PLYWOOD, OR SIMILAR.
- TAPS, BATH NICHES, SOAP HOLDERS AND THE LIKE MAY BE LOCATED WITHIN THE POSITIONS DESIGNATED FOR WALL REINFORCING FOR SHOWERS AND BATHS.
- REINFORCING NEED ONLY BE PROVIDED ACROSS THE AVAILABLE WIDTH OF THE WALL WHERE THE WALL IS NARROWER THAN THE REQUIRED WIDTH.
- TERMINATES AT A WINDOW SILL LOWER THAN THE HEIGHT OR THE AREA REQUIRED TO BE PROVIDED WITH REINFORCING.



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 ABN. 71 615 812 747  
 PH. 6344 7319  
 E. info@designtolive.com.au  
 W. designtolive.com.au

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DRAWING  
 LIVABLE HOUSING  
 BATHROOM  
 DETAILS

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**GENERAL:**

DO NOT SCALE DRAWINGS

ALL DIMENSIONS IN MILLIMETRES, UNLESS OTHERWISE SPECIFIED.  
CHECK ALL DIMENSIONS AND VERIFY LEVELS, PRIOR TO SETOUT OR COMMENCEMENT OF ANY BUILDING WORK.  
ANY NOTED DISCREPANCIES ON ANY OF THESE DRAWINGS OR DOCUMENTS REFERRING TO THIS PROJECT SHOULD BE MADE AWARE TO THE DESIGNER BEFORE ANY FURTHER WORK CONTINUES.  
ALL CONSTRUCTION TO COMPLY WITH THE NCC 2022 VOL 2 AND AUSTRALIAN STANDARDS. STRUCTURAL DRAWINGS TAKE PRECEDENT OVER DRAWING NOTES.

CHECK THE CONSTRUCTION PLANS ARE THE MOST RECENT AMENDMENT.  
IF IN DOUBT CONFIRM WITH THE RELEVANT CONSULTANT.

**FRAMING:**

ALL TIMBER FRAMING TO COMPLY WITH AS 1684.2-2021, ANY STRUCTURAL DRAWINGS/SPECIFICATIONS, MATERIAL SUPPLIER'S SPECIFICATIONS AND LOCAL COUNCIL REQUIREMENTS.  
WALL BRACING AND TIE-DOWN OF TIMBER CONSTRUCTION TO COMPLY WITH AS 1684.2-2021 AND STRUCTURAL DRAWINGS & DETAILS.

SUBFLOOR VENTILATION TO BE IAW WITH NCC 2022 VOL 2 PART 6.2 TABLES 6.2.1a SUBFLOOR OPENINGS, 6.2.1b GROUND CLEARANCE.  
WHERE THE GROUND OR SUBFLOOR SPACE IS EXCESSIVELY DAMP OR SUBJECT TO FREQUENT FLOODING ADDITIONAL REQUIREMENTS ARE REQUIRED TO STRUCTURAL DESIGN REFER 6.2.1 PART 5  
ALL STRUCTURAL STEEL MEMBERS TO BE IAW WITH NCC 2022 VOL 2 PART 6.3, AS 4100 AND STRUCTURAL DRAWINGS.  
ALL EXPOSED STEEL CORROSION PROTECTION TO COMPLY WITH NCC 2022 VOL 2 PART 6.3.9 AND FIGURES 6.3.9a, 6.3.9b AND 6.3.9c BELOW.

**FIT OUT SCHEDULE:**

WALL & CEILING LININGS, REFER REFLECTED CEILING PLAN, SECTIONS & DETAILS  
WALL / CEILING JUNCTION TYPE - TBC BY CLEINT  
ARCHITRAVE TYPE / FINISH - TBC BY CLIENT  
WINDOW REVEALS TYPE / FINISH - TBC BY CLIENT  
HARD FLOOR COVERINGS - TBC BY CLEINT  
FLOOR COVERINGS IN WET AREAS TO COMPLY WITH NCC 2022 VOL 2 PART 10.2  
ALL INTERNAL DOORS TO BE REDICOTE HARD BOARD, HONEYCOMB CORE  
REFER AT THE WIDTH NOTED ON FLOOR PLAN.  
ALL ROBES DOOR TYPE / FINISH - TBC BY CLIENT  
ENTRY DOOR TYPE / FINISH - TBC BY CLIENT  
EXTERNAL DOORS TO BE TEMPERED HARDBOARD WITH SOLID CORE  
REFER AT THE WIDTH NOTED ON FLOOR PLAN OR SCHEDULE.  
GARAGE INTERNAL DOOR TO BE SOLID CORE  
GARAGE TO HAVE REMOTE CONTROL PANEL LIFT OR ROLLER DOOR, WIDTH AS PER SCHEDULE.

**GENERAL ENERGY EFFICIENCY:**

ALL EXHAUST FANS TO BE SELF-CLOSING. MAX 250MM DIA.  
ALL WINDOW FRAMES TO BE WEATHER STRIPPED.  
ALL GAPS AND CRACKS SEALED.  
ALL GLAZING TO REFER TO NATHERS CERTIFICATE FOR MINIMUM U & SHGC VALUES.  
PLEASE NOTE R VALUES NOTED REPRESENT ADDED INSULATION AND NOT TOTAL R VALUE.  
R3.0 (R2.5 UNDER NCC 2019) INSULATION ALLOWED TO CEILING PERIMETER DUE TO HEIGHT RESTRICTIONS (WHERE APPLICABLE)  
R2.5 INSULATION TO ALL SKYLIGHT SHAFTS (WHERE APPLICABLE)  
MIN. R1.0 RIGID INSULATION TO VERTICAL EDGE OF CONCRETE SLAB ON GROUND (REQUIRED WITH ANY SLAB HEATING SYSTEM)  
ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH AS.3999  
REFER TO PAGE 5 OF THE NATHERS CERTIFICATE N/A FOR ALL OTHER NCC ENERGY EFFICIENCY REQUIREMENTS

**ELECTRICAL:**

ALL WIRING, LIGHTING, ELECTRICAL OUTLETS, FIXTURES MUST BE INSTALLED BY A LICENSED PRACTITIONER AND IAW WITH AS 3000:2018.  
ALL LIGHTING AND ELECTRICAL FITTINGS FIXTURES AS PRESCRIBED BY THE OWNER AT THE TIME OF INSTALLATION.  
REFER ELECTRICAL PLAN - TBC ONSITE BEFORE ROUGH IS COMMENCED.

**HEALTH AND AMENITY**

WET AREA WATER PROOFING GENERALLY IAW NCC 2022 VOL 2 PART 10.2, REFER TO WATERPROOFING DETAILS.  
FACILITIES GENERALLY TO BE IAW NCC 2022 VOL 2. PART 10.4.1 AND FIGURE 10.4.2  
SANITARY COMPARTMENT TO HAVE A MINIMUM 1200mm BETWEEN THE CLOSEST PAN AND THE NEAREST PART OF THE DOOR WHEN CLOSED. IF NOT, LIFT OFF HINGES ARE TO BE FITTED TO SWING DOORS.  
VENTILATION TO BE IAW NCC 2022 VOL 2 PART 10.6 OR AS 1668.2 FOR MECHANICAL VENTILATION.  
AN EXHAUST FAN OR OTHER MEANS OF MECHANICAL VENTILATION MAY BE USED TO VENTILATE A SANITARY COMPARTMENT, LAUNDRY, KITCHEN OR BATHROOM, OR WHERE MECHANICAL VENTILATION IS PROVIDED IN ACCORDANCE WITH 10.6.3(b), PROVIDED CONTAMINATED AIR EXHAUSTS COMPLY WITH 10.8.2.

EXHAUST FANS GENERALLY IAW NCC 2022 VOL 2 PART 10.8.2

- (1) AN EXHAUST SYSTEM INSTALLED IN A KITCHEN, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST HAVE A MINIMUM FLOW RATE OF-
    - (a) 25 L/S FOR A BATHROOM OR SANITARY COMPARTMENT; AND
    - (b) 40 L/S FOR A KITCHEN OR LAUNDRY.
  - (2) EXHAUST FROM A KITCHEN, KITCHEN RANGE HOOD, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST DISCHARGE DIRECTLY OR VIA A SHAFT OR DUCT TO OUTDOOR AIR.
  - (3) WHERE A VENTING CLOTHES DRYER IS INSTALLED, IT MUST DISCHARGE DIRECTLY OR VIA A SHAFT OR DUCT TO OUTDOOR AIR.
  - (4) AN EXHAUST SYSTEM THAT IS NOT RUN CONTINUOUSLY AND IS SERVING A BATHROOM OR SANITARY COMPARTMENT THAT IS NOT VENTILATED IN ACCORDANCE WITH 10.6.2(a) MUST-
    - (a) BE INTERLOCKED WITH THE ROOM'S LIGHT SWITCH; AND
    - (b) INCLUDE A RUN-ON TIMER SO THAT THE EXHAUST SYSTEM CONTINUES TO OPERATE FOR 10 MINUTES AFTER THE LIGHT SWITCH IS TURNED OFF.
- VENTILATION OF ROOF SPACES GENERALLY IAW NCC 2022 VOL 2 10.8.3



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ABN. 71 615 812 747  
PH. 6344 7319  
E. info@designtolive.com.au  
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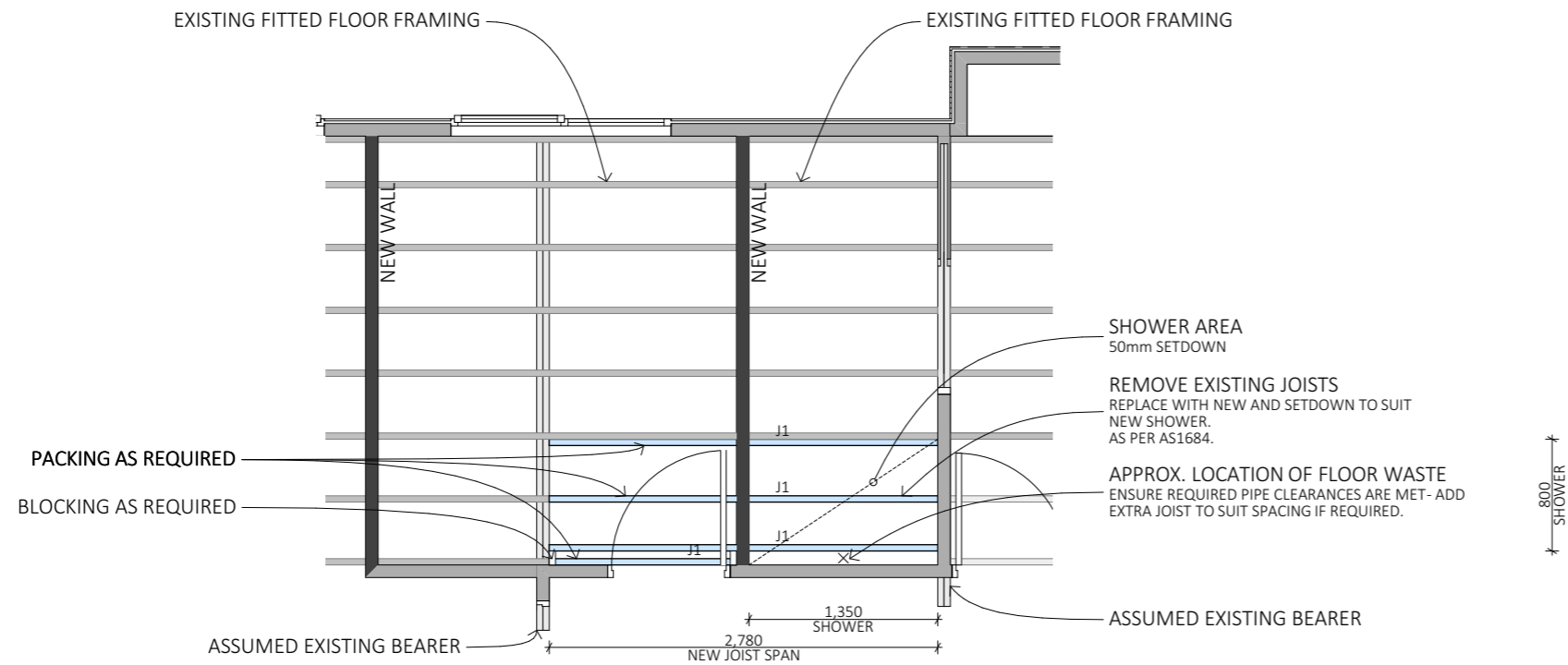
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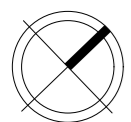
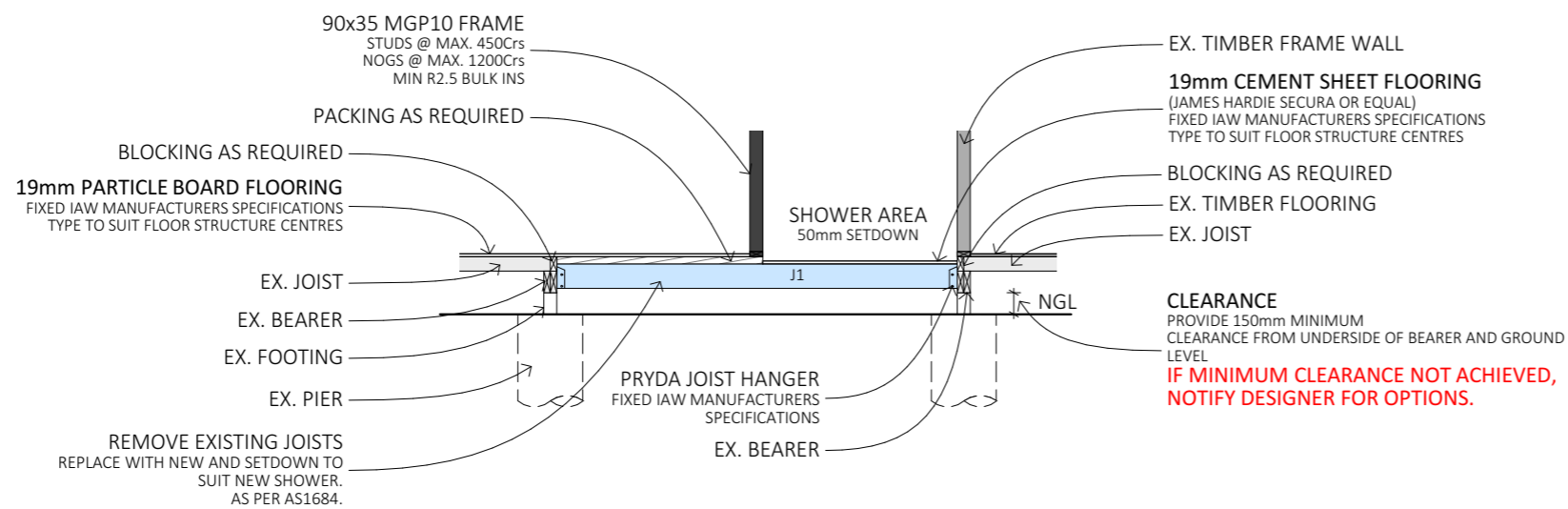
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MEMBER SCHEDULE		
MARK	DESCRIPTION	NOTES
J1	150x45 LVL13	TIMBER FLOOR JOIST, SPAN 2900 MAX @ 450CRS

FLOOR FRAMING PLAN ALL FLOOR FRAMING SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT AFTER DEMOLITION OF EXISTING FLOOR SUBSTRATE. LICENSED BUILDER TO CONFIRM FRAMING COMPLIANCE ONSITE



FLOOR FRAMING PLAN

SCALE 1:50  
0 500 1000 1500 2000 2500

North



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PH. 6344 7319  
E. info@designtolive.com.au  
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R4	14/05/2026	FOR D.A.				




MEMBER SCHEDULE		
MARK	DESCRIPTION	NOTES
RB1	2/240x45 LVL14	TIMBER ROOF BEAM, SPAN 3150 MAX
L1	140x45 LVL14	TIMBER LINTEL, SPAN 1650 MAX
**	TRIPLE STUDS	

LINTEL HAS BEEN DESIGNED FOR POINTLOAD OF NEW ROOF BEAM. OTHER POINT LOADS NEED TO BE REFERRED TO THE DESIGNER FOR CHECKING.

WALL FRAMING TO AS 1684	
JOINT	MINIMUM FIXING FOR EACH JOINT
BOTTOM PLATES TO TIMBER FLOOR FRAME	ONE 75mm No.14 TYPE17 SCREW WITH BROAD HEAD WASHER AT MAX.1200 CENTRES. *NOTE: ADDITIONAL M10 BOLT WITH BROAD HEAD WASHER THROUGH PLATE AT EACH END OF EACH BRACING UNIT
TOP AND BOTTOM PLATES TO STUDS	2/75 x 3.05mm DIA. NAILS AT EACH JOINT PLUS 30 x 0.8mm GI STRAP AT MAX.1200 CENTRES WITH 6/2.8mm DIA. NAILS TO EACH END OF STRAP. STRAPS 100mm LONG MIN. TO NAIL AREA TO PREVENT SPLITTING
NOGGINGS TO STUDS	2/75 x 3.05mm NAIL SKEWED OR THROUGH NAILED
MULTIPLE STUDS	1/75 x 3.05mm NAIL AT 600mm CENTRES MAX.
LINTEL TO JAMB STUD	2/75 x 3.05mm DIA. NAILS AT EACH JOINT
LINTEL, TOP & BOTTOM PLATES TO STUD	2/75 x 3.05mm DIA. NAILS AT EACH JOINT PLUS 30 x 0.8mm GI STRAP WITH 6/2.8mm DIA. NAILS TO EACH END OF STRAP EITHER SIDE OF OPENING. *NOTE: BOTTOM PLATE REQUIRES ADDITIONAL M10 BOLT/MASONRY ANCHOR TO FLOOR FRAME/SLAB WITHIN 100mm OF OPENING.
LINTEL & TOP PLATE OVER OPENING	2/75 x 3.05mm DIA. NAILS AT EACH JACK STUD JOINT PLUS 30 x 0.8mm GI STRAP AT MAX.1200 CENTRES WITH 8/2.8mm DIA. NAILS TO EACH END OF STRAP. *NOTE: STRAP TO BE WITHIN 100mm OF EACH RAFTER/TRUSS.

ROOF FRAMING TO AS 1684	
JOINT	MINIMUM FIXING FOR EACH JOINT
RB1 ROOF BEAM TO L1 LINTEL	30 x 0.8 GI STRAP LOOPED UNDER LINTEL WITH 5/2.8mm NAILS

NOTE: ANY BRACING REMOVED FROM THE EXISTING STRUCTURE TO BE REINSTATED WITH THAT OF THE SAME BRACING CAPACITY.

 **LINTEL & LOAD BEARING PLAN**  
SCALE 1:100  
0 1000 2000 3000 4000 5000



ACC # 371799313  
ABN. 71 615 812 747  
PH. 6344 7319  
E. info@designtolive.com.au  
W. designtolive.com.au

**CLIENT/S:**  
GINA & KIRK STUART

**SITE ADDRESS:**  
37 FORESHORE ROAD,  
KELSO, 7270.

**DRAWING**  
LINTEL & LOAD  
BEARING PLAN

I/WE APPROVE THESE DRAWING TO BE  
CORRECT PER CONTRACT.

**SIGNATURE:**                      **DATE:**

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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	FRSH37
R1	18/03/2026	FOR REVIEW	<b>DRAWN</b>	E.T.	<b>DRAWING</b>	A15 15 of 16
R2	30/03/2026	FOR REVIEW				
R3	13/05/2026	FOR D.A.	<b>CHECKED</b>	M.L.	<b>PAGE SIZE</b>	<b>A3</b>
R4	14/05/2026	FOR D.A.				

**STRUCTURAL TIMBER:**

DESIGN HAS BEEN PREPARED WITH THE GENERAL GUIDELINES WITH AS 1684 AND AS 1720.

ALL TIMBER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 1684 AND AS 1720 AND ARCHITECTURAL DRAWINGS. WHERE TIMBER SIZES AND CONNECTIONS ARE NOT SHOWN, DETAILS PROVIDED IN THE TIMBER FRAMING CODES SHALL APPLY.

TIMBER SHOWN ON STRUCTURAL DRAWINGS SHALL BE AS NOTED.

ALL STRUCTURAL MEMBERS THAT REQUIRE NOTCHING OVER SUPPORTS CAN BE DONE SO AS PER AS 1684 REQUIREMENTS. SPANS FOR NOTCHED MEMBERS MUST BE REDUCED TO SINGLE SPAN ONLY, IRRESPECTIVE OF LENGTH. FOR LVL OR MANUFACTURED TIMBER PRODUCTS, REFER TO MANUFACTURERS SPECIFICATIONS.

IF PACKING IS REQUIRED TO LEVEL MEMBERS, ENSURE PACKING IS CORROSION RESISTANT, INCOMPRESSIBLE MATERIAL OVER THE FULL AREA OF THE SUPPORT.

PROVIDE DOUBLE BLOCKING BETWEEN ADJACENT STRUCTURAL MEMBERS TO SUPPORT POINT LOADS ABOVE.

STUDS SUPPORT CONCENTRATED LOADS, AND JAMB STUDS AND MULLIONS SHALL BE DETERMINED FROM AS 1684 - 6.3.2.2 AND 6.3.2.3 RESPECTIVELY.

BOLTS AND COACH SCREWS SHALL COMPLY WITH AS 1112, TIGHTENED TO A SNUG TIGHT FIT UNLESS SHOWN OTHERWISE.

EVERY BOLT AND COACH SCREW TIGHTENED AGAINST A TIMBER SURFACE SHALL BE PROVIDED WITH A WASHER AT EACH END. WASHER Ø TO BE MIN. 4xBOLTØ THICKNESS TO BE A MIN. 1/4xBOLTØ. END AND SIDE DISTANCES IN ACCORDANCE WITH A.S.1720, FOR BOLTS AS FOLLOWS:  
END - 8xD TENSIONED, 5xD LATERALLY LOADED  
SIDE - 2xD TENSIONED, 4xD LATERALLY LOADED  
5xD BOLT GAUGE (BETWEEN BOLTS)

**BRACING AND TIEDOWN:**

DESIGN HAS BEEN PREPARED WITH THE GENERAL GUIDELINES WITH AS 1684.

BRACING AND TIEDOWN BY BUILDER IN ACCORDANCE WITH AS 1684.2 TIMBER FRAMING AND ATTACHMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS IN SECTIONS 1 TO 7 OF AS 1684.2, DETAILS SHOWN ON THE STRUCTURAL DRAWINGS AND MATERIAL SUPPLIERS DETAILS.

BRACING OF THE TIMBER FRAME AND ATTACHMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS PROVIDED IN SECTION 8 OF AS 1684.2, DETAILS SHOWN IN THE ENGINEERING DRAWINGS AND MATERIAL SUPPLIERS DETAILS.

TIEDOWN OF THE TIMBER FRAME AND ATTACHMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS PROVIDED IN SECTION 9 OF AS 1684.2, DETAILS SHOWN IN THE MATERIAL SUPPLIERS DETAILS.



ACC # 371799313  
ABN. 71 615 812 747  
PH. 6344 7319  
E. info@designtolive.com.au  
W. designtolive.com.au

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37 FORESHORE ROAD,  
KELSO, 7270.

**DRAWING  
STRUCTURAL  
NOTES**

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