

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
 ONLY

Application Number PA2026099
 Assess No: A9741
 PID No: 6107263

Applicant Name:	Apogee TAS Pty Ltd					
Applicant Contact Name						
Postal Address:						
Contact Phone:	Home		Work		Mobile	
Email Address:						

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements
2. A completed application form including a detailed description of the proposal
3. A complete plan set:
 - a) Floor plans
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level)
 - c) Site Plan showing:
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.
 All plans must be to scale.*

Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name:	Apogee TAS Pty Ltd
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Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name: <i>(as per certificate of title)</i>	Andrina Hadley
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Location / Address:	3 Cook St East Ipswich Qld 4305
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Title Reference:	89080/3
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Zone(s):	Rural Living A
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Existing Development/Use:	Vacant property
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Existing Developed Area:	12222m2
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Are any of the components in this Application seeking retrospective approval? E.g. Use and/or development that has commenced without a Planning Permit.	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(If yes please specify the relevant components):	

DEVELOPMENT APPLICATION DETAILS

Proposed Use:	Residential: <input checked="" type="checkbox"/>	Visitor Accommodation: <input type="checkbox"/>	Commercial: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of Use: Proposed dwelling and shed			

Development Type:	Building work: <input type="checkbox"/>	Demolition: <input type="checkbox"/>	Subdivision: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of development:			

New or Additional Area:	120 (shed)+ 215 (Dwelling & Decks)
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Estimated construction cost of the proposed development:	350k
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Building Materials:	Wall Type: Steel & Timber	Colour: Monument
	Roof Type: Colorbond	Colour: Monument

Application Number: «Application Number»

VISITOR ACCOMMODATION N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION N/A

- Subdivision creating additional lots
 Boundary adjustment with no additional lots created

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: <i>(Existing)</i>	
Number of Employees: <i>(Proposed)</i>	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

SEARCH OF TORRENS TITLE

VOLUME 89080	FOLIO 3
EDITION 3	DATE OF ISSUE 19-Dec-2021

SEARCH DATE : 09-Apr-2026

SEARCH TIME : 11.49 am

DESCRIPTION OF LAND

Parish of STOCKPORT, Land District of DEVON
 Lot 3 on Diagram 89080 (formerly being 19-21DEV)
 Derivation : Part of 87A-3R-14Ps. Gtd. to E. Baker
 Prior CT 2953/90

SCHEDULE 1

M826853 & M924519 TRANSFER to ANDRINA PEGGIE HADLEY
 Registered 19-Dec-2021 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 BENEFITING EASEMENT a right of carriageway over the roadways
 shown on Plan No. 733 and therein coloured brown and
 also together with the right to drain surface water
 from the surface and through agricultural pipes if
 found necessary for the convenient use and enjoyment
 of the land comprised herein through and over the
 lands comprised in Certificate of Title Volume 219
 Folio 61 and for the purposes aforesaid to enter into
 such lands provided that the said James Thomas
 Squires shall make good any damage occasioned thereby
 to such lands

BURDENING EASEMENT the right in favour of the owners for the
 time being of the lands comprised in the said
 Certificate of Title volume 219 Folio 61 if found
 necessary for the convenient use and enjoyment
 thereof to drain surface waters from the surface and
 also through agricultural pipes over and across the
 land comprised herein

39433 BOUNDARY FENCES CONDITION in Transfer
 E287582 MORTGAGE to Commonwealth Bank of Australia
 Registered 19-Dec-2021 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



A | Level 2, 93 York St
Launceston | Tas 7250
P | PO Box 7668 | Launceston | Tas 7250
E | info@apogeedesign.com.au

TRANSMITTAL

Date: 15-May-26

Project Name	Proposed Dwelling
Project Number	2407

Please advise if documents are not received as per this advice

Proposed Dwelling

10 Kelso Jetty Rd Kelso Tas 7270

Client: Andrina Hadley

RevID	ChID	Change Name
03	04	Issue in response to RFI



APOGEE Pty Ltd

A | Level 2, 93 York St
 Launceston | Tas 7250
 P | PO Box 7668
 Launceston | Tas 7250
 E | info@apogeedesign.com.au
 ABN | 40 624 215 041

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General Notes:

All building works to comply with National Construction Code - Building Code of Australia, Australian Standards, Building Acts & Regulations and Council bylaws. Refer to architectural drawings for notes.
 All drawings shall be read in conjunction with the engineering drawings and specifications.
 Use figured dimensions in preference to scaled dimensions.
 The Building Contractor shall be responsible for the correct set-out of all works.
 Building Contractor to site check dimensions and locations of all items on site prior to and during the works.
 Locations of structure, fittings, and services on this drawing are indicative only and a land surveyor is to be engage for all set-out prior to construction.
 Building Contractor to check drawings for co-ordination between structure, fabric, fixtures and fittings.
 The designer is to be notified of any discrepancies with the drawings.

Project details

Council	West Tamar Council
Zone	11.0 Rural Living Zone A
Planning Overlay	7.0 Natural Assets 10.0 Coastal Erosion 11.0 Coastal Inundation 13.0 Bushfire
PID	6107263
Title Filo	89080
Title Volume	3
Building Classification	-
Climate Zone	-
Design Wind Speed	TBA
Soil Class	TBA
BAL Rating	TBA
Energy Rating	min 6.0
Corrosive Environment	TBA
Alpine	-
Other	-

Site classification to AS 4055-2012.
 Reference report author.

Site classification to AS 2870-2011.
 Reference report author.

Site classification to AS 3959-2009.
 Reference report author.

Reference report author.

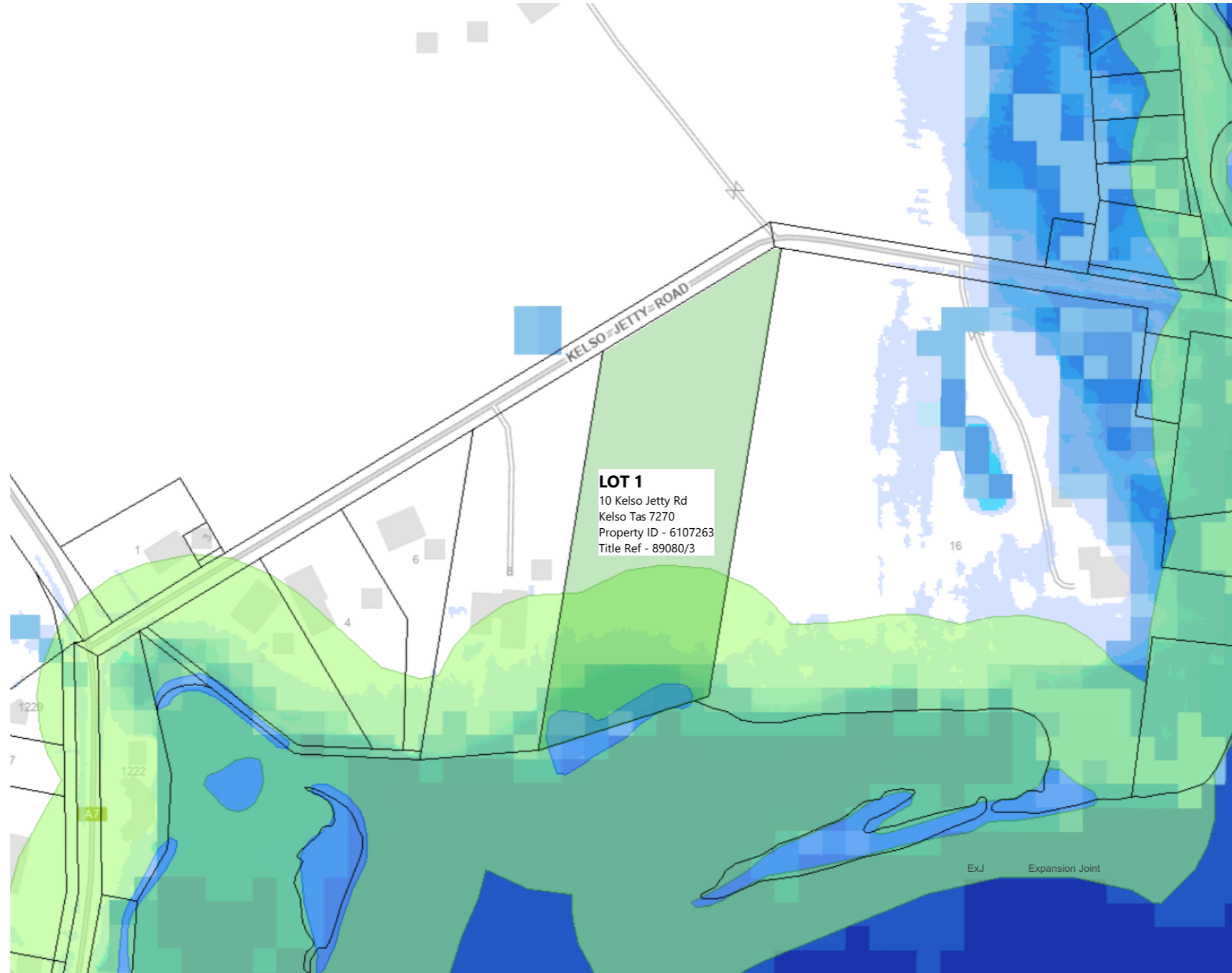
Steel subject to the influence of salt water, breaking surf or heavy industrial areas, refer to NCC section 3.4.2.2 & NCC Table 3.4.4.2 <300m AHD (NCC Figure 3.7.5.2)

Area Schedule

Name	Area m ²	Area sq
Site Area	12,222m ²	1315.5sq
Building Area	60.0m ²	6.46sq
Building Deck Area	68.0m ²	7.32sq
Storage Area	15.0m ²	1.61sq

Architectural

A01	NCC Notes
A02	Location Plan
A03	Ex. Site Plan
A04	Site Plan
A05	Ground Floor Plan
A06	First floor Plan
A07	Roof Plan
A08	Elevation



1
-
Plan: Location
1:2000

These drawings do not constitute all of the instruction required to complete the project and must be read in conjunction with the consultants drawings, specifications and written instructions, which may at any time supplement, amend or supersede these drawings. It is the responsibility of the contractor to coordinate drawings and ensure that the subcontractors are provided with relevant documents. These drawings do not in any way relieve the contractor from the responsibility for correctness of dimensions, quantities, calculations, construction, fabrication techniques, coordination of work of other trades or advice. These drawings are issued on the understanding that all dimensions are verified on site, figured dimensions and variation requirements are determined in accordance with advice from the relevant consultant. Tenderers are instructed to ensure that a complete set of tender documents is made available to all subcontractors and suppliers during the tender process. Claims for variations during the contract period submitted on the basis that such subcontractors and suppliers were unaware of certain works will be rejected.

DD	01	DD Issue	18-Nov-24
DA	02	DD Issue	09-Apr-26
DA-N	03	DA Issue	15-May-26

Stage	Rev	Description	Date
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Project Name

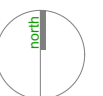
Proposed Dwelling

Project No.	10 Kelso Jetty Rd Kelso, Tas 7270
Project Address	2407
Client	Andrina Hadley
Property ID	6107263
Title Reference	89080/3
Designer	S Chappell
License No.	CC6417
Drawn	SC
e-file	C:\Users\Apogee (TAS)_03\Apogee (TAS) Pty Ltd Dropbox\Apogee team folder\01_projects\2407_10 Kelso Jetty Rd\00_Arch\CAD\2407_10 Kelso Jetty Rd_2603.pln

Location Plan

Status	DD
Print date	Friday, 15 May, 2026
Original size	A3
Drawing N ^o /Stage/Revision	

A01-DA-N03





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Legend Notes
This drawing should be strictly read in conjunction with civil & hydraulic engineer's drawings .

- ±0.000 Existing levels
- ±0.000 New levels. RL Reduced Level

Boundary & Building Location
The Boundary is Approx only.
A Land Surveyor is to be engaged prior to construction to accurately locate Site boundary and Fencing.

- Site Plan Legend**
- Coastal Inundation Hazard Band - Low
 - Coastal Inundation Hazard Band - Medium
 - Coastal Inundation Hazard Band - High
 - Waterway and Coastal Protection Buffer Area
 - New buildings / shelter & covered ways, Top roofed areas

Stage	Rev	Description	Date
DD	01	DD Issue	18-Nov-24
DA	02	DD Issue	09-Apr-26
DA-N	03	DA Issue	15-May-26

Stage	Rev	Description	Date
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Project Name

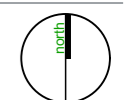
Proposed Dwelling

Project No. | 10 Kelso Jetty Rd
Kelso, Tas 7270
Project Address | 2407
Client | Andrina Hadley
Property ID | 6107263
Title Reference | 89080/3

Designer | S Chappell
License No. | CC6417
Drawn | SC
e-file | C:\Users\Apogee (TAS)\03\Apogee (TAS) Pty Ltd Dropbox\Apogee team folder\01_projects\2407_10 Kelso Jetty Rd\00_Arch\CAD\2407_10 Kelso Jetty Rd_2603.pln

Ex. Site Plan

Status | DD
Print date | Friday, 15 May, 2026
Original size | A3
Drawing N^o/Stage/Revision



A02-DA-N03





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 - Waterway and Coastal Protection Buffer Area
 - New buildings / shelters & covered ways Typ. roofed areas.

DD	01	DD Issue	18-Nov-24
DD	02	DD Issue	02-Sep-25
DA	03	DD Issue	09-Apr-26
DA-N	04	DA Issue	15-May-26

Stage	Rev	Description	Date
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Project Name

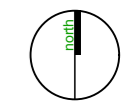
Proposed Dwelling

Project No.	10 Kelso Jetty Rd Kelso, Tas 7270
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License No.	CC6417
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e-file	C:\Users\Apogee (TAS)\03\Apogee (TAS) Pty Ltd Dropbox\Apogee team folder\01_projects\2407_10 Kelso Jetty Rd\00_Arch\CAD\2407_10 Kelso Jetty Rd_2603.pln

Site Plan

Status | DD
Print date | Friday, 15 May, 2026
Original size | A3
Drawing N^o/Stage/Revision

A03-DA-N04



General Notes

All works to comply with National Construction Codes (NCC), Australian Standards (AS), Building Acts 2016 & Regulations, and State and Local authority bylaws.

The Main Contractor & subcontractors must comply with the State Work Health & Safety Act regulations and all relevant codes of practice.

All work to comply with the practices set out in 'The Guide to Standards & Tolerances' https://www.cbos.tas.gov.au/data/assets/pdf_file/0013/405040/Guide_to_Standards_and_Tolerances_2017.pdf

Ensure drawings are stamped "Approved" by local authority. Building Contractor to verify and adhere to 'Conditions of Approval' issued at the time of council approval.

The Building Contractor shall be responsible for the correct set-out of all works. Building Contractor to site check all dimensions and locations of all items on site prior to and during the works.

Drawings to be read in conjunctions with engineer's drawings and specifications. Locations of structure, fittings, services on the drawings are indicative. Building Contractor to check drawings for co-ordination between structure, fabric, fixtures, fittings and services.

The Building Contractor shall secure and make safe the worksite in accordance with Work Safe Tasmania & WHS guidelines & regulations.

The Building Contractor shall carry out Dial Before You Dig referral for locations of all underground services prior to commencing any earthworks.

Building Contractor to ensure all works, new fittings, fixtures and equipment are installed to the current NCC, Australian Standards, Work Cover regulations and manufactures specifications.

All fittings, fixtures & equipment installed shall be purchased as new condition & quality & carry the relevant Australian Standard compliances.

Reference Documentations - NCC 22 Vol.2

The NCC is the primary set of technical design and construction provisions for buildings. As a performance-based code, it sets the minimum required level for the safety, health, amenity, accessibility and sustainability of buildings. The following notes are referenced from NCC Volume Two and contains the requirements for- Class 1 and 10a buildings (other than access requirements for people with a disability in Class 1b and 10a buildings); and certain Class 10b structures (other than access requirements for people with a disability in Class 10b swimming pools); and Class 10c private bushfire shelters. Components of NCC Volume Two contains the following Sections: Section A - Governing Requirements, and Section H Class 1 and 10 buildings.

Section A Governing Requirements

Refer to National Construction Codes (<https://ncc.abcb.gov.au>) as referenced below; Parts A1 to A7 and specifications 1 to 3.

Part A1 Interpreting the NCC - A1G1 Scope of NCC Volume One, A1G2 Scope of NCC Volume Two, A1G3 Scope of NCC Volume Three and A1G4 Interpretation.

Part A2 Compliance with the NCC - A2G1 Compliance, A2G2 Performance Solution, A2G3 Deemed-to-Satisfy Solution and A2G4 A combination of solutions

Part A3 Application of the NCC in States and Territories - A3G1 State and Territory compliance.

Part A4 Referenced documents - A4G1 Referenced documents, A4G2 Differences between, referenced documents and the NCC and A4G3 Adoption of referenced documents.

Part A5 Documentation of design and construction to comply with A5G1 Suitability, A5G2 Evidence of suitability – Volumes One, Two and Three, A5G3 Evidence of suitability – Volumes One and Two (BCA), A5G4 Evidence of suitability – Volume Three (PCA) A5G5 Fire-resistance of building elements, A5G6 Fire hazard properties, A5G7 Resistance to the incipient spread of fire, A5G8 Labelling of Aluminium Composite Panels and A5G9 NatHERS.

Part A6 Building classification - A6G1 Determining a building classification, A6G2 Class 1 buildings, A6G3 Class 2 buildings, A6G4 Class 3 buildings, A6G5 Class 4 buildings, A6G6 Class 5 buildings, A6G7 Class 6 buildings, A6G8 Class 7 buildings, A6G9 Class 8 buildings, A6G10 Class 9 buildings, A6G11 Class 10 buildings and structures and A6G12 Multiple classifications.

Part A7 United buildings - A7G1 United buildings and A7G2 Alterations in a united building.

Specifications - Specification 1 Fire-resistance of building elements, Specification 2 Descriptions of elements referred to in Specification 1 and Specification 3 Fire hazard properties.

Section H Class 1 and 10 buildings

To comply with National Construction Codes (<https://ncc.abcb.gov.au>) and the below outline, including: functional statements, performance requirements, deemed-to-satisfy provisions and specifications.

Part H1 Structural.

Functional Statement - H1F1 a building or structure is to withstand the combination of loads and other actions to which it may be reasonably subjected. Glazing is to be installed in a building to avoid undue risk of injury to people.

Performance Requirements to comply with H1P1 Structural reliability and resistance, and H1P2 Buildings in flood areas.

Deemed-to-Satisfy (DTS) Provisions to comply with H1D1 Deemed-to-Satisfy Provisions, H1D2 Structural provisions, H1D3 Site preparation, H1D4 Footings and slabs, H1D5 Masonry, H1D6 Framing, H1D7 Roof and wall cladding, H1D8 Glazing, H1D9 Earthquake areas, H1D10 Flood hazard areas, H1D11 Attachment of framed decks and balconies to external walls of buildings using a waling plate, and H1D12 Piled footings.

Part H2 Damp and weatherproofing

Functional Statement - **H2F1 Surface water** - a building including any associated sitework is to be constructed in a way that protects people and other property from the adverse effects of redirected surface water.
H2F2 Weatherproofing and dampness - A building is to be constructed to provide resistance to moisture from the outside and moisture rising from the ground.
H2F3 Drainage from swimming pools Adequate means for the disposal of swimming pool water and drainage is to be provided to a swimming pool.
Performance Requirements to comply with H2P1 Rainwater management, H2P2 Weatherproofing, H2P3 Rising damp, and H2P4 Drainage from swimming pools.

Deemed-to-Satisfy (DTS) Provisions to comply with H2D1Deemed-to-Satisfy Provisions, H2D2 Drainage, H2D3 Footings and slabs, H2D4 Masonry, H2D5 Subfloor ventilation, H2D6 Roof and wall cladding, H2D7 Glazing, and H2D8 External waterproofing.

Part H3 Fire safety

Functional Statement -

H3F1 Protection from the spread of fire - a Class 1 building is to be protected from the spread of fire.

H3F2 Fire detection and early warning - A Class 1 building is to be provided with safeguards so that occupants are warned of a fire in the building so that they may safely evacuate.

Performance Requirements to comply with H3P1 Spread of fire, and H3P2 Automatic warning for occupants.

Deemed-to-Satisfy (DTS) Provisions to comply with H3D1 Deemed-to-Satisfy Provisions, H3D2 Fire hazard properties and non-combustible building elements, H3D3 Fire separation of external walls, H3D4 Fire protection of separating walls and floors, H3D5 Fire separation of garage-top-dwellings, and H3D6 Smoke alarms and evacuation lighting.

Part H4 Health and amenity

Functional Statements

H4F1 Wet areas - a building is to be constructed to avoid the likelihood of-the creation of any healthy or dangerous conditions; or damage to building elements, caused by dampness or water overflow from bathrooms, laundries and the like.

H4F2 Room heights - A building is to be constructed to provide height in a room or space suitable for the intended use.

H4F3 Facilities - a building is to be provided with suitable- space and facilities for personal hygiene; and space or facilities for laundering; and space and facilities for the preparation and cooking of food; and space or other means to permit an unconscious occupant to be removed from a sanitary compartment; and means for the sanitary disposal of waste water.

H4F4 Light - a habitable room within a building is to be provided with openings to admit adequate natural light consistent with its function or use. A space within a building used by occupants is to be provided with artificial lighting consistent with its function or use which, when activated in the absence of suitable natural light, will enable safe movement.

H4F5 Ventilation - A space used by occupants within a building is to be provided with adequate ventilation consistent with its function or use.

H4F6 Sound insulation - A building element which separates dwellings is to be constructed to prevent undue sound transmission between those dwellings.

H4F7 Condensation and water vapour management - Building elements in areas subject to water vapour or condensation must be constructed to reduce risks to the health of building occupants.

Performance Requirements to comply with H4P1 Wet areas, H4P2 Room heights, H4P3 Personal hygiene and other facilities, H4P4 Lighting, H4P5 Ventilation, H4P6 Sound insulation, and H4P7 Condensation and water vapour management.

Deemed-to-Satisfy (DTS) Provisions to comply with H4D1 Deemed-to-Satisfy Provisions, H4D2 Wet areas, H4D3 Materials and installation of wet area components and systems, H4D4 Room heights, H4D5 Facilities, H4D6 Light, H4D7 Ventilation, H4D8 Sound insulation, and H4D9 Condensation management.

Part H5 Safe movement and access

Functional Statement - **H5F1 Safety from falling** - a building is to provide safe access for people to the services and facilities within.

Performance Requirements to comply with H5P1 Movement to and within a building, and H5P2 Fall prevention barriers.

Deemed-to-Satisfy (DTS) Provisions to comply with H5D1 Deemed-to-Satisfy Provisions, H5D2 Stairway and ramp construction, and H5D3 Barriers and handrails.

Part H6 Energy efficiency

In Tasmania, Part H6 is replaced with BCA 2019 Amendment 1 Part 2.6.

Performance Requirements to comply with BCA 2019 Amendment 1,

P2.6.1 Building - a building must have, to the degree necessary, a level of thermal performance to facilitate the efficient use of energy for artificial heating and cooling appropriate to- the function and use of the building; and the internal environment; and the geographic location of the building; and the effects of nearby permanent features such as topography, structures and buildings; and solar radiation being-(i) utilised for heating; and (ii) controlled to minimise energy for cooling; and the sealing of the building envelope against air leakage; and the utilisation of air movement to assist cooling. Refer to energy efficiency report, as provided.

P2.6.2 Services

Domestic services, including any associated distribution system and components must, to the degree necessary- have features that facilitate the efficient use of energy appropriate to-(i) the domestic service and its usage; and (ii) the geographic location of the building; and (iii) the location of the domestic service; and (iv) the energy source; and obtain heating energy from-(i) a source that has a greenhouse gas intensity that does not exceed 100 g CO2-e/MJ of thermal energy load; or (ii) an on-site renewable energy source; or (iii) another process such as reclaimed energy.

Part H7 Ancillary provisions and additional construction requirements

Functional Statement

H7F1 Swimming pool access - A swimming pool is to be provided with-means to restrict access to it by young children; and means to reduce the possibility of a person being entrapped or injured due to suction by a water recirculation system.

H7F2 Heating appliances - A heating appliance using controlled combustion located in a building is to be installed in a way which reduces the likelihood of-fire spreading beyond the appliance; and

smoke from the appliance entering the building.

H7F3 Alpine areas - A building in an alpine area is to be provided with additional measures in view of the increased difficulties in fighting fire and maintaining access and means of egress in snow conditions.

H7F4 Bushfire areas - A Class 1 building or a Class 10a building or deck associated with a Class 1 building constructed in a designated bushfire prone area is to provide resistance to bushfires in order to reduce the danger to life and reduce the risk of the loss of the building.

H7F5 Private bushfire shelters - A structure designed for emergency occupation during a bushfire event must provide shelter to occupants from direct and indirect actions of a bushfire.

H7 Performance Requirements to comply with H7P1 Swimming pool access, H7P2 Swimming pool reticulation systems, H7P3 Heating appliances, H7P4 Buildings in alpine areas, H7P5 Buildings in bushfire prone areas, and H7P6 Private bushfire shelters.

Deemed-to-Satisfy (DTS) Provisions to comply with H7D1 Deemed-to-Satisfy provisions, H7D2 Swimming pools, H7D3 Construction in alpine areas, H7D4 Construction in bushfire prone areas, and H7D5 Heating appliances, fireplaces, chimneys and flues.

Part H8 Livable housing design

Functional Statement - **H8F1 Livable housing design** - a dwelling should be designed such that it is- easy to enter; and easy to navigate in and around; and capable of easy and cost effective adaptation; and responsive to the changing needs of occupants.

Performance Requirements to comply with H8P1 Livable housing design.

Deemed-to-Satisfy (DTS) Provisions to comply with H8D1 Deemed-to-Satisfy Provisions, and H8D2 Livable housing design

Specification

Specification 42 House energy rating software, and Specification 44 Calculation of heating load limit, cooling load limit and thermal energy load limit.

Contact Numbers

Police, Fire and Ambulance 000 or Mobile 112
Aurora Hotline 1300 132 003
Fallen Power Line 132004
Dial Before You Dig 1100
Gas - TasGas 1800 2111
Gas - TasGas Pipeline 1800 195 666
Poisons Information Centre 13 11 26
State Emergency Services 13 25 00 or 6334 5333
Taswater 13 69 92 or 13 699 2837
Telstra Hotline 1321 25
Workcover 1300 776 572
Workplace standards 1300 366 322

Client/Rep -
Apogee Tas -
Building Surveyor -
Structural Engineer -
Council -

Builder -
Electrician -
Plasterer-
Carpet -
Painter-
Concreter-
Joiner -
Plumber -

The clauses listed above represents a section of the NCC as defined by Australian Building Codes Board. Apogee has listed those clauses that may be 'deemed to comply' with the drawings supplied. It is the responsibility of all contractors/builders to fully check all sections of the NCC and adopt accordingly. Apogee does not take responsibility for any omissions/clauses not listed.



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All drawings shall be read in conjunction with the engineering drawings and specifications.

Use figured dimensions in preference to scaled dimensions.

The Building Contractor shall be responsible for the correct set-out of all works.

Building Contractor to site check dimensions and locations of all items on site prior to and during the works.

Locations of structure, fittings, and services on this drawing are indicative only and a land surveyor is to be engage for all set-out prior to construction.

Building Contractor to check drawings for co-ordination between structure, fabric, fixtures and fittings.

The designer is to be notified of any discrepancies with the drawings.

DD	01	DD Issue	18-Nov-24
DA-N	02	DA Issue	15-May-26
Stage Rev	Description	Date	
Project Name			
Project No.		10 Kelso Jetty Rd	
		Kelso, Tas 7270	
Project Address		2407	
Client		Andrina Hadley	
Property ID		6107263	
Title Reference		89080/3	
Designer		S Chappell	
License No.		CC6417	
Drawn		SC	
e-file		C:\Users\Apogee (TAS)_03\Apogee (TAS) Pty Ltd Dropbox\Apogee team folder\01_projects\2407_10 Kelso Jetty Rd\00_Arch\CAD\2407_10 Kelso Jetty Rd_2603.pln	

Project Name	
Proposed Dwelling	
Project No.	10 Kelso Jetty Rd
	Kelso, Tas 7270
Project Address	2407
Client	Andrina Hadley
Property ID	6107263
Title Reference	89080/3
Designer	S Chappell
License No.	CC6417
Drawn	SC
e-file	C:\Users\Apogee (TAS)_03\Apogee (TAS) Pty Ltd Dropbox\Apogee team folder\01_projects\2407_10 Kelso Jetty Rd\00_Arch\CAD\2407_10 Kelso Jetty Rd_2603.pln
NCC Notes	

Status | DD
Print date | Friday, 15 May, 2026
Original size | A3
Drawing N^o/Stage/Revision

-DA-N02



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Floor Plan Legend

The descriptions below shall be read in conjunction with the internal elevations and finishes schedules.

- ±0.000 Existing levels
- ±0.000 New levels. RL Reduced Level

G.01 Zone: Building Level.Room number & Room Name

Room Name

- (B) Grid Line
- DG.01 Door tag: Door Building Level.Door Number. Refer to door schedule for details.
- W1.01 Window tag: Window Building Level.Window number.Refer to door schedule for details.
- WT.01 Wall Type Tag. Refer to details.
- DP Downpipe

DD	01	DD Issue	18-Nov-24
DA	02	DD Issue	09-Apr-26
DA-N	03	DA Issue	15-May-26

Stage	Rev	Description	Date
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Project Name

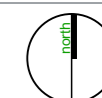
Proposed Dwelling

Project No. | 10 Kelso Jetty Rd
Kelso, Tas 7270
Project Address | 2407
Client | Andrina Hadley
Property ID | 6107263
Title Reference | 89080/3

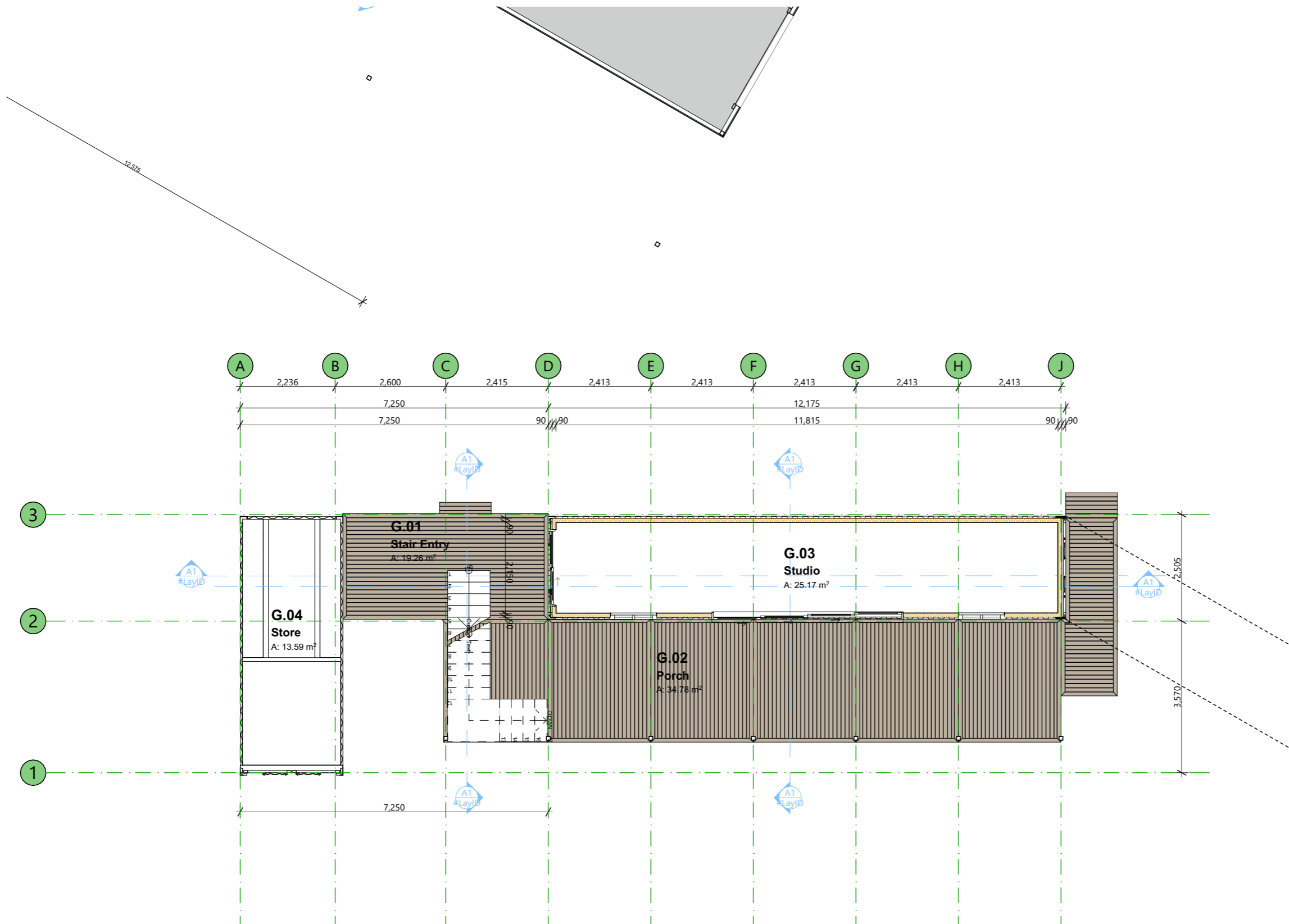
Designer | S Chappell
License No. | CC6417
Drawn | SC
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Ground Floor Plan

Status | DD
Print date | Friday, 15 May, 2026
Original size | A3
Drawing N^o/Stage/Revision



A04-DA-N03



1
-
Plan: Ground Floor



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 The designer is to be notified of any discrepancies with the drawings.

DA	01	DD Issue	09-Apr-26
DA-N	02	DA Issue	15-May-26

Stage	Rev	Description	Date
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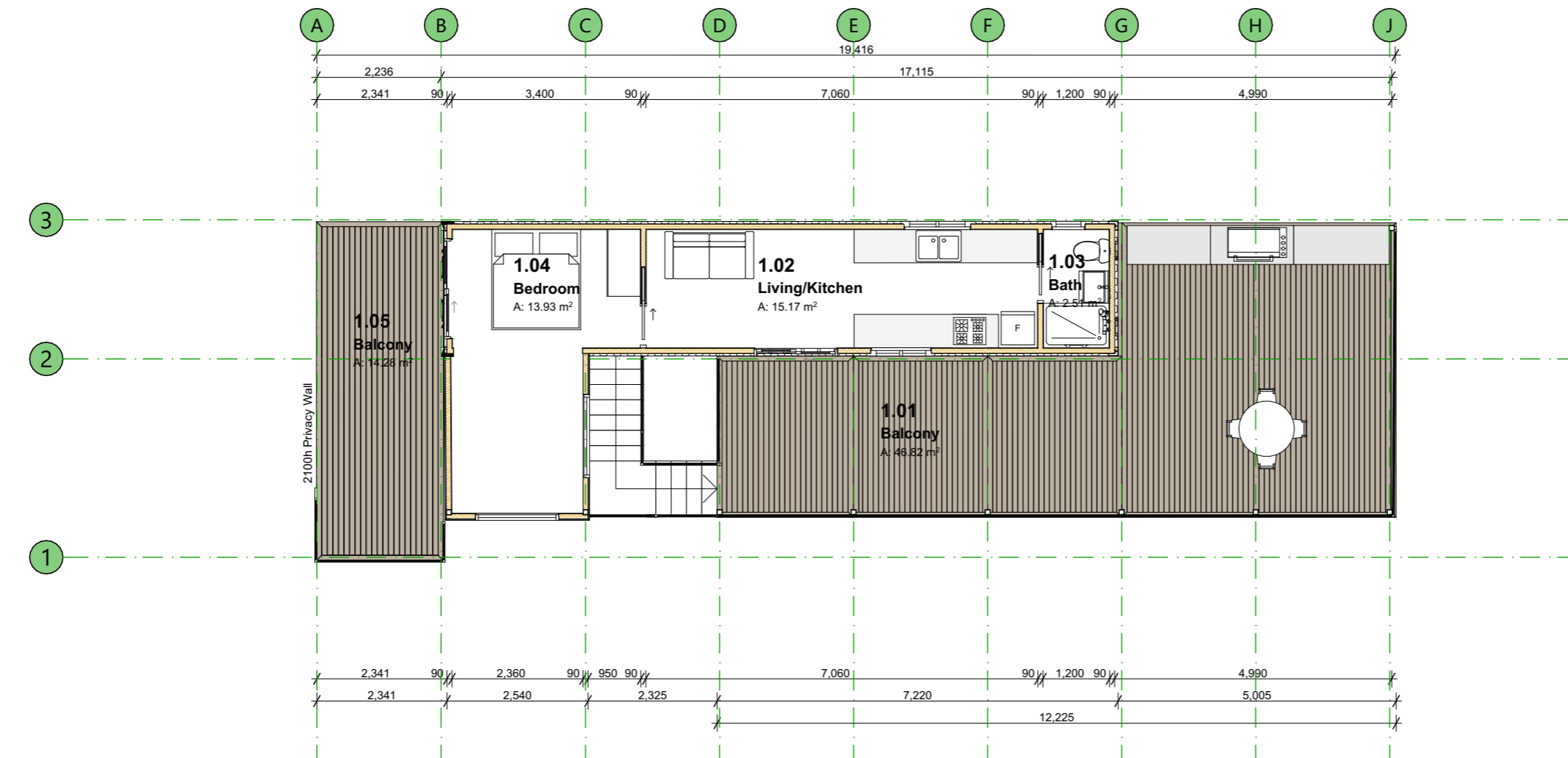
Project Name
Proposed Dwelling

Project No.	10 Kelso Jetty Rd Kelso, Tas 7270
Project Address	2407
Client	Andrina Hadley
Property ID	6107263
Title Reference	89080/3
Designer	S Chappell
License No.	CC6417
Drawn	SC
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First floor Plan

Status | DD
 Print date | Friday, 15 May, 2026
 Original size | A3
 Drawing N^o/Stage/Revision

A05-DA-N02



1 Plan: First Floor
 -



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Roof Legend

Roof.01 Colorbond custom orb, 5 degrees fall min, 0.48 BMT, Colorbond - Monument, Flashing to match. Provide single sheet lengths. Install to manufactures specification.

DA	01	DD Issue	09-Apr-26
DA-N	02	DA Issue	15-May-26

Stage	Rev	Description	Date
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Project Name

Proposed Dwelling

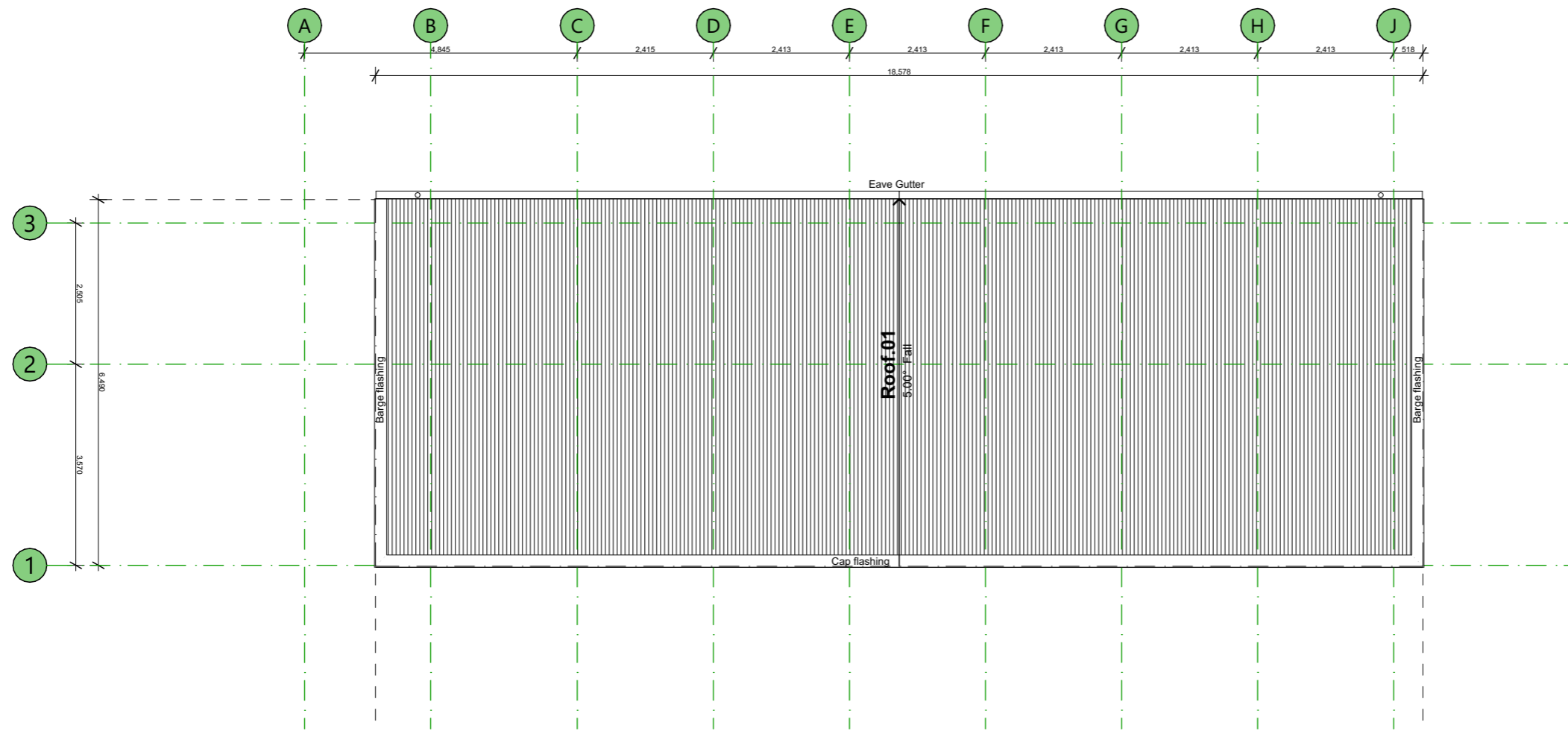
Project No. | 10 Kelso Jetty Rd
Kelso, Tas 7270
Project Address | 2407
Client | Andrina Hadley
Property ID | 6107263
Title Reference | 89080/3

Designer | S Chappell
License No. | CC6417
Drawn | SC
e-file | C:\Users\Apogee (TAS)\03\Apogee (TAS) Pty Ltd Dropbox\Apogee team folder\01_projects\2407_10 Kelso Jetty Rd\00_Arch\CAD\2407_10 Kelso Jetty Rd_2603.pln

Roof Plan

Status | DD
Print date | Friday, 15 May, 2026
Original size | A3
Drawing N°/Stage/Revision

A06-DA-N02



1 Plan: Roof



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Elevation Legend

- A. Awning window
- CJ. Control joint
- CL. Ceiling level
- DP. Downpipe
- F. Fixed window
- FL. Floor level
- Pb. Plasterboard
- S. Sliding window
- SD. Sliding door

EC.01 External Cladding - Profiled Steel (Sea Container), painted finish to match Colorbond Monument, flashing to match.

Window/Door Frames to match wall colour

Roof.01 Colorbond custom orb, 5 degrees fall min, 0.48 BMT, Colorbond - Colour, Flashing to match. Provide single sheet lengths. Install to manufactures specification.



1
- Elevation: North
1:100

Stage	Rev	Description	Date
DD	01	DD Issue	18-Nov-24
DA	02	DD Issue	09-Apr-26
DA-N	03	DA Issue	15-May-26

Project Name

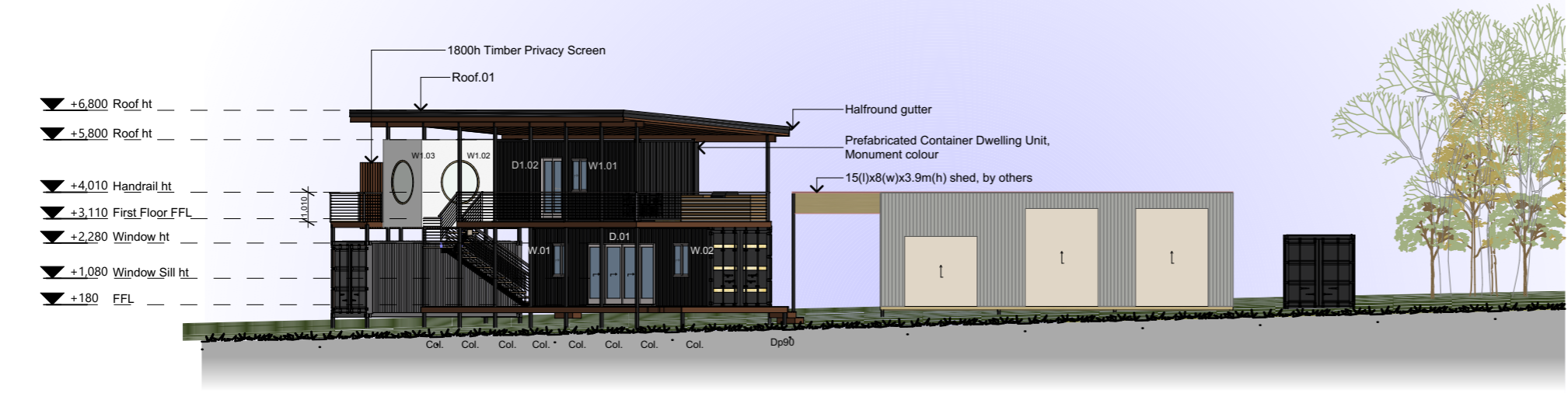
Proposed Dwelling

Project No.	10 Kelso Jetty Rd Kelso, Tas 7270
Project Address	2407
Client	Andrina Hadley
Property ID	6107263
Title Reference	89080/3
Designer	S Chappell
License No.	CC6417
Drawn	SC
e-file	C:\Users\Apogee (TAS)\03\Apogee (TAS) Pty Ltd Dropbox\Apogee team folder\01_projects\2407_10 Kelso Jetty Rd\00_Arch\CAD\2407_10 Kelso Jetty Rd_2603.pln

Elevation

Status | DD
Print date | Friday, 15 May, 2026
Original size | A3
Drawing N^o/Stage/Revision

A07-DA-N03



2
- Elevation: East
1:200

ID	Change
04	Issue in response to RFI



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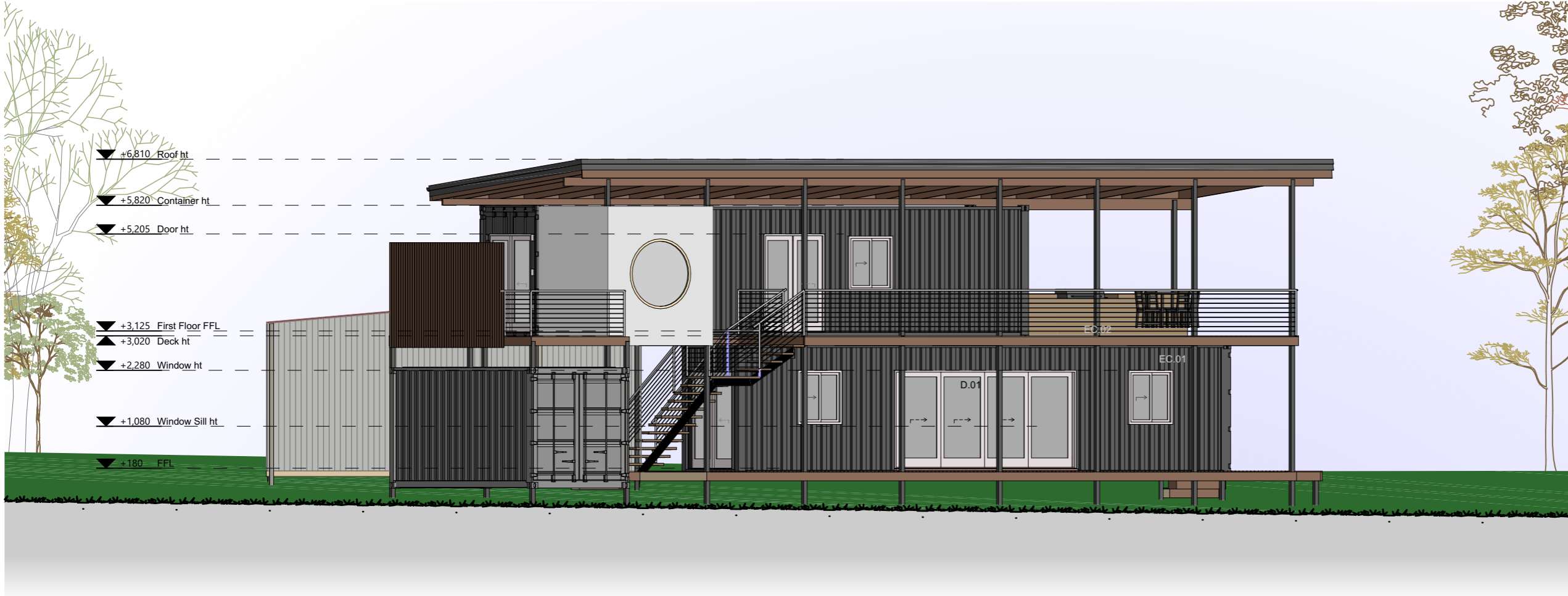
Elevation Legend

- A. Awning window
- CJ. Control joint
- CL. Ceiling level
- DP. Downpipe
- F. Fixed window
- FL. Floor level
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- SD. Sliding door

EC.01 External Cladding - Profiled Steel (Sea Container), painted finish to match Colorbond Monument, flashing to match.

Window/Door Frames to match wall colour

Roof.01 Colorbond custom orb, 5 degrees fall min, 0.48 BMT, Colorbond - Colour, Flashing to match. Provide single sheet lengths. Install to manufactures specification.



1
-

Elevation: South
1:100



2
-

Elevation: West
1:100

Stage	Rev	Description	Date
DD	01	DD Issue	18-Nov-24
DA	02	DD Issue	09-Apr-26
DA-N	03	DA Issue	15-May-26

Stage Rev Description Date

Project Name

Proposed Dwelling

Project No.	10 Kelso Jetty Rd Kelso, Tas 7270
Project Address	2407
Client	Andrina Hadley
Property ID	6107263
Title Reference	89080/3
Designer	S Chappell
License No.	CC6417
Drawn	SC
e-file	C:\Users\Apogee (TAS)\03\Apogee (TAS) Pty Ltd Dropbox\Apogee team folder\101_projects\2407_10 Kelso Jetty Rd\00_Archi\CAD\2407_10 Kelso Jetty Rd_2603.pln

Elevation

Status | DD
 Print date | Friday, 15 May, 2026
 Original size | A3
 Drawing N°/Stage/Revision

A08-DA-N03



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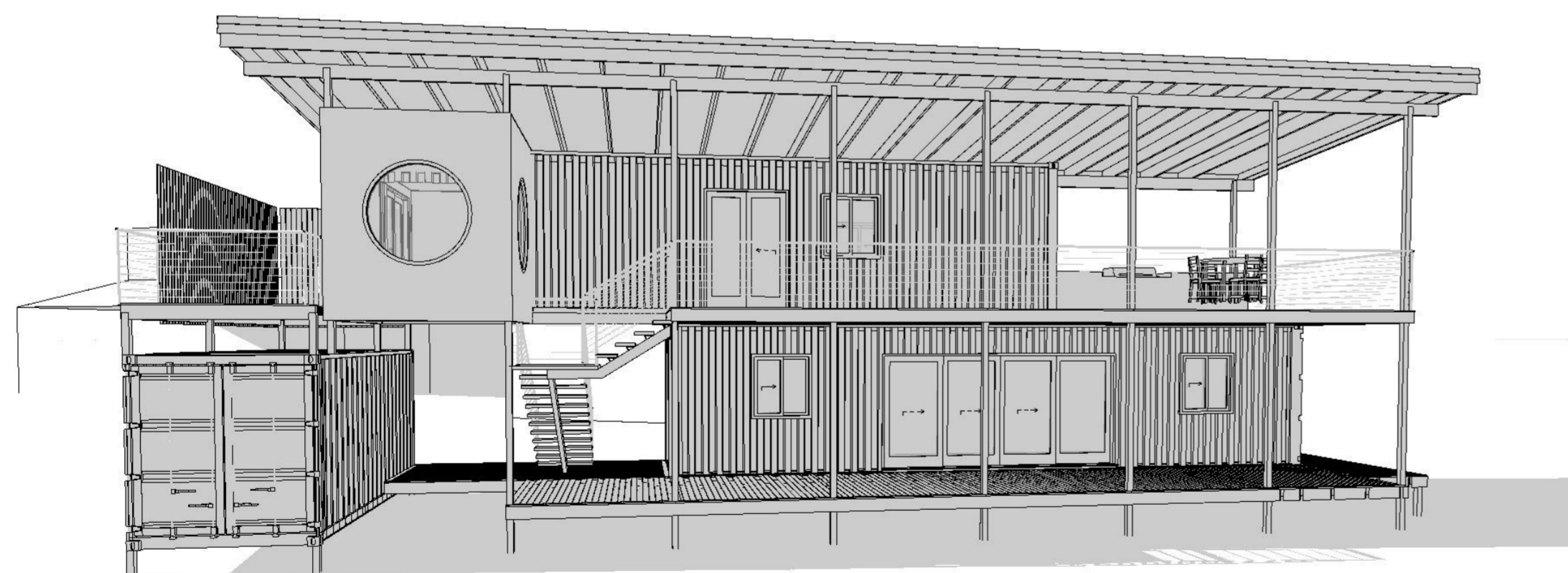
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1
-

Generic Perspective



2
-

Generic Perspective

DD	01	DD Issue	02-Sep-25
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Stage	Rev	Description	Date
DD	01	DD Issue	02-Sep-25

Project Name

Proposed Dwelling

Project No.	10 Kelso Jetty Rd
Project Address	Kelso, Tas 7270
Client	2407
Property ID	Andrina Hadley
Title Reference	6107263
	89080/3

Designer	S Chappell
License No.	CC6417
Drawn	SC
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Perspective

Status	DD
Print date	Friday, 15 May, 2026
Original size	A2
Drawing N°/Stage/Revision	

A09-DD01