

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE ONLY	Application Number	PA2026128
	Assess No:	A13357
	PID No:	9773752

Applicant Name:	Prime Design		
Applicant Contact Name			
Postal Address:			
Contact Phone:	Home	Work	Mobile
Email Address:			

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements
2. A completed application form including a detailed description of the proposal
3. A complete plan set:
 - a) Floor plans
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level)
 - c) Site Plan showing:
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.
 All plans must be to scale.*

Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name:

Prime Design

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title)

Toly & Lily Pauls

Location / Address:

65 Tamar Rise, Riverside

Title Reference:

181379/83

Zone(s):

General Residential

Existing Development/Use:

Vacant Land.

Existing Developed Area:

n/a.

Are any of the components in this Application seeking retrospective approval?
E.g. Use and/or development that has commenced without a Planning Permit.

YES

NO

(If yes please specify the relevant components):

DEVELOPMENT APPLICATION DETAILS

Proposed Use:

Residential:

Visitor Accommodation:

Commercial:

Other:

Description of Use:

Proposed single dwelling & proprietary shed.

Development Type:

Building work:

Demolition:

Subdivision:

Other:

Description of development:

Proposed Residential - single dwelling & proprietary shed.

New or Additional Area:

Dwelling: 454.96m² shed: 49m².

Estimated construction cost of the proposed development:

1,500,000

Building Materials:

Wall Type: brick veneer + 1/2 cladd.

Colour: tbc

Roof Type: colourbond custom
ovb.

Colour: tbc

Application Number: «Application Number»

VISITOR ACCOMMODATION

N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION

N/A

- Subdivision creating additional lots
- Boundary adjustment with no additional lots created

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: (Existing)	
Number of Employees: (Proposed)	

Type of Machinery installed:	
Details of trade waste and method of disposal:	


Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)	Signed	Date

Applicant: (if not the owner) As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

Amy Cox Name (print)	 Signed	08/05/26 Date
-------------------------	--	------------------

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.


Crown Consent (if required)			
	Name (print)	Signed	Date



Chief Executive Officer (if required)			
	Name (print)	Signed	Date

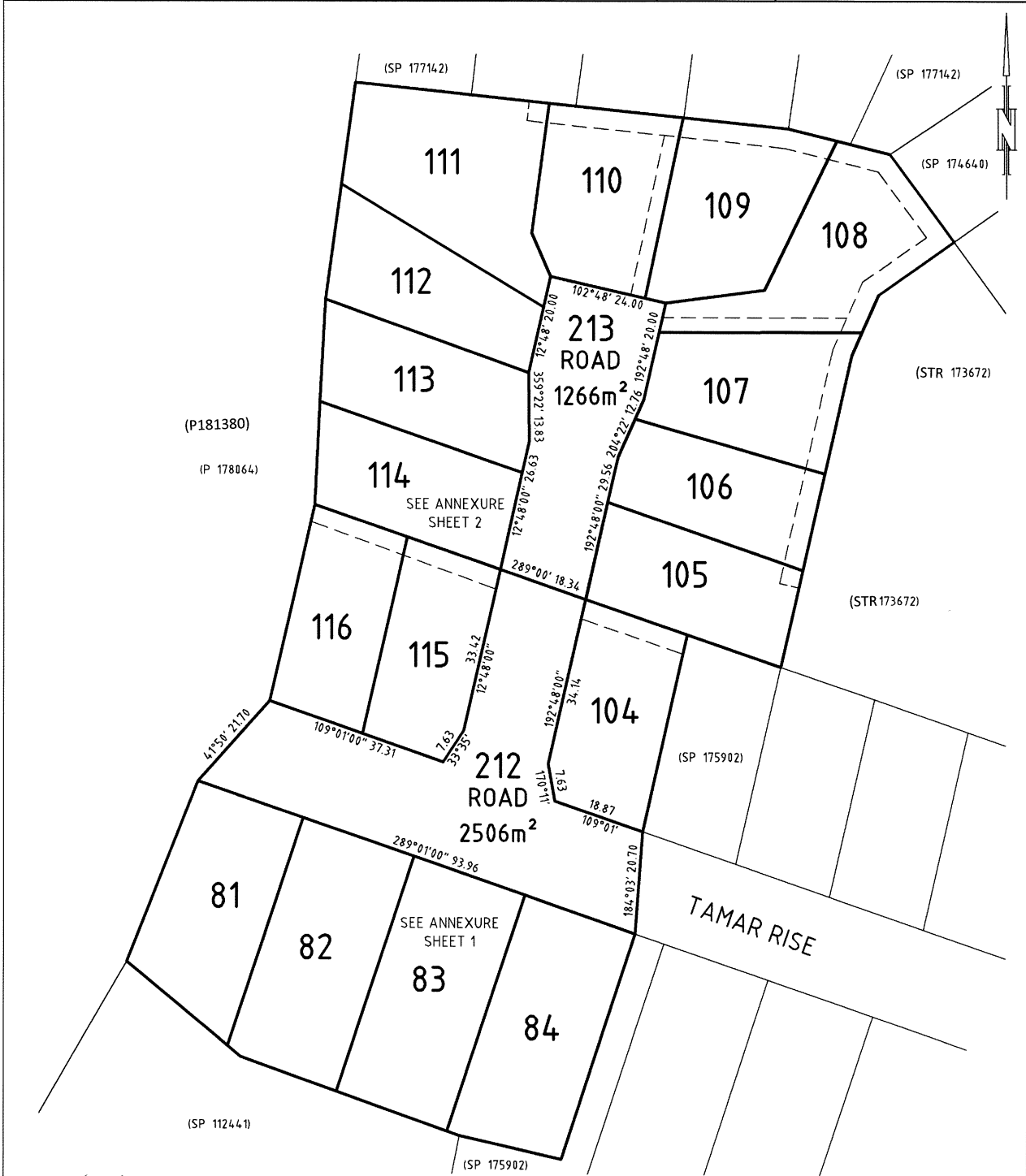
If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

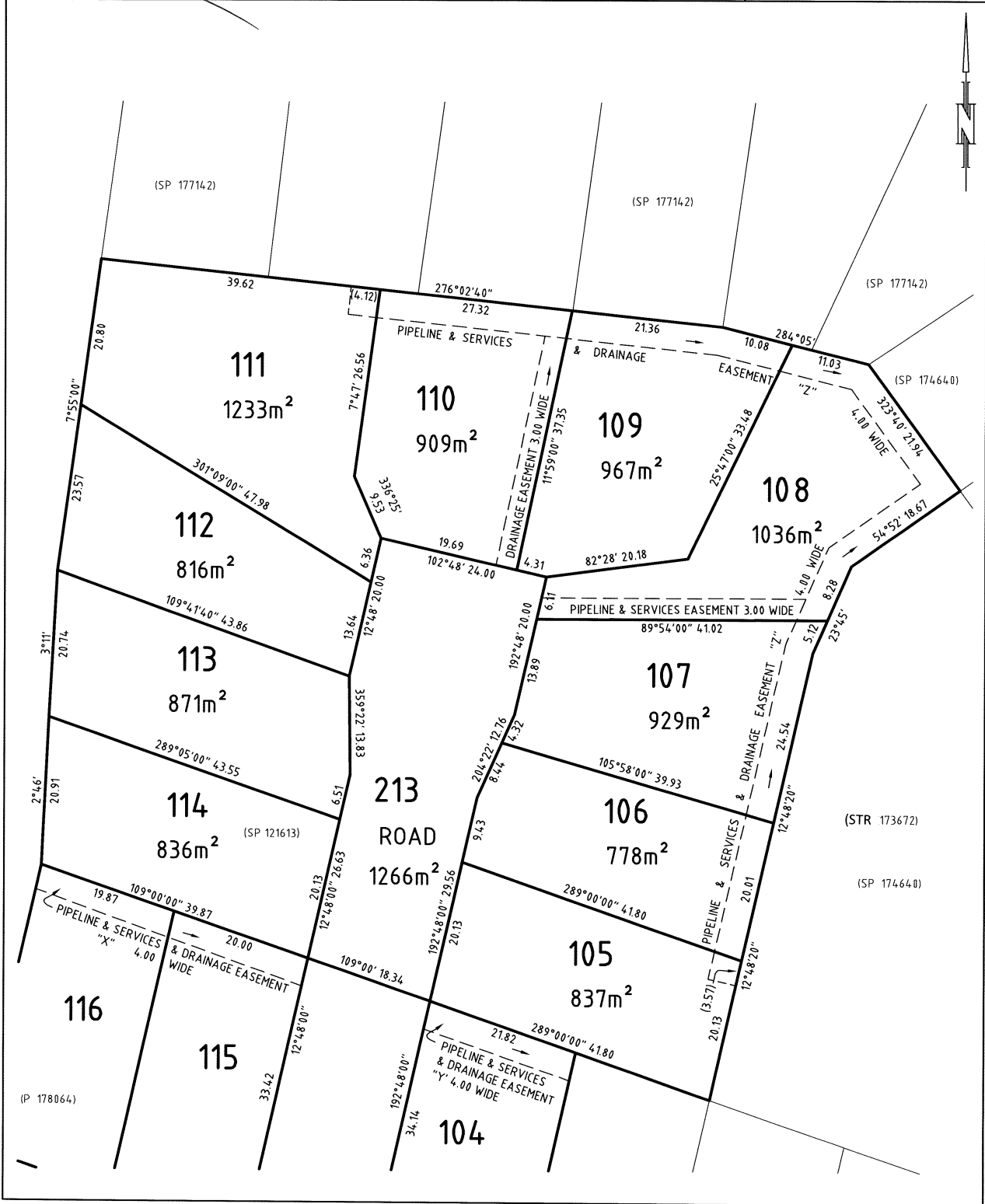
Amy Cox Name (print)	 Signed	08/05/26 Date
-------------------------	--	------------------

OWNER : BASS CORPORATION PTY LTD. FOLIO REFERENCE : F.R. 178064/1 GRANTEE : PART OF 500 ACRES, LOCATED TO WILLIAM ADAMS BRODRIBB. & PART OF 761 ACRES - Gfd. TO WILLIAM BARNES.	PLAN OF SURVEY BY SURVEYOR : M.R. HEATLEY of  PDA Surveyors <small>Surveying, Engineering & Planning</small>		REGISTERED NUMBER SP181379
	3/23 BRISBANE STREET, LAUNCESTON LOCATION: TOWN OF RIVERSIDE		APPROVED EFFECTIVE FROM 16 JUN 2021  Recorder of Titles
SCALE 1:750	LENGTHS IN METRES	SURVEYORS REF. NO. : 43935JD	



 Registered Land Surveyor	25/09/2020 Date	 Council Delegate	2/12/20 Date
---	--------------------	---	-----------------

<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 2 OF 2 SHEETS</p>	<p>OWNER: BASS CORPORATION PTY LTD. FOLIO REFERENCE: F.R. 178064/1 SCALE 1:500 LENGTH IN METRES</p>	<p>Registered Number SP 181379</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 2/12/20 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 25/09/2020 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 16 JUN 2021</p> <p><i>[Signature]</i> Recorder of Titles</p>



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 181379

PAGE 1 OF 4 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

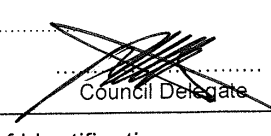
- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

1. Lots 115 and 116 are subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT "X" 4.00 WIDE" on the Plan.
2. Lots 115 and 116 are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT "X" 4.00 WIDE" on the Plan.
3. Lot 104 is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT "Y" 4.00 WIDE" on the Plan.
4. Lot 104 is subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT "Y" 4.00 WIDE" on the Plan.
5. Lots 105, 106, 107, 108, 109, 110 and 111 are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT "Z" 4.00 WIDE" on the Plan.
6. Lots 105, 106, 107, 108, 109, 110 and 111 are subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT "Z" 4.00 WIDE" on the Plan.
7. Lot 108 is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE" on the Plan.
8. Lot 110 is subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE" on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: BASS CORPORATION PTY LTD FOLIO REF: SOLICITOR & REFERENCE: Amelia Goss – Rae & Partners Lawyers	PLAN SEALED BY: WEST TAMAR COUNCIL DATE: 2/12/20 DA 211/09 REF NO.
 Council Delegate	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

o:\Docs\203432\2438215.docx

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 3 PAGES</p>	<p>Registered Number</p> <p>SP 181379</p>
<p>SUBDIVIDER: BASS CORPORATION PTY LTD</p> <p>FOLIO REFERENCE: 178064/1</p>	

DEFINITIONS

For the purpose of this Schedule:

"Drainage Easement" means a right of drainage in gross in favour of West Tamar Council ("the Council") and in conjunction with the exercise of that right the Council will have the power set out in the statutory definition of a "right of drainage" in Schedule 8 of the *Conveyancing and Law of Property Act 1884*.

"Pipeline & Services Easement" means:

- (a) Firstly, the full and free right and liberty for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times:
 - (i) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
 - (ii) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
 - (iii) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
 - (v) run and pass sewage, water and electricity through and along the Infrastructure;
 - (vi) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
 - (vii) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
 - (viii) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

- (b) Secondly, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

INTERPRETATION

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

o:\Docs\203432\2438215.docx

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 3 PAGES</p>	<p>Registered Number</p> <p>SP 181379</p>
<p>SUBDIVIDER: BASS CORPORATION PTY LTD</p> <p>FOLIO REFERENCE: 178064/1</p>	

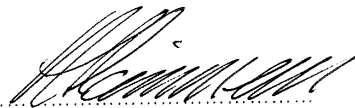
- (d) electricity and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) any thing reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns

FENCING PROVISION

In respect of each Lot on the Plan
The Subdivider Bass Corporation Pty Ltd shall not be required to fence.

SIGNED BY BASS CORPORATION PTY)
LTD (ACN 009 553 137) in accordance)
with section 127(1) of the *Corporations Act 2001*)



.....
Sole Director – Ross Robert Harrison
* SOLE SECRETARY

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

o:\Docs\203432\2438215.docx

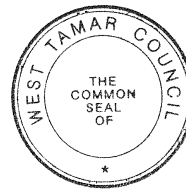
Registered Number

SP181379

COUNCIL APPROVAL

(Insert any qualification to the permit under section 83(5), section 109 or section 111 of the Local Government (Building & Miscellaneous Provisions) Act 1993)
The subdivision shown in this plan is approved

In witness whereof the common seal of WEST TAMAR COUNCIL
has been affixed, pursuant to a resolution of the Council of the said municipality
passed the 6th day of May 2010, in the presence of us
Member [Signature]
Member
Council Delegate [Signature]



Council Reference DA211109

NOMINATIONS

For the purpose of Section 88 of the Local Government (Building & Miscellaneous Provisions) Act 1993
the owner has nominated

Rae & Partners Solicitor to act for the owner
PDA Surveyors (Launceston) Surveyor to act for the owner

OFFICE EXAMINATION:

Indexed

Computed

Examined MG 9/6/21

PROPOSED DWELLING & SHED

65 TAMAR RISE

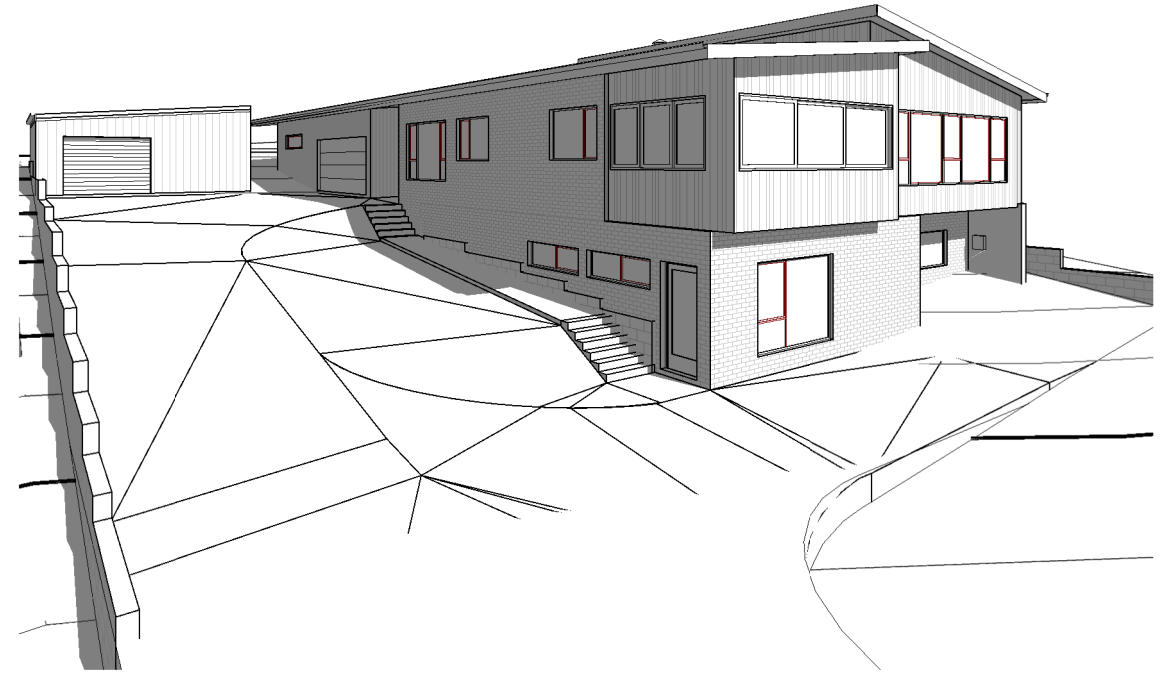
RIVERSIDE

T & L PAULS

PD25249

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LOCALITY PLAN
04	GROUND FLOOR PLAN
05	FIRST FLOOR PLAN
06	DOOR AND WINDOW SCHEDULES
08	ELEVATIONS
09	ELEVATIONS
10	ROOF PLAN
11	PERSPECTIVES



GENERAL PROJECT INFORMATION

TITLE REFERENCE: 181379/83
 SITE AREA: 1197m²
 DESIGN WIND SPEED: TBA
 SOIL CLASSIFICATION: TBA
 CLIMATE ZONE: 7
 ALPINE AREA: NO
 CORROSIVE ENVIRONMENT: LOW
 BAL RATING: 29
 OTHER KNOWN HAZARDS: LANDSLIP, PRIORITY
 VEGETATION & BUSHFIRE PRONE AREA



L: 10 Goodman Court, Invermay, 7248
 p(t) + 03 6332 3790
 H: Shop 9, 105-111 Main Road, Moonah, 7009
 p(h) + 03 6228 4575
 info@primedesigntas.com.au
 Accredited Building Practitioner:

bdca
 BUILDING DESIGNERS
 ASSOCIATION OF AUSTRALIA

primedesigntas.com.au
 Frank Geskus -No CC246A

GROUND FLOOR AREA	128.60	m ²	(13.84	SQUARES)
FIRST FLOOR AREA	326.36	m ²	(35.13	SQUARES)
TOTAL AREA	454.96		48.97	

REV. DATE	DESCRIPTION
-----------	-------------

MAY 2026

PLANNING

COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

SURVEYORS NOTES

SURVEYOR: NJK DATE: 30/06/25

1. THIS PLAN HAS BEEN PREPARED BY NOVA LAND CONSULTING FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT USED FOR ANY OTHER PURPOSE.

2. TITLE BOUNDARIES SHOWN WERE NOT MARKED AT THE TIME OF THIS SURVEY.

3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.

4. NOVA LAND CONSULTING CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF NOVA LAND CONSULTING.

6. HORIZONTAL BEARING DATUM IS PLANE BASED ON MGA20 PER RTK GNSS.

7. VERTICAL DATUM IS AHD PER SPM5223.

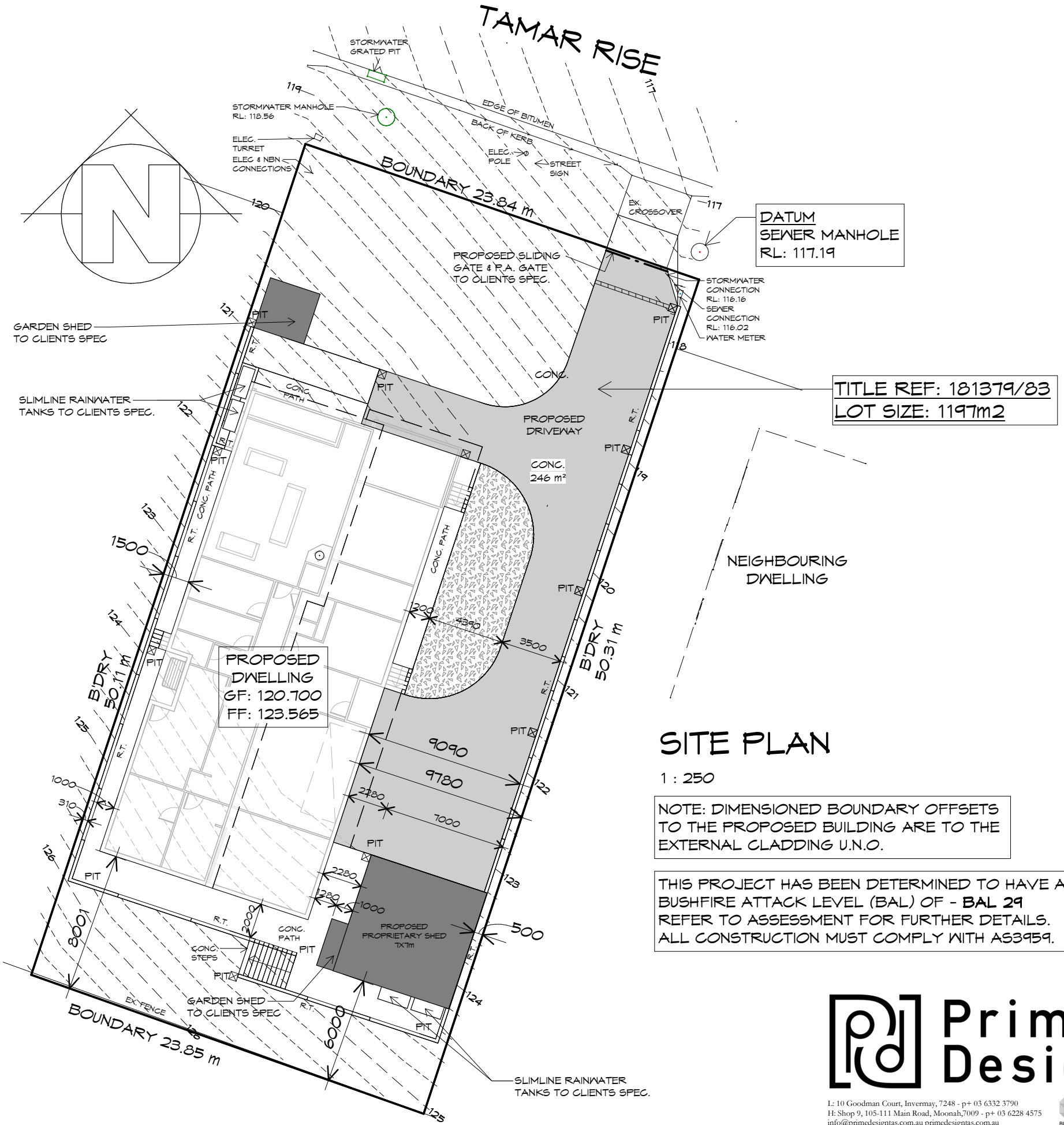
8. CONTOUR INTERVAL IS 0.2m INDEX IS 1.0m.

9. BOUNDARIES ARE COMPILED FROM SP.181379; AND ARE APPROXIMATE AND SUBJECT TO SURVEY.

10. CO-ORDINATES ARE PLANE AND BASED ON MGA20.

GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.



TITLE REF: 181379/83
LOT SIZE: 1197m²

SITE PLAN

1 : 250

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - BAL 29 REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Client name:
T & L PAULS

Project:
PROPOSED DWELLING & SHED
65 TAMAR RISE
RIVERSIDE

Date: 08.05.2026
Drafted by: A.G.C.
Approved by: Approver

REV. DATE DESCRIPTION

Project/Drawing no: PD25249 - 01
Scale: 1 : 250
Revision: 04

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:
SITE PLAN

Accredited building practitioner: Frank Geskus -No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

SITE DRAINAGE PLAN

1 : 250

REV.	DATE	DESCRIPTION

Client name:
T & L PAULS

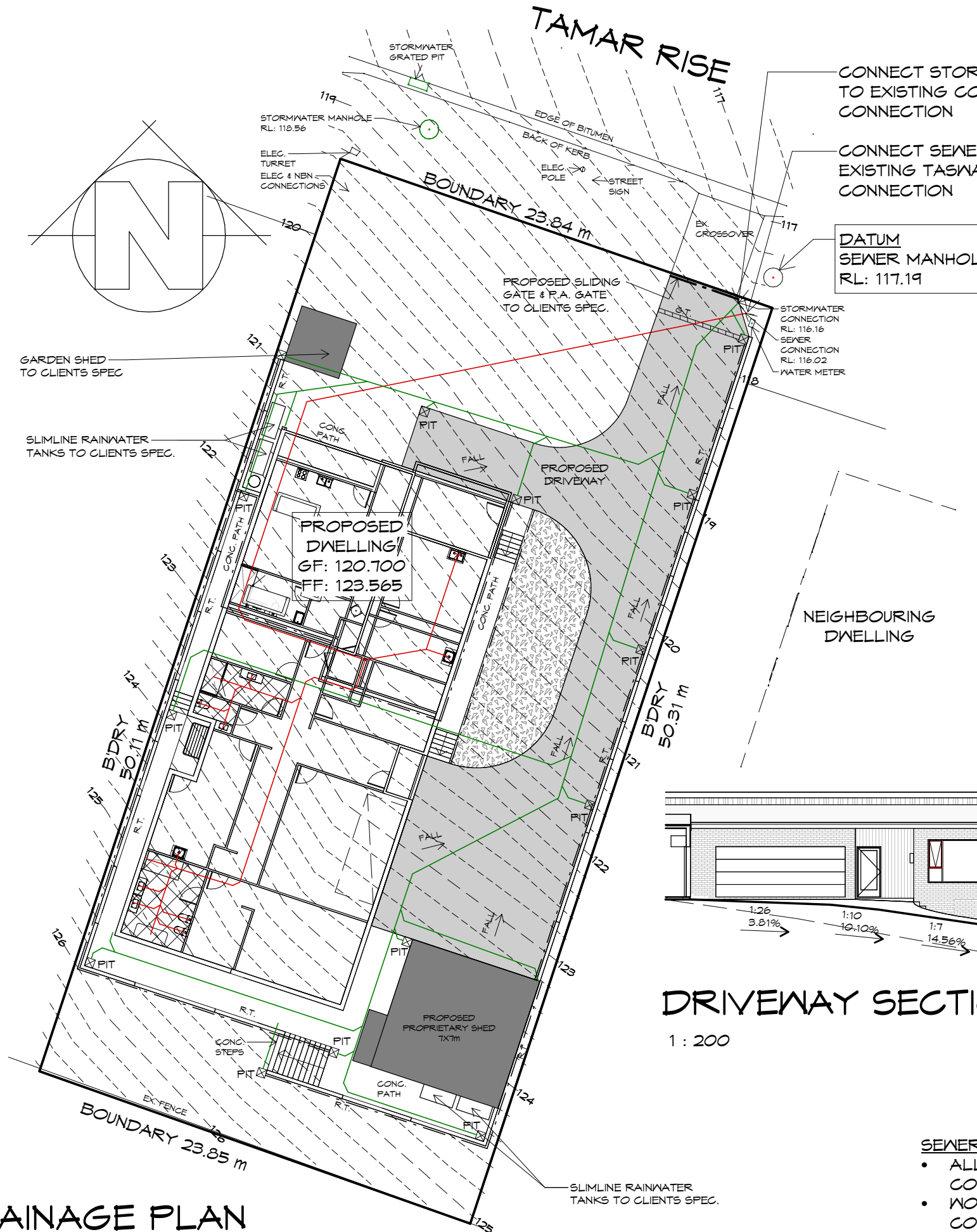
PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED DWELLING & SHED
65 TAMAR RISE
RIVERSIDE
Drawing:
SITE DRAINAGE PLAN

Date: 08.05.2026
Drafted by: A.G.C.
Approved by: Approver

Project/Drawing no: PD25249 - 02
Scale: As indicated
Revision: 04

Accredited building practitioner: Frank Geskus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



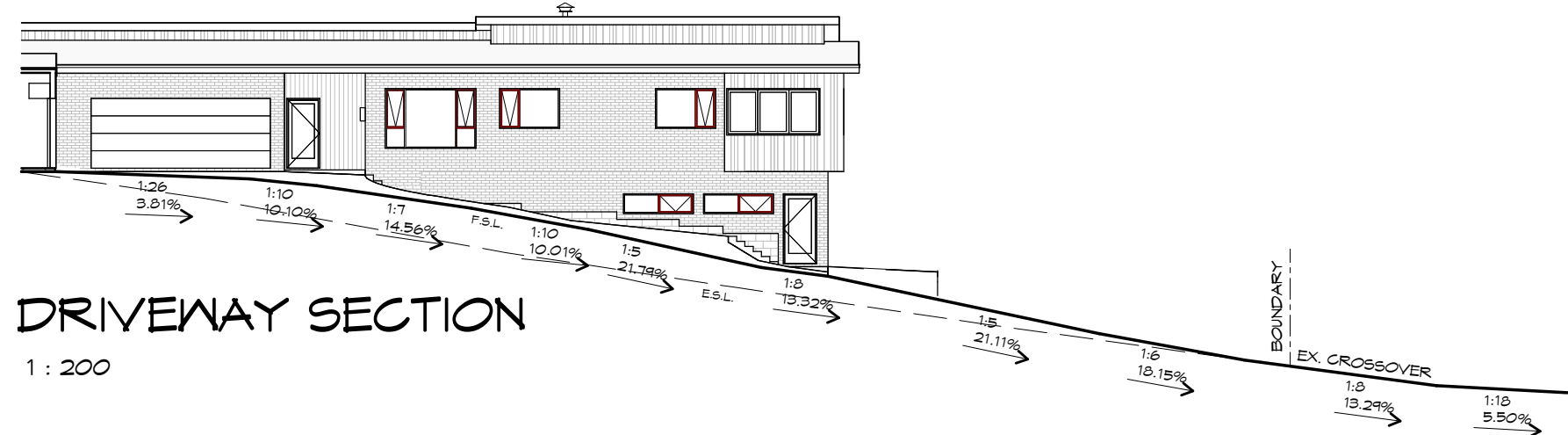
LEGEND

- 450X 450 SURFACE DRAINAGE PIT
- NET AREAS
- SEWER LINE
- STORMWATER LINE
- 100φ AG DRAIN

PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER ASNZS 3500.2021 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2



DRIVEWAY SECTION

1 : 200

SEWER AND WATER SERVICES

- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
- WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au





THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **REQUIRES** A BUSHFIRE ASSESSMENT. RESIDENCE IS **NOT** OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL 29** REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
 H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
 info@primedesigntas.com.au primedesigntas.com.au



Date:	Drafted by:	Approved by:
08.05.2026	A.G.C.	Approver

Project/Drawing no:	Scale:	Revision:
PD25249 - 03	1 : 2000	04

Accredited building practitioner: Frank Gekus -No CC246A
 COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

LOCALITY PLAN

1 : 2000

REV.	DATE	DESCRIPTION
------	------	-------------

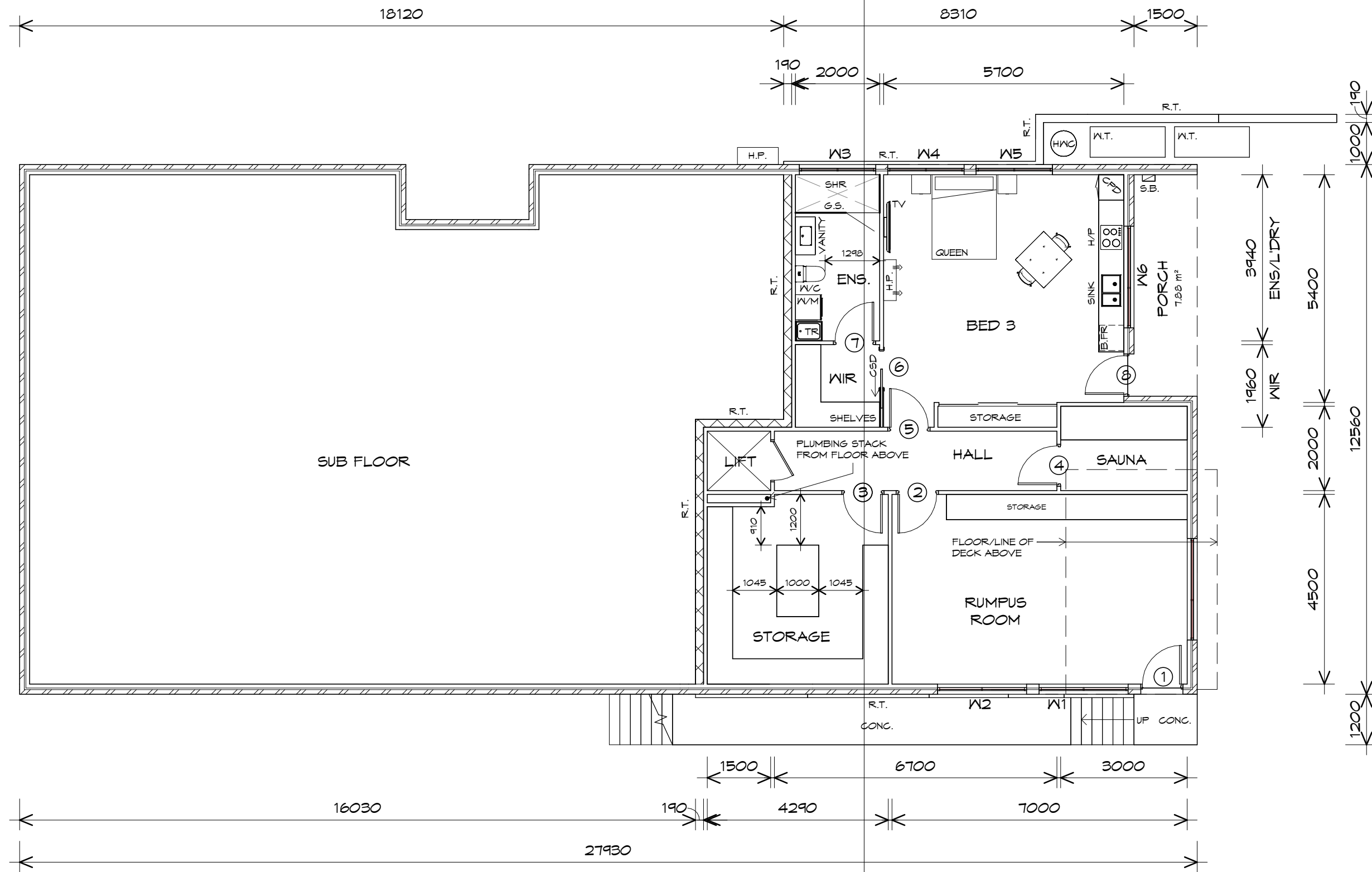
Client name:
T & L PAULS

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED DWELLING & SHED
65 TAMAR RISE
RIVERSIDE

Drawing:
LOCALITY PLAN



- ### LEGEND
- CSD CAVITY SLIDING DOOR
 - S/D SLIDING DOOR
 - COL COLUMN
 - G.S. GLASS SCREEN
 - HWC HOT WATER CYLINDER
 - W.T. RAIN WATER TANK
 - S.B. SWITCH BOX
 - R.T. RETAINING WALL

GROUND FLOOR PLAN

1 : 100

GROUND FLOOR AREA	128.60	m ²	(13.84	SQUARES)
FIRST FLOOR AREA	326.36	m ²	(35.13	SQUARES)
TOTAL AREA	454.96		48.97	

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
 DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

REV. DATE	DESCRIPTION

Client name:
 T & L PAULS

PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS

Project:
 PROPOSED DWELLING & SHED
 65 TAMAR RISE
 RIVERSIDE
 Drawing:
 GROUND FLOOR PLAN

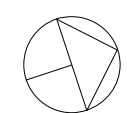
Prime Design

L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
 H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
 info@primedesigntas.com.au primedesigntas.com.au

Date: 08.05.2026
 Drafted by: A.G.C.
 Approved by: Approver

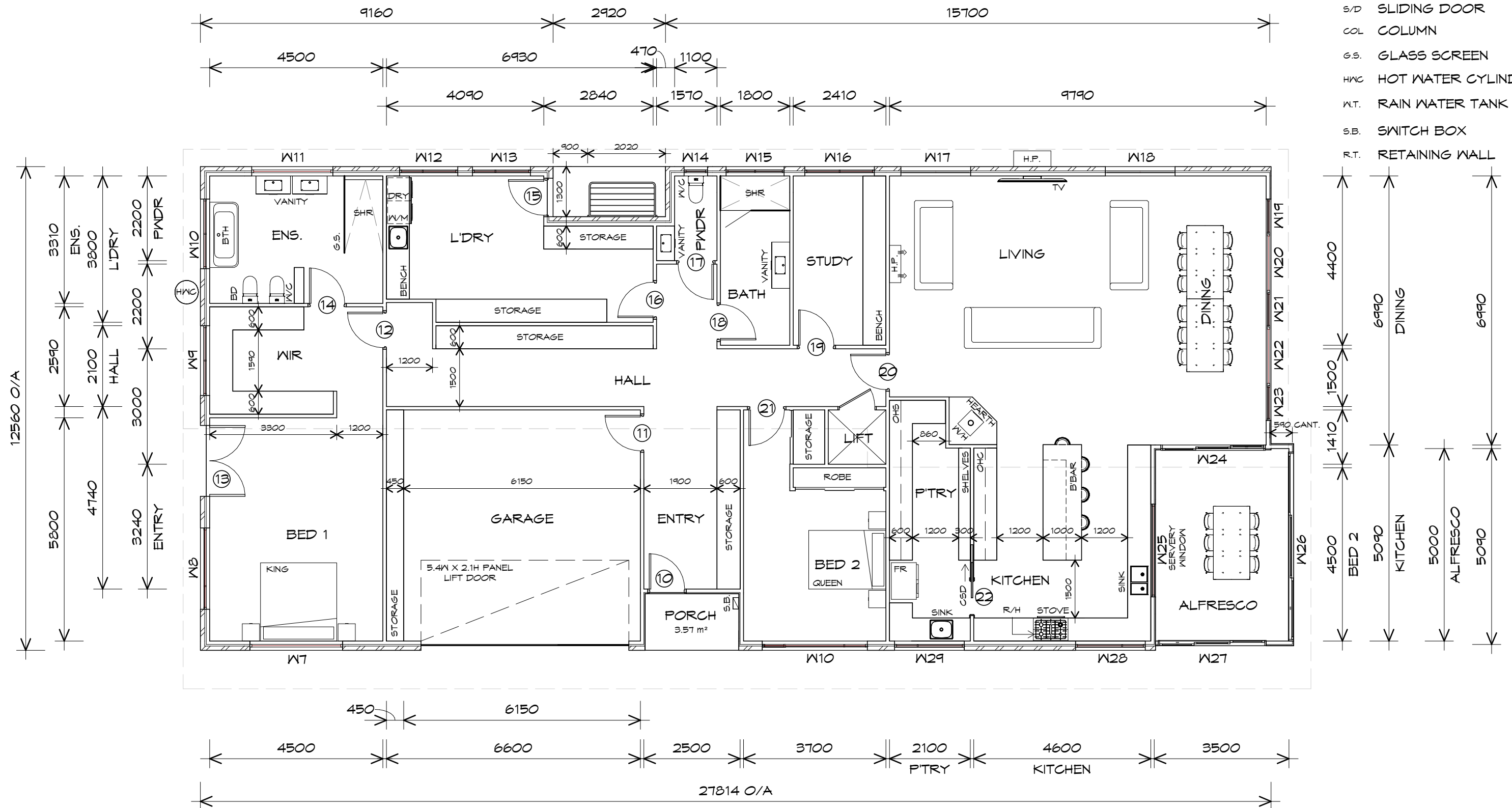
Project/Drawing no: PD25249 - 04
 Scale: 1 : 100
 Revision: 04

Accredited building practitioner: Frank Geskus - No CC246A
 COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- W.T. RAIN WATER TANK
- S.B. SWITCH BOX
- R.T. RETAINING WALL



FIRST FLOOR PLAN

1 : 100

GROUND FLOOR AREA	128.60	m ²	(13.84	SQUARES)
FIRST FLOOR AREA	326.36	m ²	(35.13	SQUARES)
TOTAL AREA	454.96		48.97	

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
 DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
 H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
 info@primedesigntas.com.au primedesigntas.com.au



REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
T & L PAULS

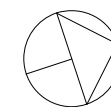
Project:
PROPOSED DWELLING & SHED
65 TAMAR RISE
RIVERSIDE

Date: 08.05.2026
 Drafted by: A.G.C.
 Approved by: Approver

Project/Drawing no: PD25249 - 05
 Scale: 1 : 100
 Revision: 04

PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:
FIRST FLOOR PLAN



Accredited building practitioner: Frank Geskus - No CC246A
 COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

GROUND FLOOR DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	GLAZED EXTERNAL DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	CEDAR DOOR
5	920	INTERNAL TIMBER DOOR	
6	920	CAVITY SLIDING DOOR	
7	920	INTERNAL TIMBER DOOR	
8	920	GLAZED EXTERNAL DOOR	

GROUND FLOOR WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	600	2110	AWNING WINDOW	
W2	600	2110	AWNING WINDOW	
W3	600	1810	AWNING WINDOW	OPAQUE
W4	600	1810	AWNING WINDOW	
W5	600	1810	AWNING WINDOW	
W6	1000	2410	AWNING WINDOW	
W60	1800	2410	AWNING WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT BAL-29 RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

FIRST FLOOR DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
10	920	GLAZED EXTERNAL DOOR	
11	920	INTERNAL TIMBER DOOR	
12	920	INTERNAL TIMBER DOOR	
13	1840	2/920 GLASS DOORS	
14	920	INTERNAL TIMBER DOOR	
15	920	GLAZED EXTERNAL DOOR	
16	920	INTERNAL TIMBER DOOR	
17	920	INTERNAL TIMBER DOOR	
18	920	INTERNAL TIMBER DOOR	
19	920	INTERNAL TIMBER DOOR	
20	920	INTERNAL TIMBER DOOR	
21	920	INTERNAL TIMBER DOOR	
22	920	CAVITY SLIDING DOOR	

FIRST FLOOR WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
R	1800	610	AWNING WINDOW	
W7	600	2410	FIXED WINDOW	
W8	1800	2110	AWNING WINDOW	
W9	600	1810	AWNING WINDOW	OPAQUE
W10	600	1810	AWNING WINDOW	OPAQUE
W10	1800	2710	AWNING WINDOW	
W11	400	2110	FIXED WINDOW	OPAQUE
W12	1000	1510	AWNING WINDOW	
W13	1000	1510	AWNING WINDOW	
W14	900	610	AWNING WINDOW	OPAQUE
W15	600	1510	AWNING WINDOW	OPAQUE
W16	600	1810	AWNING WINDOW	
W17	600	1810	AWNING WINDOW	
W18	600	1810	AWNING WINDOW	
W19	1800	910	AWNING WINDOW	
W20	1800	1510	FIXED WINDOW	
W21	1800	910	AWNING WINDOW	
W22	1800	1510	FIXED WINDOW	
W23	1800	910	AWNING WINDOW	
W24	2100	2710	STACKING SLIDING DOOR	
W25	1200	2410	AWNING WINDOW	
W26	1400	4910	STACKING SLIDING WINDOW	
W27	1400	2810	STACKING SLIDING WINDOW	
W28	1200	1810	AWNING WINDOW	
W29	1200	1810	AWNING WINDOW	



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Client name:
T & L PAULS

Project:
PROPOSED DWELLING & SHED
65 TAMAR RISE
RIVERSIDE

Date: 08.05.2026
Drafted by: A.G.C.
Approved by: Approver

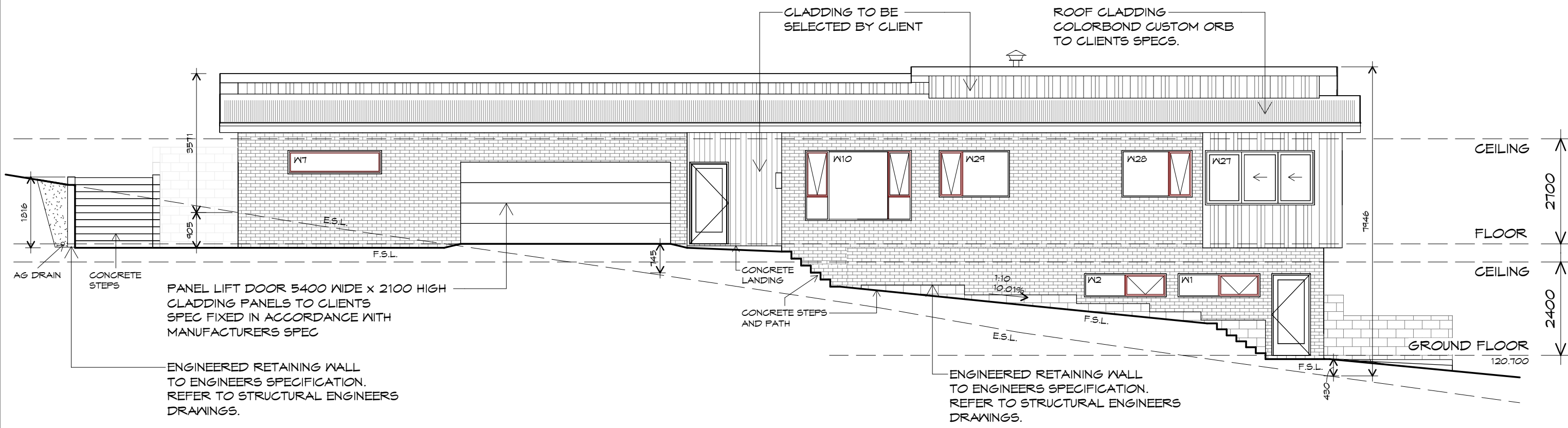
REV. DATE DESCRIPTION

Project/Drawing no: PD25249 - 06
Scale:
Revision: 04

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:
DOOR AND WINDOW SCHEDULES

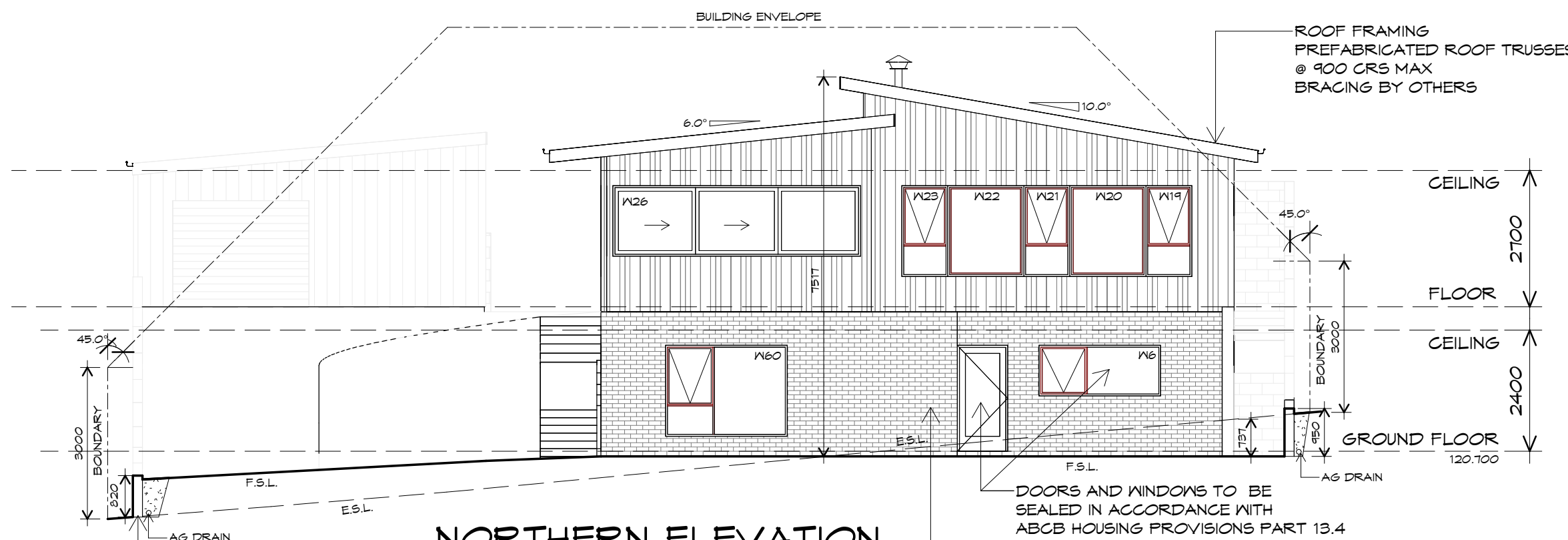
Accredited building practitioner: Frank Geskus -No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



PANEL LIFT DOOR 5400 WIDE x 2100 HIGH
CLADDING PANELS TO CLIENTS
SPEC FIXED IN ACCORDANCE WITH
MANUFACTURERS SPEC

ENGINEERED RETAINING WALL
TO ENGINEERS SPECIFICATION.
REFER TO STRUCTURAL ENGINEERS
DRAWINGS.

ENGINEERED RETAINING WALL
TO ENGINEERS SPECIFICATION.
REFER TO STRUCTURAL ENGINEERS
DRAWINGS.



NORTHERN ELEVATION

1 : 100

ENGINEERED RETAINING WALL
TO ENGINEERS SPECIFICATION.
REFER TO STRUCTURAL ENGINEERS
DRAWINGS.

DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 13.4

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCB HOUSING PROVISIONS PART 5



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
T & L PAULS

Project:
PROPOSED DWELLING & SHED
65 TAMAR RISE
RIVERSIDE

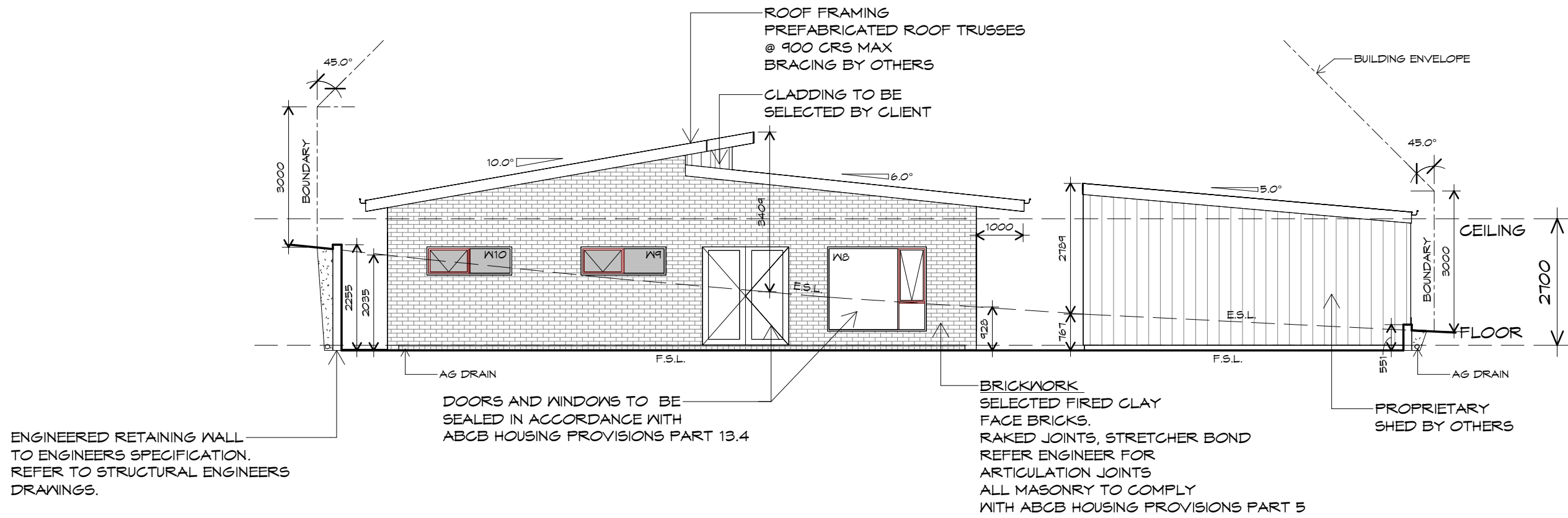
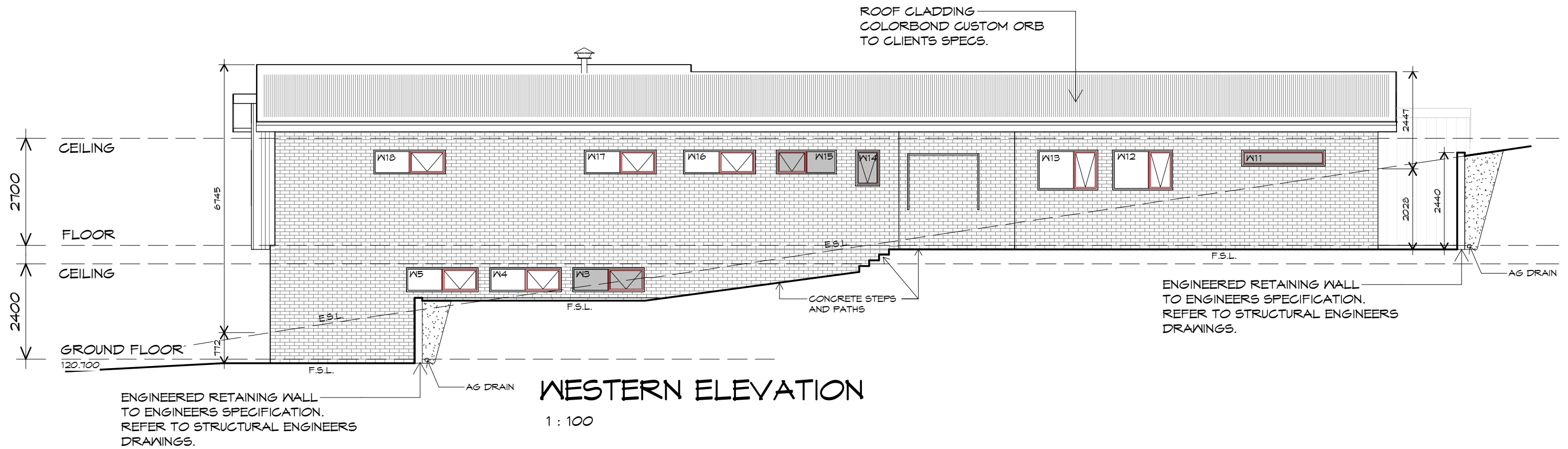
Date: 08.05.2026
Drafted by: A.G.C.
Approved by: Approver

Project/Drawing no: PD25249 - 08
Scale: 1 : 100
Revision: 04

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:
ELEVATIONS

Accredited building practitioner: Frank Geskus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
 H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
 info@primedesigntas.com.au primedesigntas.com.au



REV.	DATE	DESCRIPTION

Client name:
T & L PAULS

Project:
PROPOSED DWELLING & SHED
65 TAMAR RISE
RIVERSIDE

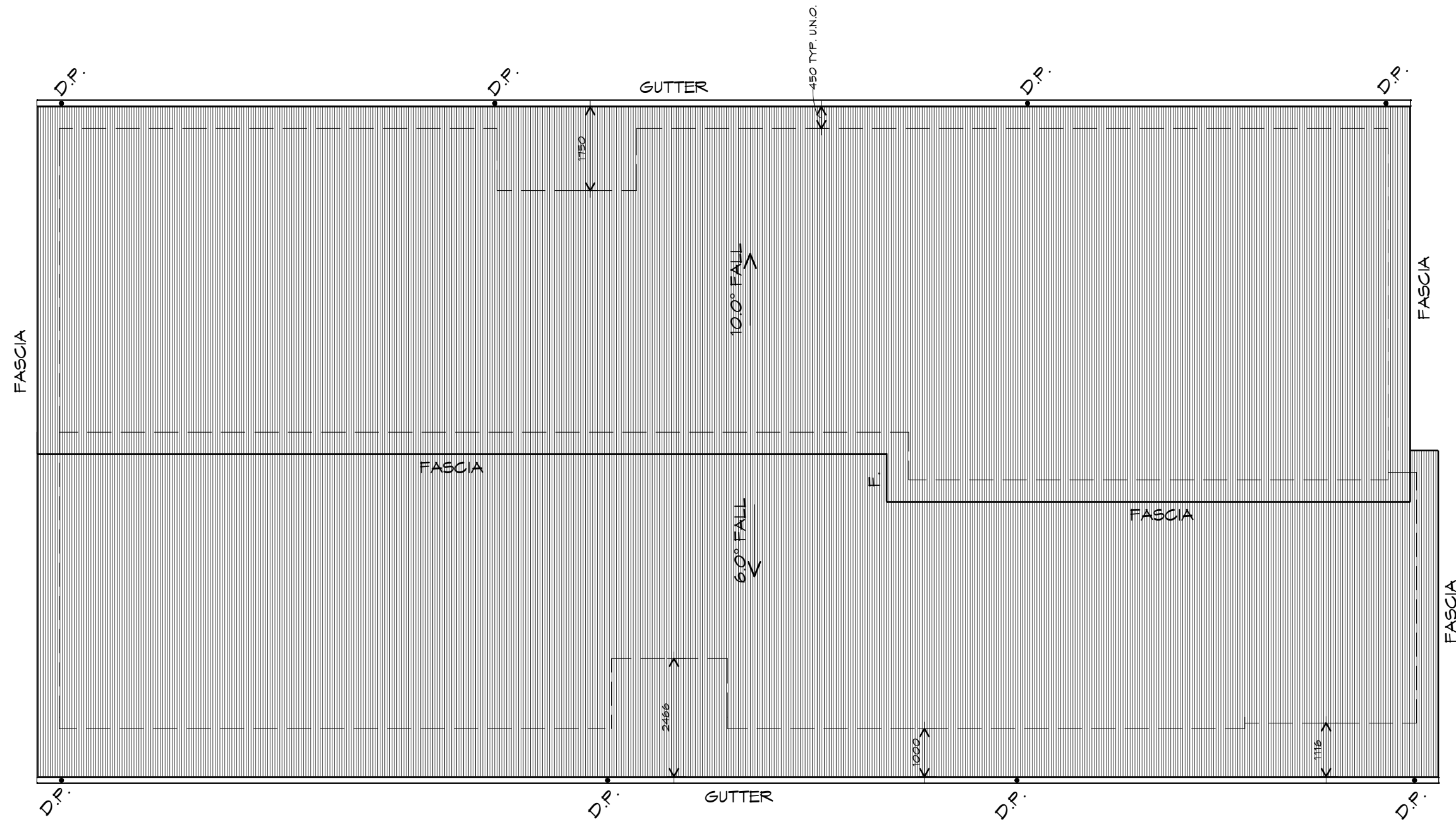
Date: 08.05.2026
 Drafted by: A.G.C.
 Approved by: Approver

Project/Drawing no: PD25249 - 09
 Scale: 1 : 100
 Revision: 04

PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:
ELEVATIONS

Accredited building practitioner: Frank Geskus - No CC246A
 COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



ROOF PLAN

1 : 100

REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
T & L PAULS

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED DWELLING & SHED
65 TAMAR RISE
RIVERSIDE

Drawing:
ROOF PLAN

Date: 08.05.2026	Drafted by: A.G.C.	Approved by: Approver
---------------------	-----------------------	--------------------------

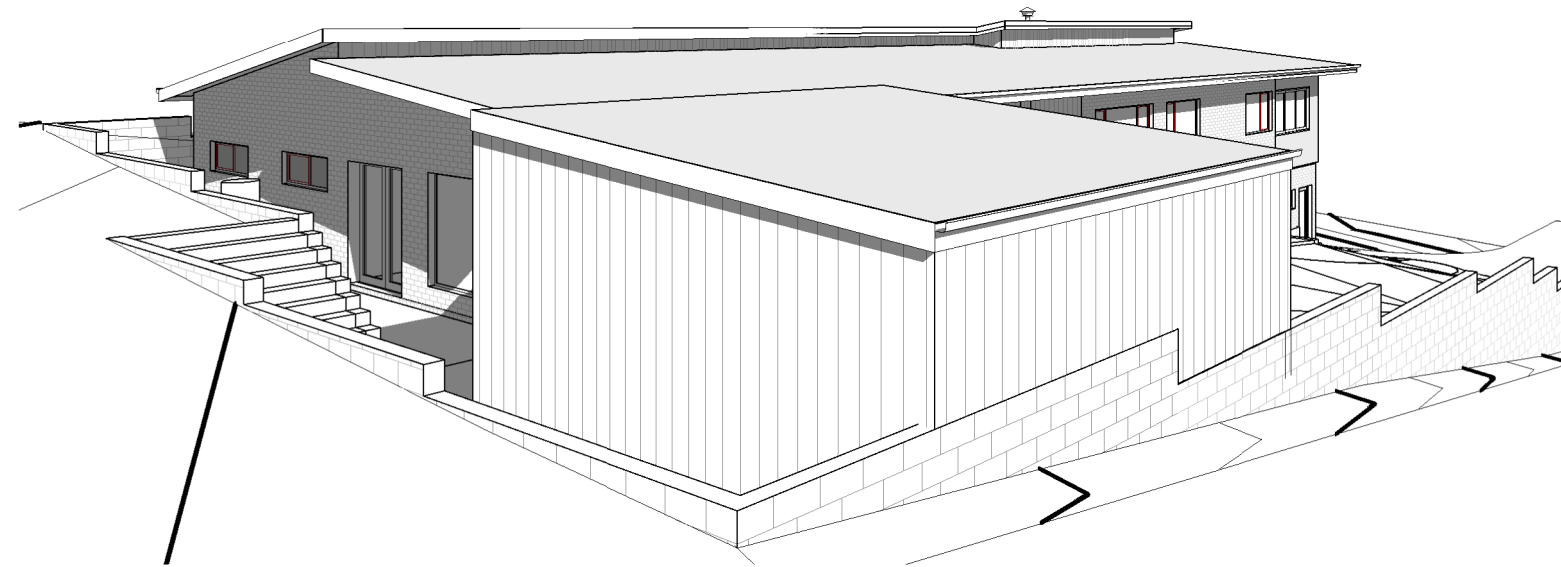
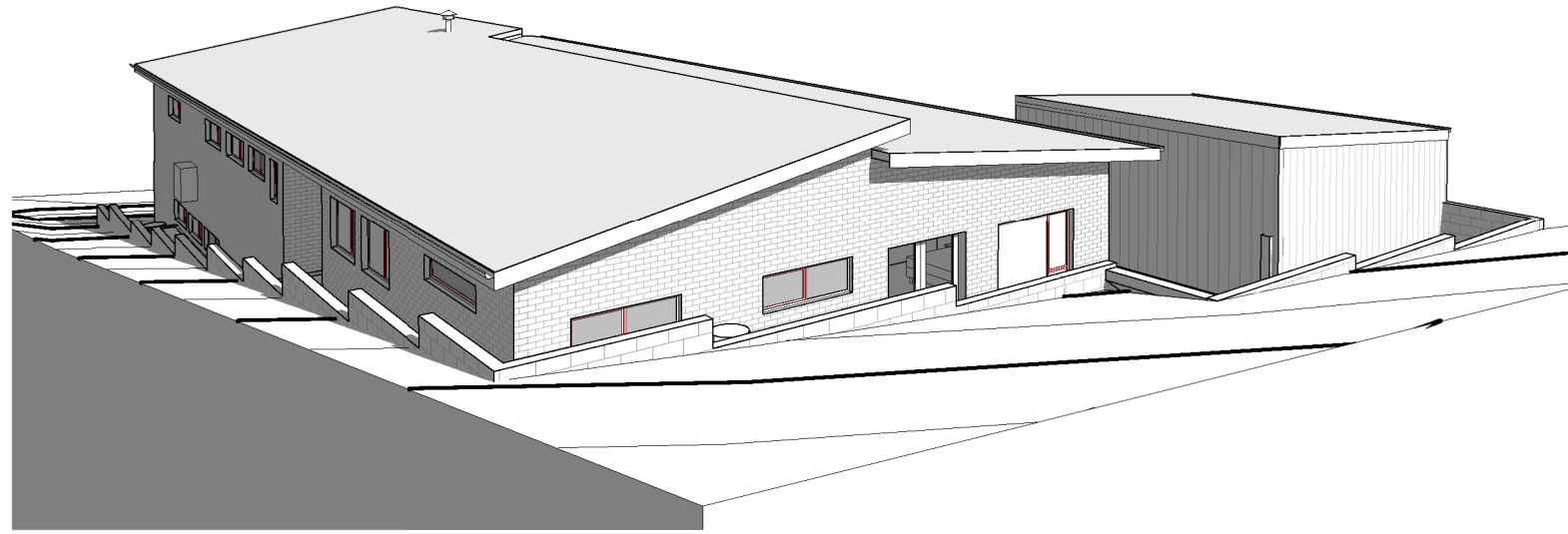
Project/Drawing no: PD25249 - 10	Scale: 1 : 100	Revision: 04
-------------------------------------	-------------------	-----------------

Accredited building practitioner: Frank Geskus -No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au





L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
 H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
 info@primedesigntas.com.au primedesigntas.com.au



Client name:
 T & L PAULS

Project:
 PROPOSED DWELLING & SHED
 65 TAMAR RISE
 RIVERSIDE

Drawing:
 PERSPECTIVES

Date: 08.05.2026
 Drafted by: A.G.C.
 Approved by: Approver

Project/Drawing no: PD25249 - 11
 Scale:
 Revision: 04

Accredited building practitioner: Frank Geskus -No CC246A
 COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

REV. DATE	DESCRIPTION
-----------	-------------

PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS