

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE ONLY	Application Number	PA2026134
	Assess No:	A1169
	PID No:	2850631

Applicant Name:	The Shed Company Launceston					
Applicant Contact Name						
Postal Address:						
Contact Phone:	Home		Work		Mobile	
Email Address:						

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements
2. A completed application form including a detailed description of the proposal
3. A complete plan set:
 - a) Floor plans
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level)
 - c) Site Plan showing:
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.
 All plans must be to scale.*

Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: Raymond Heald

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) Timothy Marshall & Nyssa Skilton

Location / Address: 2 McEwans Road Legana Tas 7277

Title Reference: 36765/1

Zone(s):

Existing Development/Use: Residential

Existing Developed Area: 1.673 Ha

Are any of the components in this Application seeking retrospective approval?
E.g. Use and/or development that has commenced without a Planning Permit.

YES
NO No

(If yes please specify the relevant components):

DEVELOPMENT APPLICATION DETAILS

Proposed Use: Residential: Visitor Accommodation: Commercial: Other:
Description of Use:
New prefabricated garden shed no access required

Development Type: Building work: Demolition: Subdivision: Other:
Description of development:
New shed build including concrete slab

New or Additional Area: 48m2

Estimated construction cost of the proposed development: \$34,000

Building Materials:	Wall Type: steel	Colour: night sky
	Roof Type: steel corro	Colour: night sky

WEST TAMAR COUNCIL



Application Number: «Application Number»

Application Number: «Application Number»

VISITOR ACCOMMODATION N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION N/A

- Subdivision creating additional lots
 Boundary adjustment with no additional lots created

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: <i>(Existing)</i>	
Number of Employees: <i>(Proposed)</i>	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that (if not the owner) the information contained in this application is a true and accurate representation of the proposal,

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

Crown Consent
(if required)

Name (print)

Signed

Date

Chief Executive Officer
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

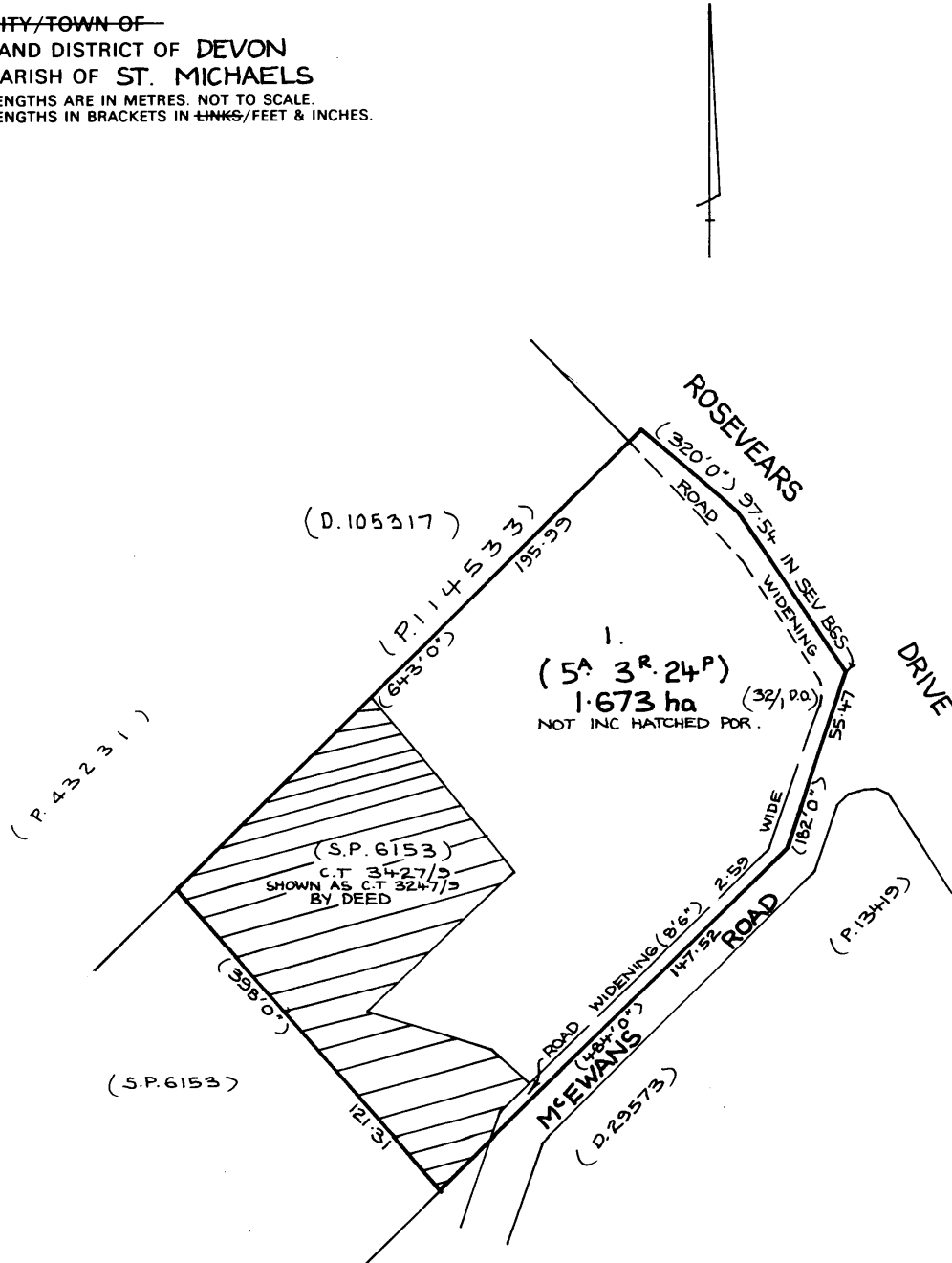
Date

APPROVED 29 AUG 1988 <i>M. Hillier</i> RECORDER OF TITLES	CONVERSION PLAN CONVERTED FROM 63/9471	REGISTERED NUMBER D.36765
FILE NUMBER Y.9198	GRANTEE: PART OF 800-0-0 GTD TO JOSIAS McALLAN	DRAWN D. DANIELS 19-8-1988

05-K 2062

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF
LAND DISTRICT OF DEVON
PARISH OF ST. MICHAELS
LENGTHS ARE IN METRES. NOT TO SCALE.
LENGTHS IN BRACKETS IN LINKS/FEET & INCHES.



PROPOSED SHED FOR NYSSA SKILTON 2 MCEWANS ROAD LEGANA TAS 7277

STAGE | BA STAGE | REVISION 01

INDEX

SHEET NO.	SHEET NAME
A0.0	COVER PAGE
A1.2	PROPOSED SITE PLAN

SITE DETAILS

PLANNING ZONE:	WEST TAMAR COUNCIL RURAL
EXISTING SITE AREA:	14250M ²
PRO. SHED:	48M ²
PRO. SHED COVERAGE:	0.33%

PROJECT INFORMATION

CLIENT: NYSSA SKILTON
TITLE REFERENCE: 36765/1
CLASSIFICATION: 10a CLASS
WIND CLASS: N3
SOIL CLASS: TBC
CLIMATE ZONE: ZONE 7
TOPOGRAPHY CLASS: TBC
CORROSION ENVIRONMENT: N/A
KNOWN HAZARDS: N/A



RICHMOND PROJECTS
M | (+61 0) 423 826 156
E | INFO@RICHMONDPROJECTS.NET

LICENCE NO: 15023031 (QLD), 035660588 (TAS)

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REV	AMENDMENT DETAILS	BY	DATE

PROJECT STAGE

BUILDING APPROVAL

PROJECT DETAILS

PROPOSED SHED

**2 MCEWANS ROAD
LEGANA TAS 7277**

CLIENT DETAILS

NYSSA SKILTON

DRAWING TITLE

COVER PAGE

DRAWN

T.F

DESIGNED

E.R

CHECKED

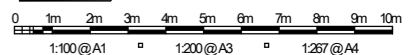
E.R

ISSUE DATE

10/06/26

DRAWING SCALE SHEET SIZE

1 : 50 A3



PROJECT NUMBER

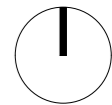
RP2609

DRAWING NUMBER

A0.0

REVISION

01



CONSTRUCTION AND MATERIALS IN ACCORDANCE WITH AS 1684.2 AND AS 3959 FOR BUSHFIRE ATTACK LEVEL - BAL N/A GLAZING TO BE IN ACCORDANCE WITH AS1288 AND AS2047 WIND SPEED 40M/S N2

SITE GENERAL NOTES

CONFIRM ALL DIMENSIONS ON SITE TO EXISTING DWELLINGS PRIOR TO COMMENCEMENT OF ANY WORK. EXISTING PLUMBING AND ELECTRICAL WORKS TO BE REMOVED AND MADE GOOD AS NECESSARY. THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. THIS DRAWING SET TO BE READ IN CONJUNCTION WITH THE SPECIFICATION PROVIDED. BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. REFER ALL MAJOR WORKS TO RAMPS, WALKWAYS, DRIVEWAYS ETC (INCLUDING CARPARK WORKS, LEVELS & DATUMS) REFER CIVIL ENGINEERS DOCUMENTATION. ALL SITE WORKS SHALL BE IN ACCORDANCE WITH N.C.C., CSIRO BTF 18,19,22 AND AS2870 MINIMAL SITE DISTURBANCE IS TO BE CARRIED OUT. SEDIMENT CONTROL; 'GEOLAB' SILT FENCE 1000 OR SIMILAR. TOPSOIL STOCKPILES REMAINING ON THE SITE TO BE COVERED WITH PLASTIC, DEQUATELY RETAINED ALONG ALL EDGES. UNUSED STOCKPILES TO BE REMOVED FROM SITE OR USED FOR FUTURE LANDSCAPING.

SITE PREPARATION AND EXCAVATION

IN ACCORDANCE WITH PART 3.1 OF CURRENT N.C.C., AND TO LOCAL COUNCIL REQUIREMENTS. INTERNAL FINISHED FLOOR LEVEL (FFL) TO BE MIN. 150MM ABOVE FINISHED EXTERNAL GROUND AREAS (FLOWER BEDS OR GRASSED AREAS) AND MIN. 50 MM ABOVE FINISHED EXTERNAL SEALED SURFACES (PAVED AREAS). PROVIDE 50 MM MIN. FALL FOR THE FIRST METRE AWAY FROM BUILDING TOWARDS LOWER GROUND OR ALTERNATIVELY SUFFICIENT DRAINAGE PROVISIONS (AG DRAINS, SUMPS OR SIMILAR).

FOOTINGS

CONCRETE FOOTINGS AND SLABS IN ACCORDANCE WITH PART 3.2 OF CURRENT N.C.C. AND AS 2870.1 AND ENGINEERS SPECS. UNLESS OTHERWISE SPECIFIED, FOOTINGS 25MPA / SLAB 25MPA. STRIP FOOTINGS TO BE PLACED WITH A MECHANICAL VIBRATOR. CONCRETE SLABS TO BE MOISTURE CURED FOR MIN. OF 7 DAYS OR APPLY APPROVED CURING COMPOUND. PROVIDE WALL CAVITY DRAINAGE WITH WEEPHOLES AT 960 MAX CENTRES ALONG LINE ABOVE FINISHED GROUND LEVEL. (SLAB AREA).

WORKPLACE HEALTH AND SAFETY

BUILDER SHALL COMPLY WITH ALL WORKPLACE HEALTH AND SAFETY REQUIREMENTS REQUIRED BY LEGISLATION FOR THE CONSTRUCTION OF THE STRUCTURE AND SHALL ASSES ALL WORKPLACE HEALTH AND SAFETY ISSUES BEFORE COMMENCEMENT OF CONSTRUCTION AND LIASE WITH THE DESIGNER IF NECESSARY TO AVOID/MINIMISE RISKS DURING CONSTRUCTION.

SERVICES

BUILDER TO LOCATE ALL SERVICES BEFORE COMMENCEMENT OF CONSTRUCTION. SEWERAGE TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND WATER SUPPLY ACT 1949. ROOF WATER DISCHARGE TO DOWNPIPES TO RAINWATER STORAGE TANKS IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS. TANK OVERFLOW TO BE DIRECTED OR DISCHARGE AS PER LOCAL AUTHORITY REQUIREMENTS. RAINWATER TANK AND WASTE SERVICES TO BE CONNECTED TO LOCAL AUTHORITY SEWERAGE SYSTEM OR AS PER HYDRAULIC ENGINEERS DEISGN.

NOTE: RICHMOND PROJECTS GIVES NO WARRANTY REGARDING THE PRECENSE OF LOCATION OF BURIED SERVICES, INCLUDING NEW-INSTALLED SERVICES. "AS CONSTRUCTED" LOCATIONS MAY DIFFER FROM WHAT IS DRAWN ON THIS PLAN.

INITIAL IDENTIFICATION AS PER DBYD (DIAL BEFORE YOU DIG - TELEPHONE: 1100 HTTP://WWW.1100.COM.AU)



SITE INFORMATION

SITE AREA	14250M ²
TOTAL BUILDING AREA	48M ²
TOTAL SITE COVERAGE	0.33%



1 OVERALL SITE PLAN
A1.2 1 : 600

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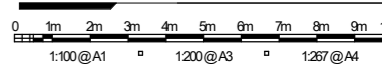
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LEGANA TAS 7277**

CLIENT DETAILS
NYSSA SKILTON

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PROPOSED SITE PLAN

DRAWN
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E.R
CHECKED
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ISSUE DATE
10/06/26
DRAWING SCALE SHEET SIZE
As indicated A3



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RP2609
DRAWING NUMBER
A1.2
REVISION
01