

**PLANNING APPLICATION FORM**

Section 57 & 58

<b>OFFICE USE ONLY</b>	<b>Application Number</b>	PA2026125
	<b>Assess No:</b>	A2691
	<b>PID No:</b>	6052688

<b>Applicant Name:</b>	Pulp Studio					
<b>Applicant Contact Name</b>						
<b>Postal Address:</b>						
<b>Contact Phone:</b>	<b>Home</b>		<b>Work</b>		<b>Mobile</b>	
<b>Email Address:</b>						

**Planning Application Lodgement Checklist**

**The following documents have been submitted to support the consideration of this application:**

1. A current copy of the property title text, folio plan and schedule of easements
2. A completed application form including a detailed description of the proposal
3. A complete plan set: 
  - a) Floor plans
  - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level)
  - c) Site Plan showing: 
    - Orientation
    - All title boundaries
    - Location of buildings and structure (both existing and proposed)
    - Setbacks from all boundaries
    - Native vegetation to be removed
    - Onsite services, connections and drainage details (including sewer, water and stormwater)
    - Cut and/or Fill
    - Car parking and access details (including construction material of all trafficable areas)
    - Fence details
    - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.  
 All plans must be to scale.*

Application Number: «Application Number»

**APPLICANT DETAILS**

**Applicant Name:** \_\_\_\_\_

*Note: Full name(s) of person(s) or company making the application and postal address for correspondence.*

**LAND DETAILS**

**Owner/Authority Name:**  
*(as per certificate of title)* **Carmel Dilger**

**Location / Address:** 17 Riverview Road, Riverside

**Title Reference:** 12/9866

**Zone(s):** **General Residential**

**Existing Development/Use:** Residential

**Existing Developed Area:** 133m2

**Are any of the components in this Application seeking retrospective approval?  
E.g. Use and/or development that has commenced without a Planning Permit.** YES   
NO

**(If yes please specify the relevant components):**  
\_\_\_\_\_

**DEVELOPMENT APPLICATION DETAILS**

<b>Proposed Use:</b>	Residential: YES	Visitor Accommodation: <input type="checkbox"/>	Commercial: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of Use: Existing Private Dwelling			

<b>Development Type:</b>	Building work: YES	Demolition: <input type="checkbox"/>	Subdivision: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of development: Alterations and additions to existing dwelling – internal alterations, Extend internal area to extent of existing eave, new deck and roof over.			

**New or Additional Area:** 4.5m2

**Estimated construction cost of the proposed development:** \$200,000

<b>Building Materials:</b>	Wall Type: Existing	Colour: Existing
	Roof Type: Existing	Colour: Existing

Application Number: «Application Number»

**VISITOR ACCOMMODATION**  N/A

<b>Gross Floor Area to be used per lot:</b>		<b>Number of Bedrooms to be used:</b>	
<b>Number of Carparking Spaces:</b>		<b>Maximum Number of Visitors at a time:</b>	

**SUBDIVISION**  N/A

- Subdivision creating additional lots   
 Boundary adjustment with no additional lots created

<b>Number of Lots (existing) :</b>		<b>Number of Lots (proposed) :</b>	
<b>Description:</b>			
<b>If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:</b>			
1.			
2.			
3.			

**COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE**  N/A

<b>Hours of Operation:</b>	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

<b>Existing Car Parking:</b>	
<b>Proposed Car Parking:</b>	

<b>Number of Employees:</b> <i>(Existing)</i>	
<b>Number of Employees:</b> <i>(Proposed)</i>	

<b>Type of Machinery installed:</b>	
<b>Details of trade waste and method of disposal:</b>	

Application Number: «Application Number»

**APPLICANT DECLARATION**

**Owner:** As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Carmel Dilger  
Name (print)

*Carmel Dilger*  
Signed

22/4/26  
Date

**Applicant:** (if not the owner) As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

Peter Booth  
Name (print)

*Peter Booth*  
Signed

22/4/26  
Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown Consent**  
(if required)  
Name (print)

Signed

Date

**Chief Executive Officer**  
(if required)  
Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

**Right of Way Owner:**

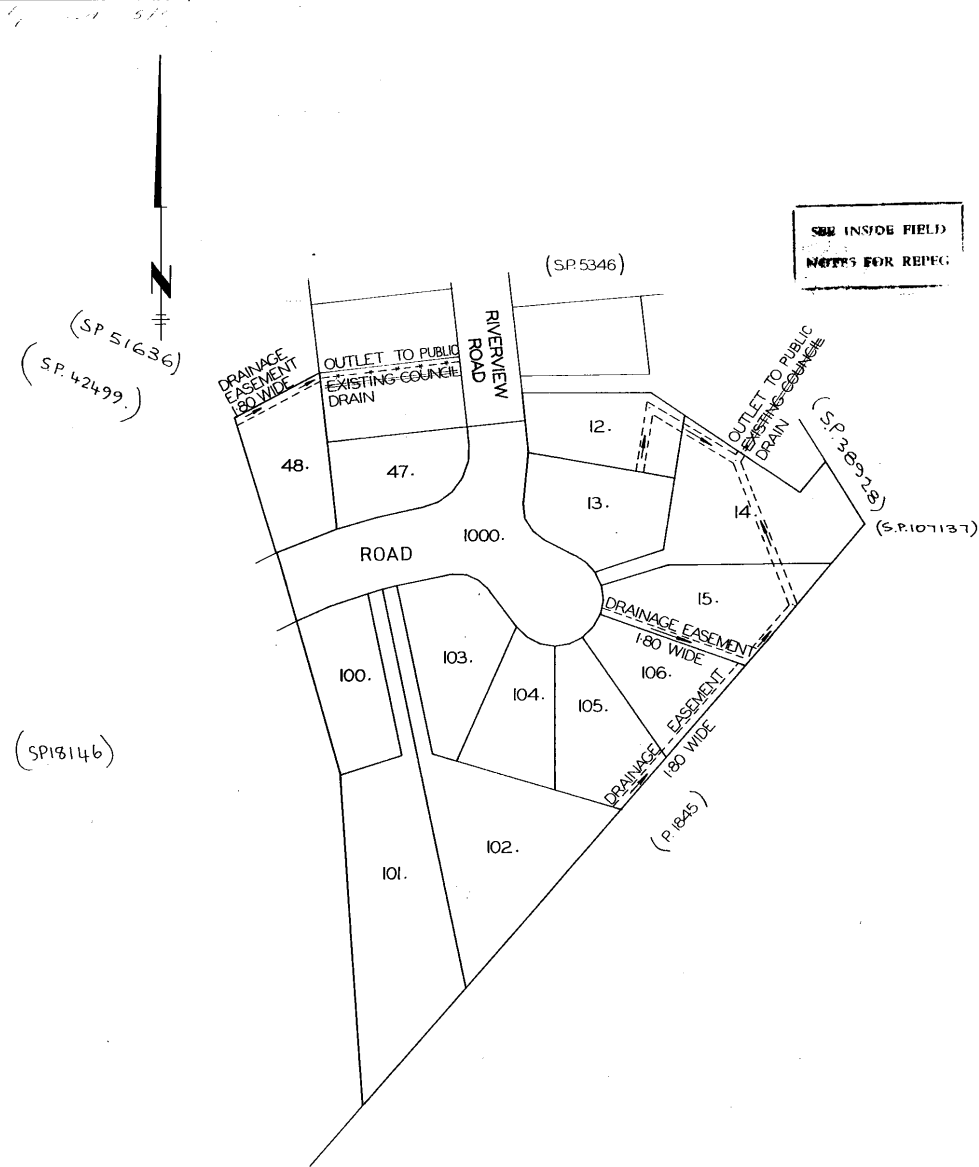
As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

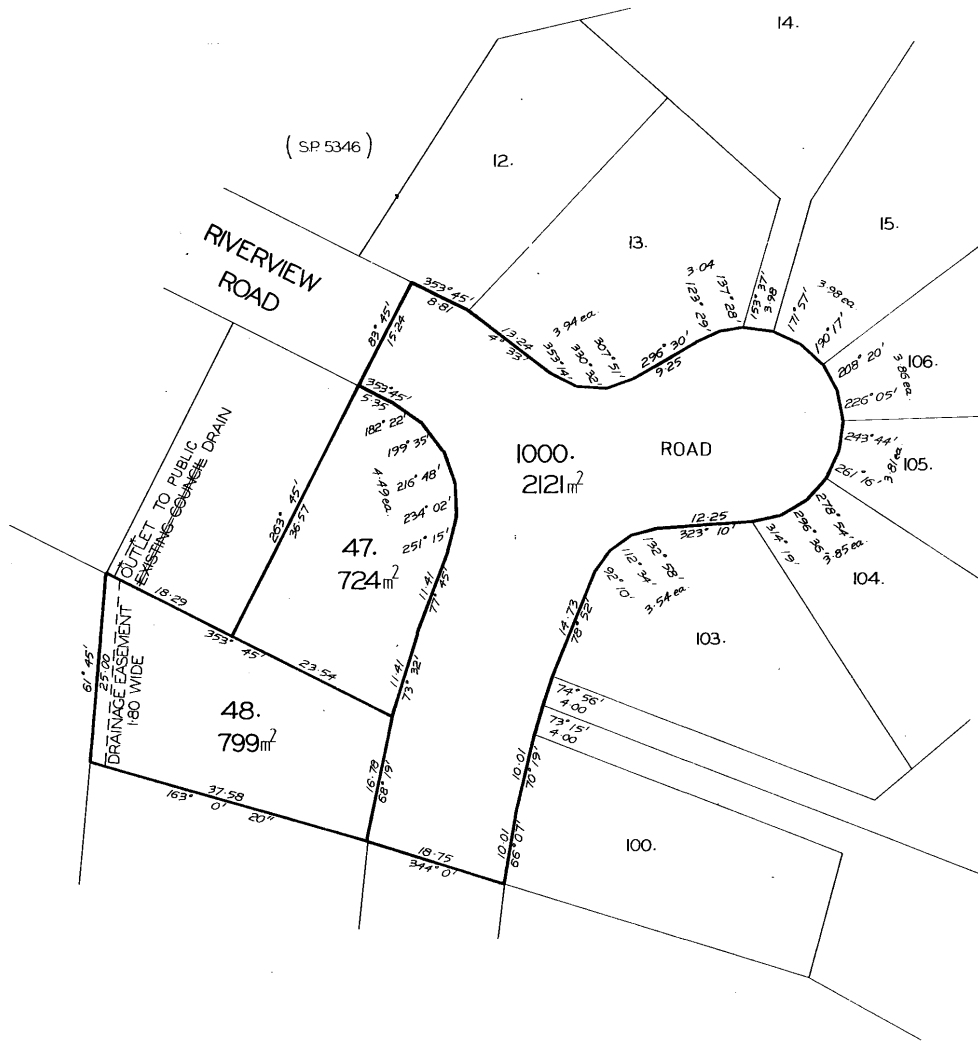
Date

Owner: E.F. & M. MILNER	PLAN OF SURVEY by Surveyor DAVID JOHN M'AVOY of land situated in the	Registered Number: <b>S.P.9866</b>
Title Reference: C.T. <del>3409-83</del> 3611-64	TOWN OF RIVERSIDE SCALE 1:1000	Effective from 14 OCT 1977
Grantee: PART OF 118A IR 35P GRANTED TO HENTY AND OTHERS Edith Henty Parker and Florence Geraldine Tarleton	NOTE: ALL MEASUREMENTS ARE IN METRES	P/I  Recorder of Titles

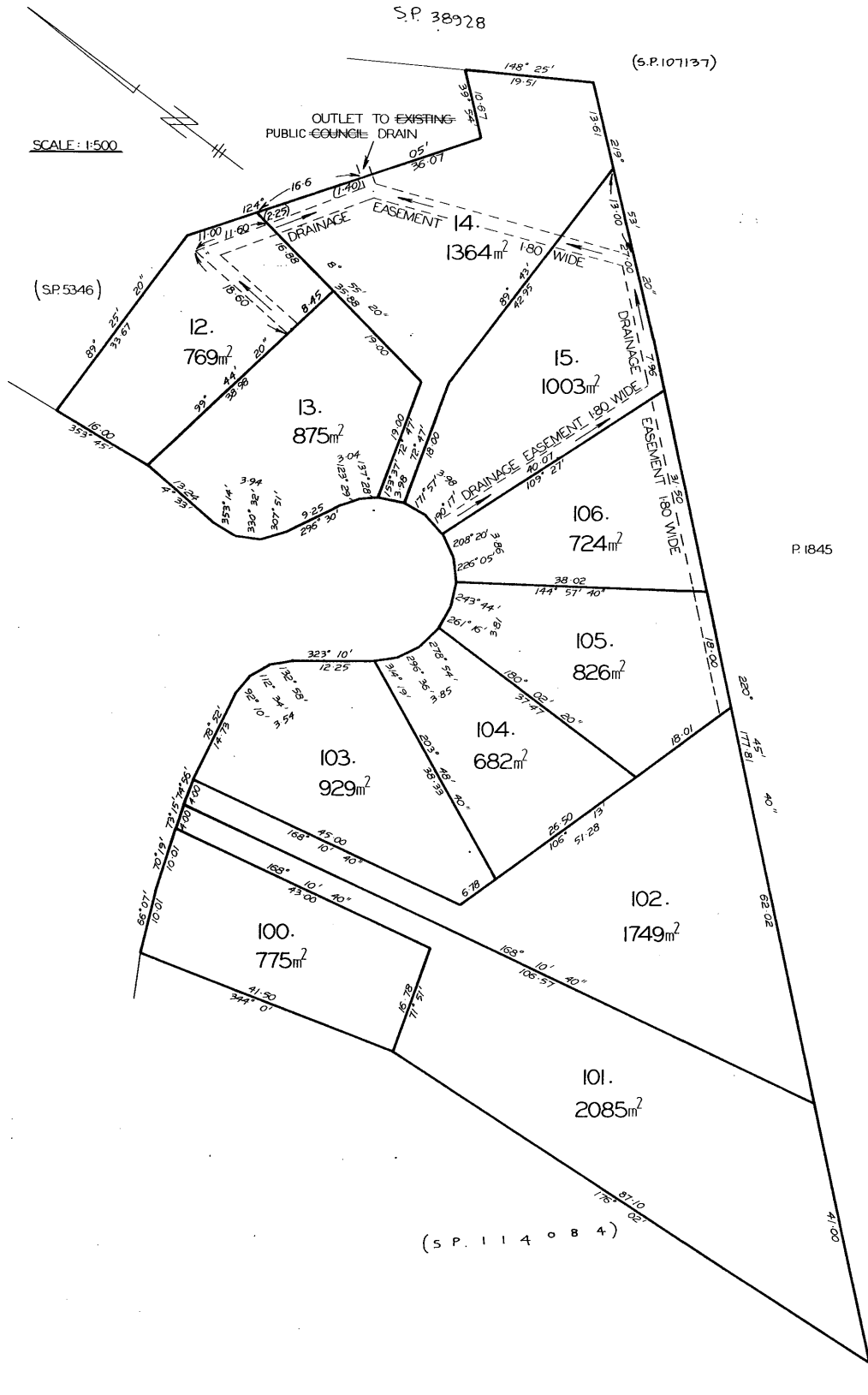


<p>ANNEXURE SHEET No. 1 (of 2 annexures) to plan by Surveyor</p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 12-7-'77 and that certificate extends to the detail shown on this sheet.</p>	<p>Registered Number: <b>SP9866</b></p>
<p>Signed for the purposes of identification</p>	<p>Surveyor: <i>[Signature]</i></p>	
<p>Council Clerk: <i>[Signature]</i></p>	<p>Owner: E.F. &amp; M. MILNER Title Reference: C.T. 3409-03 3611-64</p>	

SCALE: 1:500



<p><b>ANNEXURE SHEET No. 2</b> (of 2 annexures) to plan by Surveyor</p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 12-7-77 and that certificate extends to the detail shown on this sheet.</p>	<p>Registered Number: <b>S.P.9866</b></p>
<p>Signed for the purposes of identification</p>	<p>Surveyor: <i>[Signature]</i></p>	
<p>Council Clerk: <i>[Signature]</i></p>	<p>Owner: E.F. &amp; M. MILNER Title Reference: C.T. <del>3409-83</del> 3611-64</p>	





**SCHEDULE OF EASEMENTS**

**PLAN NO.**

**S.P9866**

**NOTE:**—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

**EASEMENTS AND PROFITS**

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easement shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easement shewn on the plan is indicated by arrows.

**COVENANTS**

The owner of each lot shown on the plan except Lot 1000 covenants **FIRST** with the Vendors (which term shall include Edward Francis Milner and Margaret Milner and the survivor of them and their respective personal representatives administrators and assigns) that the Vendors shall not be required to fence and this provision shall have the same effect as is provided by Section 71B of the Conveyancing and Law of Property Act 1884 and **SECONDLY** with the Vendors and the owners for the time being of every other lot shown on the plan except Lot 1000 to the intent that the burden of this covenant may run with and bind the covenantors' lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot shown on the plan except Lot 1000 and with the residue of the land comprised in Certificate of Title registered Volume 3409 Folio 83 being the unsubdivided balance and each and every part thereof to observe the following stipulations:

1. Not to excavate carry away or remove or permit or suffer to be excavated carried away or removed from that lot or any part thereof any earth clay stone gravel or sand except such as may be necessary for the purpose of road construction and levelling or filling the said lot or any foundations of any building to be erected thereon.
2. Not without the consent in writing of the Vendors to carry on or permit or suffer to be carried on on any part of that lot the trade or business of a working tallow chandler, soap boiler or maker, manufacturing chemist, distiller, boiler maker, slaughterman, tanner, fellmonger, brickmaker, tilemaker, pipe-maker, quarryman, pottery maker or any other noxious trade or business or the sale or manufacture of any kind of intoxicating liquor.
3. Not without the consent in writing of the Vendors to erect or place upon that lot or any part thereof any shop building or erection whatsoever for the purpose of selling or offering or exposing for sale therein or thereon any articles wares or merchandise whatsoever.
4. Not without the consent in writing of the Vendors to erect on that lot more than one main building.

9866

5. Not without the consent in writing of the Vendors to use the main building erected on that lot for any purpose other than as a private dwelling house.
6. Not without the consent in writing of the Vendors to erect on that lot or any part thereof any dwelling house or building of a less value (exclusive of outbuildings) than Twelve thousand dollars such value to be the actual cost of labour and materials only and any question as to value shall be settled by the Surveyor of the Vendors to whom all necessary vouchers shall be produced.
7. Not without the consent in writing of the Vendors, such consent not to be unreasonably withheld, to erect or re-erect on that lot any building whatsoever which shall have been pulled down or demolished on any other land nor to use any second hand material whatsoever in the erection of any building on the said lot.
8. Not without the consent in writing of the Vendors to affix or display upon any wall or fence upon the said lot or any part thereof any posters bills or advertisements (except any notice or advertisement in the usual form for the sale or letting of such lot or any building erected thereon) or erect or place any hoarding or structure upon the said lot for use as a bill posting or advertising station. The Vendors or their agents and workmen may at any time without notice to the owner for the time being of any lot enter upon any lot or part thereof and remove any poster, bill, advertisement or any hoarding or structure which may be affixed displayed or erected thereon in contravention of this stipulation.
9. Not to cut down or interfere with any native trees excluding black wattles presently growing on that Lot PROVIDED NEVERTHELESS that this covenant shall not prevent:
  - (a) The removal of such trees as are necessary to enable a dwelling house to be erected on that Lot
  - (b) The establishment and maintenance of a garden on that Lot and
  - (c) The removal of any diseased or dying trees from that Lot

**AND** the Vendors reserve the right to sell lease or otherwise deal with any lot on the plan either subject to the conditions, stipulations and restrictive covenants hereinbefore set out or any one of them or not and subject to any waiver modification, alteration or amendment or full release thereof as the Vendors think fit. The exercise of this right by the Vendors in relation to any lot shall not release the owner of any other lot from any of the conditions, stipulations or covenants effected or imposed upon such other lots or give to the owner of any lot any right of action against the Vendors or any other person or persons.

**SIGNED** by the Vendors, Edward Francis Milner and Margaret Milner, the registered proprietors of the land described in Certificate of Title Volume 3409 Folio 83, in the presence of

) ..... *E. F. Milner* .....  
 ) ..... *M. Milner* .....

**SIGNED** by Finance Corporation of Australia Limited, the Mortgagee under Memorandums of Mortgage Number A384583, A428625 and A517646 by its Attorneys **MATHEW JOHN HUBERT DRIESSEN** and **GRAEME EDWARD JOHNSON** under Power of Attorney Number 11163, and the said Attorneys declare that they have not received any notice of revocation of the said Power, in the presence of

) and A 566156 & A575838 Finance Corporation of Australia Limited by its Attorneys .....  
 ) .....  
 ) .....

*Stiller*  
*Black*  
*Hubert*

9866

Certified correct for the purposes of the Real Property Act 1862, as amended.

*[Signature]*  
Subdivider/Solicitor for the Subdivider

This is the schedule of easements attached to the plan of \_\_\_\_\_  
(Insert Subdivider's Full Name)

E. F. & M. Milner

affecting land in

C.T. 3409-83

(Insert Title Reference)

Scaled by Municipality of Beaconsfield on 29th July, 1977

*[Signature]*  
Council Clerk/Town Clerk

197

**APPROVAL BY LOCAL AUTHORITY**

9866

The subdivision shown in this Plan  
is approved

Seal

Insert here any qualification to the approval under section 468(12), section 472 or section 477B of the Local Government Act 1962. Rule through any blank space.

In witness whereof the common seal of

THE WARDEN, COUNCILLORS AND ELECTORS OF  
THE MUNICIPALITY OF BEACONSFIELD.

has been hereunto affixed, pursuant to a resolution of the Council of the said municipality passed the 26th day of July 1977, in the presence of us

*James McAvoy* } Members  
*[Signature]* }  
*[Signature]* Council Clerk

**TO BE COMPLETED WHEN ADDITIONAL SHEETS ARE ANNEXED:**

Detailed drawings of the parcels shown in this plan are contained in the additional sheet/s annexed hereto and signed by us

*David John McAvoy* Surveyor  
*[Signature]* Council Clerk

**TO BE COMPLETED AND SIGNED BY COUNCIL CLERK OR OWNER**

For the purposes of section 464 of the Local Government Act 1962, the owner has nominated/ I nominate

As his/my solicitor *TYSON, TYSON*  
 As his/my surveyor *D. J. McAvoy*  
*[Signature]* Council Clerk/Owner

**TO BE FILLED IN BY SURVEYOR**

Survey commenced *8/3/76*  
 Survey finished *28/1/77*  
 Error of Close *See Calc's*

**OFFICE EXAMINATION**

Plot Checked *PR 29-8-77*  
 Mathematically Checked *PR 29-8-77*  
 Examined as to boundaries *MT 4/10/77*  
 Entered on Card

CS. 253

*Surveyor's Certificate*

I, *David John McAvoy* of *Roselea* in Tasmania, registered surveyor, hereby certify that this plan:

1. Has been made from surveys executed by me or a registered pupil under my personal supervision, inspection, and field-check, and that both plan and survey are correct, and have been made in accordance with the Land Surveyors By-Laws 1966;
2. Complies with all statutory provisions relating to anything appearing thereon; and
3. Requires the approval of the local authority, which has been obtained (or does not require the approval of any local authority)

Dated this *12th* day of *July* 19 *77*  
*David John McAvoy*  
 Registered Surveyor

SURVEY REQUISITION

Lands Titles Office, Hobart.

To: SURVEYOR D. J. MEAVOY

ROSETTA  
4a Gutteridge, Haskins & Davey.  
Hobart.

5/9/77

REFERENCE: S.P. 9866

E.F. & M. MILNER OWN.

C.T. 3611-64

TN. OF RIVERSIDE

Please attend to the requisitions marked  below and return together with enclosures at your earliest convenience.

*[Signature]*  
Chief Draftsman

- (a) Surveyors declaration not completed.
- (b) Survey notes not certified correct.
- (c) Commencement and finishing dates incomplete.
- (d) Survey notes are incomplete. **BEARINGS AND DISTANCES OMITTED.**
- (e) Nature of boundaries to be described.
- (f) Boundaries in relation to not defined.
- (g) Corners not marked.
- (h) Origin of old marks not stated.
- (i) Datum of survey not stated.
- (j) Figures will not close.
- (k) C.T. boundaries not reproduced.
- (l) Connections as per Circular Memorandum 1/1975 required.
- (m) Parcels not numbered.
- (n) Outlet of drainage easements to be in terms of section 472 (1) (g) of the Local Government Act 1962.
- (o) Fall of easements to be indicated.
- (p)

Additional as requested  
*[Signature]* 26/9/77

14293



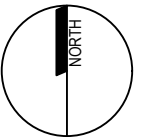
# GEOWOW HOUSE

## ALTERATIONS & ADDITIONS

17 RIVERVIEW ROAD, RIVERSIDE

DRAWING SCHEDULE	
A.00	COVER PAGE
A.01	SITE PLAN
A.02	GROUND FLOOR DEMOLITION PLAN
A.03	GROUND FLOOR PLAN
A.04	FIRST FLOOR & ROOF PLANS
A.05	STRUCTURE PLAN - FOOTING & SLAB
<del>A.10</del>	<del>REFLECTED CEILING PLAN</del>
A.20	ELEVATIONS 01
A.21	ELEVATIONS 02
A.30	SECTION 01
<del>A.40</del>	<del>CONSTRUCTION DETAILS 01</del>
<del>A.41</del>	<del>CONSTRUCTION DETAILS 02</del>
<del>A.42</del>	<del>CONSTRUCTION DETAILS 03</del>
<del>A.43</del>	<del>CONSTRUCTION DETAILS 04</del>
<del>A.50</del>	<del>INT. DETAILS 01 - D/STAIRS BATHROOM</del>
<del>A.51</del>	<del>INT. DETAILS 02 - D/STAIRS BATHROOM</del>
<del>A.52</del>	<del>INT. DETAILS 03 - U/STAIRS BATHROOM</del>
<del>A.53</del>	<del>INT. DETAILS 04 - U/STAIRS BATHROOM</del>
<del>A.54</del>	<del>INT. DETAILS 05 - KITCHEN</del>
<del>A.55</del>	<del>INT. DETAILS 06 - KITCHEN</del>
<del>A.56</del>	<del>INT. DETAILS 07 - KITCHEN</del>
<del>A.57</del>	<del>INT. DETAILS 09 - HALL CUPBOARDS</del>
A.60	ELECTRICAL PLAN
<del>A.61</del>	<del>HYDRAULIC PLAN</del>
A.62	DOOR & WINDOW SCHEDULE
<del>A.63</del>	<del>DOOR &amp; WINDOW ELEVATIONS</del>
<del>A.65</del>	<del>WATER-PROOFING 01</del>
<del>A.66</del>	<del>WATER-PROOFING 02</del>

SITE INFORMATION	
TITLE REFERENCE:	9866/12
PROPERTY ID:	6052688
WIND CLASSIFICATION:	N1
SOIL CLASSIFICATION:	CLASS H1
CLIMATE ZONE:	7
BAL LEVEL:	NA
ALPINE OR SUB-ALPINE:	NA



pulpstudio

31 Hill Street West Launceston Tasmania 7250  
 T +61 (0)418 501 973 pulp@pulpstudio.com.au

Accredited Building Practitioner Peter Booth, CC6132R

Rev	Description	Dwn	Date
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

Contractor shall verify all dimensions on site before commencing any work or shop drawings. Do not scale from drawings.  
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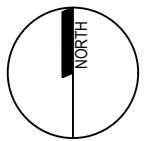
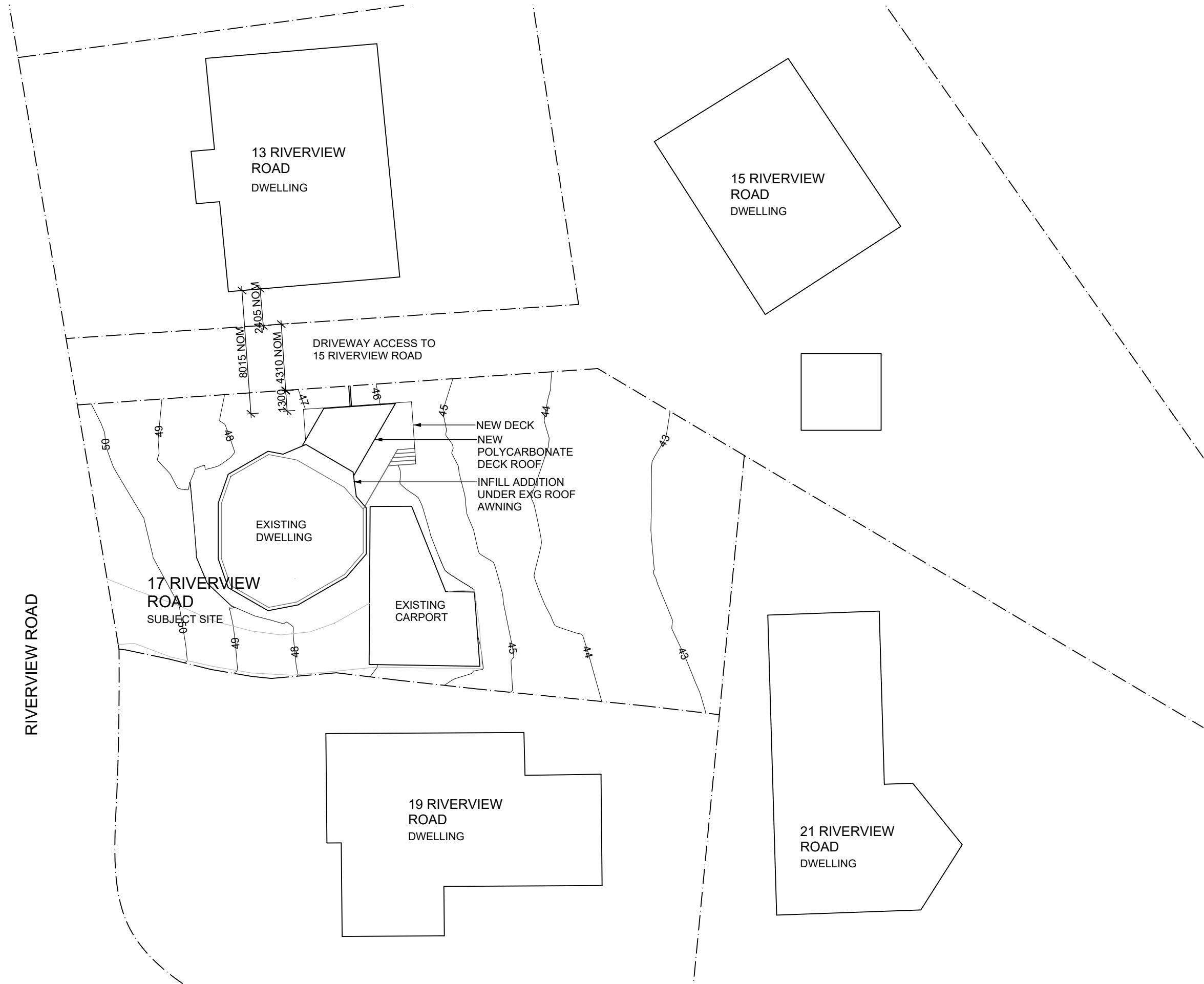
Project	Geowow 17 Riverview Road Riverside TAS 7250
Client	Carmel Dilger

Title COVER PAGE

Issue CONSTRUCTION

Scale	AS INDICATED @ A3	Date	13/05/26	Project Number
-------	-------------------	------	----------	----------------

Drawing No	<b>A.00</b>	2102
		Rev



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Rev	Description	Dwn	Date
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

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Project Geowow  
 17 Riverview Road  
 Riverside  
 TAS 7250  
 Client Carmel Dilger

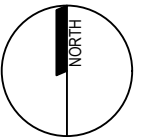
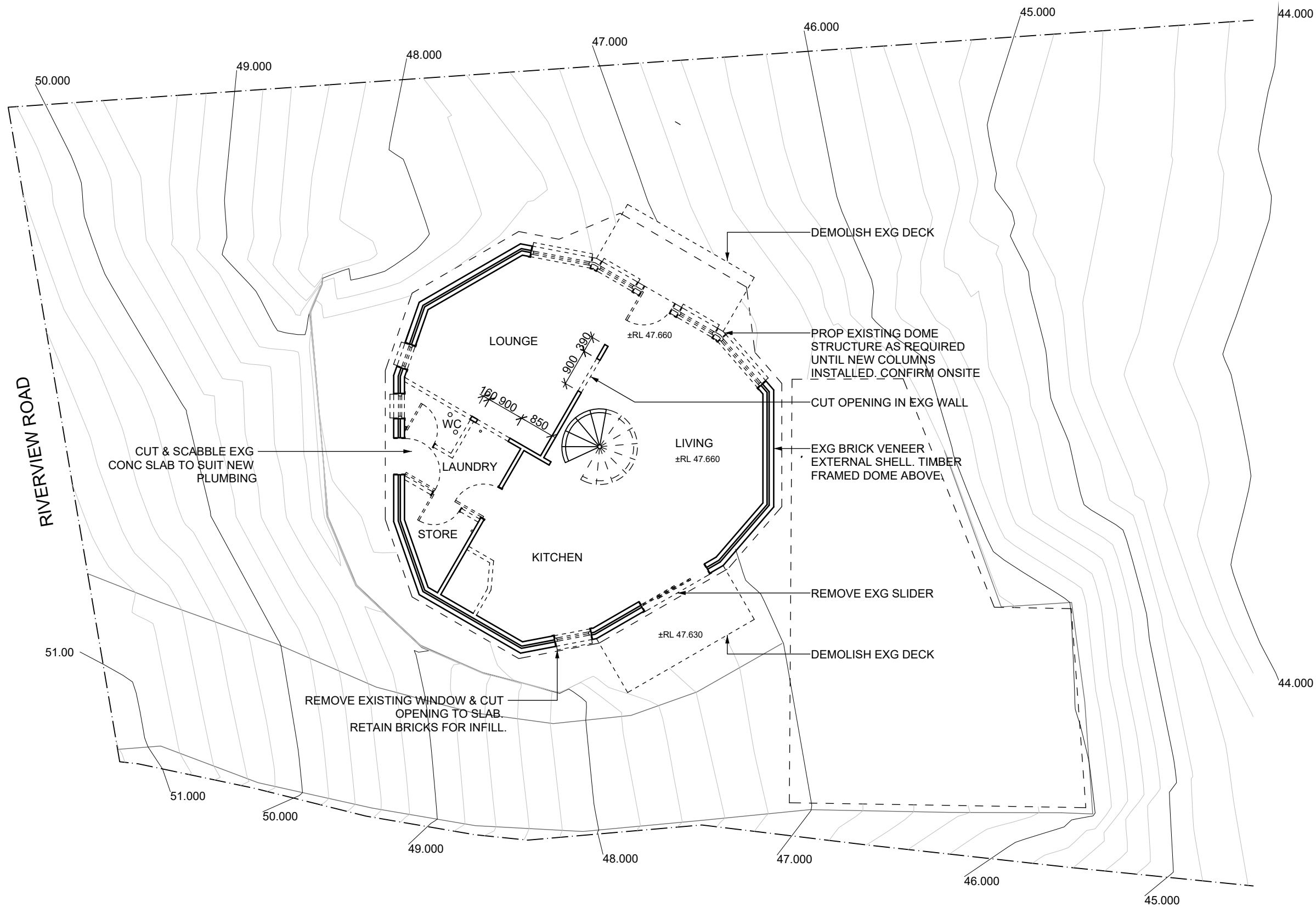
Title SITE PLAN

Issue CONSTRUCTION

Scale <sup>AS</sup> INDICATED @ A3 Date 13/05/26 Project Number

Drawing No **A.01** 2102  
 Rev

P01 SITE PLAN  
 1:250



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Rev	Description	Dwn	Date
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

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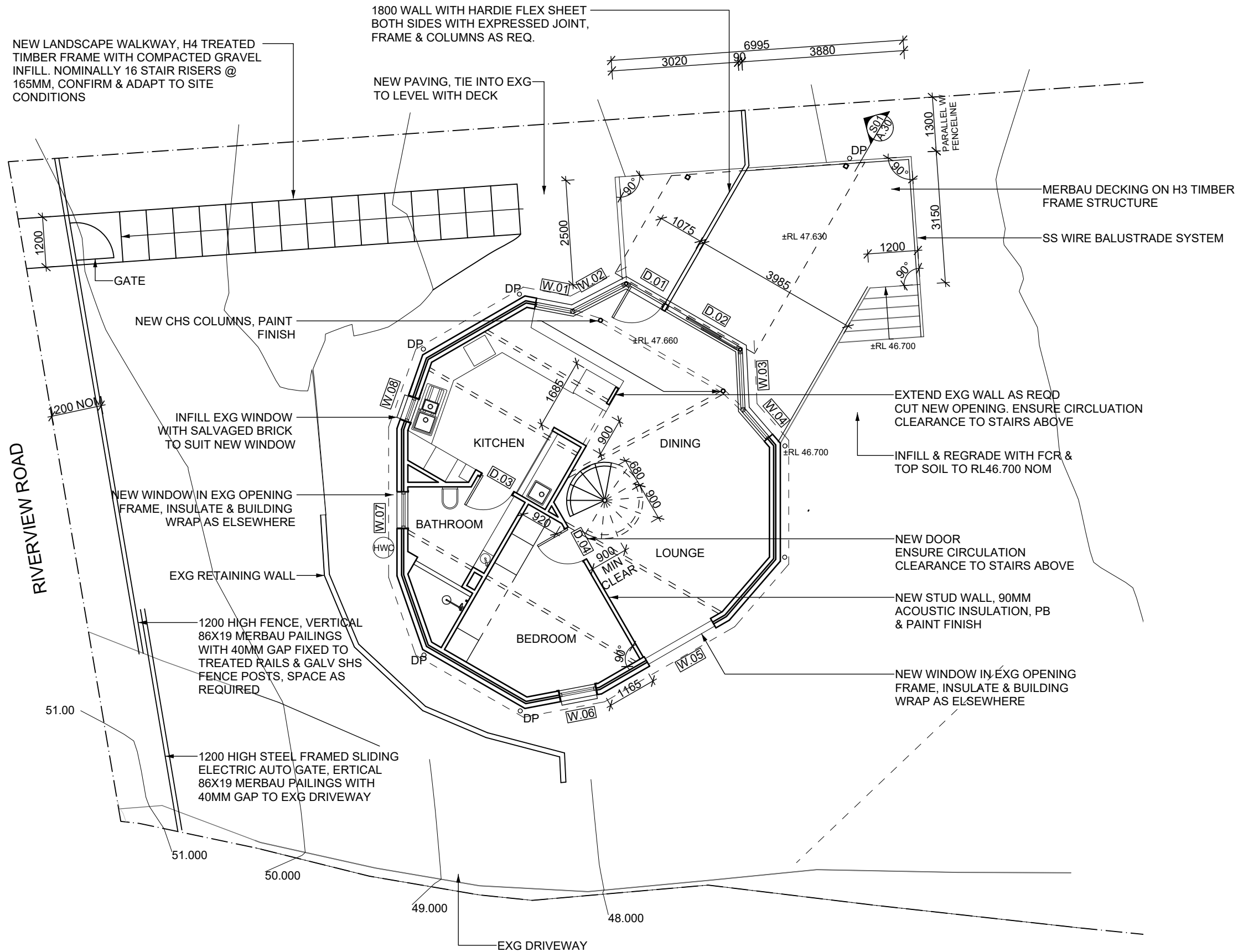
Project Geowow  
 17 Riverview Road  
 Riverside  
 TAS 7250  
 Client Carmel Dilger

Title GROUND FLOOR DEMOLITION PLAN

Issue CONSTRUCTION

Scale <sup>AS</sup> INDICATED @ A3 Date 13/05/26 Project Number

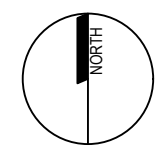
Drawing No **A.02** 2102  
 Rev



**NOTES:**

R2.7 INSULATION TO EXTERNAL TIMBER FRAMES WHERE EXG EXPOSED OR NEW

BRADFORD 90MM 24KG/M<sup>2</sup> ACOUSTIGUARD BATTS TO INTERNAL WALLS SURROUNDING BATHROOM, LAUNDRY CPD, BEDROOM.



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Rev	Description	Dwn	Date
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

Contractor shall verify all dimensions on site before commencing any work or shop drawings. Do not scale from drawings.  
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Project Geowow  
 17 Riverview Road  
 Riverside  
 TAS 7250

Client Carmel Dilger

Title GROUND FLOOR PLAN

Issue CONSTRUCTION

Scale INDICATED @ A3 AS Date 13/05/26 Project Number

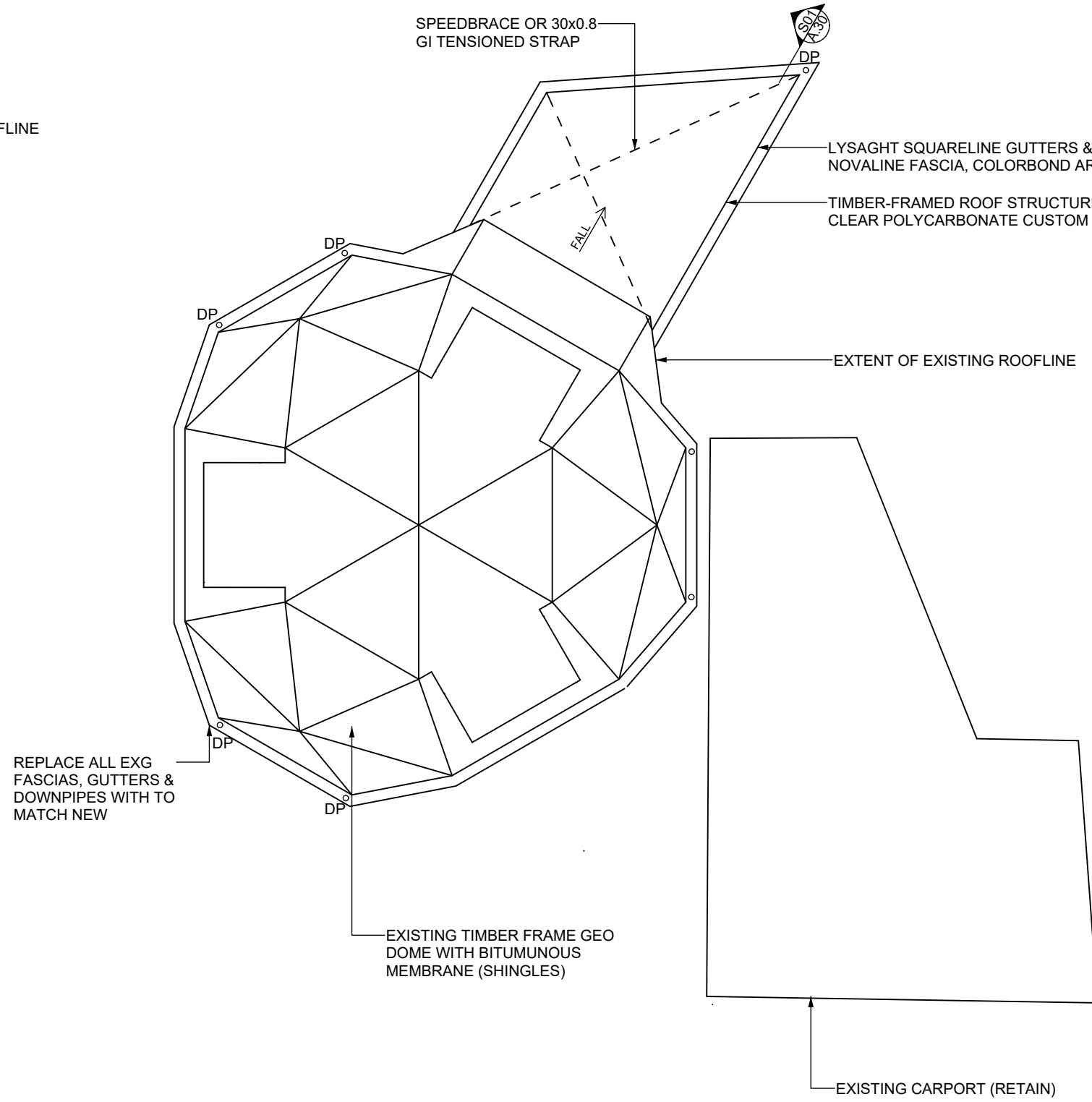
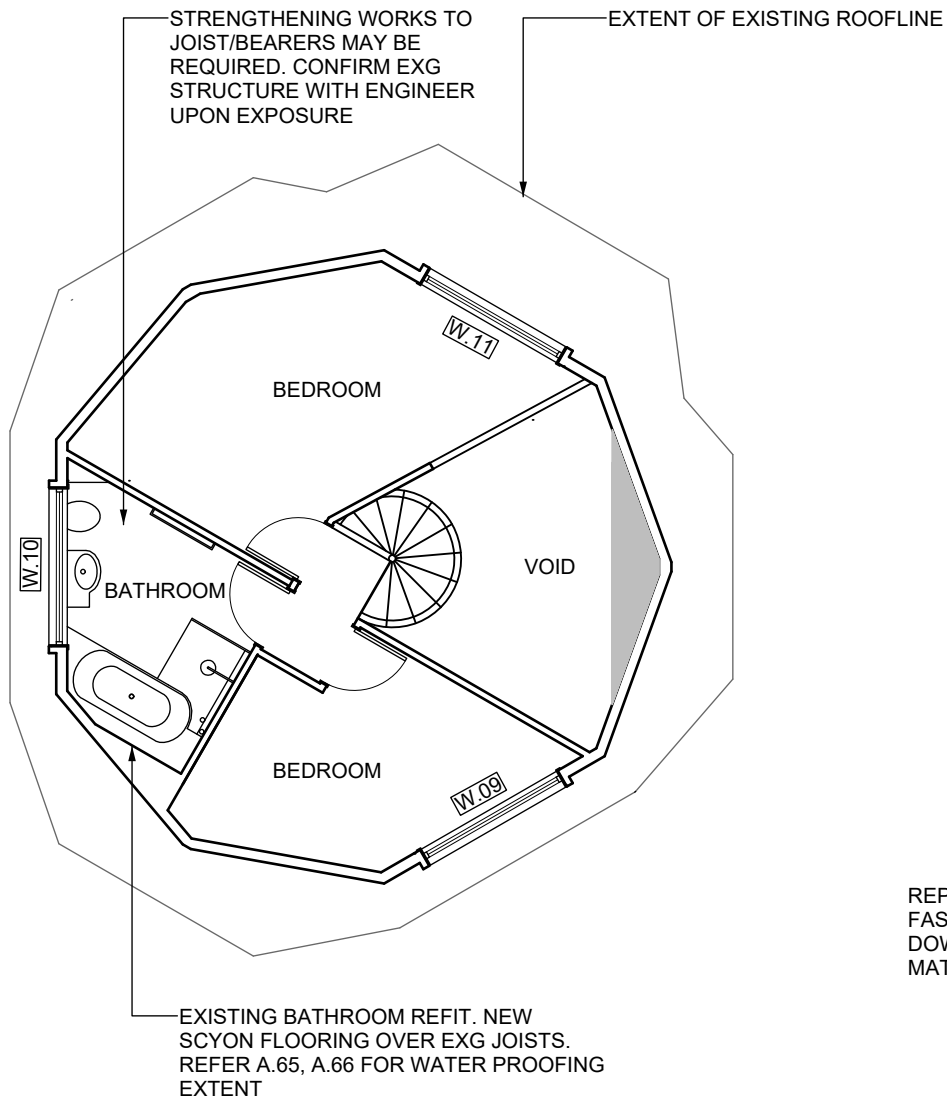
Drawing No **A.03** 2102  
 Rev

P03 GROUND FLOOR PLAN  
 1:100

**NOTES:**

R2.7 INSULATION TO EXTERNAL TIMBER FRAMES WHERE EXG EXPOSED OR NEW

BRADFORD 90MM 24KG/M<sup>2</sup> ACOUSTIGUARD BATTS TO INTERNAL WALLS SURROUNDING BATHROOM.



P04 FIRST FLOOR  
1:100

P05 ROOF PLAN  
1:100

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Rev	Description	Dwn	Date
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

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Project Geowow  
17 Riverview Road  
Riverside  
TAS 7250  
Client Carmel Dilger

Title FIRST FLOOR + ROOF PLANS

Issue CONSTRUCTION

Scale AS INDICATED @ A3 Date 13/05/26 Project Number

Drawing No **A.04** 2102  
Rev

**FOOTING & SLAB**

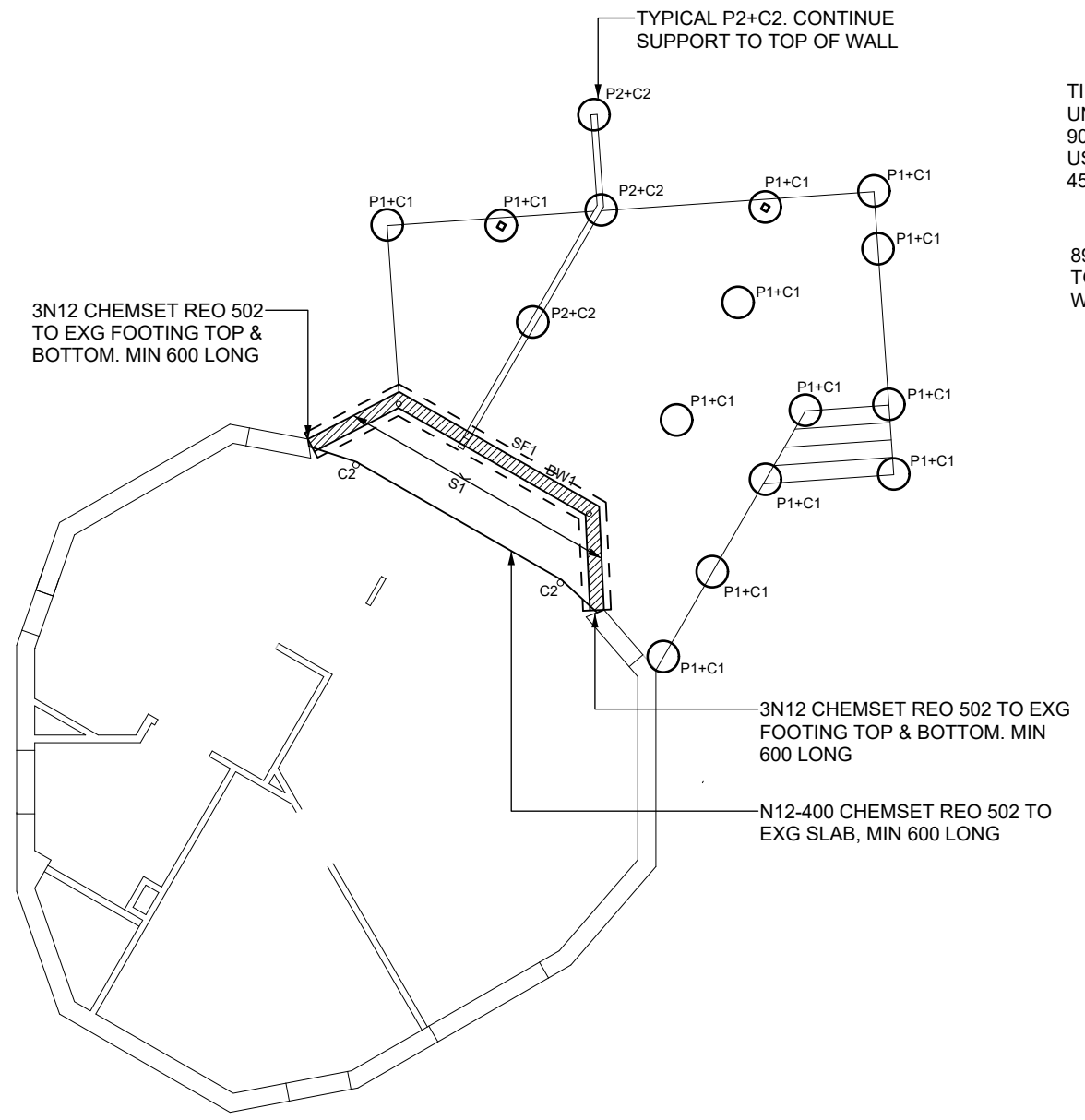
- BW1 190 CORE FILLED BLOCKWORK WALL
- P1+C1 450Ø BOARD PIER, MIN 600 DEEP. REF DETAIL
- P2+C2 450Ø BOARD PIER, MIN 700 DEEP. REF DETAIL
- S1 120 SLAB, SL92 TOP, 35MM MIN COVER
- SF1 STRIP FOOTING, 500 DEEP x MIN 400 WIDE

**FRAME**

- B1 2/190x45 MGP10 H3 TP LAMINATED BEARER CONT. UNDER JOISTS
- B2 2/190x45 MGP10 H3 TP BEARER CONT. IN PLANE & UNDER JOISTS - REF DETAILS
- C1 89x3.5 SHS GALV COLUMN
- C2 89x5.0 SHS GALV COLUMN
- C3 88.9x3.2 CHS COLUMN
- C4 150x100x5 RHS GALV COLUMN
- J1 140x45 MGP10 H3 TP JOISTS, CONT. @ 450 CTRS MAX
- LD1 240x45 MGP10 H3 TP LEDGER, REF DETAIL
- SB1 30x0.8 GI TENSIONED STRAP BRACE TO TOP OF JOISTS

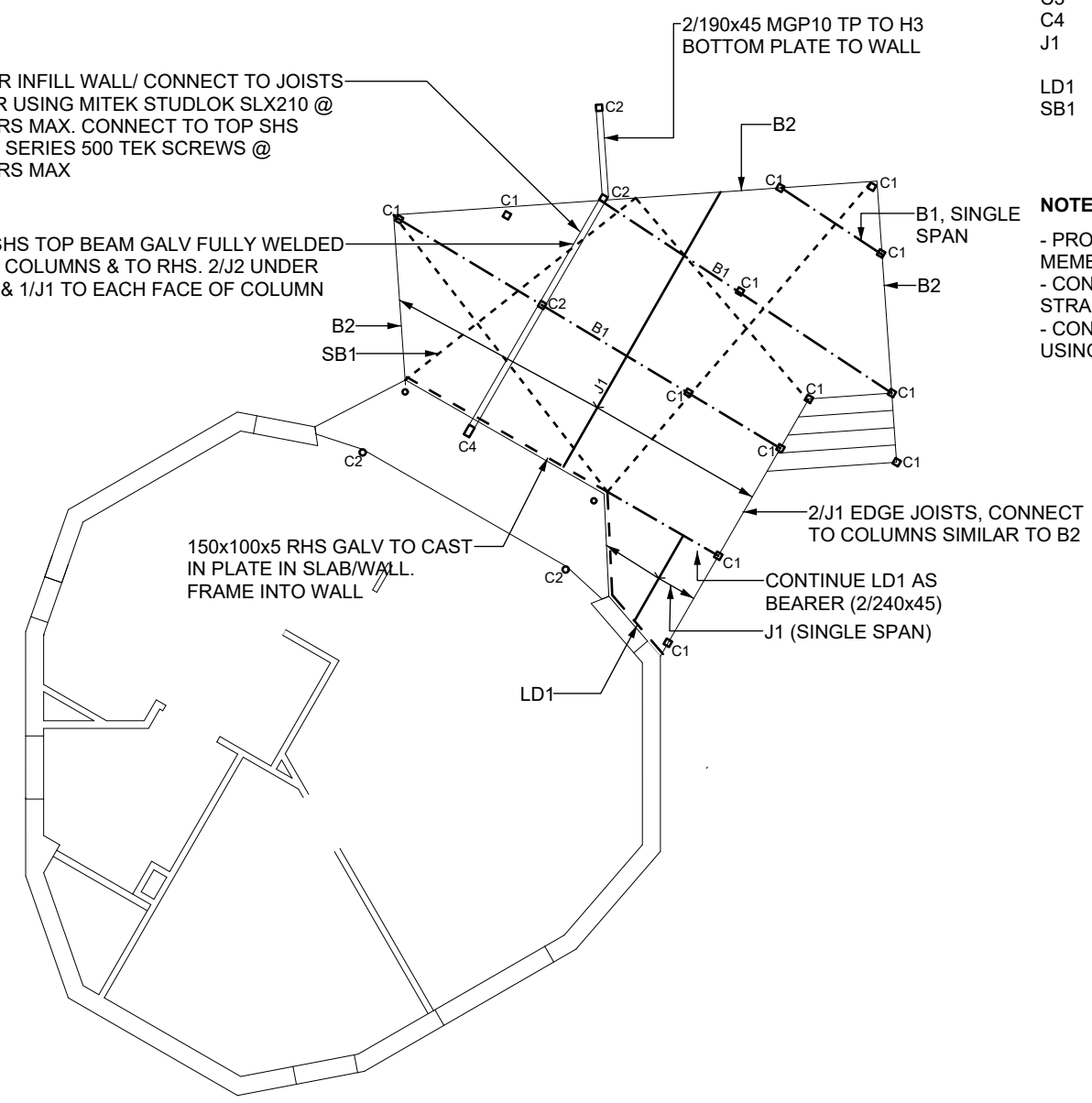
**NOTES**

- PROVIDE MIN 150 CLEARANCE UNDER ALL TIMBER MEMBERS
- CONNECT JOISTS OVER BEARERS USING PRYDA JOISTS STRAPS.
- CONNECT JOISTS IN PLANE WITH BEARERS & LEDGERS USING STAINLESS STEEL PTRYDA JOIST HANGERS



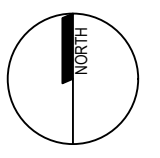
TIMBER INFILL WALL/ CONNECT TO JOISTS UNDER USING MITEK STUDLOK SLX210 @ 900CTRS MAX. CONNECT TO TOP SHS USING SERIES 500 TEK SCREWS @ 450CTRS MAX

89x5 SHS TOP BEAM GALV FULLY WELDED TO C2 COLUMNS & TO RHS. 2/J2 UNDER WALL & 1/J1 TO EACH FACE OF COLUMN



FOOTING & SLAB PLAN  
1:100

DECK & FRAMING PLAN  
1:100



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17 Riverview Road  
Riverside  
TAS 7250

Client Carmel Dilger

Title STRUCTURE 01

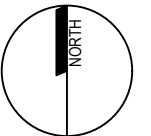
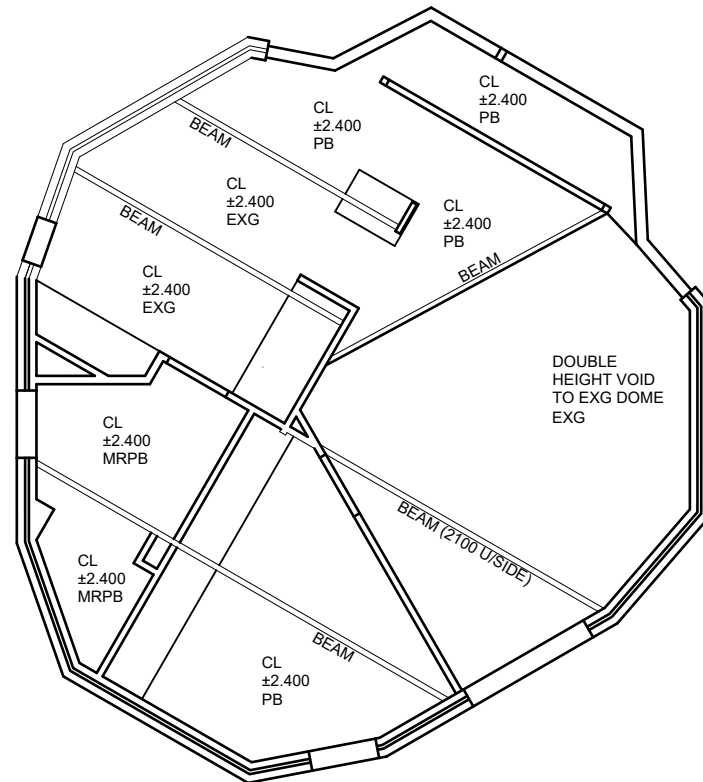
Issue CONSTRUCTION

Scale AS INDICATED @ A3 Date 13/05/26 Project Number

Drawing No **A.05** 2102  
Rev

**FINISH KEY**

- EXG: EXISTING
- FC: FIBER CEMENT SHEET
- MRPB: MOISTURE RESISTANT PLASTER BOARD
- PB: PLASTER BOARD
- TB: TIMBER BOARD ON BATTENS



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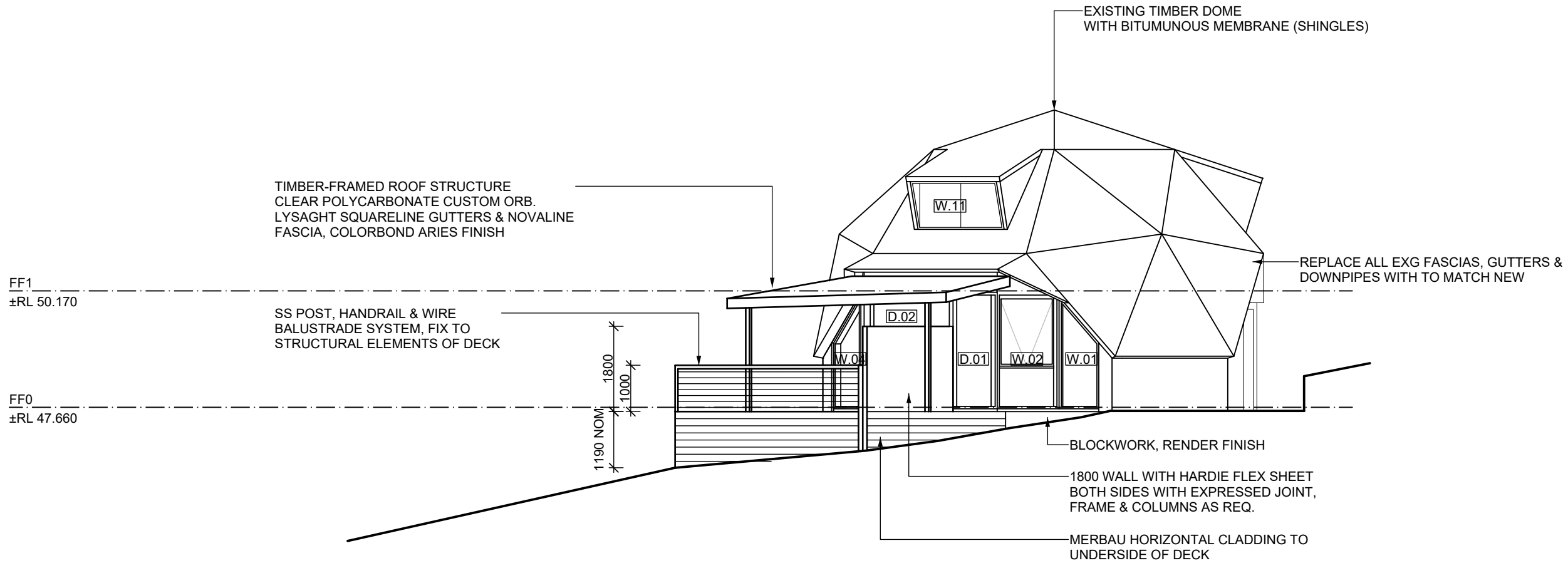
Project Geowow  
 17 Riverview Road  
 Riverside  
 TAS 7250  
 Client Carmel Dilger

Title REFLECTED CEILING PLAN

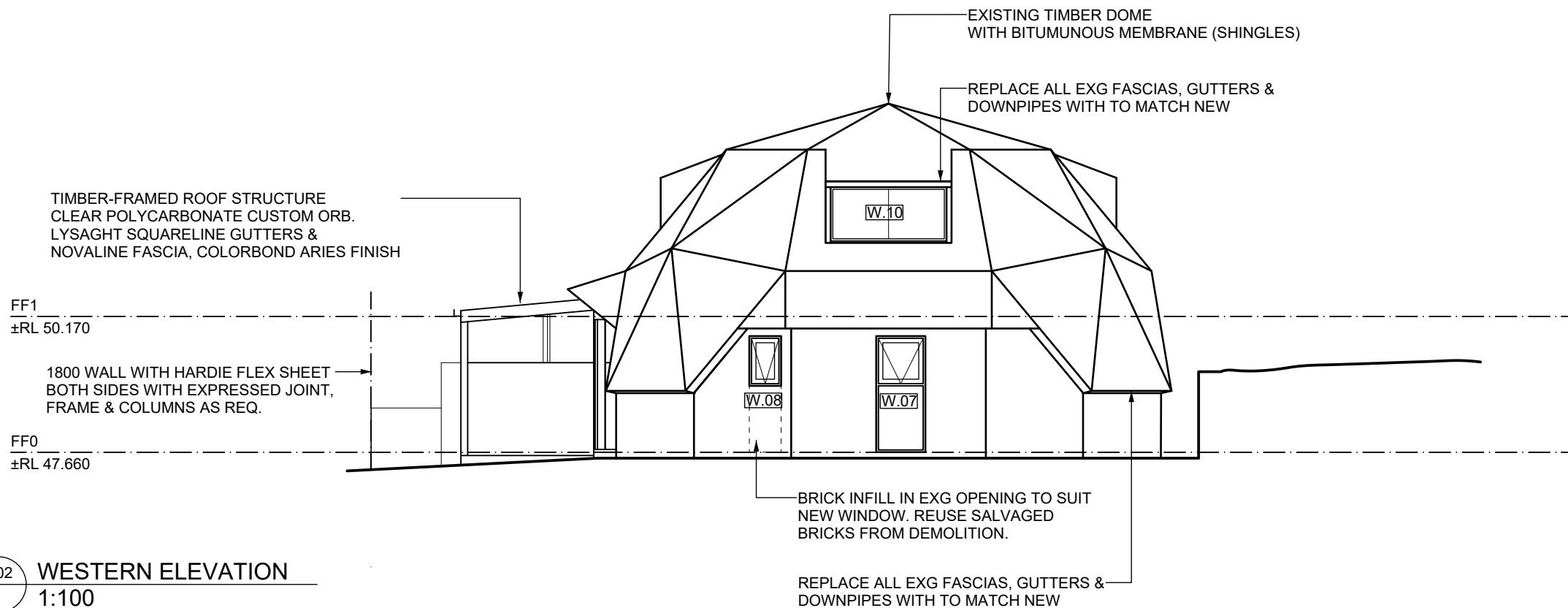
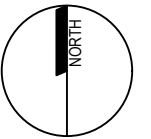
Issue CONSTRUCTION

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E01 NORTHERN ELEVATION  
1:100



E02 WESTERN ELEVATION  
1:100

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Client	Carmel Dilger

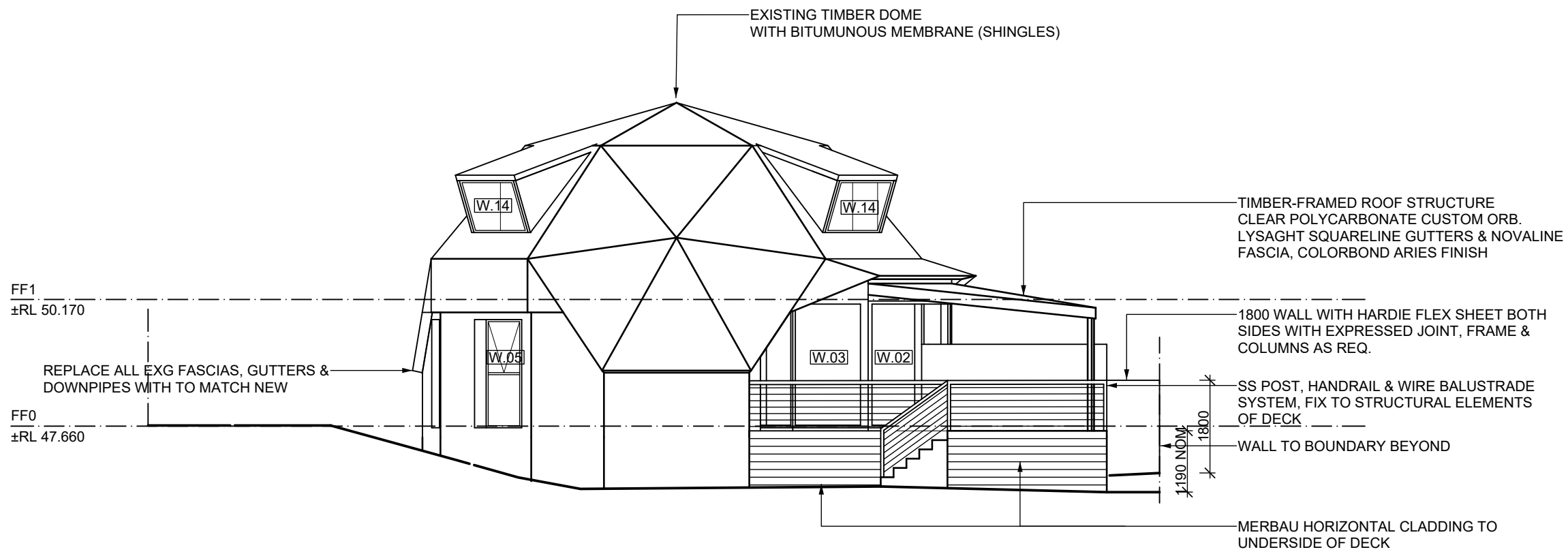
Title	ELEVATIONS 01
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Issue	CONSTRUCTION
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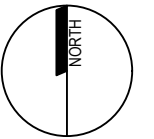
Scale	AS INDICATED @ A3	Date	13/05/26	Project Number	2102
Drawing No	A.20			Rev	



E03 SOUTHERN ELEVATION: AT BOUNDARY  
1:100



E04 EASTERN ELEVATION  
1:100



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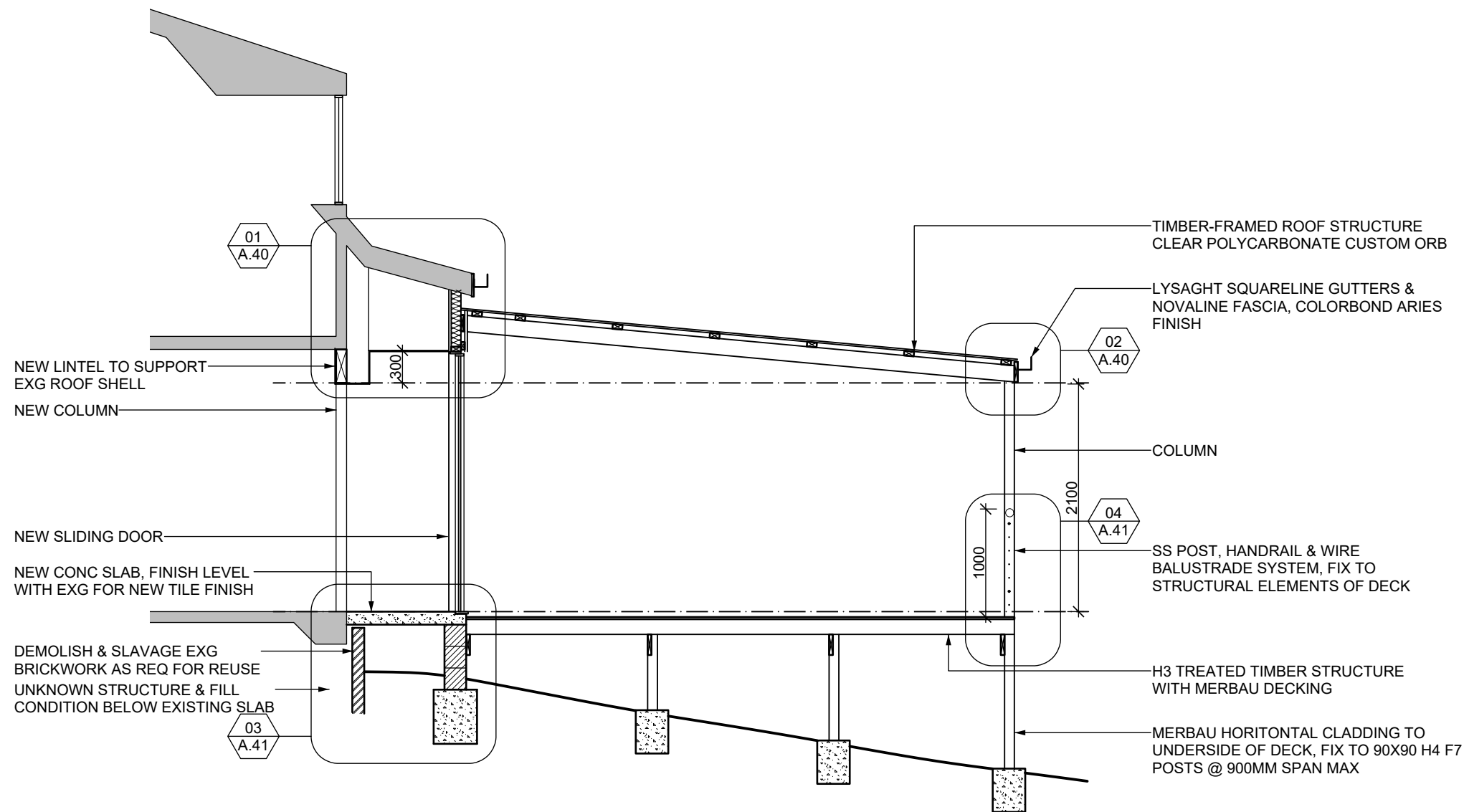
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Riverside  
TAS 7250  
Client Carmel Dilger

Title ELEVATIONS 02

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Drawing No **A.21** 2102  
Rev



S01 SECTION 01  
A.03 1:50

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Client Carmel Dilger

Title SECTIONS 01

Issue CONSTRUCTION

Scale AS INDICATED @ A3 Date 13/05/26 Project Number

Drawing No **A.30** 2102  
Rev