

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE ONLY	Application Number	PA2026144
	Assess No:	A8300
	PID No:	6094925

Applicant Name:	WOODBURY CO PTY LTD		
Postal Address:			
Contact Phone:	Home	Work	Mobile
Email Address:			

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements
2. A completed application form including a detailed description of the proposal
3. A complete plan set:
 - a) Floor plans
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level)
 - c) Site Plan showing:
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.
 All plans must be to scale.*

Application Number: «Application Number» _____

APPLICANT DETAILS

Applicant Name:	
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Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name: <i>(as per certificate of title)</i>	
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Location / Address:	
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Title Reference:	
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Zone(s):	
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Existing Development/Use:	
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Existing Developed Area:	Area
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DEVELOPMENT APPLICATION DETAILS

Proposed Use:	Residential: <input type="checkbox"/>	Visitor Accommodation: <input type="checkbox"/>	Commercial: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of Use:			

Development Type:	Building work: <input type="checkbox"/>	Demolition: <input type="checkbox"/>	Subdivision: <input type="checkbox"/>	Other: <input type="checkbox"/>
	Description of development:			

New or Additional Area:	Area
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Estimated construction cost of the proposed development:	\$
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Building Materials:	Wall Type:	Colour:
	Roof Type:	Colour:

Application Number: «Application Number» _____

SUBDIVISION N/A

- Subdivision creating additional lots
 Boundary adjustment with no additional lots created

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: <i>(Existing)</i>	
Number of Employees: <i>(Proposed)</i>	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: «Application Number» _____

APPLICANT DECLARATION

Owner: *As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,*

Name (print)

Signed

Date

Applicant: *As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,*

(if not the owner)

Name (print)



Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

Crown Consent
(if required)

Name (print)

Signed

Date

General Manager
(if required)

Name (print)

Signed


Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

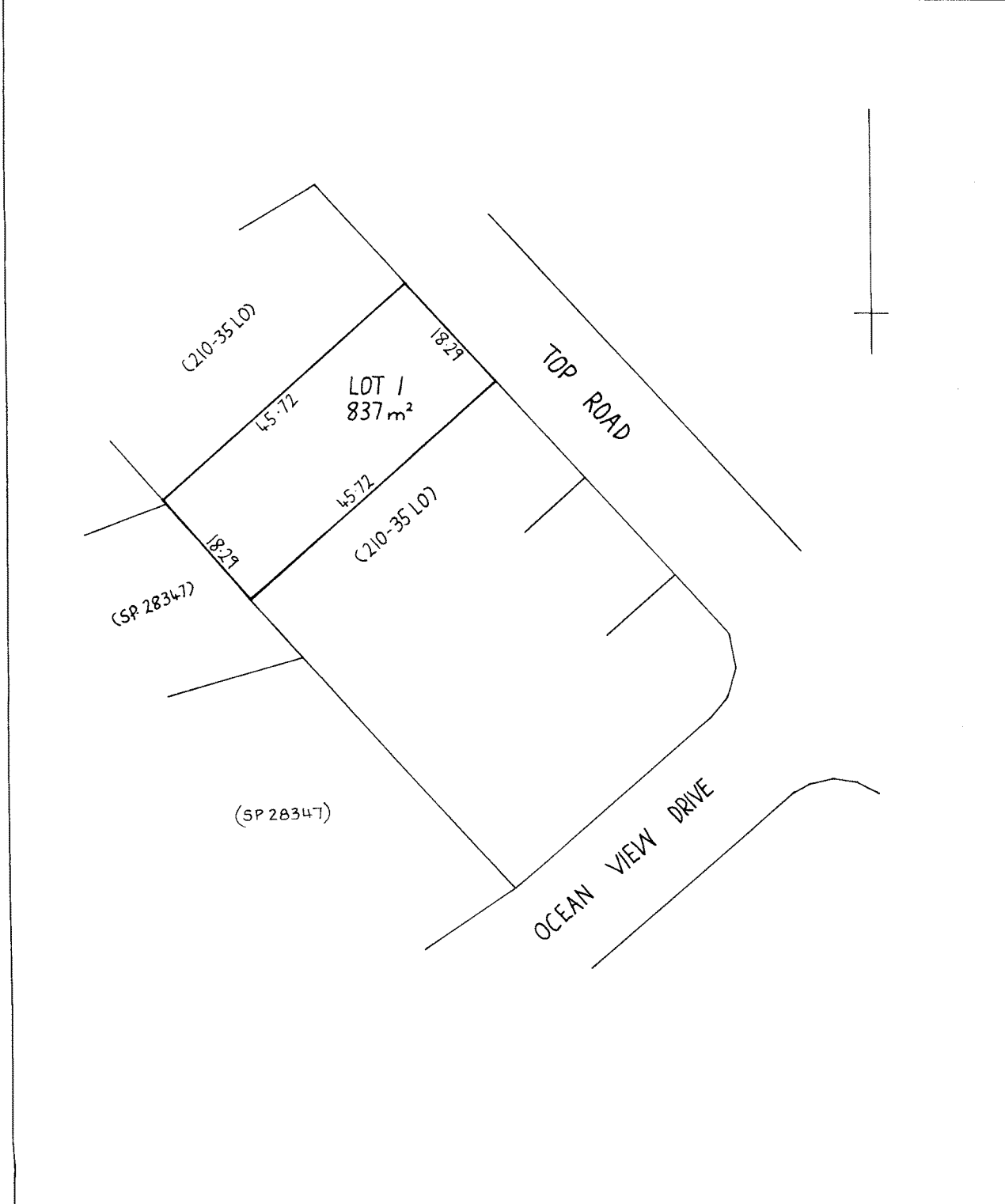
Name (print)



Signed

Date

OWNER		PLAN OF TITLE		Registered Number	
FOLIO REFERENCE C.T. 2193-51				LOCATION DEVON - STOCKPORT	
GRANTEE		FIRST SURVEY PLAN No. (210/35 L0)		APPROVED 12 JUN 1997	
		COMPILED BY L.T.O.		<i>Michael Day</i> Recorder of Titles	
		SCALE 1: 500		LENGTHS IN METRES	
MAPSHEET MUNICIPAL CODE No. 129 (464555)		LAST UPI No 4101309		LAST PLAN No.	
				ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	



A-143 31

DEVELOPMENT APPLICATION

PROJECT INFORMATION
25/05/2026

LOW DENSITY RESIDENTIAL ZONE
• Priority vegetation area

BUILDING AREAS

EXISTING BUILDING AREA	
EXISTING DWELLING	175 m2
EXISTING SHED	59m2
EXISTING DECK	30m2
PROPOSED BUILDING AREA	
ADDITIONAL ROOF TO THE DECK	19m2
UNDER COVERED BBQ AREA	15m2
PROPOSED NEW BUILDING AREA	34m2
SITE COVERAGE	
TOTAL ROOFED AREA (EX. DWELLING + SHED + PROPOSED ADDITIONAL ROOFS)	268m2
TOTAL SITE AREA	837 sqm
32% SITE COVERAGE	

BUILDING DESIGNER:	JO WOODBURY
ACCREDITATION No:	551573843
LAND TITLE REFERENCE NUMBER:	C.T. 201880/1
DESIGN WIND SPEED:	REFER ENG.
SOIL CLASSIFICATION:	REFER ENG.
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	NA
ALPINE AREA:	NOT APPLICABLE
CORROSION ENVIRONMENT:	LOW
FLOODING:	NO
LANDSLIP:	NO
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	UNKNOWN
MINE SUBSIDENCE:	NO
COASTAL INUNDATION:	NO
LANDFILL:	UNKNOWN
DATUM LEVEL AT KERB:	REFER DWGS
GROUND LEVEL:	REFER DWGS
FINISHED FLOOR LEVEL:	REFER DWGS
OVERFLOW RELIEF GULLY LEVEL:	MIN 150MM BELOW LOWEST FIXTURE

ASSOCIATED DOCUMENTS

ENGINEERING DWGS BY MV CONSLUTING
REFERENCED MANUFACTURERS SPECIFICATIONS

NOTES

these drawings are for permit approval purposes and additional information may be required to inform construction

drawings are subject to owner discretion.

contractors to verify all matters of specification, finish, selection and appearance with owner prior to commencing work and ensure work carried out is acceptable to owner, including design variation and alternatives.

drawings used for construction must carry building surveyor certification. Ensure there is only one version of construction dwgs being used.

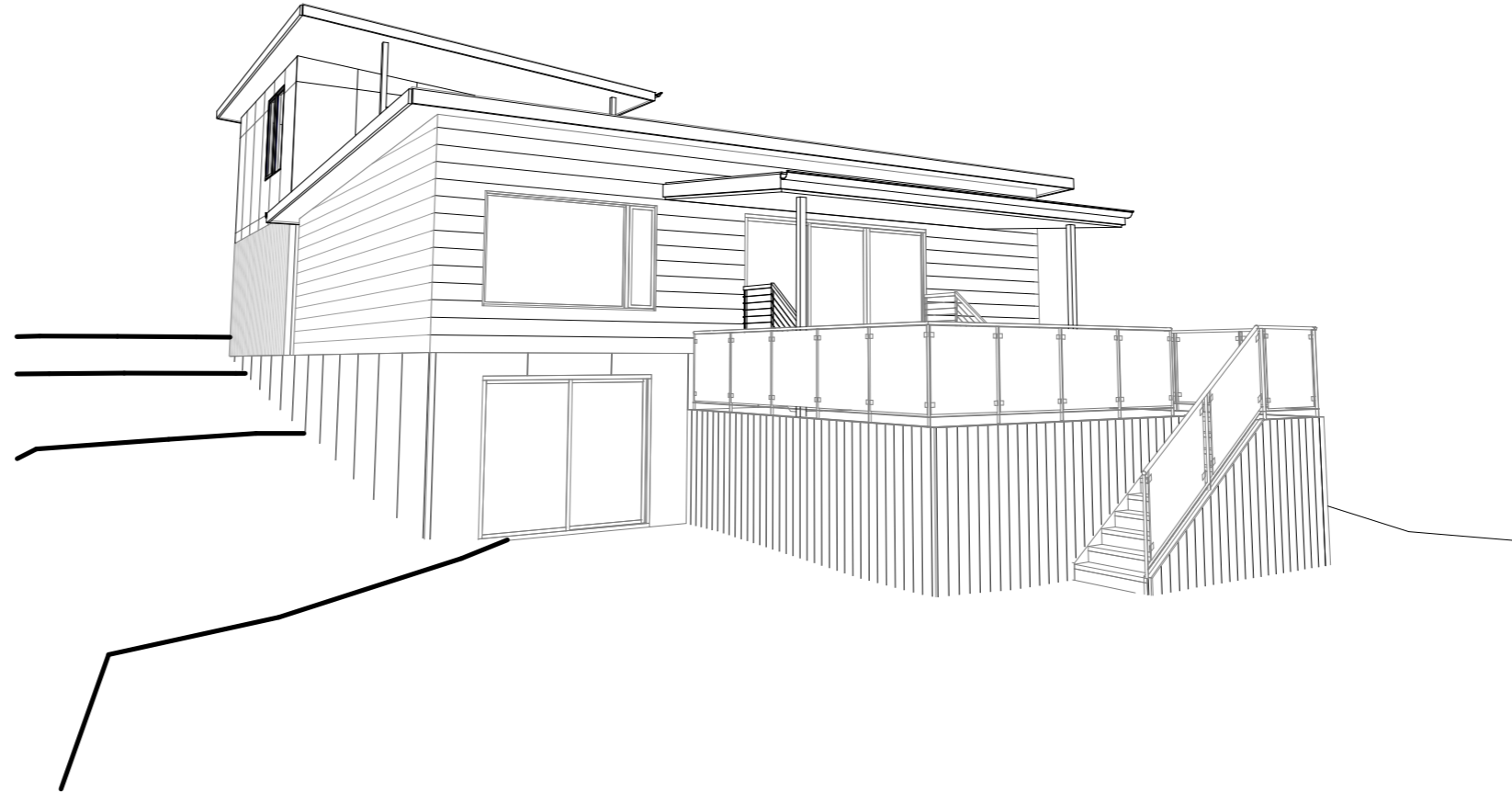
contractors and prefabricators shall advise appropriately any omission, apparent error, anomaly or unclarity of all documents applicable to this construction.

builder and subcontractors to verify dimensions and levels on site prior to commencing work and ordering..

29 TOP ROAD GREENS BEACH TAS 7270

ROOF ADDITIONS

L. FRATANGELO



DRAWING SHEETS

Sheet	Drawing	Current Revision	Current Revision Date
A001	TITLE SHEET		
A002	MATERIAL NOTES		
A003	GENERAL NOTES		
A004	SAFETY NOTES		
A005	STAIR NOTES		
A006	WATERPROOFING NOTES		
A007	WALL FLASHING NOTES		
A008	TYPICAL ROOF FLASHINGS		
A100	SITE PLAN		
A101	FLOOR PLAN		
A102	ROOF PLAN		
A201	ELEVATIONS		
A202	ELEVATIONS		
A301	3D VISUALS		
A401	SECTION A-A		
A402	SECTIONS B-B		
A501	DETAILS		



Jo Woodbury.
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www.woodburyco.com.au

MATERIAL NOTES

WALL CLADDINGS, INSULATION AND MEMBRANES

MATERIAL FINISHS - PALETTE

INSTALL ALL CLADDINGS, MEMBRANES AND LININGS IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND NCC RECOMMENDATIONS.

EXTERIOR WALL CLADDINGS

NA

WINDOWS AND GLAZED DOORS

NA

FLOOR FINISHES

NA

ROOF CLADDING

R01: Lysaght Custom orb roof sheet, on 35mm timber roof battens @ 900crs typical. Roof membrane 'Proctor Group' High Tensile HT-R vapour permeable roofing underlay, shall be installed in accordance with AS/NZS 4200.2 Pliable Building Membranes and Underlays, Part 2 Installation in accordance with manufacturers specifications, and with the printed face upwards. COLOR TO MATCH EXISTING.

GUTTERS & FASCIAS

G01: TO MATCH EXISTING.
F01: TO MATCH EXISTING.

MEMBRANES

Wall Membrane:

Class 4 'Proctor Group' ProctorWrap RW' Residential Wrap typical under all claddings installed to manufacturers spec in accordance with AS/NZS 4200.2. Supply refer Bradford Insulation Group

Roof Membrane:

Class 4 'Proctor Group' ProctorWrap™ HTS vapour permeable membrane, shall be installed in accordance with AS/NZS 4200.2 Pliable Building Membranes and Underlays, Part 2 Installation Requirements, and with the printed face upwards.

INSULATION

Typical External Wall Insulation:

'Bradford Gold' Hi- Performance batts' R2.7 90mm wall batts typical throughout to all external walls unless specified otherwise.

Typical Ceiling Insulation:

'Bradford Gold' Hi- Performance batts' R5.0 240mm OR 'Bradford Gold' Hi- Performance batts' R2.7.0 90mm where required to ensure min. 25mm ventilation to roof cavity

Typical Floor Insulation:

'Bradford' Optimo Underfloor batts' R2.5 90mm typical throughout to all suspended timber floors above unconditioned / externally exposed spaces.

Exposed Steel Work:

All exposed steelwork to be painted in accordance with the Australian Standard AS/NZS 2312, "Guide to the protection of structural steel against atmospheric corrosion by the use of protective coatings"

INTERNAL WALL LININGS:

10mm 'Knauf MastaShield' Plasterboard, paint finish, Dulux Professional® enviro2 LowSheen Interior Acrylic colour to be specified

WET AREA LININGS

6mm Villaboard or 10mm 'Knauf MastaShield' Wet Area Plasterboard, Dulux Professional® Wash & Wear Kitchen & Bathroom Low Sheen to be used in all wet areas Colours to be specified.

CEILINGS:

EXTERNAL CEILING / SOFFIT LININGS

CL01

6mm James Hardie™ Flex Sheet

 WOODBURY&CO BUILDING DESIGN Phone 0407 319 437 28 Denison Road/ West Launceston TAS 7250 jo@woodburyco.com.au	REVISION:	DESCRIPTION:	DATE:		Client: L. FRATANGELO	Project No: LF2026	Drawing Title: MATERIAL NOTES	COPYRIGHT: This is the sole property of Woodbury & Co, and may not be used in whole, or in part without written or formal consent from Woodbury & Co. Legal action will be taken against any person/s infringing the copyright.	Sheet No: A002	
					Project: ALTERATION & ADDITION	Drawn By: Jo Woodbury	Date: 25/05/2026		Scale:	28/05/2026 8:44:27 AM
					at 29 TOP ROAD GREENS BEACH TAS 7270	Accreditation No. 551573843				

GENERAL NOTES

GENERAL NOTES

All dimensions in millimetres
 Dimensions take preference to scale and are to structure not finish.
 Walls shown as stud component without claddings.
 Check and verify dimensions and confirm any existing dimensions on site.
 All work to comply with the Building Code of Australia and all relevant Australian Standards. Any outdated Standards listed in these Notes are to be taken to refer to the current edition.
 Manufacturers specifications means a current approved spec. for use under the conditions applicable.
 Engineers specification take precedent over drawing notes.

SITE WORKS

Site to be prepared in accordance with Engineers or surveyors report if applicable. Site to be excavated or filled to levels indicated.
 Construction area to be cleared of vegetation, all top soil and upper strata containing organic matter.
 Prepare foundations so footings shall be placed on level of undisturbed material. Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa. See Soil Report and Engineers specs. for footings and bearing capacity.
 Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur.
 Dish drains and ag pipes to be provided as required or indicated to facilitate drainage of water away from building and foundations.

DESIGN LOADS

DESIGN WIND CLASSIFICATION: W40N U.N.O.
 All sizes of timber members deduced from Timber Framing Manual to comply to AS 1684-2, Tas Timber Engineers "Hybrid" specs.and manufacturers data manuals.
 All sizes of steel members deduced from manufacturers data manuals.

PREVENTION OF FALLS

Where a person is exposed to the hazard of falling from a structure during construction or cleaning or maintenance work is carried out, the builder shall provide-

- 1) A work system designed to prevent such falls: and
- 2) Where safety belt anchorage points are used they must be positioned on the building or structure so that a lifeline or safety harness may be attached before proceeding to a point where it is possible to fall; and
- 3) Anchorage points for the attachment of safety harness must comply with AS 2626; and
- 4) The anchorage points and associated structure shall be capable of withstanding a force of at least 15kN (1500kg); and
- 5) The builder shall inform the owner prior to occupancy of the building, that a fall arrest system is constructed and must be used in accordance with AS 2626 when exposed to the hazards of falling from the building or structure.

SPECIAL NOTE FOR FRONT COASTAL

All fixings to be galv hot dipped or galv with additional coatings
 All nail gun fixings to be galv.
 All screws to be galv
 All roofing iron to be for coastal environs as with flashings,gutters and gutter fixings.
 All window and door hardware stainless steel. 316 min

MATERIALS AND CONSTRUCTION

MATERIALS GENERALLY

All materials shall be new.
 Re-used items to be checked for soundness etc. prior to use.

REINFORCED CONCRETE

AS APPLICABLE- REFER DWG FOR MATERIALS USED
 Structural notes supplied by Engineer take precedence over these notes.

Concrete to be in accordance with current editions of the following codes and codes referenced there-in:
 AS3600 - Concrete Structures Code
 AS1379 - Readymixed Concrete
 Slab and footngs to be constructed in accordance with AS2870.1
 Strength of concrete at 28 days:
 Slabs 25mpa
 Footings 20mpa
 Maximum aggregate size 20mm. Sample and test in accordance with AS3600. Slump 80mm (Grade N20). Consolidate by vibration.
 Fix reinforcement as shown or noted on drawings and Eng. specs.
 Concrete cover to reinforcement:
 Footings 65mm Beams 50mm Slabs 20mmint, 30mmext.
 Stairs 30mm top and 20mm bottom.
 Correct cover to be obtained using plastic chairs.
 Thoroughly scabble concrete on which new concrete is to be poured.
 Slabs on ground- remove all topsoil and upper strata containing organic matter. Replace with approved consolidated fill compacted to 95% M.M.D.D. in accordance with AS1289E2.1
 Bar Schedule- all to AS1302 & AS1304
 N - Hot Rolled High Yield Bars
 R - Hot Rolled Plain Bars
 F - Hard drawn Wire Fabric

BLOCKWORK

Reinforced Concrete Blockwork to conform to AS3700
 All cores containing reinforcing to be filled with 20mpa grout.
 DPC 150mm above ground.
 Clean-out all cores after each days laying.

BRICKWORK

Brickwork to conform to AS1225.
 Approved stainless steel ties at 600*600mm crs. Also to 300mm crs to raised floor levels. Use medium duty types and Grade 316 stainless steel in areas less than 1km from breaking surf.
 Standard reinforcing every 4th course (bricktour).
 DPC 150mm above ground.
 Walls to have a continuous cavity to be kept clear of mortar droppings.
 All openings to be fully flashed with standard damp proof course material to prevent water penetration to internal areas.
 Brick foundation walls under timber floors to have vents at 6000mm2 per metre length of external wall. ("Pryda" 230*75mm metal vent max 1050mm crs or 230*165mm max 2350mm crs.)
 All perpends to be fully filled with mortar.
 Weep holes above dpc layer max. 480mm crs.

STEELWORK

Fabricate and erect in accordance with current editions of AS4100 - Steel Structure Code
 AS1554 - Code for Welding in Building.
 10mm plate and 6mm cont. fillet weld to be used UNO.
 Steelwork to be coated with red oxide zinc chromate paint before erection. All steel in exposed locations to be hot dipped galvanised or proprietry galvanised product (Duragal).
 All bolts steel/steel to be M16 8.8/s UNO.
 All connections to be 2/M16 8.8/s UNO.

TIMBER

HARDWOOD - MIN. STRESS GRADE F14 UNO
 S3 Strength group. J2 Joint group.
 SOFTWOOD - MIN STRESS GRADE F5 UNO.
 SD6 Strength group. JD4 Joint group.
 All work in structural timber to be in accordance with current additions of:
 AS1684.2 - Timber Framing Code.
 AS1720 - Timber Engineering Code.
 AS1328 - Glued Laminated Structural Timber.
 AS1170 - Structural Designs Actions (Loading) Code.
 Bolts: All nuts and bolts to be provided with washers.
 All bolts to be tightened before handover.
 Bolt holes to be 2mm oversize in unseasoned timber.
 All external nuts, bolts and washers to be hot dip galvanised including "Dynabolts"
 Unless detailed otherwise timber members to be fixed with nominal nailing as specified in AS1684.2.
 Sizes and details not shown shall comply with AS1684.2
 Timber roof trusses to be to Manufacturers design with installation strictly in accordance with manufacturers specs.
HANDRAILS
 All new handrails to be 1020mm high min. with balustrading at 125mm max.clear spacings, stair handrail at 865mm with top rail and mid rail minimum.
 Where floor is 4000mm or more above lower level, handrails to have no horizontal members that facilitate climbing.
 All openings to be fully flashed with galv. or colourbond sheet steel flashings.

CLADDINGS AND MOULDINGS

EXTERNAL TIMBER
 Treated pine and Western Red Cedar cladding to be fixed & finished to manufacturers specifications.
 Chamferboards & Weatherboards (including treated boards) to be primed nearly all round before fixing.
 One third of back face to remain bare for moisture escape.
 Chamferboard fixing:
 Up to 75mm wide - single nailed. Over 75mm - double nailed.
 Weatherboard fixing: all single nailed.
 Onto hardwood frames - 60*2.8 galv. nails.
 Onto softwood frames - 60*3.15 galv.deformed shank nails.
 Render Coat Substrates ie "Hardietex", "Powerpanel", EPS ect
 To be fixed and finished to manufacturers specifications.
 Vapour permiable Sarking to be provided between cladding and frame.
INTERNAL TIMBER.
 Nailing:
 Single nailed up to 100mm wide, double nailed over 100mm wide.
 12 or 15mm thick - 30*2.0mm nails
 19 or 21MM thick - 50*2.5mm nails
 Lining Boards nailing centres:

	Walls	Ceilings
12 or 15mm thick -	800	560
19 or 21mm thick -	1800	1200

OTHER CLADDINGS
 All other external and internal claddings to be fixed and finished in accordance with manufacturers specifications.

MOULDINGS

Unless shown otherwise on drawings or owner specified -
 With renovations or extensions, match existing.
 On new houses the following are to be adopted.
 Cornice:
 Standard 55mm plasterboard cornice.
 Architraves:
 Craftwood (MDF) colonial or splayed 67*18mm architraves.
 Skirting:
 Craftwood (MDF) colonial or pencil 67*12mm Skirting.
 Window Reveals:
 F17 hardwood to match building wall and cladding profile.

WET AREA SURFACES

Wet areas to AS3740 and BCA
 Floor surface to bath & laundry shall be impervious with junctions between walls and floor flashed to prevent moisture penetration into walls.
 Ceramic tiles or other approved impervious materials to walls around showers to 1800m min above floor including 100mm minimum from edge of shower.
 Where shower has no hob, impervious material to floor to be placed in a radius of 1500mm away from shower.
 Walls tiles to be fixed min 150mm above vanity and bath.

FLOOR COVERINGS/SMOKE ALARMS

Floor finishes. Refer owner unless shown on drawing.
 Provide hard wired smoke alarms to AS1670 and BCA.
 Smoke alarms generally fitted between bed regions & rest of house.

KITCHENS , BATHROOMS AND ENSUITES.

General layout as shown on floor plan.
 Exact location and type of fittings to be refered to owner.

ELECTRICAL.

See owner for specification on powerpoints and light fittings.

THERMAL EFFICIENCY

REFER ENERGY REPORT

 WOODBURY&CO BUILDING DESIGN Phone 0407 319 437 28 Denison Road/ West Launceston TAS 7250 jo@woodburyco.com.au	REVISION:	DESCRIPTION:	DATE:	Client: L. FRATANGELO Project: ALTERATION & ADDITION at 29 TOP ROAD GREENS BEACH TAS 7270	Project No:	Drawing Title GENERAL NOTES Date: 25/05/2026 Scale:	COPYRIGHT: This is the sole property of Woodbury & Co, and may not be used in whole, or in part without written or formal consent from Woodbury & Co. Legal action will be taken against any person/s infringing the copyright.	Sheet No:	
					Project: LF2026			Accreditation No. 551573843	28/05/2026 8:44:27 AM

SAFETY NOTES

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, OPERATORS, RENOVATORS, MAINTAINERS AND DEMOLISHERS

1. FALLS, SLIPS AND TRIPS

1.1 WORKING AT HEIGHTS

1.1.1 DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The Builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

1.1.2 DURING OPERATION OR MAINTENANCE

Houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roofs or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders and trestles should be used in accordance with relevant codes of practice, regulations or legislation.

Buildings where scaffolding, ladders and trestles are not appropriate:

Cleaning and maintenance of windows, walls, roofs or other components of the building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

1.1.3 ANCHORAGE POINTS

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

1.2 SLIPPERY OR UNEVEN SURFACES

1.2.1 FLOOR FINISHES – Specified

If finishes have been specified by the Designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

1.2.2 FLOOR FINISHES – By Owner

If the Designer has not been involved in the selection of surface finishes, the Owner is responsible for the selection of surface finishes in the pedestrian-trafficable areas of the building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZS 4586.

1.2.3 STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to the design requirements for the building, steps and/or ramps are included in the building that may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warnings during construction, maintenance, demolition, and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and, in particular, access to areas where maintenance is routinely carried out, to ensure that surfaces have not moved or cracked such that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce risk of trips and falls at the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

2.1 LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around the building is likely to involve persons working above ground level or above floor levels. Where this occurs, one of the following measures should be taken to avoid objects falling, from the area where work is being carried out, onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toe boards to scaffolding and work platforms.
3. Provide a protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment.

2.2 BUILDING COMPONENTS

During construction, renovation or demolition of the building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse, which may injure persons in the area, is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured, and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

Buildings on a major road, narrow road or steeply inclined road:

Parking of vehicles or loading/unloading of vehicles on the roadway may cause a traffic hazard. During construction, maintenance or demolition of the building, designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for supervision of these areas.

Buildings where on-site loading/unloading is restricted:

Construction of the building may require loading and unloading materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

All buildings:

Busy construction and demolition sites present a risk of collision when deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be implemented for the work site.

4. SERVICES

General:

Rupture of services during excavation for other activity creates a variety of risks including release of hazardous material. Existing services may be located on or around the building site. Where known, these are identified on the drawings, but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig, Telstra, etc.), appropriate excavation practice should be used and, where necessary, specialist contractors should be engaged.

Locations with underground power lines:

Underground power lines may be located in or around the site. All underground power lines must be disconnected or accurately located and adequate warning signs used prior to any construction, maintenance or demolition work commencing.

Locations with overhead power lines:

Overhead power lines may be located on or near the site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical, adequate warning in the form of bright-coloured tape or signage should be used, or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25 kg should be lifted by two or more workers or by a mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way that minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of the building will require the use of portable tools and equipment. These should be fully maintained in accordance with the manufacturers' specifications and not used where faulty or, in the case of electrical equipment, not carrying a current electrical safety tag. All safety guards and devices should be regularly checked and Personal Protective Equipment should be used in accordance with the manufacturer's specification.

6. HAZARDOUS SUBSTANCES

6.1 ASBESTOS

For alterations to or demolition of a building constructed prior to 1990, if the building was constructed prior to: 1990 – it may contain asbestos 1986 – it is likely to contain asbestos, either in cladding material or in fire-retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

6.2 POWDERED MATERIALS

Many materials used in construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment, including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

6.3 TREATED TIMBER

The design of the building may include provision for inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

6.4 VOLATILE ORGANIC COMPOUNDS

Many types of glues, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturers' recommendations for use must be carefully considered at all times.

6.5 SYNTHETIC MINERAL FIBRE

Glass fibre, rock wool, ceramic and other material used for thermal or acoustic insulation may contain synthetic mineral fibre which may be harmful if inhaled, or if it comes into contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment, including protection against inhalation of harmful material, should be used when installing, removing or working near bulk insulation material.

6.6 TIMBER FLOORS

The building may contain timber floors that have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application, and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

7.1 EXCAVATION

Construction of the building and some maintenance on the building may require excavation and installation of items within the excavation. Where practical, installation should be carried out using methods that do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

7.2 ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within the building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

7.3 SMALL SPACES

For buildings with small spaces where maintenance or other access may be required: Some small spaces within the building may require access by construction and maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces, they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and the public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present, they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

The building has been designated as a residential building. If the building, at a later date, is used or intended for use as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement legislation should be applied to the new use.

NON-RESIDENTIAL BUILDINGS

Non-residential buildings where the end-use has not been identified: The building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end user.

Non-residential buildings where the end-use is known:

The building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date, a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH-RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZS 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.

Due to the history of serious incidents, it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

 WOODBURY & CO BUILDING DESIGN Phone 0407 319 437 28 Denison Road/ West Launceston TAS 7250 jo@woodburyco.com.au	REVISION:	DESCRIPTION:	DATE:	Client:	L. FRATANGELO	Project No:	Drawing Title	COPYRIGHT: This is the sole property of Woodbury & Co, and may not be used in whole, or in part without written or formal consent from Woodbury & Co. Legal action will be taken against any person/s infringing the copyright.	Sheet No:
				Project:	ALTERATION & ADDITION	LF2026	SAFETY NOTES		A004
				at	29 TOP ROAD GREENS BEACH TAS 7270	Drawn By: Jo Woodbury	Date: 25/05/2026		28/05/2026 8:44:27 AM
						Accreditation No. 551573843	Scale:		

STAIR CONSTRUCTION NOTES

STAIR CONSTRUCTION - NCC VOLUME 2 Part 11.2

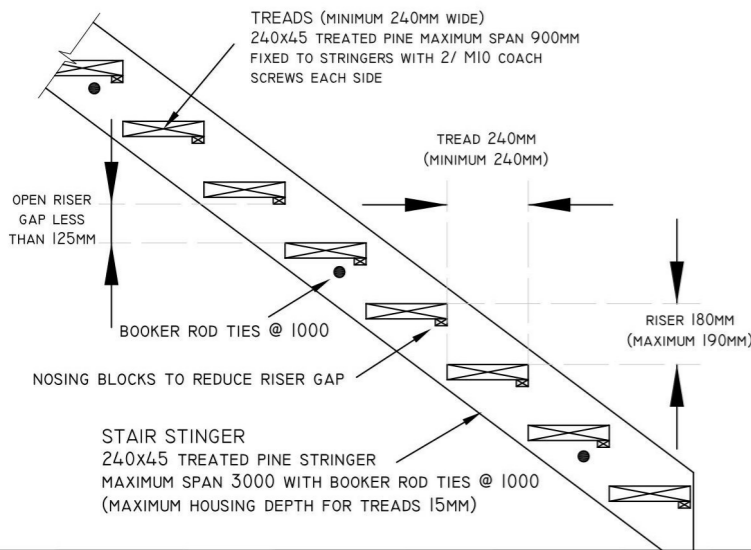
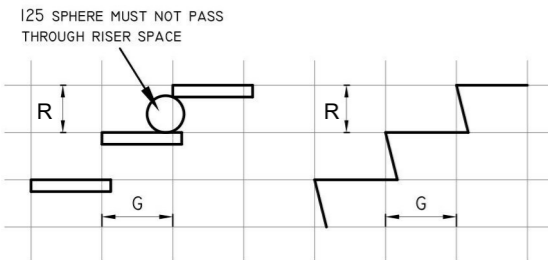
- A STAIR FLIGHT NO MORE THAN 18 RISERS AND NOT LESS THAN 2.
- TREADS TO BE OF SOLID CONSTRUCTION WHERE THEY HAVE A RISE IN EXCESS OF 10M OR CONNECTS MORE THAN 3 STORIES.
- MAXIMUM OF 3 WINDERS IN PLACE OF A QUARTER LANDING OR 6 WINDERS IN PLACE OF A HALF LANDING.
- THE OPEN GAP BETWEEN TREAD, WHERE INSTALLED IS TO BE LESS THAN 125MM.
- LANDINGS TO BE NOT LESS THAN 750MM MEASURED AT 500MM FROM THE INSIDE EDGE OF THE LANDING

STAIR WIDTH: 900MM WIDE
TREADS WIDTH: 240MM MINIMUM
RISERS HEIGHT: 190MM MAXIMUM

TREADS TO HAVE NON-SLIP FINISH OR A SUITABLE NON-SKID STRIP NEAR THE EDGE OF THE NOSINGS.

CEILING HEIGHT IMMEDIATELY ABOVE STAIR NOSINGS 2.0M MINIMUM

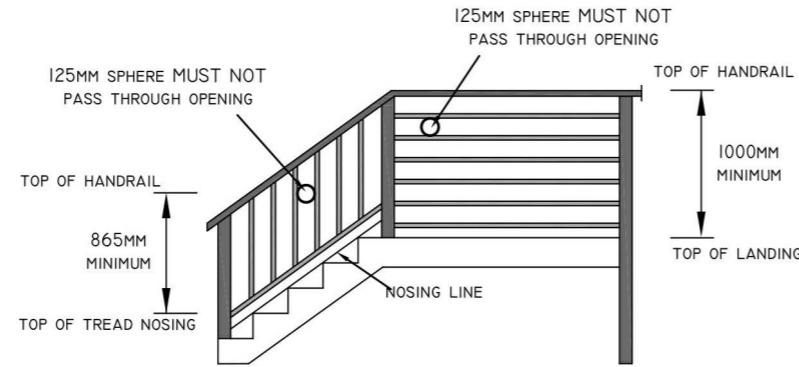
STAIR RISER & GOING DIMENSIONS NCC VOLUME 2 Table 11.2.2a						
STAIR TYPE	RISER (R)		GOING (G) TREAD		SLOPE RATIO (2R + G)	
	MAX	MIN	MAX	MIN	MAX	MIN
STAIR (OTHER THAN SPIRAL)	190	115	355	240	700	550
SPIRAL	220	140	370	210	680	590



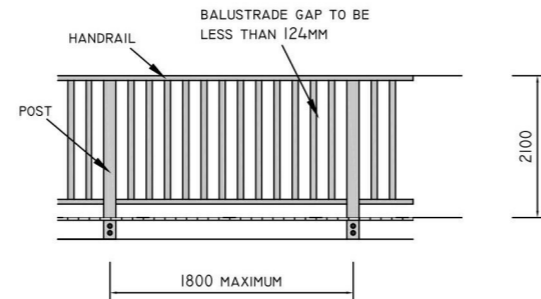
OPEN RISER STAIR CONSTRUCTION DETAIL
SCALE 1:20

BALUSTRADING - NCC VOLUME 2 Part 11.3

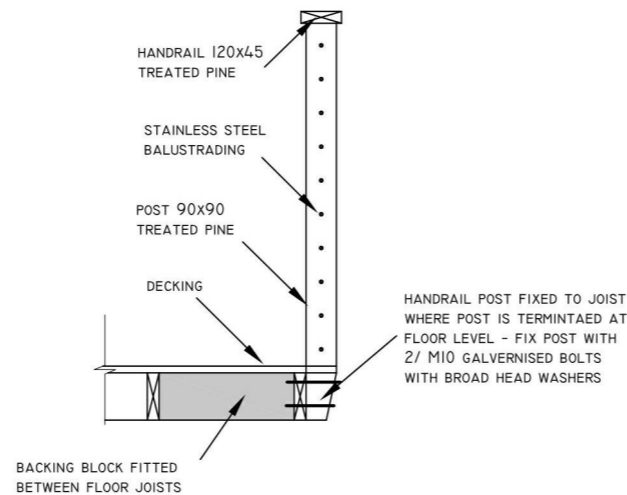
- BALUSTRADE HEIGHT TO BE A MINIMUM OF 1000MM FROM THE FINISHED FLOOR LEVEL AT LANDINGS AND 865MM FROM THE NOSING OF THE STAIR TREAD IMMEDIATELY BELOW.
- OPENINGS IN THE BALUSTRADE TO BE LESS THAN 125MM TO PREVENT A 125MM SPHERE FROM PASSING THROUGH ANY PART OF THE BALUSTRADE.
- VERTICAL BALUSTERS TO BE PREVENTED FROM CLIMBING WHERE STAIR OR LANDING LEVEL IS GREATER IN FALL HEIGHT THAN 4.0 METRES.
- STAINLESS STEEL WIRE BALUSTRADES TO BE INSTALLED IN COMPLIANCE WITH NCC TABLE 11.3.6a



HANDRAIL CONSTRUCTION DETAIL



TIMBER HANDRAIL & BALUSTRADE
SCALE 1:50



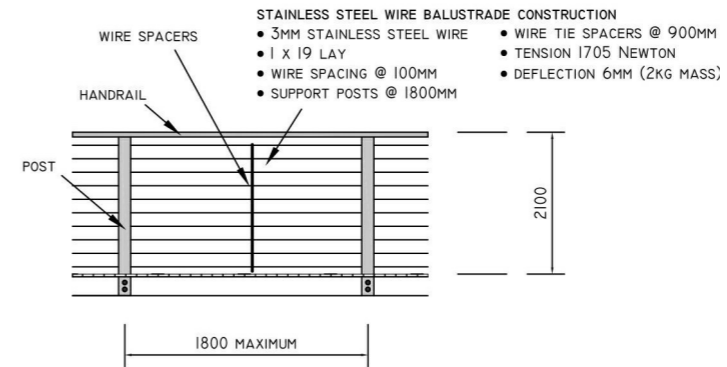
HANDRAIL SECTION DETAIL
SUPPORTS FIXED TO DECK JOISTS
STAINLESS STEEL WIRE BALUSTRADE SHOWN
SCALE 1:20

STAINLESS STEEL WIRE BALUSTRADE CONSTRUCTION DETAILS

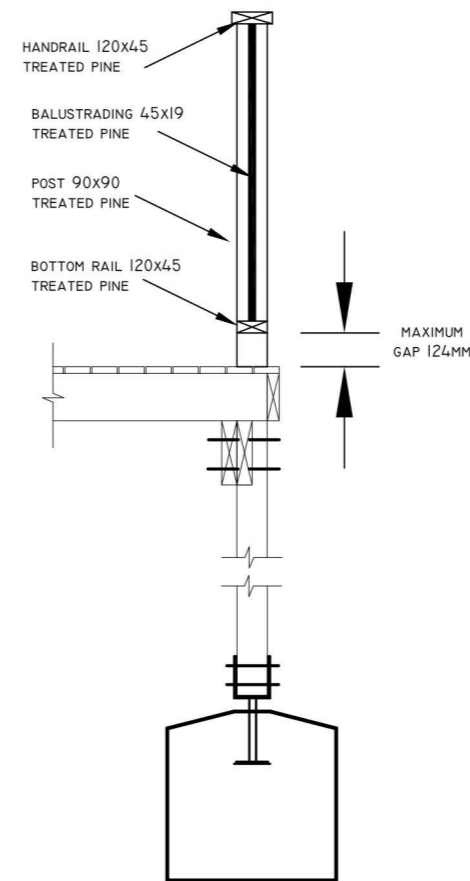
- 3MM STAINLESS STEEL WIRE
- 1 x 19 LAY
- WIRE SPACING @ 100MM
- SUPPORT POSTS @ 900MM
- TENSION 1705 NEWTON
- DEFLECTION 6MM (2KG MASS)

FOR ALTERNATIVE CONSTRUCTION & SPACINGS REFER TO NCC TABLE 11.3.6a

ALTERNATIVE DESIGNS FOR STAINLESS STEEL BALUSTRADES TO BE PROVIDED TO BUILDING SURVEYOR FOR CERTIFICATION PRIOR TO ANY CONSTRUCTION



TIMBER HANDRAIL &
STAINLESS STEEL BALUSTRADE
SCALE 1:50



HANDRAIL SECTION DETAIL
WITH TIMBER BALUSTRADE
SCALE 1:20

REVISION:	DESCRIPTION:	DATE:

Client:	L. FRATANGELO
Project:	ALTERATION & ADDITION
at	29 TOP ROAD GREENS BEACH TAS 7270

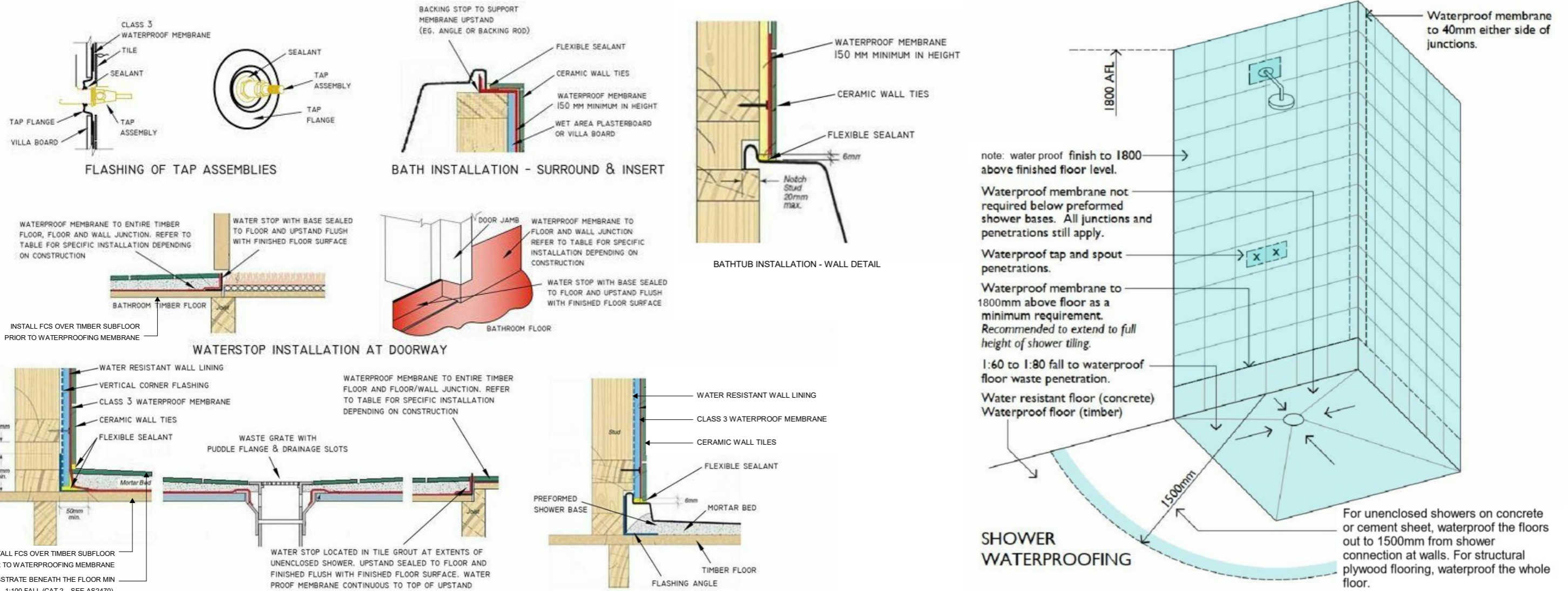
Project No:	LF2026
Drawn By:	Jo Woodbury
Accreditation No.	551573843

Drawing Title	STAIR NOTES
Date:	25/05/2026
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WATERPROOFING NOTES



WET AREA REQUIREMENTS TO COMPLY WITH NCC PART 10.2 WET AREA WATERPROOFING

vessels or area	floors and horizontal surfaces	walls	wall junction and joints	wall/floor junctions	penetrations
shower area (enclosed and unenclosed)					
with hob	waterproof floor in shower area (including any hob or step-down) membrane M01	(a) waterproof all walls (membrane M01) in shower area to a height the not <1800mm above finished floor level of the shower	waterproof wall junctions within shower area membrane M01	waterproof wall + floor junctions within shower area membrane M01	waterproof floor penetrations in shower area with membrane M01
with step-down					
without hob or step-down					
with preformed shower base	N/A	waterproof walls in shower area to not <1800mm above finished floor level of the shower	waterproof wall junctions within shower area membrane M01	waterproof wall + floor junctions within shower area membrane M01	waterproof tap + spout penetrations with 'waterbar' tap penetration flange and silicone
area outside shower area					
for concrete and compressed fibre-cement sheet flooring	water-resistant floor to the room	N/A	N/A	waterproof wall + floor junctions membrane M02	N/A
for unenclosed showers timber floors, including particleboard, plywood and other timber-based flooring materials	waterproof floor to the room membrane M02				
area adjacent to baths and spas (see note 1)					
for concrete and compressed fibre-cement sheet flooring	water-resistant floor to the room	(a) water-resistant to a height of not <150mm above the vessel, for the extent of the vessel, where the vessel is within 75mm of a wall (b) water-resistant all exposed surfaces below vessel lip	water-resistant junctions within 150mm above a vessel for the extent of the vessel	water-resistant wall + floor junctions for the extent of the vessel	waterproof tap + spout penetrations within splashback + on horizontal surfaces with 'waterbar' tap penetration flange and silicone
for timber floors, including particleboard, plywood and other timber-based flooring materials	waterproof floor to the room membrane M02				

vessels or area	floors and horizontal surfaces	walls	wall junction and joints	wall/floor junctions	penetrations
inserted baths and spas	(a) waterproof shelf area incorporating waterstop under the bath lip membrane M02 (b) no requirement under bath	(a) waterproof to not <150mm above lip of bath or spa (b) no requirement under bath	(a) waterproof junctions within 150mm above bath or spa (b) no requirement under bath	N/A	waterproof floor penetrations in shower area with membrane M01 waterproof tap + spout penetrations within splashback and on horizontal surfaces with 'waterbar' tap penetration flange and silicone
walls adjoining other vessel (e.g. sink, basin or laundry tub)	N/A	water-resistant to a height of not <150mm above the vessel, for the extent of the vessel, where the vessel is within 75mm of a wall	waterproof wall junctions where a vessel is fixed to a wall	N/A	
laundries and WC's	water-resistant floor to the room	N/A	N/A	waterproof wall + floor junctions membrane M02	
bathrooms and laundries required to provide a floor waste	waterproof floor of the room membrane M02	N/A	N/A	waterproof wall + floor junctions membrane M02	

notes

- where shower is above a bath or spa, use requirements for shower
- for unenclosed showers:
for concrete and compressed fibre-cement sheet flooring waterproof floor within 1500mm of shower connection at wall
for structural plywood floor, waterproof the entire floor. Refer to AS3740 3.2.2
- where floor drain is installed, provide min 1:80, max 1:50 fall to drain within general bathroom and laundry area. If it does not fall to the shower FW, an additional FW is required. Refer to NCC v.1 F2D4
- where a penetration passes through waterproof or water-resistant construction, the penetration should be made waterproof
- waterproofing membrane to wall + floor junctions to see AS3740 4.10 & 4.11 for more details.
- membrane M01: dunlop shower waterproofing kit or equivalent complete with reinforcing mat, primer, neutral cure silicone + membrane to manufacturer's specification
- membrane M02: dunlop water based polyurethane membrane or equivalent applied to consistent thickness by brush or roller as per manufacturer's specification
glass shower screens to comply with AS3740 and AS 1288. min 4mm toughened grade A safety glass labelled to comply with industry standards.

REVISION:	DESCRIPTION:	DATE:

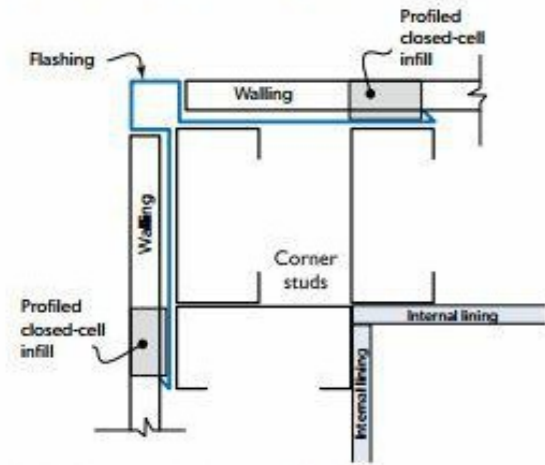
Client:	L. FRATANGELO	Project No:	LF2026
Project:	ALTERATION & ADDITION	Drawn By:	Jo Woodbury
at	29 TOP ROAD GREENS BEACH TAS 7270	Accreditation No.	551573843

Drawing Title	WATERPROOFING NOTES
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Scale:	1 : 150

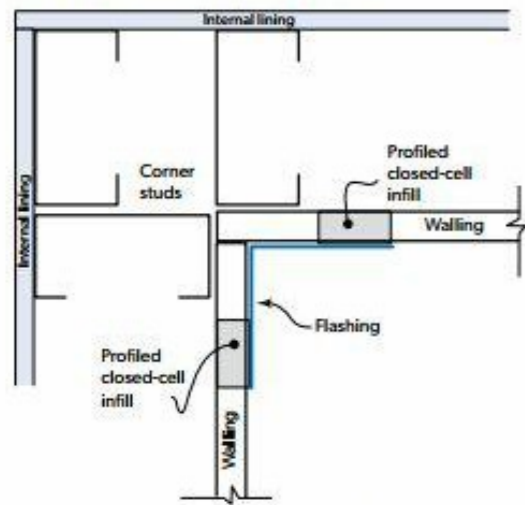
Figure 11.7.2

Typical corner flashings: profile running horizontally (plan view).

Typical external corner flashing type 1: profile running horizontal (plan)



Typical re-entrant corner flashing: profile running horizontal (plan)



Typical external corner flashing type 2: profile running horizontal (plan)

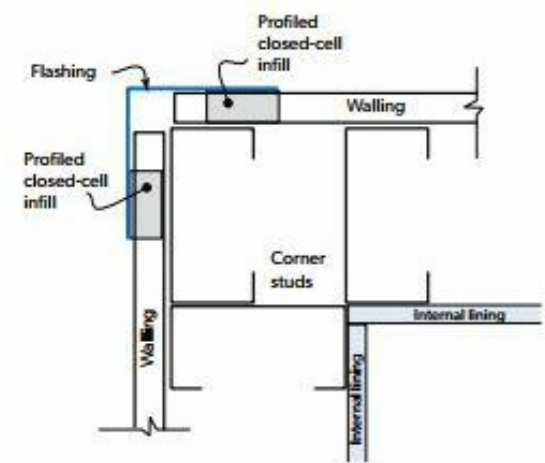
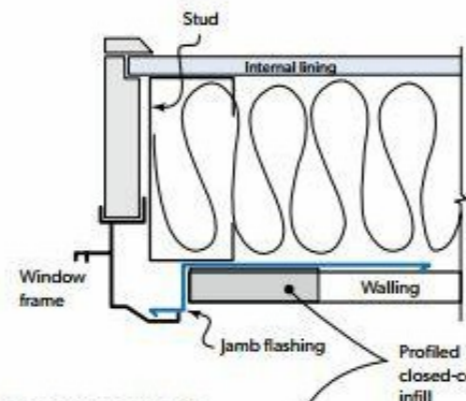
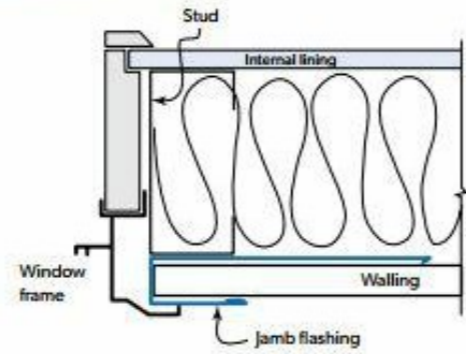


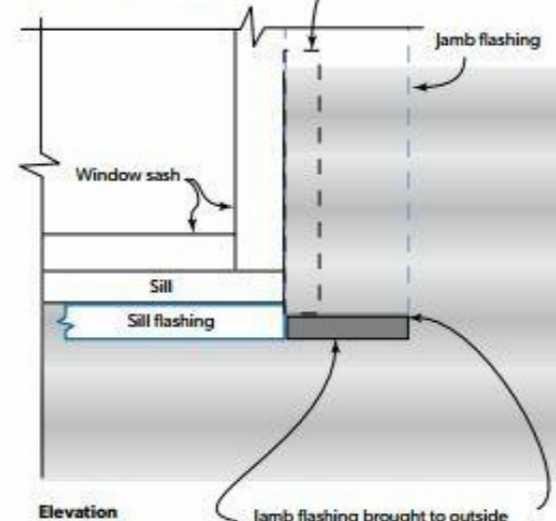
Figure 11.7.3

Typical flashing at window and door jambs: profile running horizontally.

Plan view option 1



Plan view option 2



WALLING PROFILE RUNNING VERTICALLY

Flashings are generally easier on jobs where the profile runs vertically (Figures 11.7.4 and 11.7.5).

Figure 11.7.4

Typical header and sill flashing: profile running vertically (elevation).

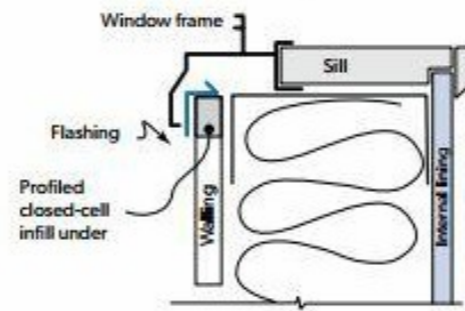
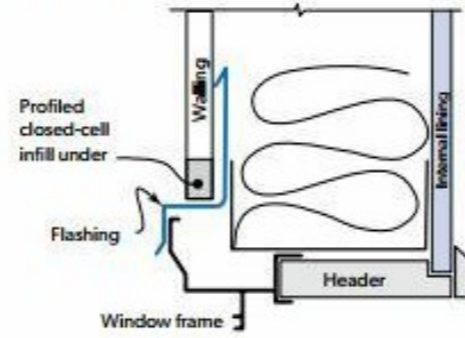
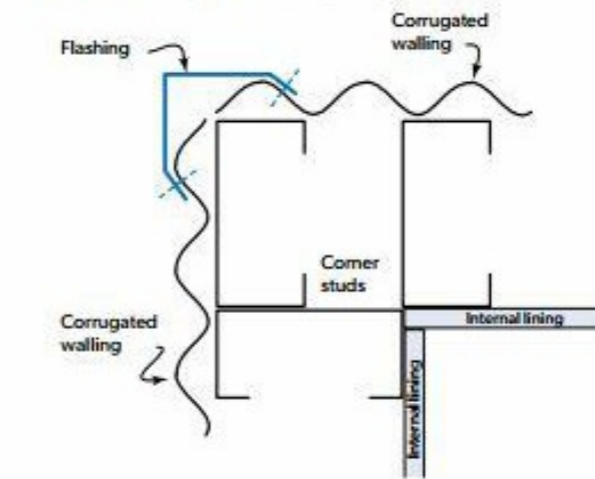


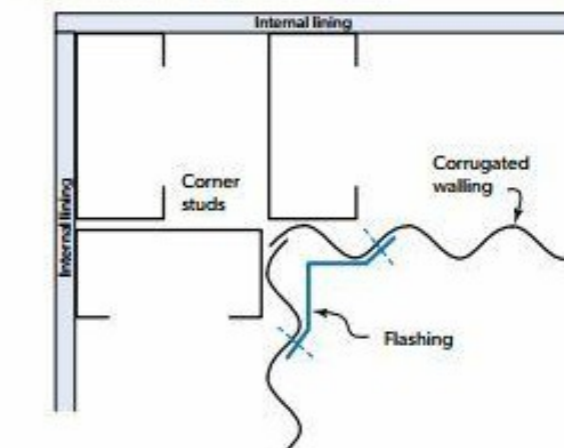
Figure 11.7.5

Typical corner flashings: profile running vertically (plan). Jamb flashings follow same principle.

Typical external corner flashing: profile running vertical (plan)



Typical re-entrant corner flashing: profile running vertical (plan)



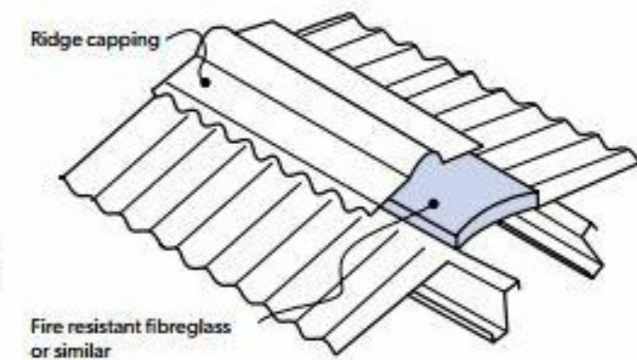
11.8 BUSHFIRE PROTECTION

AS 3959 sets out requirements for the design, detailing and construction of buildings in bushfire prone areas. Some of the details to consider are:

- Gaps to be sealed by mesh, perforated sheet, mineral wool or other non-combustible material (Figure 11.8.1).
- Be sure that flashing fit closely. Transverse flashings should be notched or scribed (Figure 11.3.1).
- At the gutter/discharge end of the roofing the capillary gap may need to be adequately protected to ensure minimal gap against ember entry.
- Turn-down of ribs and blocking off rib cavities, may assist to minimise ember entry (Section 10.2.2 & 10.3).

Figure 11.8.1

Typical protection from sparks at ridge.



*NOT TO SCALE

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Project:	ALTERATION & ADDITION
at	29 TOP ROAD GREENS BEACH TAS 7270

Project No:	LF2026
Drawn By:	Jo Woodbury
Accreditation No.	551573843

Drawing Title	WALL FLASHING NOTES
Date:	25/05/2026
Scale:	

TYPICAL FLASHING & ROOFING DETAILS

* NOT TO SCALE
 * NOTE: ALWAYS REFER TO MANUFACTURERS SPECIFICATION AND INSTALLATION METHODS, NCC AND APPLICABLE AUSTRALIAN STANDARDS

Figure 11.5.1
 Flashing method 1: Head gutter.

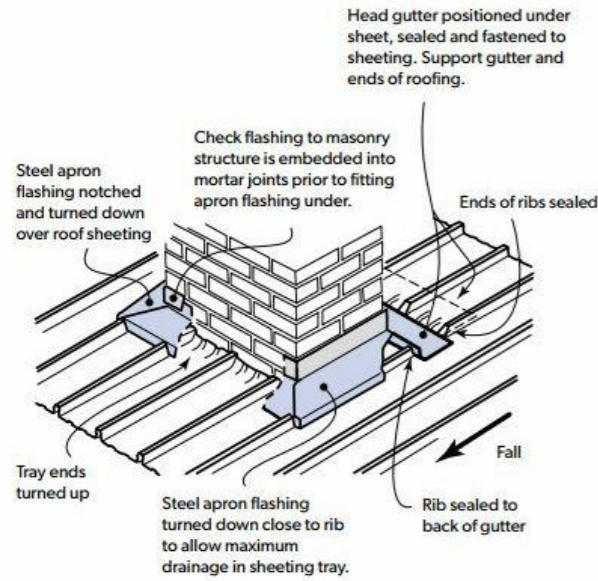


Figure 11.2.1
 Typical longitudinal flashings.

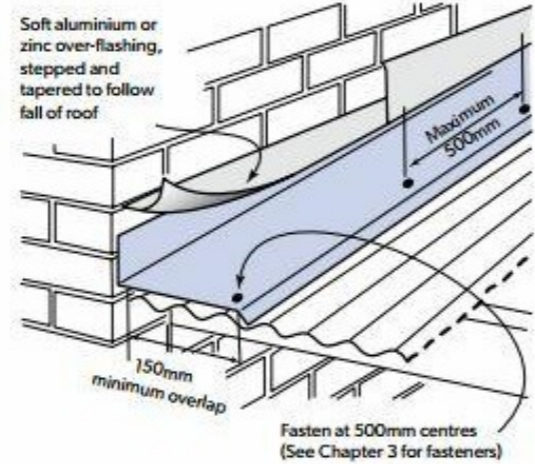
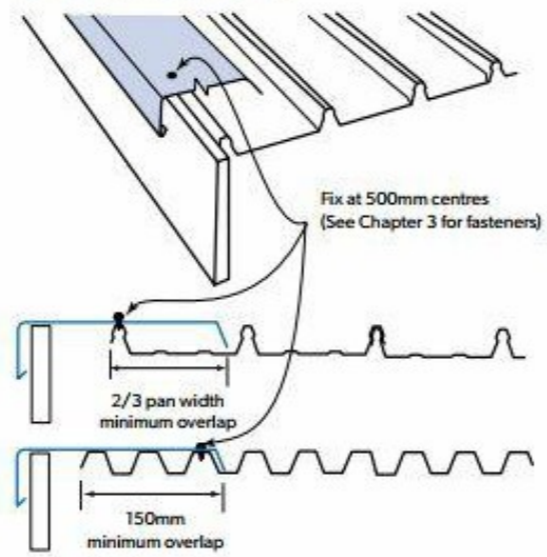


Figure 4.5.1
 Capped bent ribbed roof.

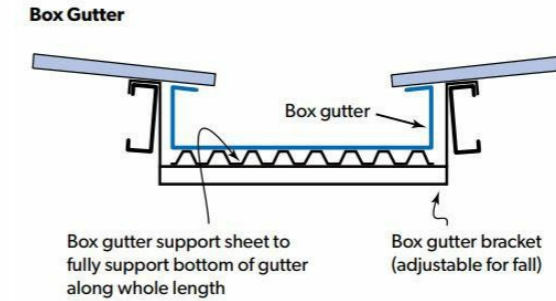
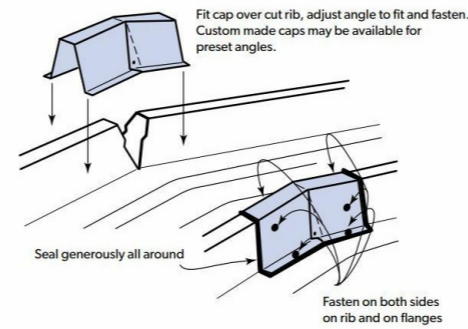


Figure 10.2.1a
 Turning-down the gutter end (TRIMDEK® shown).

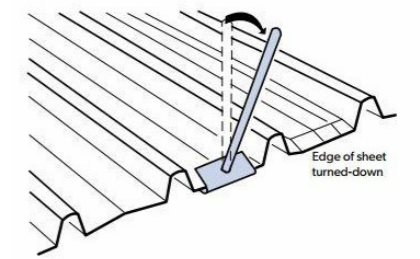


Figure 10.2.1b
 Turning-down the gutter end.

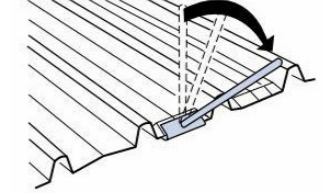


Figure 11.3.2
 Using notching tools.

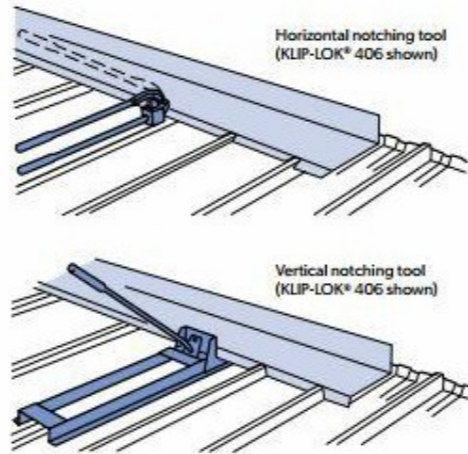


Figure 11.3.1
 Typical transverse flashings.

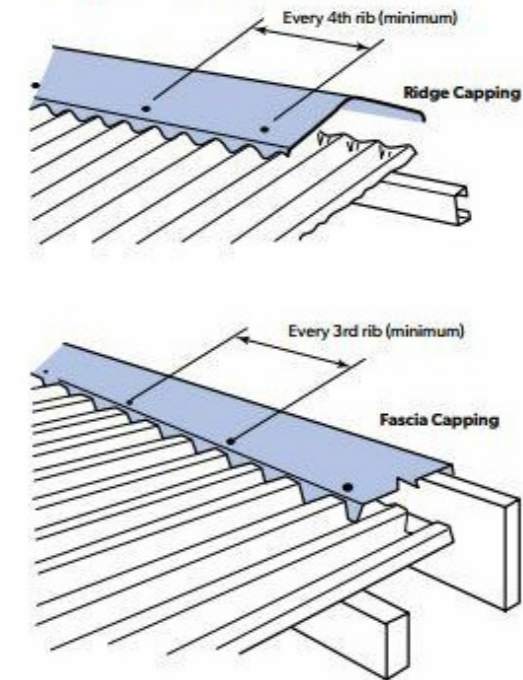


Figure 11.4.1
 Typical flashing at changes of pitch.

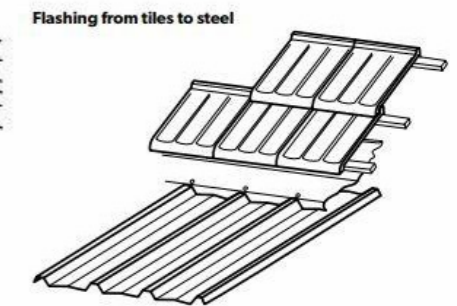
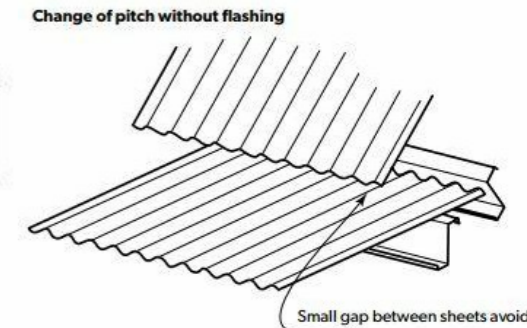
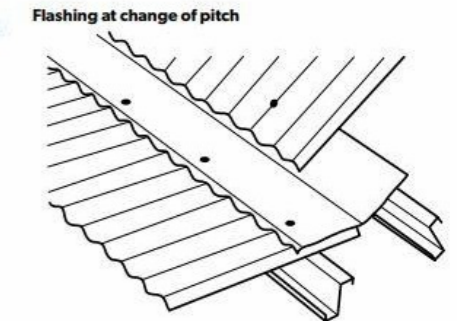


Figure 10.1.2
 Turning-up CUSTOM ORB®, CUSTOM BLUE ORB® and CUSTOM ORB ACCENT®.

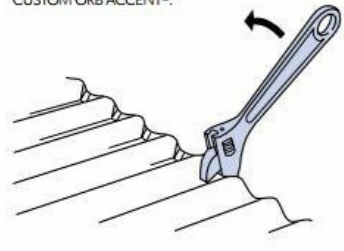


Figure 10.1.5
 Using the backing tool for flush turn-up on KLIP-LOK® (G300 steel shown).

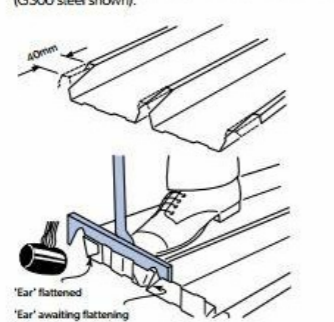


Figure 10.1.3
 Turning-up (TRIMDEK® shown).

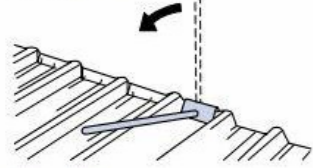


Figure 10.1.4
 KLIP-LOK® tool ready for turn-up.

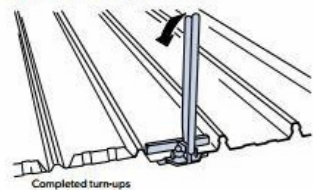
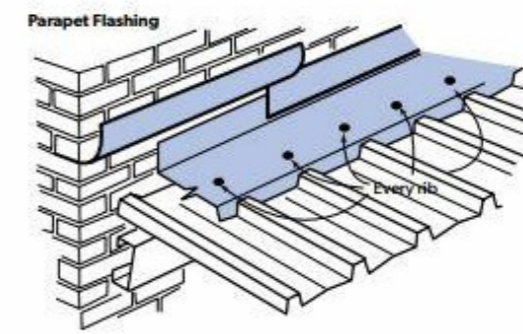
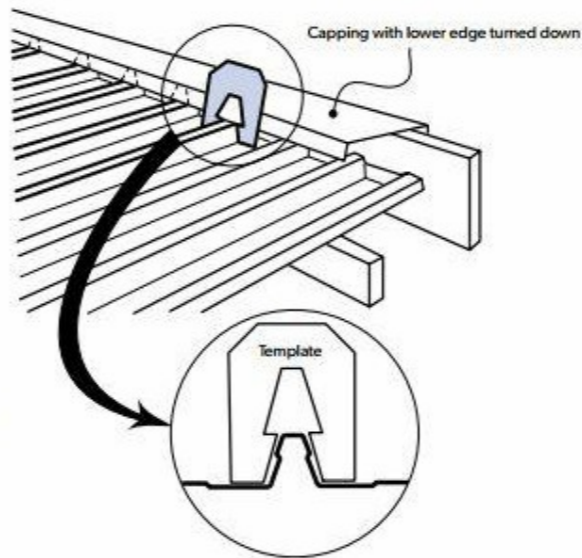


Figure 11.3.3
 Using a template to mark out for notching with tinsnips.



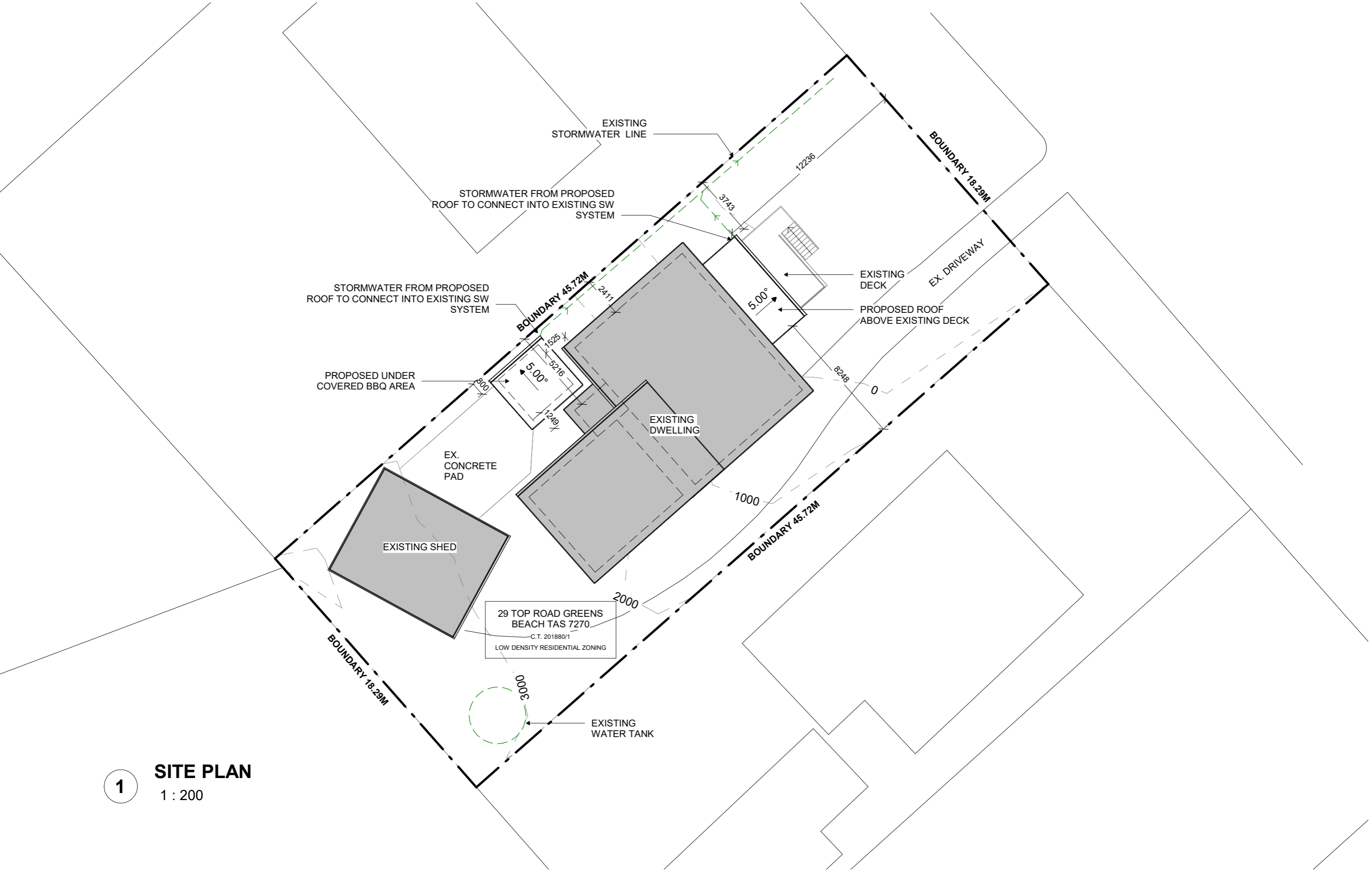
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Project:	ALTERATION & ADDITION
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Project No:	LF2026
Drawn By:	Jo Woodbury
Accreditation No.	551573843

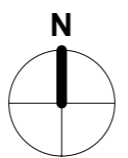
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1 SITE PLAN
1 : 200

REVISION:	DESCRIPTION:	DATE:

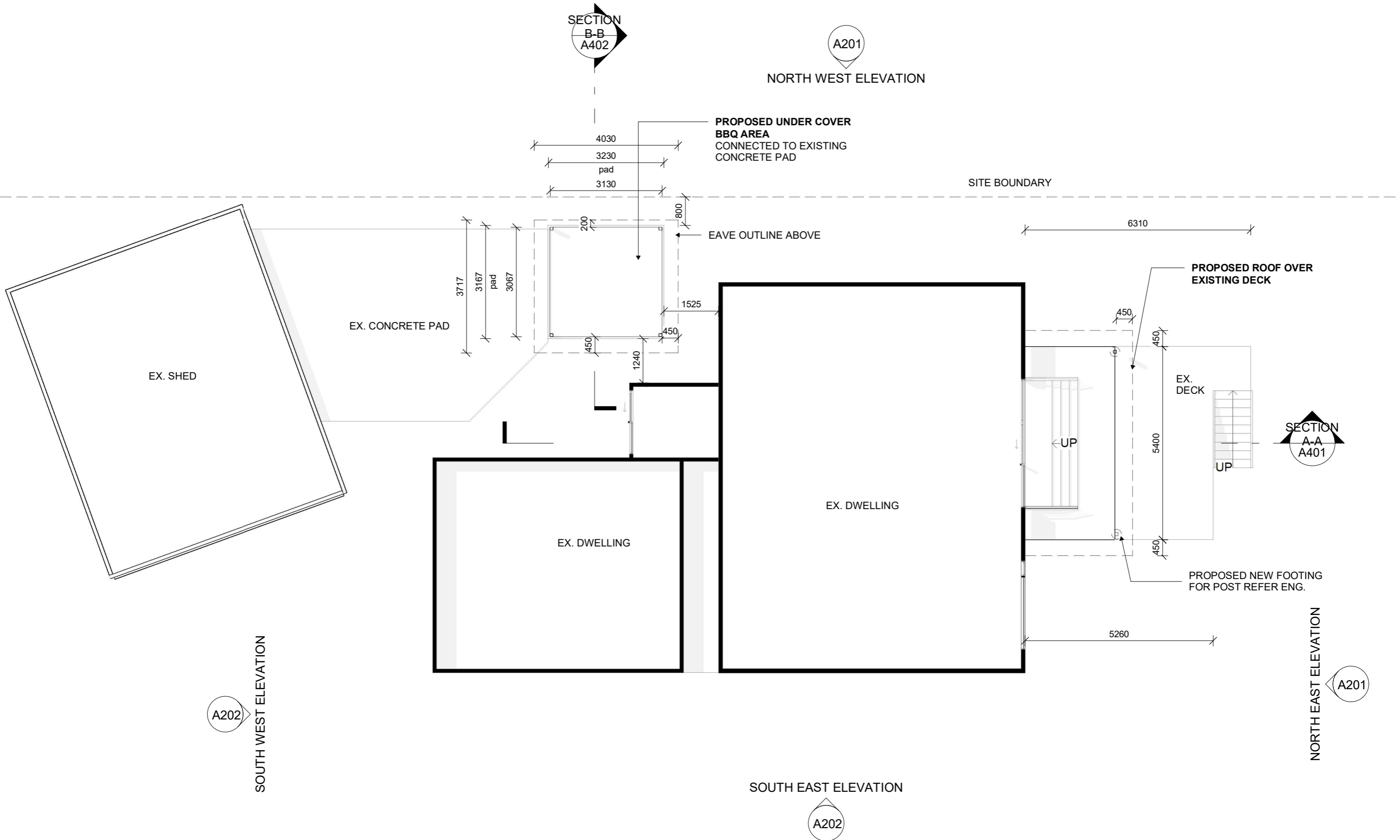


Client:	L. FRATANGELO
Project:	ALTERATION & ADDITION
at	29 TOP ROAD GREENS BEACH TAS 7270

Project No:	LF2026
Drawn By:	Jo Woodbury
Accreditation No.	551573843

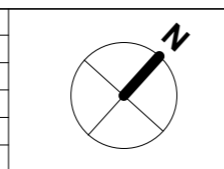
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1 FLOOR PLAN
1 : 100

REVISION:	DESCRIPTION:	DATE:



Client:	L. FRATANGELO
Project:	ALTERATION & ADDITION
at	29 TOP ROAD GREENS BEACH TAS 7270

Project No:	LF2026
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ROOF NOTES

Eaves vents with aluminium mesh backing at intervals (1800mm max centres) Refer to A25 Bushfire Protection Plan for sealing requirements.

Vapour permeable sarking installed as per manufacturer's instructions. Ensure there is a clear unimpeded path of travel for water to escape from sarking into the eaves gutter.

Additional battens or blocking pieces may be required.

Sarking must comply with AS/NZS 4200 parts 1 and 2.

Battens typically 70 x 35 deep MGP10 @ 900max centres. (Use F5 KD treated pine if battens on top of sarking).

Downpipes must not serve more than 12m of gutter length for each downpipe. Roof cladding to comply with AS 1562.1. Roof drainage must comply with:
 - Plumbing Code of Australia Part D1
 - AS/NZS 3500.3
 - BCA Volume 2 parts 3.1.2 and 3.5.2. (Deemed to Satisfy provisions)

WALL FRAMING NOTES

Load Bearing Walls MINIMUM DETAIL
 90*35mm MGP10 Studs max. 450mm cen.
 2/90*35 MGP10 Top Plates
 90*35 MGP10 Bottom Plate

Non Load Bearing Walls
 90*35 MGP10 Studs max 450mm cen.
 90*35 MGP10 Top Plates
 90*35 MGP10 Bottom Plate

GENERAL DETAILS

- Noggins at mid height or 1200mm cen.
- Studs beside openings
 up to 900 1
 up to 2100 2
 upto 3000 3
- All studs and plates NOT notched

NOTES

- Outside walls as shown designed to be load bearing to suite trusses. Inside walls are non load-bearing.
- Outside load bearing walls are designed for normal roof loads. Builder to provide double studs under any girder truss locations. If concentrated loads from truss design occur above windows or on beams builder to contact designer (or Engineer for revised member sizes).

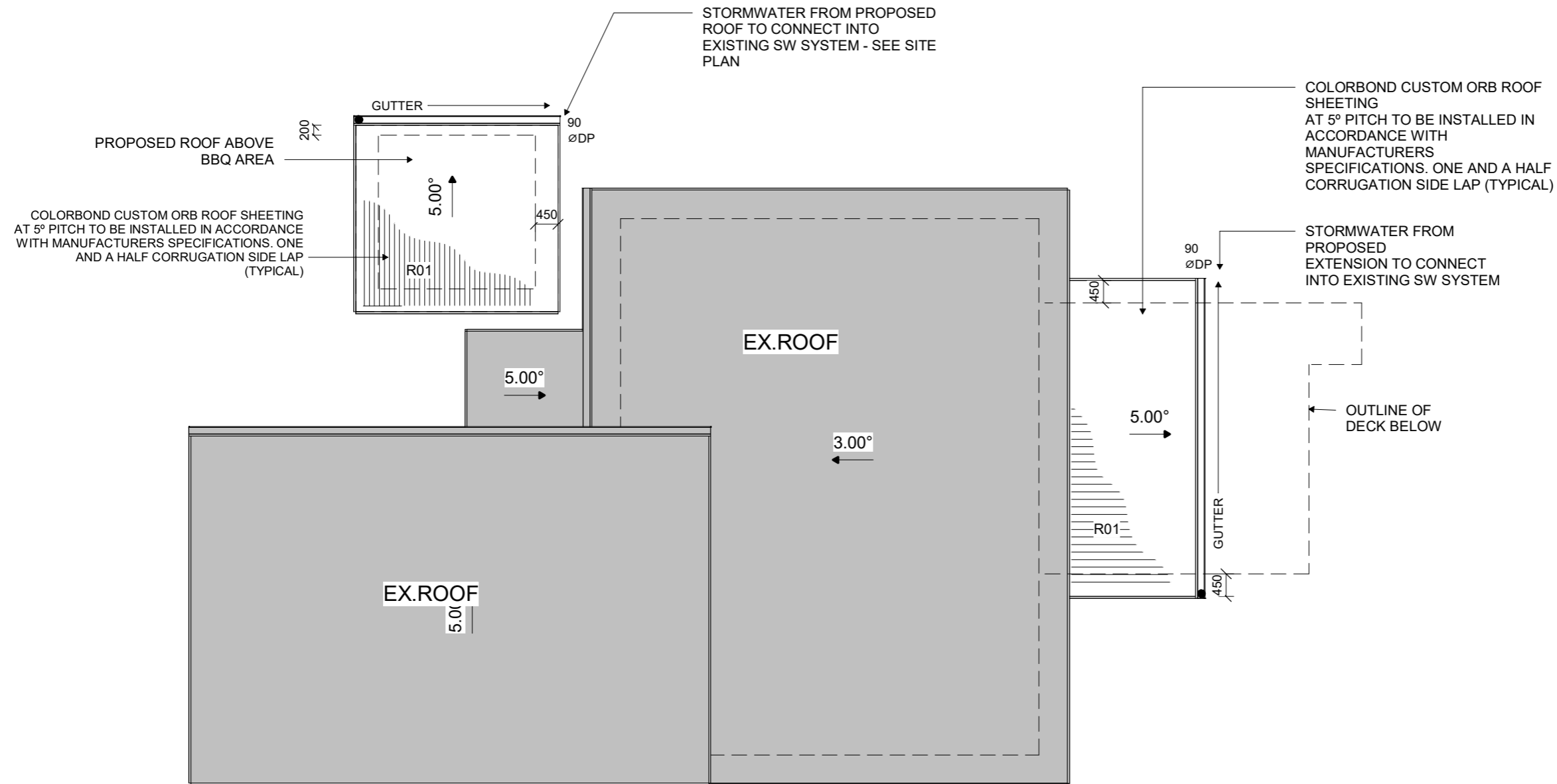
ROOF CLADDING

R01: Lysaght Custom orb roof sheet, on 35mm timber roof battens @ 900crs typical. Roof membrane 'Proctor Group' High Tensile HT-R vapour permeable roofing underlay, shall be installed in accordance with AS/NZS 4200.2 Pliable Building Membranes and Underlays, Part 2 Installation in accordance with manufacturers specifications, and with the printed face upwards. COLOR TO MATCH EXISTING.

GUTTERS & FASCIAS

G01: TO MATCH EXISTING

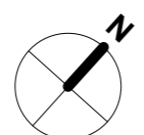
F01: TO MATCH EXISTING



1 ROOF PLAN
1 : 100

WOODBURY & CO
 BUILDING DESIGN
 Phone 0407 319 437
 28 Denison Road/ West Launceston TAS 7250
 jo@woodburyco.com.au

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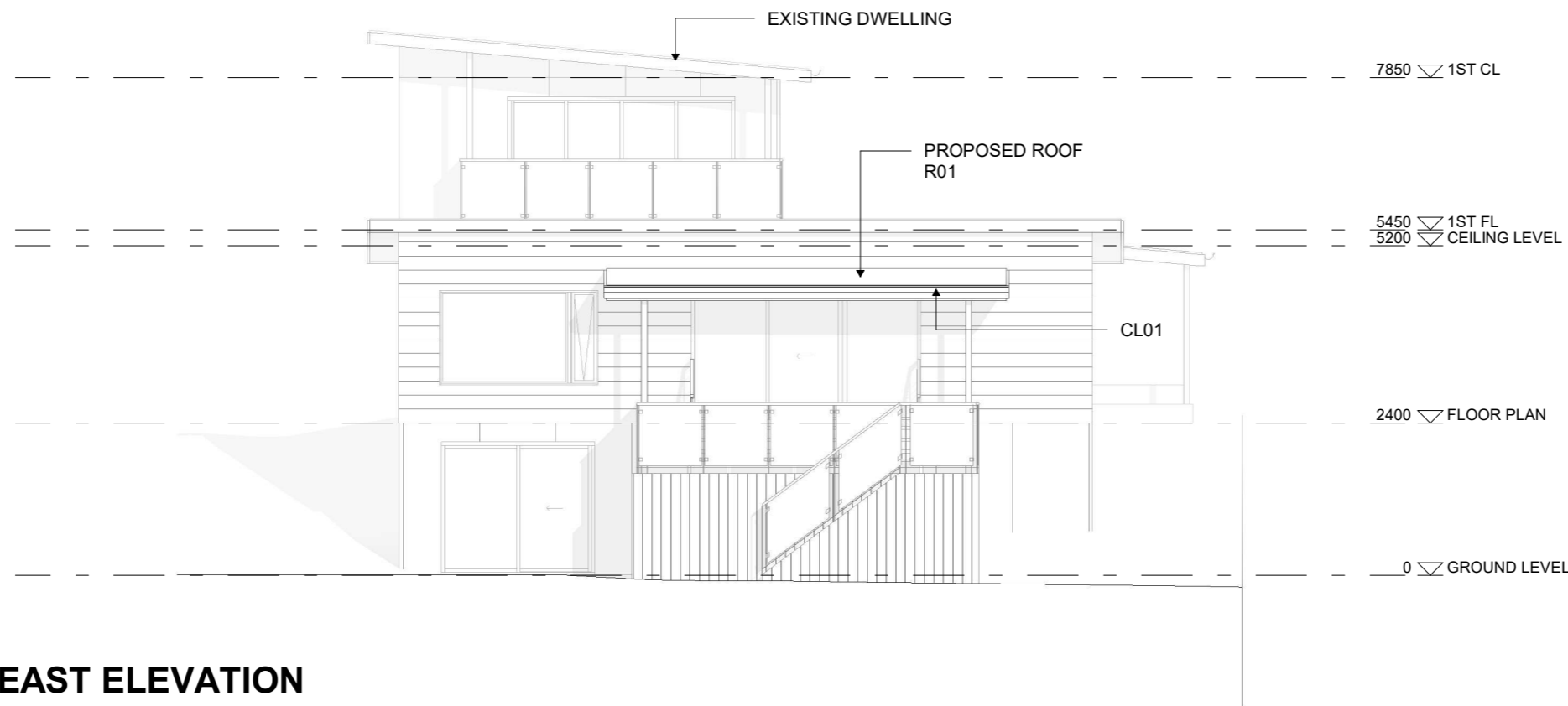
Client:	L. FRATANGELO
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at	29 TOP ROAD GREENS BEACH TAS 7270

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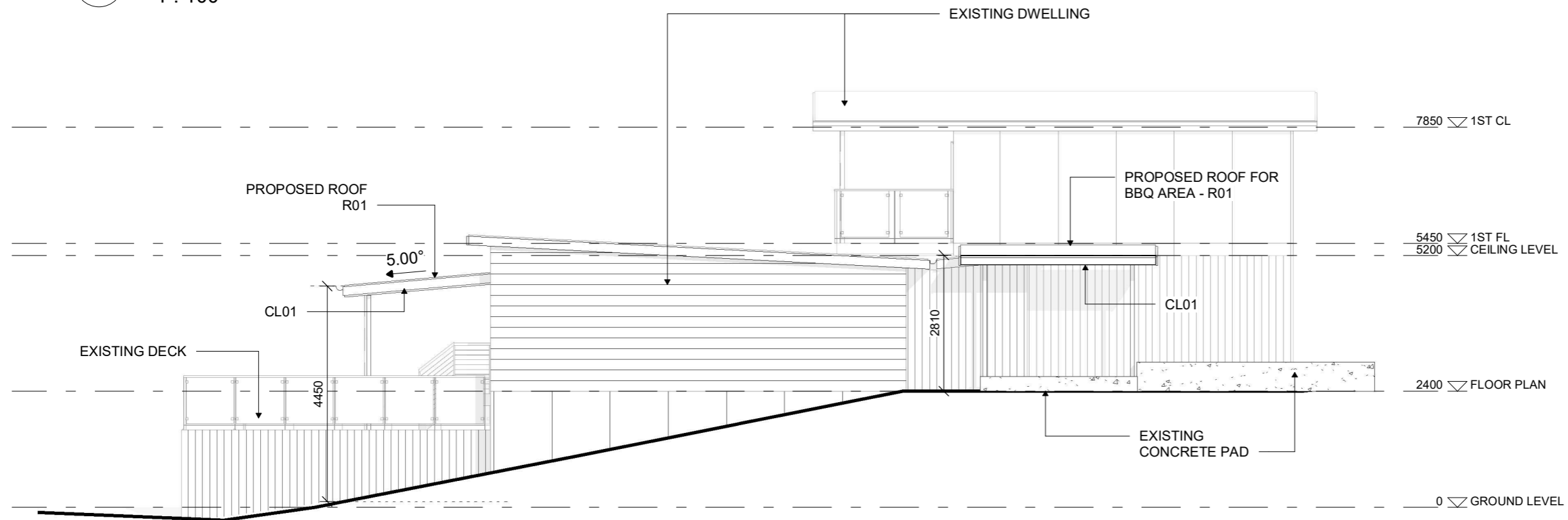
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Sheet No:
A102
28/05/2026 8:44:29 AM



1 NORTH EAST ELEVATION
1 : 100



2 NORTH WEST ELEVATION
1 : 100

ELEVATION LEGEND
R01: Lysaght Custom orb roof sheet
 COLOR TO MATCH EXISTING.

G01 TO MATCH EXITING

F01 TO MATCH EXITING

All propriety products to be installed in accordance with manufacturers specification

Refer material notes for detailed information

Windows & doors - refer schedules

EXTERNAL CEILING / SOFFIT LININGS

CL01
 6mm James Hardie™ Flex Sheet

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at	29 TOP ROAD GREENS BEACH TAS 7270

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Drawing Title	ELEVATIONS
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ELEVATION LEGEND
R01: Lysaght Custom orb roof sheet
 COLOR TO MATCH EXISTING.

G01 TO MATCH EXITING

F01 TO MATCH EXITING

All propriety products to be installed in accordance with manufacturers specification

Refer material notes for detailed information

Windows & doors - refer schedules

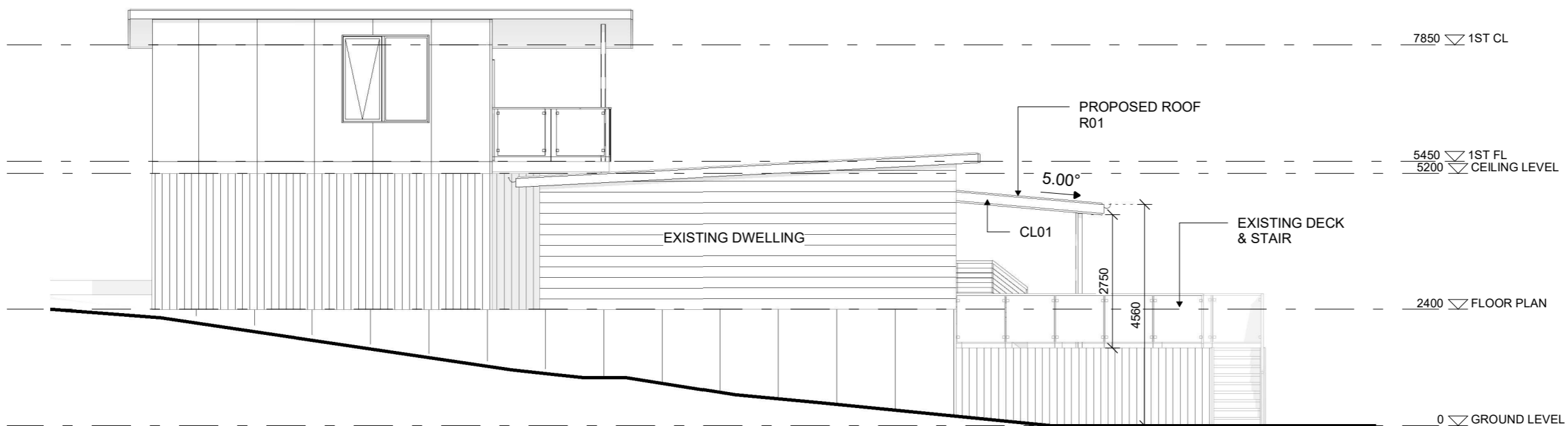
EXTERNAL CEILING / SOFFIT LININGS

CL01
 6mm James Hardie™ Flex Sheet



3 SOUTH WEST ELEVATION

1 : 100



4 SOUTH EAST ELEVATION

1 : 100

REVISION:	DESCRIPTION:	DATE:

Client:	L. FRATANGELO
Project:	ALTERATION & ADDITION
at	29 TOP ROAD GREENS BEACH TAS 7270

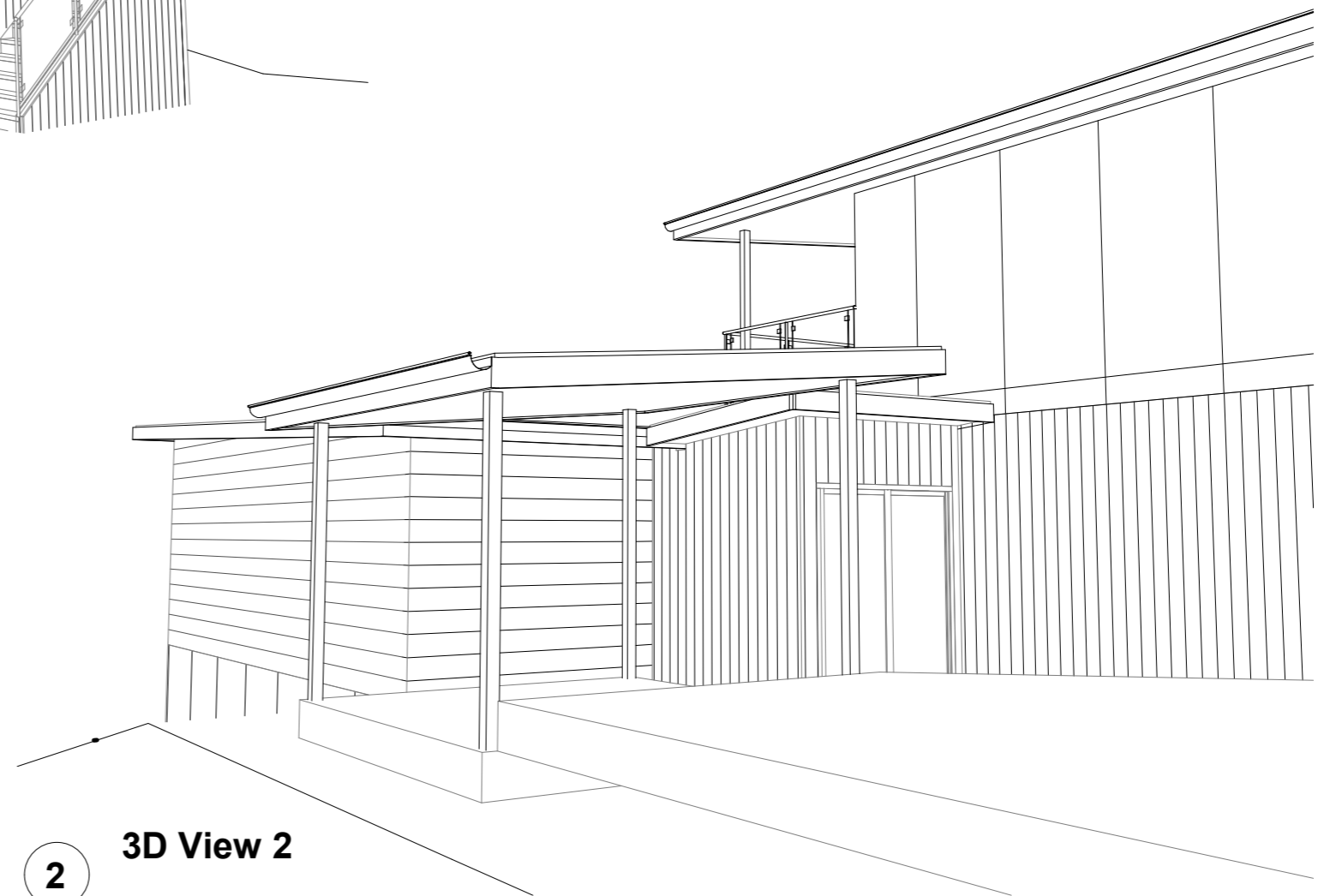
Project No:	LF2026
Drawn By:	Jo Woodbury
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Drawing Title	ELEVATIONS
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1 3D View 1



2 3D View 2

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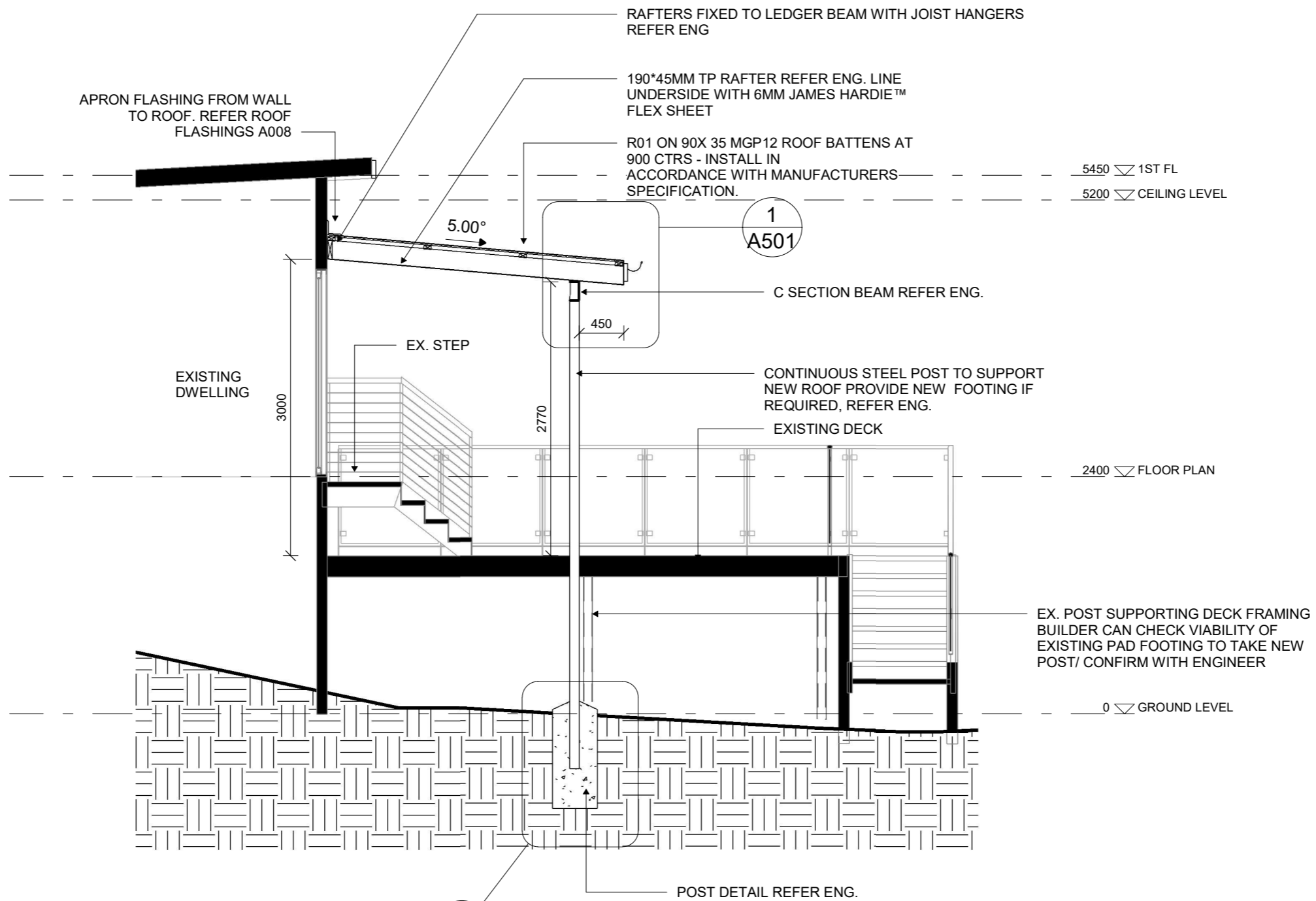
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Drawing Title	3D VISUALS
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1 SECTION A-A
1 : 50

2
A501

**PLEASE ALWAYS REFER TO ENGINEERS
DRAWING FOR FINAL DESIGN**

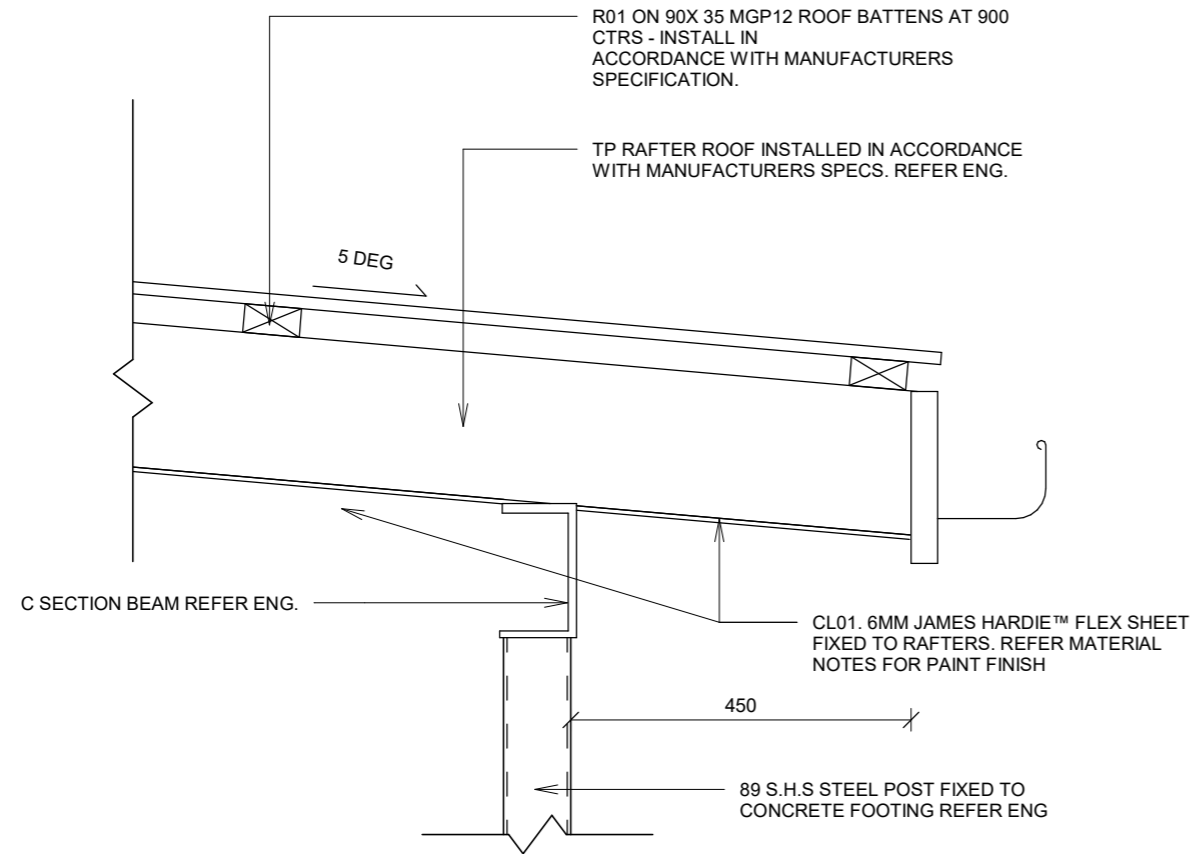
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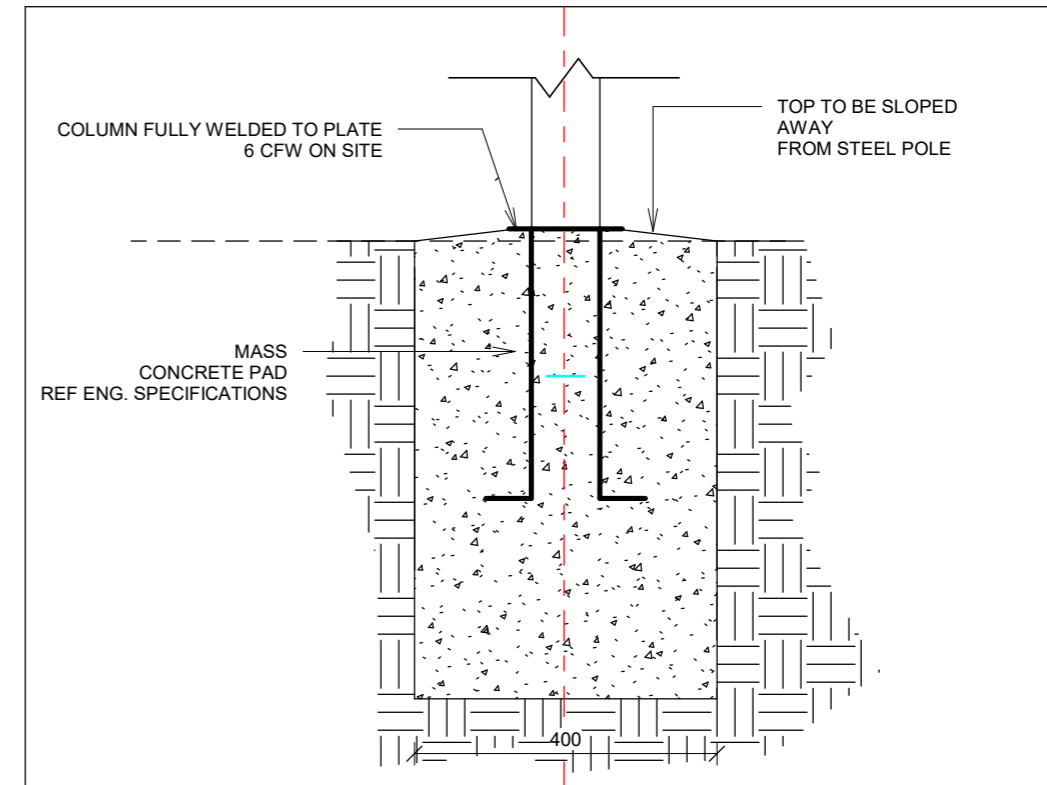
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Drawing Title	SECTION A-A
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1 ROOF DETAIL_
1 : 10



2 STEEL POST DETAIL_
1 : 10

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at	29 TOP ROAD GREENS BEACH TAS 7270

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Drawing Title	DETAILS
Date:	25/05/2026
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