

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number PA2026197
Assess No: A12222
PID No: 3275974

Applicant Name:	Joel Garrett				
Postal Address:					
Contact Phone:	Home		Work		Mobile
Email Address:					

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☒
2. A completed application form including a detailed description of the proposal ☒
3. A complete plan set: ☒
 - a) Floor plans ☒
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☒
 - c) Site Plan showing: ☒
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: PlansToBuild

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) K. Wojcik & A. Kostecka

Location / Address: 13 Annears Road, Blackwall TAS 7275

Title Reference: 167179/3

Zone(s): 11.0 Rural Living 'Zone C'

Existing Development/Use: Residential

Existing Developed Area: +/- 293m2

DEVELOPMENT APPLICATION DETAILS

Proposed Use:

Residential: ☒	Visitor Accommodation: ☐	Commercial: ☐	Other: ☐
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Description of Use:
New roofed patio at rear of existing dwelling, new carport and new roofed storage area.

Development Type:

Building work: ☒	Demolition: ☐	Subdivision: ☐	Other: ☒
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Description of development:
Retrospective Approval for already built patio, carport and roofed storage area.

New or Additional Area: Area +/- 73m2

Estimated construction cost of the proposed development: \$75,000

Building Materials:

Wall Type: Timber	Colour: White
Roof Type: Laserlite	Colour: Clear

Application Number: «Application Number»

APPLICANT DECLARATION

Owner:

As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant:**(if not the owner)**

As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent***(if required)*

Name (print)

Signed

Date

**Chief
Executive
Officer***(if required)*

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

OWNER: G R BRAGGE PTY. LTD. FOLIO REFERENCE: FR 165680 - 7 GRANTEE: PART OF 305A-2R-17P GRANTED TO HERBERT GATENBY		PLAN OF SURVEY BY SURVEYOR: M.R. ROSE OF 2/3 WALDEN STREET, NEWSTEAD 7250 LOCATION: LAND DISTRICT OF DEVON PARISH OF ST MICHAELS SCALE 1: 1200 LENGTHS IN METRES		REGISTERED NUMBER SP167179 APPROVED EFFECTIVE FROM 28 JAN 2014 <i>Alice Kawa</i> Recorder of Titles			
MAPSHEET MUNICIPAL CODE No 129 (4842-25)		LAST UPI No 4104243		LAST PLAN: SP 165680		ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	



 06/01/2014
COUNCIL DELEGATE DATE

SCHEDULE OF EASEMENTS	Registered Number SP167179
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 2 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 7 on the Plan is subject to an electricity infrastructure easement and restriction as to user of land (appurtenant to Transend Networks Pty Ltd) over the land marked "ELECTRICITY INFRASTRUCTURE EASEMENT 85.00 WIDE" passing through Lot 7 on the plan

FENCING COVENANT

The owner of each Lot on the Plan covenants with the Vendor (GR Bragge Pty Ltd) that the Vendor shall not be required to fence.

In this Schedule of Easements "electricity infrastructure easement and restriction as to user of land" means:

FIRSTLY the full and free right and liberty for Transend Networks Pty Ltd and its successors and its and their servants, agents, invitees and contractors ("Transend") at all times:

- (a) TO clear the lands shown as "Electricity Infrastructure Easement 85.00 wide" on the plan ("the servient land") and to lay, erect, construct, inspect, install, maintain, repair, modify, add to, replace, remove and operate in, upon, through, over, along and under the servient land the following:

- (i) Towers, poles, wires, cables, apparatus, appliances, and all other ancillary and associated equipment which includes telecommunication equipment (described collectively as "electricity infrastructure") for, or principally for, the transmission of electrical energy and for any incidental purposes.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: G R BRAGGE PTY LTD FOLIO REF: FR 165680 - 7 SOLICITOR & REFERENCE: SPROAL & ASSOCIATES	PLAN SEALED BY: WEST TAMAR COUNCIL DATE: 6th January 2014 DA 98/05 REF NO.  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 2 PAGES	Registered Number SP 167 179
SUBDIVIDER: G R BRAGGE PTY LTD FOLIO REFERENCE: FR. 165680 - 7	

- (b) TO cause or permit electrical energy (including electro-magnetic energy in all its forms), telecommunications and data to flow or be transmitted or distributed through the electricity infrastructure.
- (c) TO cut away remove and keep clear of the electricity infrastructure all trees and other obstructions or erections of any nature whatsoever which may at any time:
- (i) overhang, encroach upon or be in or on the servient land; or
 - (ii) which may in the opinion of Transend endanger or interfere with the proper operation of the electricity infrastructure.
- (d) TO enter the servient land for all or any of the above purposes and to cross the remainder of the land with any and all necessary plant, equipment, machinery and vehicles for the purpose of access and egress to and from the servient land, and where reasonably practicable, in consultation with the registered proprietor/s (except when urgent or emergency repair work is needed).

SECONDLY the benefit of a covenant for Transend and with the registered proprietor/s for themselves and their successors not to:

- (i) erect any buildings; or
- (ii) place any structures or objects

within the servient land without the prior written consent of Transend. Transend may rescind its consent if in the opinion of Transend there are safety, access or operational concerns.

EXECUTED by G R Bragge Pty Ltd

being the registered proprietor of the land in folio of
the Register Volume 165680 Folio 7 pursuant to
Section 127 of the Corporations Act 2001



.....
Gregory Robert Bragge
Sole Director and Sole Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

RETROSPECTIVE APPROVAL

at 13 ANNEARS ROAD, BLACKWALL TAS 7275

for K. WOJCIK & A. KOSTECKA

PROJECT NUMBER:
25054

PROPERTY ID:
3275974

LAND TITLE, VOLUME & FOLIO
CT - 167179/3

SITE AREA:
832m2

FLOOR AREAS:
EXISTING DWELLING FLOOR AREA - ±235m²
EXISTING DWELLING DECK FLOOR AREA - ±58m²
EX. CARPORT FLOOR AREA - ±16m²
NEW ROOFED PATIO FLOOR AREA - ±45m²
NEW STORAGE AREA APPROX. FLOOR AREA - ±9m²

COUNCIL:
WEST TAMAR

SCHEME / ZONE:
11.0 RURAL LIVING

SCHEME / ZONE OVERLAYS:
PRIORITY VEGETATION
BUSHFIRE PRONE AREA

SITE CLASSIFICATION: AS EXISTING

WIND CLASSIFICATION: N2

BUSHFIRE ATTACK LEVEL: BAL 29

TERRAIN CLASSIFICATION: TC 2.5

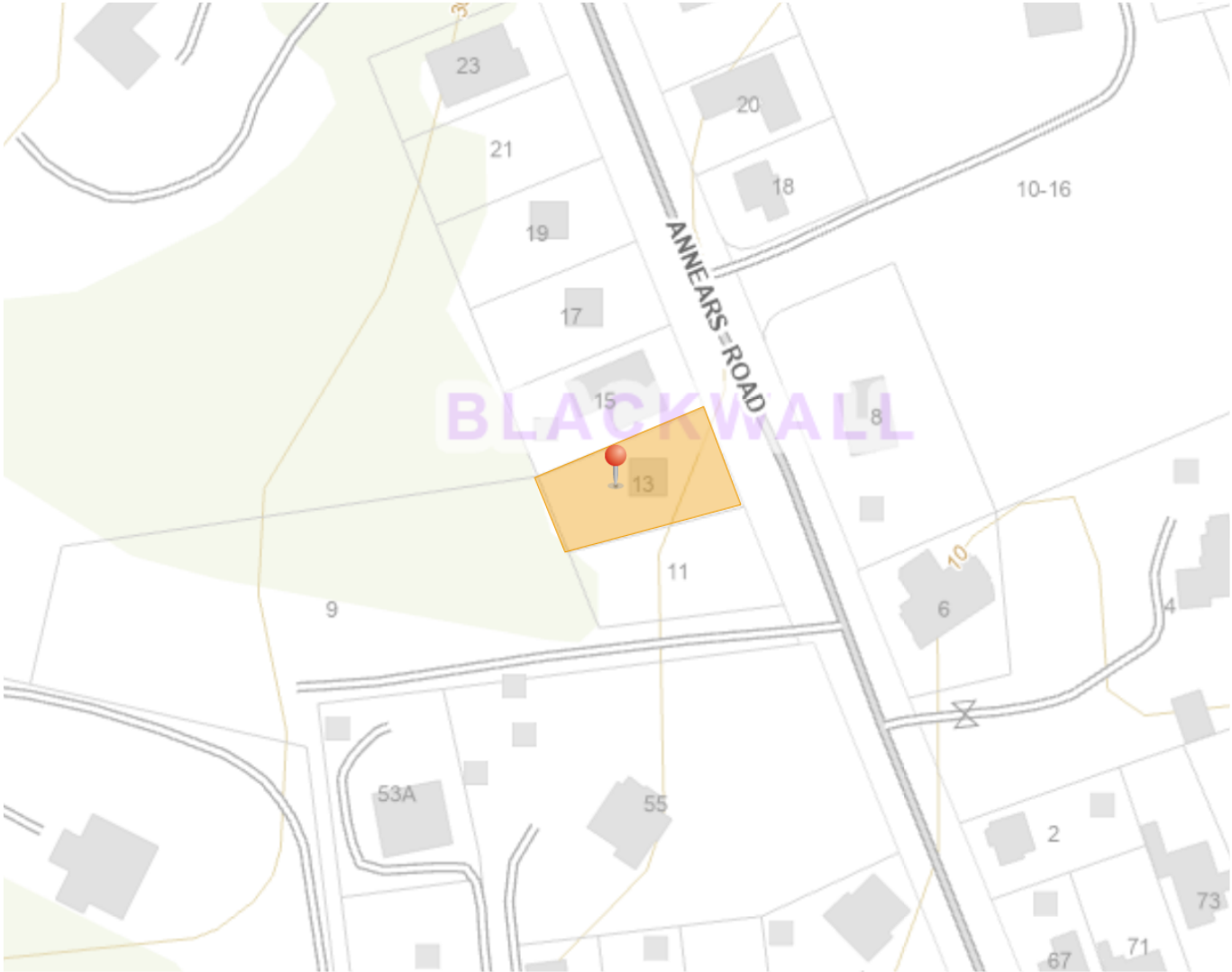
WIND REGION: A3

CLIMATE ZONE: 7

CORROSION ENVIRONMENT: MEDIUM

ALPINE AREA: N/A

PRINT DATE:
24/07/2026



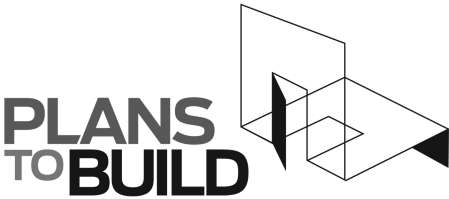
LOCATION PLAN

DRAWING SCHEDULE

- A00 COVER PAGE
- A01 SITE PLAN
- A02 SITE DRAINAGE PLAN
- A03 EXISTING GROUND FLOOR PLAN
- A04 EXISTING FIRST FLOOR PLAN
- A05 FIRST FLOOR DEMOLITION PLAN
- A06 NEW FIRST FLOOR PLAN
- A07 NEW ROOF PLAN
- A08 WESTERN ELEVATION & PATIO SECTION
- A09 NEW CARPORT SECTION & CORROSION TABLE
- A10 SITE PHOTOS
- A11 BAL NOTES
- A12 HOUSING PROVISIONS



MEMBER
you're in good hands



ABN 23 269 055 701
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Launceston, Tasmania, 7250.
Tel - 6388 9287 - Mob - 0400 655 771
Email - leigh@planstobuild.com.au
L.M.DELL LIC. No. CC5932 G

GENERAL NOTES:

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL BUILDING WORK SHALL BE IN STRICT COMPLIANCE WITH COUNCIL LAWS, REFERENCED AUSTRALIAN STANDARDS, BUILDING ACTS & REGULATIONS REFER ALSO TO THE GENERAL REQUIREMENTS PAGE.

THE BUILDER SHALL SECURE AND MAKE SAFE THE WORKSITE IN ACCORDANCE WITH WORK SAFE TASMANIA & WHS GUIDELINES & REGULATIONS.

THE BUILDER SHALL CARRY OUT DIAL BEFORE YOU DIG REFERRAL FOR LOCATIONS OF ALL UNDERGROUND SERVICES PRIOR TO COMMENCING ANY EARTHWORKS.

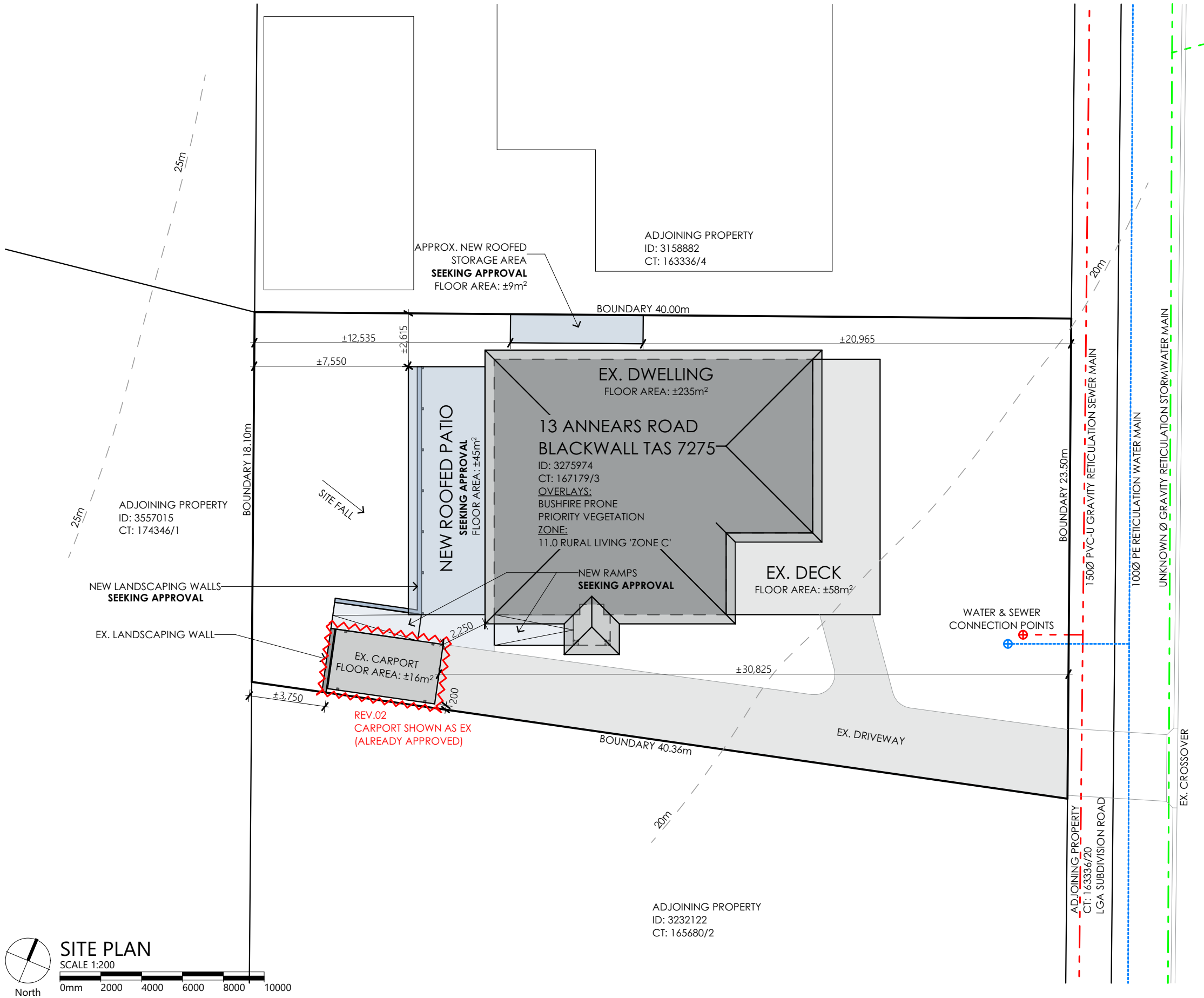
THE BUILDER SHALL INSTALL SILT TRAPS & SCREENS AT THE PROPERTY BOUNDARY TO PREVENT SILT RUNOFF INTO THE COUNCIL MAIN SYSTEM FOR THE DURATION OF SITE WORKS.

THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SETOUT OF ALL WORKS. A LAND SURVEYOR IS RECOMMENDED BY THE DESIGNER FOR ALL SETOUT. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS.

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING DRAWINGS AND SPECIFICATIONS. THE DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES WITH THE DRAWINGS.

ALL FITTINGS & FIXTURES INSTALLED SHALL BE PURCHASED AS NEW CONDITION & QUALITY & CARRY THE RELEVANT AUSTRALIAN STANDARD, AND CODEMARK & WATERMARK COMPLIANCES.

02	RESPONSE TO MIR #1	24.07.26
01	SUBMISSION FOR PLANNING APPROVAL	13.07.26
rev.	Amendment	Date
DRAWING No:		ISSUE: APPROVAL
A00		REV: 02
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SITE PLAN NOTES

SURFACE AND SUBSURFACE DRAINAGE SYSTEMS
IN ACCORDANCE WITH PART D2. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A STORMWATER DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3

SOIL AND WATER MANAGEMENT
PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT WORKS THE APPLICANT OR BUILDER MUST INSTALL ALL NECESSARY SILT FENCES AND CUT-OFF DRAINS TO PREVENT THE SOIL, GRAVEL AND OTHER DEBRIS FROM ESCAPING THE SITE. ADDITIONAL WORKS MAY BE REQUIRED ON COMPLEX SITES.

NO MATERIAL OR DEBRIS IS TO BE TRANSPORTED ONTO THE ROAD RESERVE (INCLUDING THE NATURE STRIP, FOOTPATH AND ROAD PAVEMENT). ANY MATERIAL THAT IS DEPOSITED ONTO THE ROAD RESERVE AS A RESULT OF THE DEVELOPMENT ACTIVITY IS TO BE REMOVED BY THE APPLICANT OR BUILDER.

THE SILT FENCING, CUT-OFF DRAINS AND OTHER WORKS TO MINIMISE EROSION ARE TO BE MAINTAINED ON THE SITE UNTILL SUCH TIME AS THE SITE HAS REVEGETATED SUFFICIENTLY TO MITIGATE EROSION AND SEDIMENT TRANSPORT.

**PLANS
TOBUILD**

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Launceston, Tasmania, 7250.
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L.M.DELL LIC. No. CC5932 G

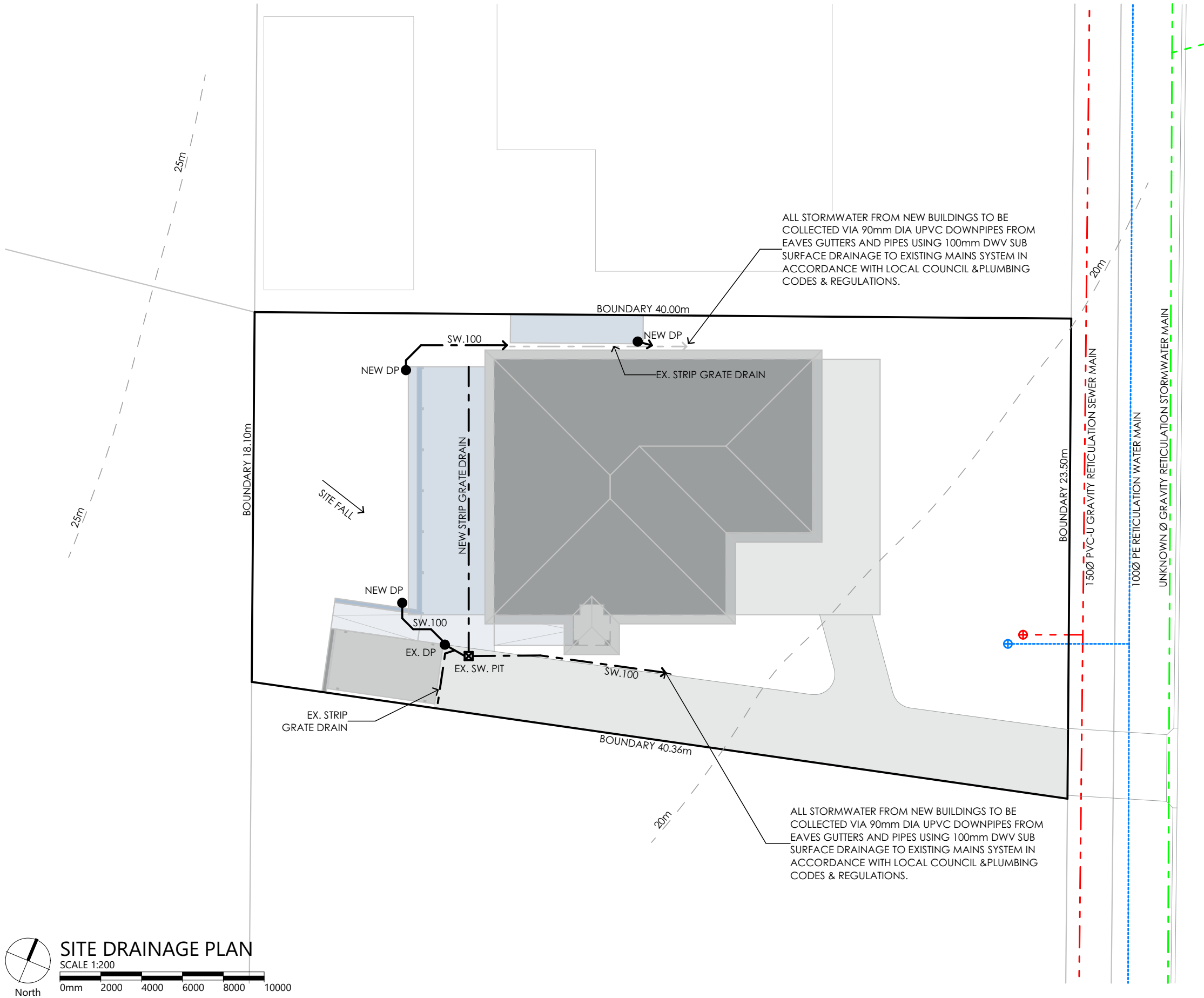
Owner:
K. WOJCIK & A. KOSTECKA

02	RESPONSE TO MIR #1	24.07.26
01	SUBMISSION FOR PLANNING APPROVAL	13.07.26
rev.	Amendment	Date
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RETROSPECTIVE APPROVAL
13 ANNEARS ROAD, BLACKWALL TAS 7275

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

PROJECT NUMBER: **25054**
SCALE: IF IN DOUBT ASK **SCALE @ A3**
PRINT DATE: **24/07/2026**



PLUMBING LEGEND

- NEW 100mm DWV PVC SN6 STORMWATER PIPE WITH 1: 100 MINIMUM GRADE UNLESS NOTED OTHERWISE BELOW
- SUMP/SILT TRAP

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DRAWING No: A02		ISSUE: APPROVAL
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RETROSPECTIVE APPROVAL

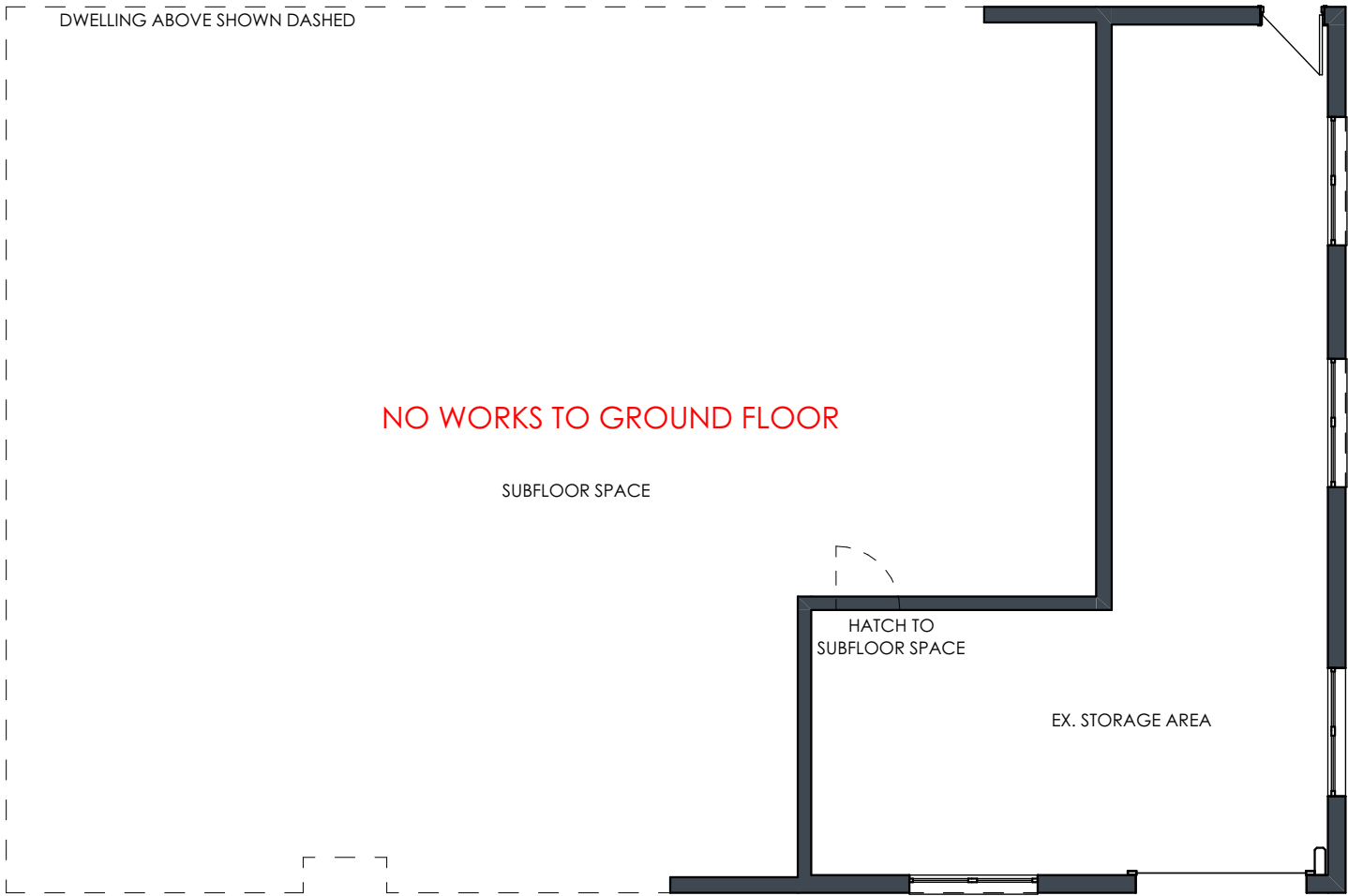
13 ANNEARS ROAD, BLACKWALL TAS 7275

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PROJECT NUMBER:	SCALE: IF IN DOUBT ASK	PRINT DATE:
25054	SCALE @ A3	24/07/2026

FLOOR PLAN LEGEND

- EXISTING ELEMENTS
- EX. DOORS RETAINED
- EX. SLIDING DOORS RETAINED (NO OPENING ARROW)

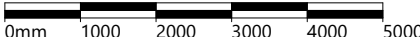




Project North

EXISTING GROUND FLOOR PLAN

SCALE 1:100

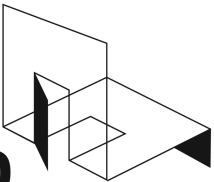


RETROSPECTIVE APPROVAL

13 ANNEARS ROAD, BLACKWALL TAS 7275

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PROJECT NUMBER: 25054		SCALE: IF IN DOUBT ASK SCALE @ A3	PRINT DATE: 24/07/2026	DRAWING No: A03		ISSUE: APPROVAL	
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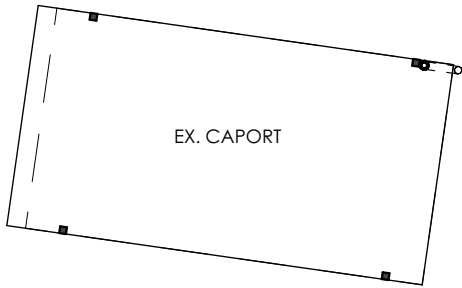
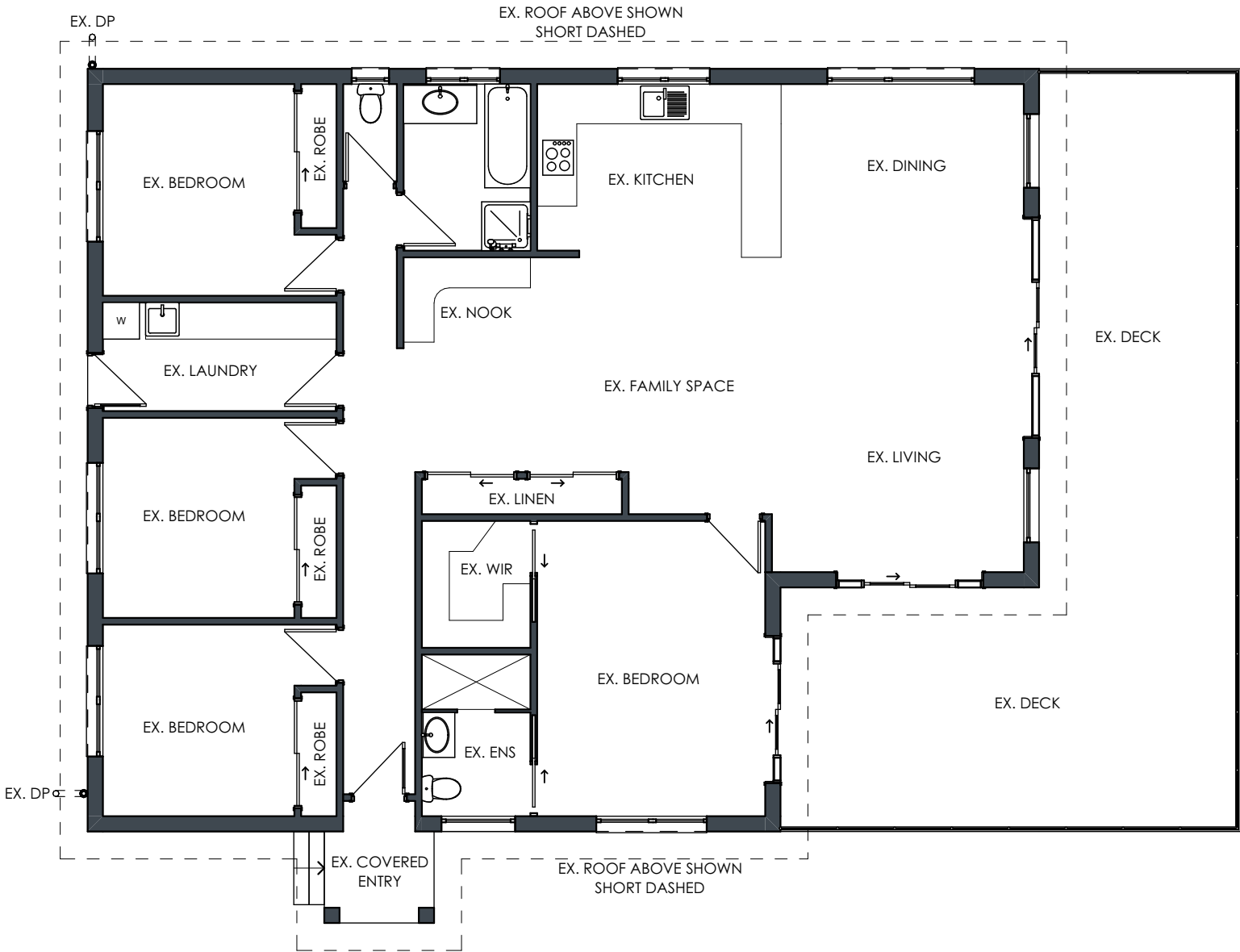
02	RESPONSE TO MIR #1	24.07.26
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FLOOR PLAN LEGEND

EXISTING ELEMENTS

EX. DOORS RETAINED

EX. SLIDING DOORS RETAINED
(NO OPENING ARROW)



EXISTING FIRST FLOOR PLAN
SCALE 1:100
0mm 1000 2000 3000 4000 5000
Project North

RETROSPECTIVE APPROVAL

13 ANNEARS ROAD, BLACKWALL TAS 7275

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PROJECT NUMBER:
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SCALE: IF IN DOUBT ASK
SCALE @ A3

PRINT DATE:
24/07/2026

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A04

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ISSUE: APPROVAL
REV: 02

PLANS TO BUILD

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DEMOLITON LEGEND

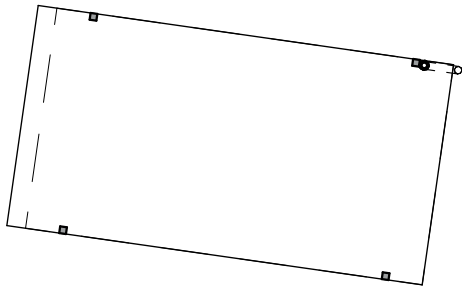
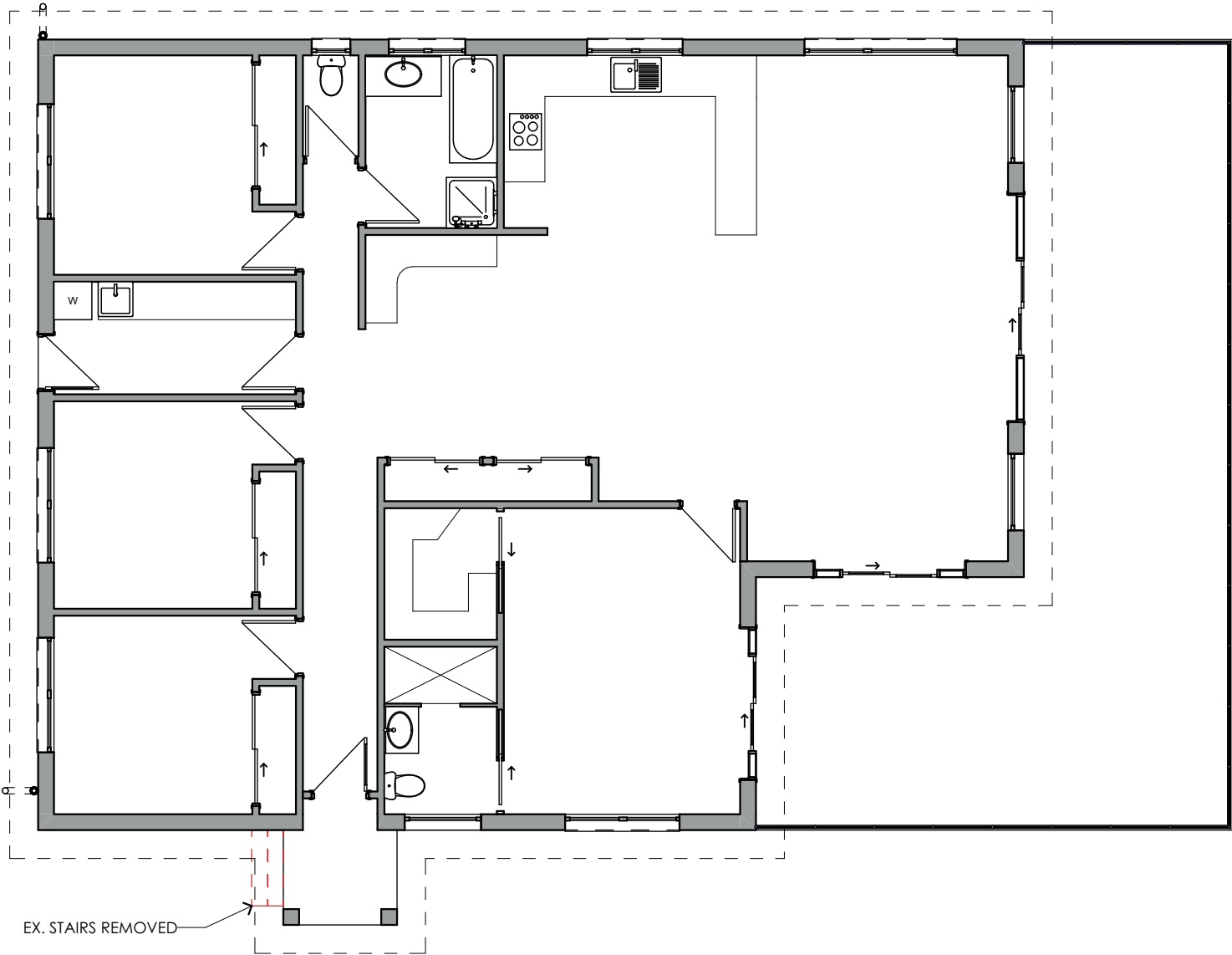
WALLS, WINDOWS DOORS AND JOINERY SHOWN DOTTED IS TO BE DEMOLISHED AND REMOVED

EXISTING WALLS RETAINED

THE CONTRACTOR SHALL CARRY OUT THE REQUIRED DEMOLITON OF THE EXISTING BUILDING ELEMENTS NOMINATED ON THIS PLAN IN STRICT ACCORDANCE WITH THE DOCUMENTATION & AS2601 - THE DEMOLITION OF STRUCTURES.

DEMOLITION WORKS SHALL BE UNDERTAKEN IN A SAFE & ENVIRONMENTALLY ACCEPTABLE MANNER. CONTRACTOR SHALL MAKE ALL ALLOWANCES AS REQUIRED FOR DEMOLITION, REMOVALS & RELOCATIONS TO SUIT THE NEW WORKS.

ALL ITEMS TO BE DEMOLISHED SHOWN DOTTED TYPICALLY. CONTACT DIAL BEFORE YOU DIG PRIOR TO ANY EXCAVATION WORKS. THE EXISTING RESIDENCE MAY CONTAIN ASBESTOS. ANY ASBESTOS SHALL BE REMOVED IN ACCORDANCE WITH WORK SAFE TASMANIA CODE OF PRACTICE CP113 & STATUTORY REGULATIONS



FIRST FLOOR DEMOLITION PLAN
SCALE 1:100
0mm 1000 2000 3000 4000 5000
Project North

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13 ANNEARS ROAD, BLACKWALL TAS 7275

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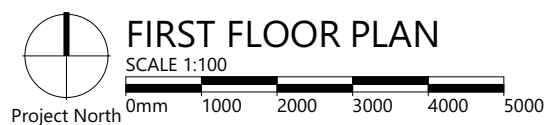
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 EXISTING ELEMENTS

 EX. DOORS RETAINED

 EX. SLIDING DOORS RETAINED
(NO OPENING ARROW)

 NEW ELEMENTS



13 ANNEARS ROAD, BLACKWALL TAS 7275

PROJECT NUMBER:
25054

SCALE @ A3

24/07/2026

A06

REV: 02

PLANS TO BUILD

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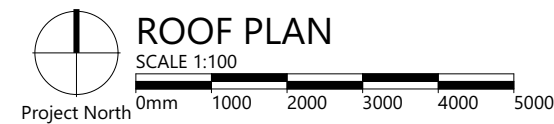
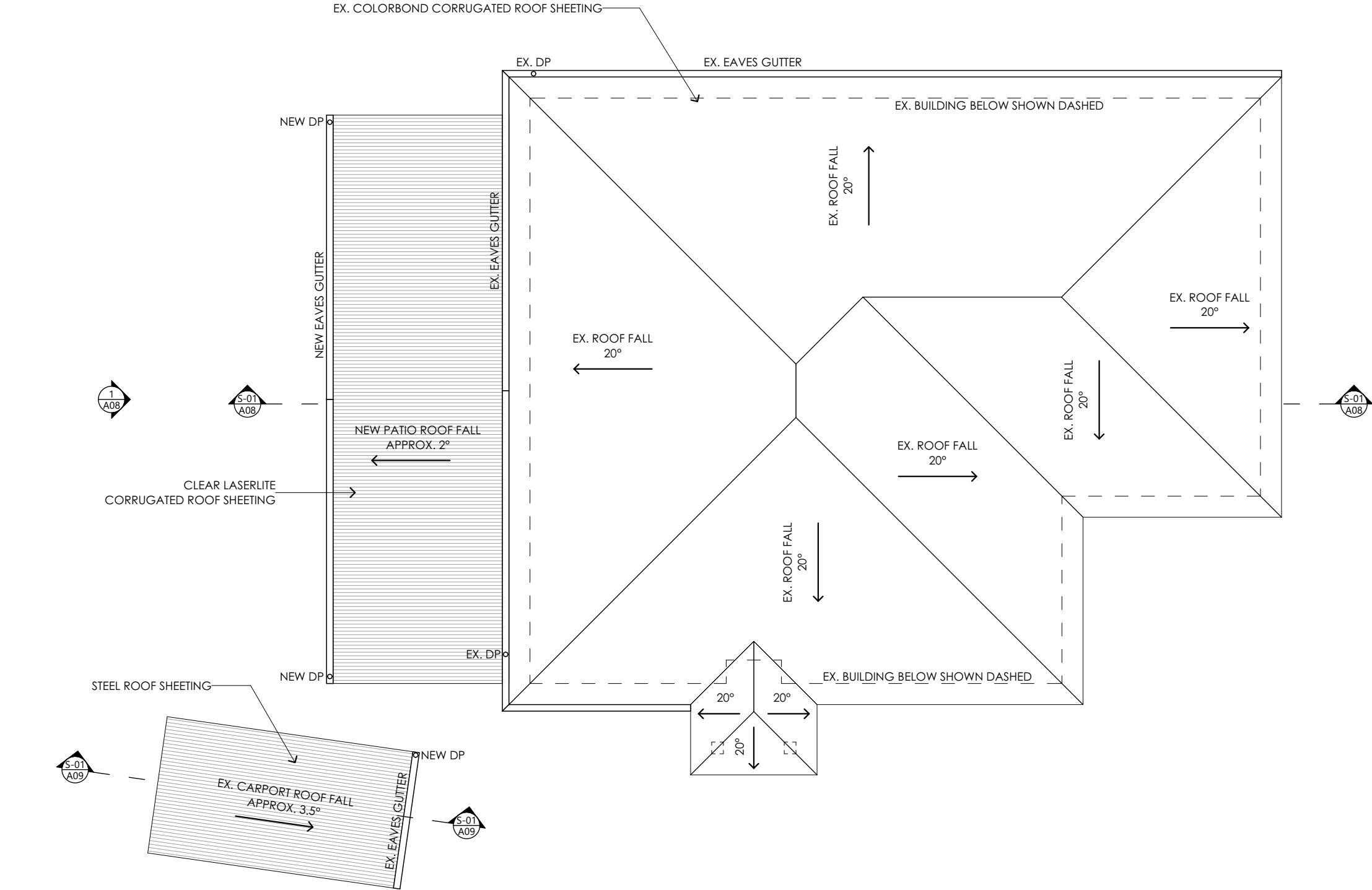
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ROOF PLAN NOTES

METAL SHEET ROOFING SHALL BE IN ACCORDANCE WITH PART 3.5.1. OF THE BCA. WHEREVER POSSIBLE HAVE THE SHEETS LAID SO THAT THE SIDE LAPS ARE FACING AWAY FROM THE PREVAILING WEATHER.

GUTTERS AND DOWNPIPES SHALL BE IN ACCORDANCE WITH PART 3.5.2 OF THE BCA. ALL DWV PVC DOWNPIPES TO BE JOINTED WITH APPROVED SOLVENT AND PRIMER. PAINT FINISH.

AN AUSTRALIAN STANDARD ROOF SAFETY MESH OR AN APPROVED ROOF SAFETY HARNESS OR RESTRAINT SYSTEM SHALL BE USED DURING INSTALLATION.

ROOF SHEETS MUST BE LAID WHEREVER POSSIBLE USING COMPLETE LENGTHS FROM RIDGES TO EAVES. SHEET METAL ROOF, CAPPINGS, FLASHINGS AND PENETRATIONS ARE TO COMPLY WITH PARTS 3.5.1.2 & 3.5.1.3 AND OF THE BCA.

REFER TO ENGINEERS DETAILS FOR ROOF FRAMING. ENSURE THE ROOF SPACE IS VENTILATED AT THE RIDGE CAPPING AND VIA VENTS LOCATED AT THE EAVES.

ROOF BATTENS MUST BE FIXED IN ACCORDANCE WITH AS 1684.4 SECTION 9 TABLES 9.2 TO 9.7.

REFER TO INSULATION SCHEDULE FOR INSULATION REQUIREMENTS.

GUTTERS INSTALLED IN ACCORDANCE WITH PART 3.5.3 OF THE BCA, NCC. 1 IN 500 FALL.

BOX GUTTERS WITH 1 IN 100 FALL AND IN ACCORDANCE WITH AS/NZS 3500.3

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RETROSPECTIVE APPROVAL

13 ANNEARS ROAD, BLACKWALL TAS 7275

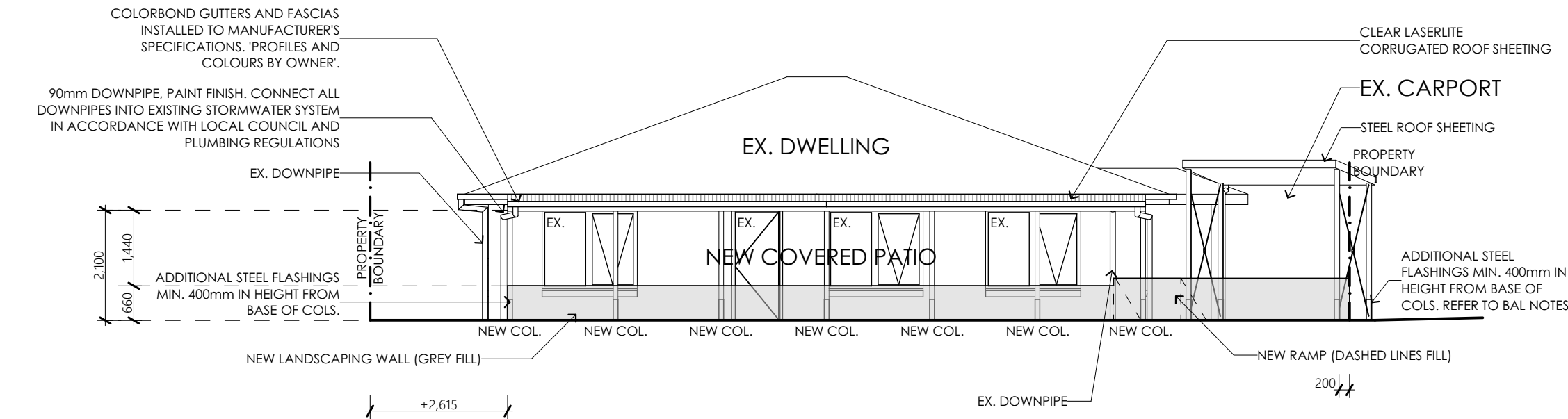
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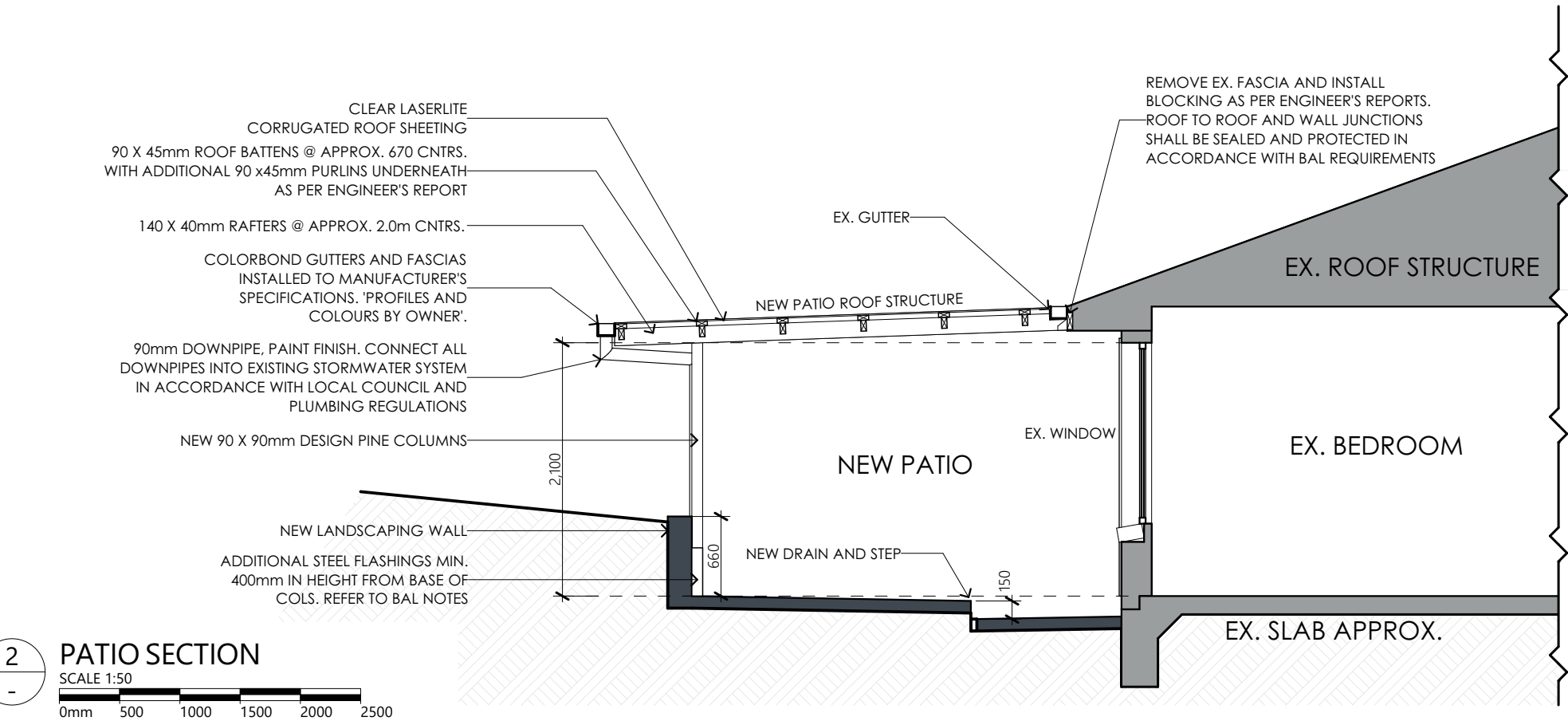
ELEVATION NOTES

WALL CLADDING SYSTEMS MUST BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS, INSTRUCTIONS & SPECIFICATIONS.

INSTALL THE WALL CLADDING SYSTEM COMPLETE WITH JOINTS, TRIMS, FLASHINGS , SEALS , FIXINGS & FINISHES IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS TO ENSURE A WEATHER-PROOF AND WATERTIGHT INSTALLATION.



1 WESTERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000



2 PATIO SECTION
SCALE 1:50
0mm 500 1000 1500 2000 2500

RETROSPECTIVE APPROVAL
13 ANNEARS ROAD, BLACKWALL TAS 7275

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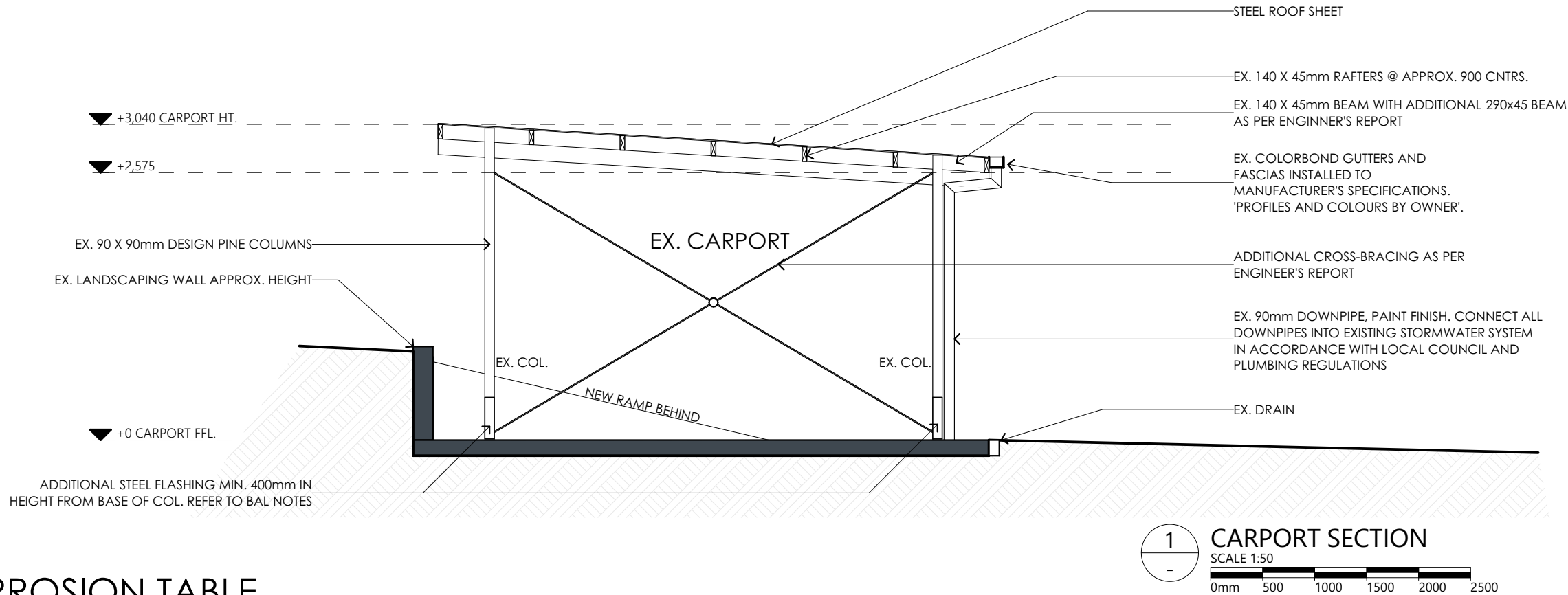
PROJECT NUMBER:	SCALE: IF IN DOUBT ASK	PRINT DATE:	DRAWING No:	ISSUE: APPROVAL
25054	SCALE @ A3	24/07/2026	A08	REV: 02
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**PLANS
TOBUILD**

ABN 23 269 055 701
Level 1, Holyman House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
Tel - 6388 9287 - Mob - 0400 655 771
Email - leigh@planstobuild.com.au
L.M.DELL LIC. No. CC5932 G

Owner:
K. WOJCIK & A. KOSTECKA

02	RESPONSE TO MIR #1	24.07.26
01	SUBMISSION FOR PLANNING APPROVAL	13.07.26
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CORROSION TABLE

Corrosion protection for fixings. Defined in AS/NZS 2312.2 and described in AS 4312

Category (ISO)		Generic Examples
C3	Coastal	From 1km to 10 km inland along ocean front areas with breaking surf & significant salt spray. May be extended inland to 50km by prevailing winds & local conditions.
		From 100m to 3 - 6km inland for a less sheltered bay or gulf.
		From 50m to 1 km inland around sheltered bays.
Fixings in accordance with category above or better		

Table 3.5.1.1 Acceptable corrosion protection for metal sheeting

Environment	Location	Minimum metal coating in accordance with AS 1397: Metallic coated steel	Minimum metal coating in accordance with AS 1397: Metallic and organic coated steel
Medium (Mild steel corrosion rate 25 to 50 µm/y)	Typically more than 1 km from breaking surf or aggressive industrial areas or more than 50 m from sheltered bays	Z450 galvanised or AZ150 aluminium/zinc or AM125 aluminium/zinc/ magnesium	Z275 galvanised or AZ150 aluminium/zinc or AM100 aluminium/zinc/ magnesium

Table 6.3.9a Minimum protective coatings for structural steel members

Environment	Location	Minimum metal coating:		
		Option 1 (Hot dip galvanising)	Option 2 (Hot dip galvanising)	Option 3 (Paint) see Table 6.3.9b
Medium (Mild steel corrosion rate 25 to 50 µm/y)	Typically more than 1 km from breaking surf or aggressive industrial areas or more than 50m from sheltered bays	HDG225	-	ACL3, ACC4, ACC5, IZS1, PUR3, PUR4

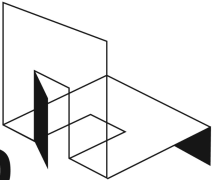
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PHOTO 1.



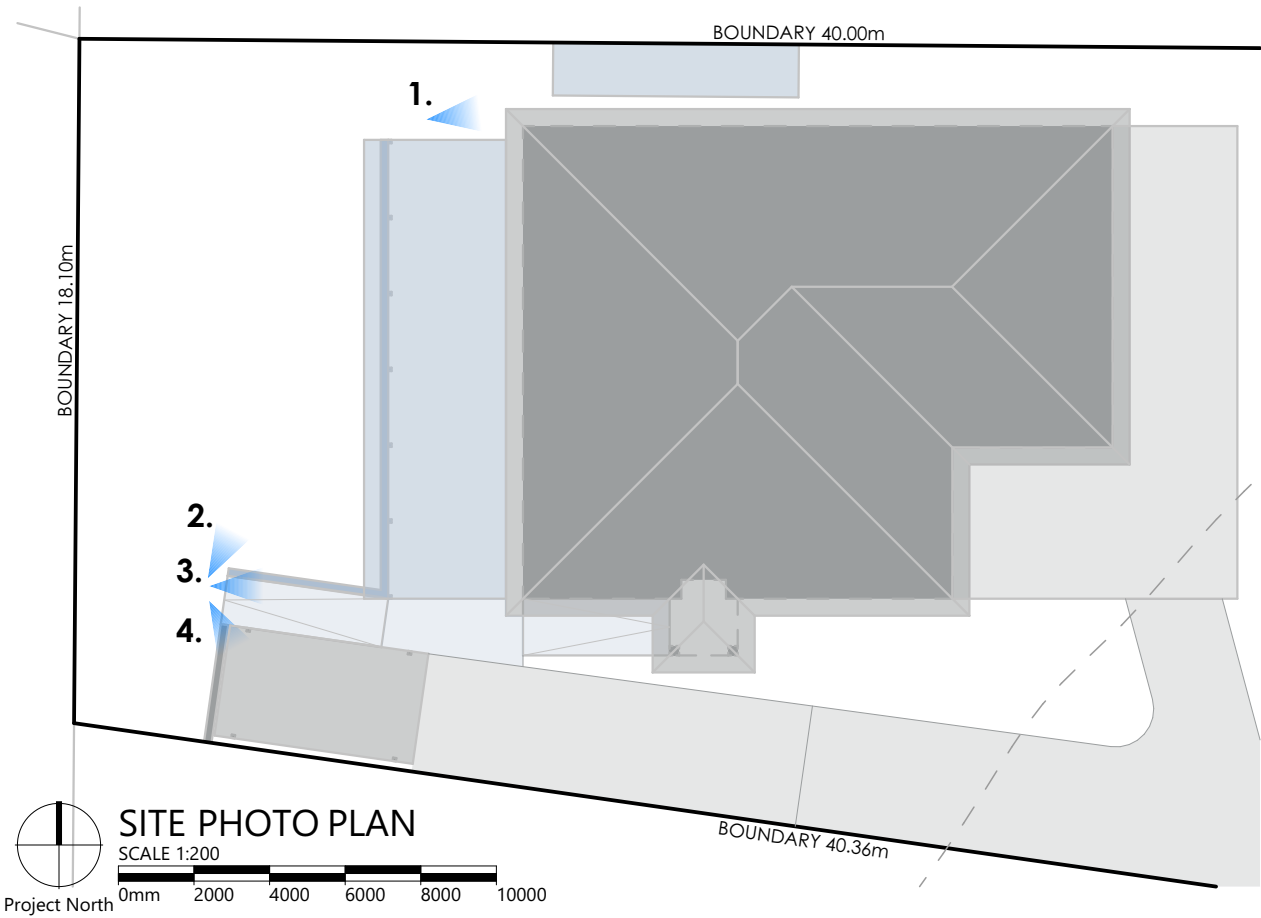
PHOTO 2.



PHOTO 3.



PHOTO 4.



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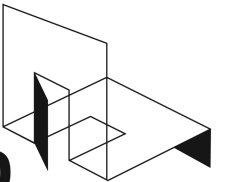
PRINT DATE:
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A10

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BAL REQUIREMENTS

BAL 29

BAL 29 - BCA PART 3.10.5- CONSTRUCTION IN BUSHFIRE PRONE AREAS
TO BE READ IN CONJUNCTION WITH THE BAL REPORT AND BUSHFIRE HAZARD MANAGEMENT PLAN
FOR ALL OTHER CONSTRUCTION REQUIREMENTS REFER TO AS 3959.2018

SUB-FLOOR SUPPORTS

Enclosed subfloor supports:

No Construction requirements for subfloor support where the subfloor space in enclosed with one or a combination of (i) a wall the confirms with Clause 5.4; or (ii) a mesh or perforated sheet with a maximum aperture od 2mm, made of corrosion resistant streeel, bronze or aluminum.

Unenclosed subfloor supports:

Where the subfloor space in unenclosed the support posts, columns, stumps, piers and poles shall be with one or a combination of (i) non-combustible material or (ii) bushfire resistant timber.

ELEVATED FLOORS

Enclosed subfloor space:

No Construction requirements for subfloor support where the subfloor space in enclosed with one or a combination of (i) a wall the confirms with Clause 5.4; or (ii) a mesh or perforated sheet with a maximum aperture of 2mm, made of corrosion resistant streeel, bronze or aluminum.

Unenclosed subfloor space:

Within 400mm to ground level the bearers and joists to be non-combustible or bushfire resistant timber.

Within 400mm to ground level the flooring to be non-combustible; or bushfire resistant timber; or timber, particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wood insulation.

WALLS

The exposed components of an external wall to be 6mm fibre cement, non-combustible or bushfire resistant timber clad.

JOINTS

All joists in external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed.

EXTERNAL GLAZED ELEMENTS, ASSEMBLIES AND DOORS

All glazed windows and doors including hardware, shutters and screens are be constructed in accordance with AS 3959 - 20018.

Weather strips, draft excluders or draft seals shall be installed for doors. No seals and weather strip requirements for windows at this BAL level.

Wlndow glazing shall be toughened glass with a minimum of 5 mm in thickness or glass blocks with no restriction on glazing methods.

Door glazing shall be toughened glass with a minimum of 6 mm in thickness

Where glazing is less than 400mm from ground level or decks, carport roofs, awnings and sililar elements less than 18 degrees to the horizontal and extending more than 110mm in width from the window frame, the glazing shall be screened externally with a screen.

There is no requirement to screen the openable part of a sliding door at this BAL level.

Screens for windows and doors shall have mesh or perforated sheet made of corrosion resistant steel, bronze or aluminum. Screen fames shall be made from metal; or bushfire resistant timber.

The openable portions of windows shall be screen internally or externally.

Door panels if not protected by a bushfire shutter or completely protected externally by metal mesh screens shall confirm with the following:
(a) non-combustible; or (b) soild timber, laminated timber or reconstituted timber, having a minimum thickness of 35mm for the first 400mm above the threshold; or (c) hollow core, solid timber, laminated timber or reconstituted timber with a non-comustible kickplate on the outside for the first 400mm above the threshold; or (d) for fully framed glazed door panels, the framing shall be made from metal or bushfire resisting timber.

Frames shall be (a) bushfire resisting timber; or (b) a timber species as specified in AS 3959-2018; or (c) metal; or (d) metal reinforced uPVC.

VEHICLE ACCESS DOORS (GARAGE DOORS)

The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed shall be made from noncombustible material; or bushfire resistant timber.

Vehicle access doors to be protected with suitable weather strips, draft excluders or draft seals or brushes.

ROOFS

Noncombustible roof coverings, roof to roof and roof to wall junctions shall be sealed and protected. Roofs to be fully sarked. Openings such as vents to be fitted with non-combustible ember guards.

VENTS AND WEEPHOLES

Vents and weepholes in external walls and roofs shall be screened with a mesh made from corrosion resistant steel, bronze or aluminum with a maximum aperture of 2mm.

VERANDAHS, DECKS, STEPS AND LANDINGS

Veranda posts:

Verandah posts shall be timber mounted on galvanized mounted shoes or stirrups with a clearance of no less than 75mm above the adjacent finished ground level; or the portion 400mm from ground level (measured vertically) shall be made from noncombustible material or bushfire resistant timber.

Enclosed subfloor space of verandahs, decks, ramps and landings:

Supports:- No requirements. Framing:- No requirements
Decking, stair treads, ramps or landings:- Noncombustible material or bushfire resistant timber

Unenclosed subfloor space of verandahs, decks, ramps and landings:

Supports to be Noncombustible material or bushfire resistant timber . Framing to be Noncombustible material or bushfire resistant timber.
Decking, stair treads, ramps or landings to be Noncombustible material or bushfire resistant timber

WATER AND GAS SUPPLY PIPES

Above-ground, exposed water supply pipes shall be metal.

External gas pipes and fitting above ground shall be of steel or copper construction having a minimum wall thickness in accordance with gas regulation of 0.9mm whichever is the greater. The metal pipe shall extent a minimum of 400 mm within the building and 100 mm below ground

BUSHFIRE RESISTANT TIMBERS

Black butt, Merbau, Red Ironbark, River red Gum , Silvertop Ash, Spotted Gum, Turpentine

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A11	12 of 13		REV: 02	

PLANS TO BUILD

ABN 23 269 055 701

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HOUSING PROVISIONS

2 STRUCTURE
STRUCTURAL PROVISIONS
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO,STRUCTURAL PROVISIONS ARE TO BE IN STRICT COMPLIANCE WITH PARTS 2.2.1- 2.2.5 OF THE BCA. RFER ALSO TO ENG'RS DRAWINGS FOR DETAILS.
3 SITE PREPARATION
3.2 EARTHWORKS
CONTACT BEFORE YOU DIG TO LOCATE UNDERGROUND SERVICES. THE BUILDER SHALL PROVIDE TEMPORARY SHORING FOR ANY EXCAVATION WORK WITHIN 1m FROM THE TITLE BOUNDARY. ANY EXCAVATION DEPTH OVER 1m IN HEIGHT FROM NATURAL GROUND SHOULD BE REFERED TO THE THE ENGINEER TO CONFIRM THE STABILITY OF THE SURROUNDING GROUND. PROVIDE SILT FENCING TO LOCAL COUNCIL GUIDELINES.
3.3 DRAINAGE
REFER TO PLUMBING NOTES
3.4 TERMITE RISK MANAGEMENT
TERMITE RISK MANAGEMENT NOT APPLICABLE FOR TASMANIAN WORKS
4 FOOTINGS AND SLABS
4.2 FOOTINGS, SLABS AND ASSOCIATED ELEMENTS
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL FOOTINGS AND SLABS SHALL BE IN STRICT COMPLIANCE WITH ENGINEERING DRAWINGS & AUSTRALIAN STANDARDS AS 2870 OR AS 2159 AS APPROPRIATE AND THE REQUIREMENTS OF PARTS 4.2.1 - 4.2.22
5 MASONRY
5.2 MASONRY VENEER
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL MASONRY VENEER SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.2.1 - 5.2.6 OF THE BCA AND AUSTRALIAN STANDARDS AS: 3700 AND AS: 4773
5.3 CAVITY MASONRY
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL CAVITY MASONRY SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.3.1 - 5.3.7 OF THE BCA AND AUSTRALIAN STANDARDS AS: 3700 AND AS: 4773
5.4 UNREINFORCED SINGLE LEAF MASONRY
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL UNREINFORCED SINGLE LEAF MASONRY SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.4.1 - 5.4.5 OF THE BCA AND AUSTRALIAN STANDARD AS: 3700 AND AS: 4773
5.5 ISOLATED PIERS
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ISOLATED PIERS SHALL BE IN STRICT COMPLIANCE WITH ENGINEERING DRAWINGS & AUSTRALIAN STANDARDS AS:3700 OR AS: 4773 PARTS 1 & 2 AS APPROPRIATE AND THE REQUIREMENTS OF THE BCA PARTS 5.5.1 - 5.5.6

5 MASONRY
5.6 MASONRY COMPONENTS & ACCESSORIES
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL MASONRY VENEER SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.6.1 - 5.6.8 OF THE BCA AND AUSTRALIAN STANDARDS AS: 3700 AND AS: 4773 (PARTS 1 AND 2)
5.7 WEATHERPROOFING OF MASONRY
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL MASONRY VENEER SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.7.1 - 5.7.6 OF THE BCA AND AUSTRALIAN STANDARDS AS: 3700 AND AS: 4773 (PARTS 1 AND 2)
6 FRAMING
6.2 SUB-FLOOR VENTILATION
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL SUB FLOOR VENTILATION SHALL BE IN STRICT COMPLIANCE WITH PARTS 6.2.1 OF THE BCA AND AUSTRALIAN STANDARDS AS: 1684 (PARTS 1,2 ,3 & 4)
6.2 STRUCTURAL STEEL MEMBERS
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL STRUCTURAL STEEL MEMBERS SHALL BE IN STRICT COMPLIANCE WITH ENGINEERING DRAWINGS & AUSTRALIAN STANDARDS AS APPROPRIATE AND THE REQUIREMENTS OF THIS HOUSING PROVISION PARTS 6.3.1 - 6.3.9
7 ROOF AND WALL CLADDING
7.2 SHEET ROOFING
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL SHEET ROOF CLADDING SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 7.2.1 - 7.2.8
7.3 ROOF TILES AND SHINGLES
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL ROOF TILES AND SHINGLES SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 7.3.1 - 7.3.6
7.4 GUTTERS AND DOWNPIPES
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL GUTTERS AND DOWNPIPES SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 7.3.1 - 7.3.6
7.5 TIMBER AND COMPOSITE WALL CLADDING
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL TIMBER AND COMPOSIE WALL CLADDING SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 7.5.1 - 7.5.8

8 GLAZING
8.2 WINDOWS AND EXTERNAL GLAZED DOORS
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL WINDOWS AND GLAZED DOORS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 8.2.1 - 8.2.2
8.3 GLASS
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL GLASS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 8.3.1 - 8.2.3 AND AUSTRALIAN STANDARDS AS:1288 AS 1170.1 ,AS 2047 AND AS/NZS 5601. REFER ALSO GLAZING CALCULATOR AND OR ENGERY REPORT (SHGC AND U VALUES) REFER ALSO TO BAL (BUSHFIRE) REQUIREMENTS.
8.4 GLAZING HUMAN IMPACT
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL GLAZINGS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 8.4.1 - 8.4.8 AND AUSTRALIAN STANDARDS AS:1288 AS 1170.1 ,AS 2047 AND AS/NZS 5601.
9 FIRE SAFETY
9.2 FIRE SEPARATION OF EXTERNAL WALLS
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL FIRE SEPARATION OF EXTERNAL WALLS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 9.2.1 - 9.2.10
9.3 FIRE PROTECTION OF SEPERATING WALLS AND FLOORS
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL FIRE PROTECTION OF WALLS AND FLOORS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 9.3.1 - 9.3.4
9.4 FIRE PROTECTION OF GARAGE TOP DWELLINGS
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL FIRE PROTECTION OF GARAGE TOP DWELLINGS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 9.4.1 - 9.4.2
9.5 SMOKE ALARMS AND EVACUATION LIGHTING
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL SMOKE ALARMS (1a & 1b) AND EVACUATION LIGHTING (1b) SHALL BE IN STRICT ACCORDANCE WITH PARTS 9.5.1 - 9.5.5
10 HEALTH AND AMENITY
10.2 WET AREA WATERPROOFING
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL WET AREA WATERPROOFING SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.2.1 - 10.2.32 AND AUSTRALIAN STANDARDS AS:3740 AND AS/NZS:4858
10.3 ROOM HEIGHTS
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL ROOM HEIGHTS ARE TO IN ACCORDANCE WITH 10.3.1.

10 HEALTH AND AMENITY
10.4 FACILITIES
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL REQUIRED FACILITIES ARE TO IN ACCORDANCE WITH 10.4.1. - 10.4.2
10.5 LIGHT
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL NATURAL AND ARTIFICIAL LIGHTING SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.5.1 - 10.5.2
10.6 VENTILATION
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL VENTILATION SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.6.1 - 10.6.3
10.7 SOUND INSULATION
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL SOUND INSULATION SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.7.1 - 10.7.7
10.8 CONDENSATION MANAGEMENT
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL CONDESATION MANAGAMENT SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.8.1 - 10.8.3
11 SAFE MOVEMENT AND ACCESS
11.2 STAIR AND RAMP CONSTRUCTION
IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL STAIR 7 RAMP CONSTRUCTION SHALL BE IN ACCORDANCE WITH PARTS 11.2.1 - 11.2.6
11.3 BARRIERS AND HANDRAILS
IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL BARRIERS AND HANDRAILS SHALL BE IN ACCORDACNE WITH PARTS 11.3.1 - 11.3.8
12 ANCILLARY PROVISIONS
12.2 CONSTRUCTION IN ALPINE AREAS
IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO CONSTRUCTION IN APLINE AREAS SHALL BE IN ACCORDACNE WITH PARTS 12.2.1 - 12.2.4
12.3 ATTACHMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WAILING PLATE
IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO THE ATTACHEMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WAILING PLATE SHALL BE IN STRICT ACCORDANCE WITH PARTS 12.3.1- 12.3.4
12.4 HEATING APPLIANCES, FIRE PLACES, CHIMNEY AND FLUES
IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, DOMESTIC SOLID FUEL BURNING APPLICANCES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH AS/NZS 2918, AND HEATING APPLICANCES INSTALLED IN STRICT ACCORDANCE WITH PART 12.4. REFER ALSO TO RELEVANT DETAILS

3.12 ENERGY EFFICIENCY
3.12.1 BUILDING FABRIC
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, THE BUILDING FABRIC SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.1
3.12.2 EXTERNAL GLAZING
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, EXTERNAL GLAZING SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.2
3.12.3 BUILDING SEALING
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, THE BUILDING SEALING SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.3
3.12.4 CEILING FANS
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, CEILIGN FANS SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.4
3.12.5 SERVICES
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, SERVICES SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.5
3.12.6 AIR MOVEMENT
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, SERVICES SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.6
SCHEDULE 9 - TASMANIA
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, 10 HEALTH AND AMENITY SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.4 - 1.04.3
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, 13 ENERGY EFFICIENCY SHALL BE IN STRICT ACCORDANCE WITH PARTS 13.1- 13.7
LIVABLE HOUSING DESIGN STANDARDS
NOT APPLICABLE

PLUMBING CODE
B - WATER SERVICES
COLD WATER SERVICES
IN ACCORDANCE WITH PART B1. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF COLD WATER SERVICES MUST BE IN ACCORDANCE WITH AS/NZS 3500.1 OR SECTION 2 OF AS/NZS 3500.5 AS APPROPRIATE AND THE REQUIREMENTS OF THIS PART. BACKFLOW SHALL BE INSTALLED TO ALL COLD WATER SUPPLY IN ACCORDANCE WITH AS/NZS 2845. WATER SUPPLY PRESSURE SHALL BE SET TO MAXIMUM 500kpa
HEATED WATER SERVICES
IN ACCORDANCE WITH PART B2. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A HEATED WATER SERVICE MUST BE IN ACCORDANCE WITH AS/NZS 3500.4 OR SECTION 3 OF AS/NZS 3500.5 AS APPROPRIATE AND THE REQUIREMENTS OF THIS PART. HEATED WATER MUST BE STORED AT A MINIMUM OF 60°. HEATED WATER SHALL BE TEMPERED TO 50° TO ALL SANITARY FIXTURES FOR PERSONAL HYGIENE PURPOSES. HEATED WATER SHALL BE DELIVERED AT 60° FOR KITCHEN AND LAUNDRY FIXTURES.
C - SANITARY PLUMBING AND DRAINAGE SYSTEMS
SANITARY PLUMBING AND DRAINAGE SYSTEMS
IN ACCORDANCE WITH PART C1. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A SANITARY PLUMBING SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.2 OR SECTION 4 OF AS/NZS 3500.5 AS APPROPRIATE AND THE REQUIREMENTS OF THIS PART
ROOF DRAINAGE SYSTEMS
IN ACCORDANCE WITH PART C NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A ROOF DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3 OR FOR CLASS 1 AND CLASS 10 BUILDINGS, COMPLY WITH THE DEEMED-TO-SATISFY PROVISIONS OF PARTS 7 OF VOLUME TWO OF THE BUILDING CODE OF AUSTRALIA

RETROSPECTIVE APPROVAL

13 ANNEARS ROAD, BLACKWALL TAS 7275

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

PROJECT NUMBER:	SCALE: IF IN DOUBT ASK	PRINT DATE:	DRAWING No:	ISSUE: APPROVAL
25054	SCALE @ A3	24/07/2026	A12	
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