

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number PA2026202

Assess No: A13549

PID No: 9914617

Applicant Name:	Haydn & Paige Chell				
Applicant Contact Name					
Postal Address:					
Contact Phone:	Home		Work		Mobile
Email Address:					

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☒
2. A completed application form including a detailed description of the proposal ☒
3. A complete plan set: ☒
 - a) Floor plans ☒
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☒
 - c) Site Plan showing: ☒
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: Haydn and Paige Chell

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) Haydn and Paige Chell

Location / Address: 28 Countryside Court, Riverside

Title Reference: 184385/62

Zone(s): General Residential

Existing Development/Use: Vacant

Existing Developed Area:

Are any of the components in this Application seeking retrospective approval?
E.g. Use and/or development that has commenced without a Planning Permit.

YES ☐

NO ☒

(If yes please specify the relevant components):

DEVELOPMENT APPLICATION DETAILS

Proposed Use:

Residential: ☒	Visitor Accommodation: ☐	Commercial: ☐	Other: ☐
Description of Use: Residential dwelling and storage sheds			

Development Type:

Building work: ☒	Demolition: ☐	Subdivision: ☐	Other: ☐
Description of development: Proposed new dwelling and 2x sheds			

New or Additional Area: 200m2, 120m2 & 120m2

Estimated construction cost of the proposed development: \$650,000

Building Materials:

Wall Type: Dwelling-Brick, Shed-Steel	Colour: Dwelling: TBC Shed: Monument
Roof Type: Steel	Colour: Monument

Application Number: «Application Number»

VISITOR ACCOMMODATION

☒ N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION

☒ N/A

Subdivision creating additional lots ☐
Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

☒ N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: (Existing)	
Number of Employees: (Proposed)	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: «Application_Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Haydn Chell Paige Chell <i>Name (print)</i>	  <i>Signed</i>	20/07/2026 <i>Date</i>
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Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

(if not the owner)

Applicant_Name <i>Name (print)</i>	<i>Signed</i>	<i>Date</i>
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Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

Crown Consent <i>(if required)</i>	<i>Name (print)</i>	<i>Signed</i>	<i>Date</i>
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Chief Executive Officer <i>(if required)</i>	<i>Name (print)</i>	<i>Signed</i>	<i>Date</i>
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If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

<i>Name (print)</i>

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

<i>Name (print)</i>	<i>Signed</i>	<i>Date</i>
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OWNER JOCHRO PTY LTD FOLIO REFERENCE C.T. 181255/1000 GRANTEE PART OF 500^{AC} GRANTED TO WILLIAM ADAMS BRODRIBB		PLAN OF SURVEY BY SURVEYOR R. M. PECK LOCATION TOWN OF RIVERSIDE SCALE 1:2000 LENGTHS IN METRES		REGISTERED NUMBER SP184385 APPROVED EFFECTIVE FROM - 8 FEB 2023 <i>Ren</i> Recorder of Titles			
MAPSHEET MUNICIPAL CODE No (129)		LAST UPI No		LAST PLAN No. SP 181255		ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

LOT 1000, LOT 67, LOT 50 COMPILED FROM CT 181255 AND THIS SURVEY

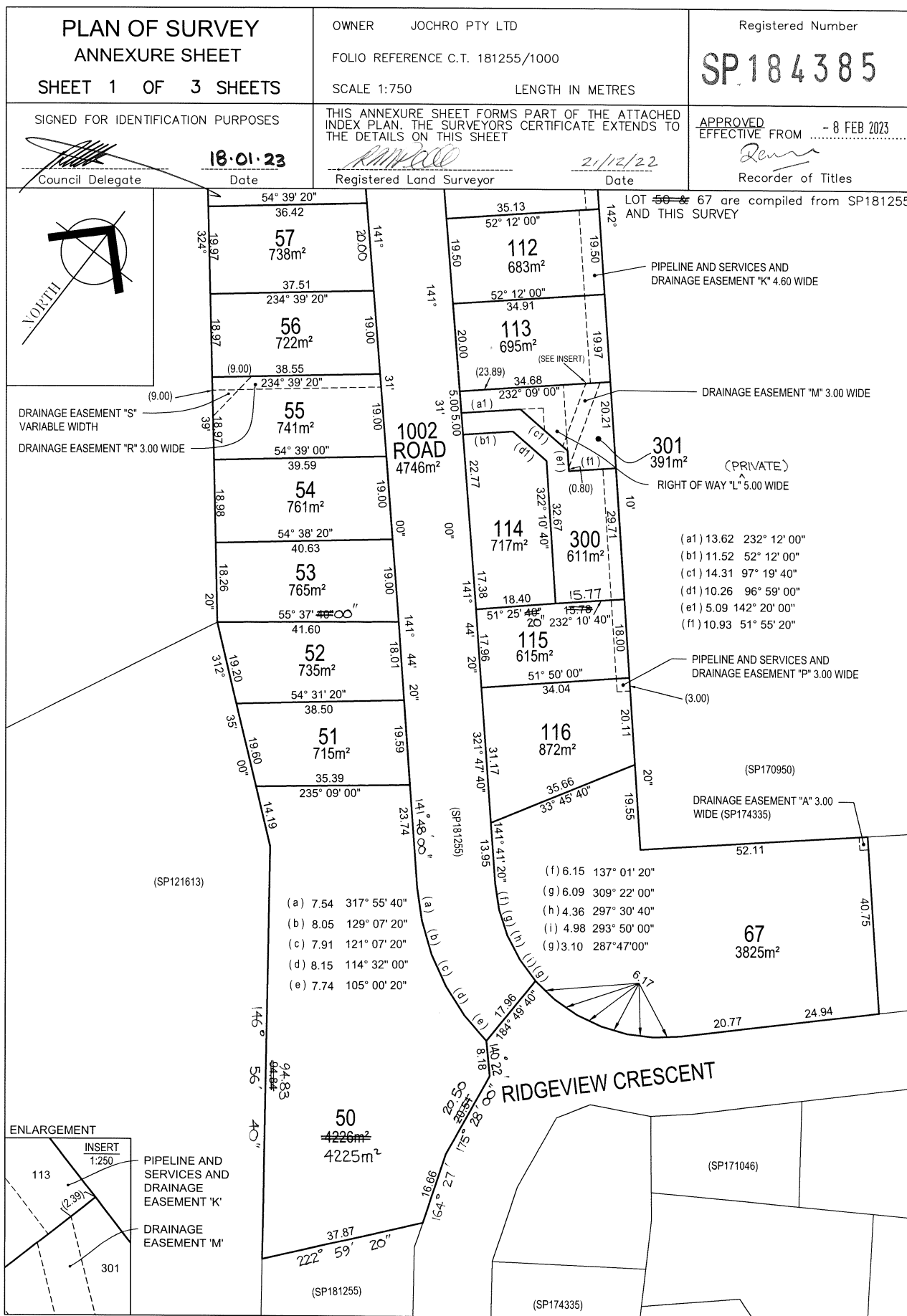
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R.M. Peck
REGISTERED LAND SURVEYOR

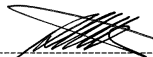
21/12/22
DATE

[Signature]
COUNCIL DELEGATE

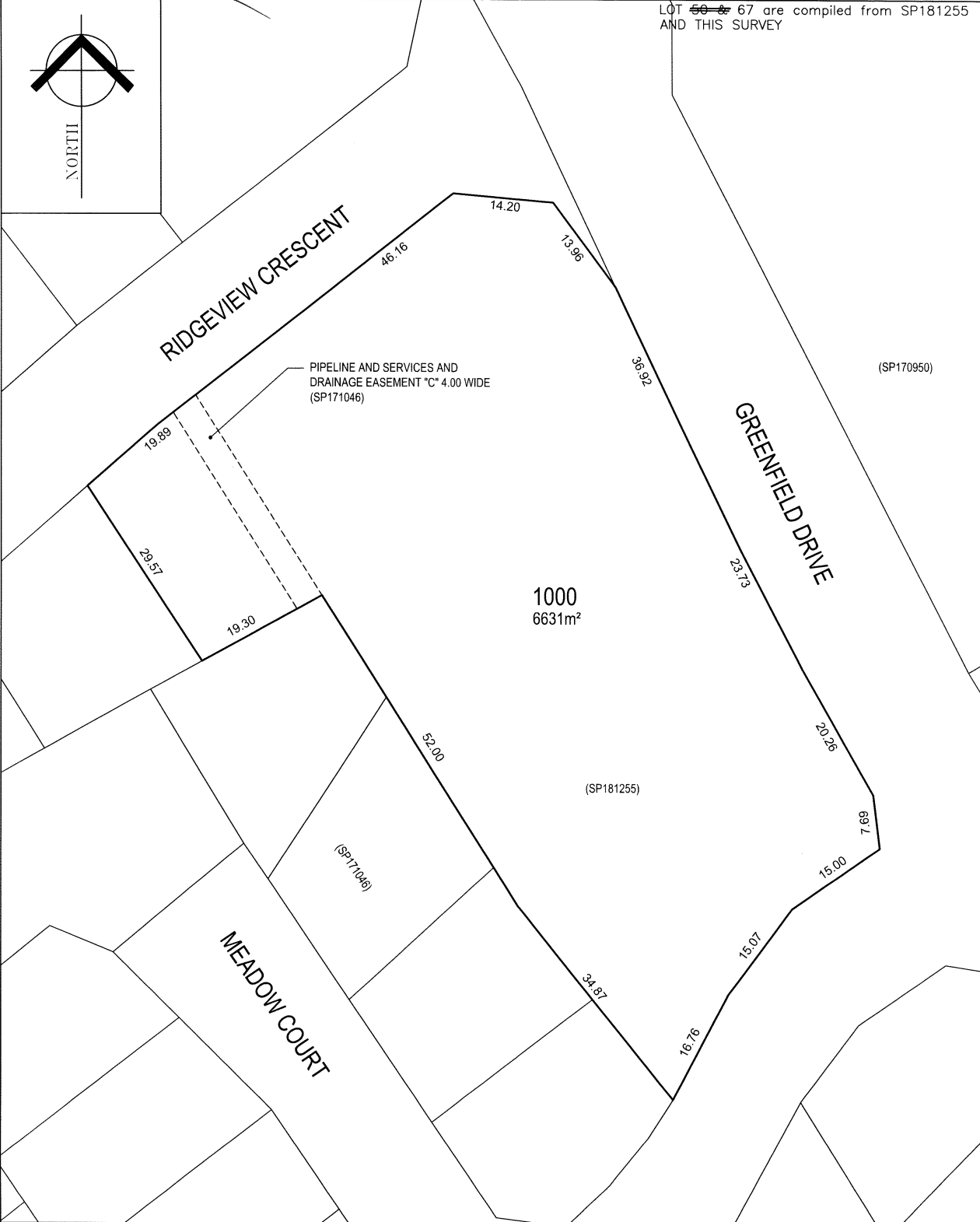
18.01.23
DATE



[illegible]

PLAN OF SURVEY ANNEXURE SHEET SHEET 3 OF 3 SHEETS	OWNER JOCHRO PTY LTD FOLIO REFERENCE C.T. 181255/1000 SCALE 1:500 LENGTH IN METRES	Registered Number SP 184385
SIGNED FOR IDENTIFICATION PURPOSES  18.01.23 Council Delegate Date	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET  21/12/22 Registered Land Surveyor Date	APPROVED EFFECTIVE FROM - 8 FEB 2023  Recorder of Titles

LOT ~~50 & 67~~ are compiled from SP181255 AND THIS SURVEY



1000
6631m²

PIPELINE AND SERVICES AND DRAINAGE EASEMENT "C" 4.00 WIDE (SP171046)

MEADOW COURT

GREENFIELD DRIVE

RIDGEVIEW CRESCENT

19.89, 29.57, 19.30, 46.16, 14.20, 13.96, 36.92, 23.73, 20.26, 7.69, 15.00, 15.07, 16.76, 34.87, 52.00

(SP171046), (SP181255), (SP170950)

NORTH

SCHEDULE OF EASEMENTS	Registered Number SP 184385
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 5 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

1. Lot 67 is subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "DRAINAGE EASEMENT "A" 3.00 WIDE (SP174335)" as shown on the plan.
2. Lot 67 ("the Lot") is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "DRAINAGE EASEMENT "A" 3.00 WIDE (SP174335)" as shown on the plan ("the Easement Land").
3. Lot 1000 is subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT "C" 4.00 WIDE (SP171046)" as shown on the plan.
4. Lot 1000 ("the Lot") is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT "C" 4.00 WIDE (SP171046)" as shown on the plan ("the Easement Land").
5. Lot 55 is subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "DRAINAGE EASEMENT "R" 3.00 WIDE" as shown on the plan.
6. Lot 55 is subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "DRAINAGE EASEMENT "S" VARIABLE WIDTH" as shown on the plan.


Director


Director/Secretary

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: JOCHRO PTY LTD FOLIO REF: Volume 181255 Folio 1000 SOLICITOR: Rae & Partners Clare Broadhurst REFERENCE: SPB:CMB:224512	PLAN SEALED BY: West Tamar Council DATE: 18.01.2023 PA2020092 REF NO.
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO
SCHEDULE OF EASEMENTS

PAGE 2 OF 5 PAGES

Registered Number

SP 184385

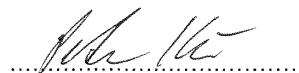
SUBDIVIDER: JOCHRO PTY LTD

FOLIO REFERENCE: VOLUME 181255 FOLIO 1000

7. Lots 62, 63, 64, 65 and 66 are subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT "J" 3.00 WIDE" as shown on the plan.
8. Lots 62, 63, 64, 65 and 66 ("the Lots") are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT "J" 3.00 WIDE" as shown on the plan ("the Easement Land").
9. Lots 112 and 113 are subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT "K" 4.60 WIDE" as shown on the plan.
10. Lots 112 and 113 ("the Lots") are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT "K" 4.60 WIDE" as shown on the plan ("the Easement Land").
11. Lots 115, 116 and 300 are subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT "P" 3.00 WIDE" as shown on the plan.
12. Lots 115, 116 and 300 ("the Lots") are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT "P" 3.00 WIDE" as shown on the plan ("the Easement Land").
13. Lot 301 is subject to a right of carriageway in favour of West Tamar Council over the land marked "RIGHT OF WAY"^(PRIVATE) "L" 5.00 WIDE" as shown on the plan.
14. Lot 301 is subject to a Drainage Easement (as defined herein) in favour of West Tamar Council over the land marked "DRAINAGE EASEMENT "M" 3.00 WIDE" as shown on the plan.

DEFINITIONS

"Drainage Easement" means a right of drainage in gross in favour of West Tamar Council ("the Council") and in conjunction with the exercise of that right the Council will have the power set out in the statutory definition of a "right of drainage" in Schedule 8 of the *Conveyancing and Law of Property Act 1884*.


Director
Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 5 PAGES	Registered Number SP 184385
SUBDIVIDER: JOCHRO PTY LTD FOLIO REFERENCE: VOLUME 181255 FOLIO 1000	

"Pipeline and Services Easement" is defined as follows:

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.


 Director


 Director/Secretary

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 5 PAGES	Registered Number SP 184385
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INTERPRETATION

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

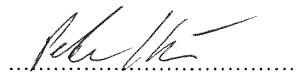
- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

FENCING COVENANT

1. The owner of each lot on the plan covenants with Jochro Pty Ltd ("the Vendor") that the Vendor will not be required to fence any lot on the plan.
2. The owner of Lot 116 ("the Lot") on the plan covenants with the West Tamar Council to the intent that the burden of these covenants shall run with and bind the covenantor's lot and each and every part thereof and the benefit shall be in favour of the said West Tamar Council to observe the following stipulations, namely that it will not:
 - (a) construct a boundary fence, on any boundary bordering Lot 67 ("Subject Boundary"), other than of solid construction which will prevent intrusion or incursion into the habitat of threatened species; and
 - (b) cause or allow any fence on the Subject Boundary of the Lot to fall into disrepair.


Director


Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 5 PAGES	Registered Number SP 184385
SUBDIVIDER: JOCHRO PTY LTD FOLIO REFERENCE: VOLUME 181255 FOLIO 1000	

COVENANT

The owners of Lots 112, 113, 114, 115 and 116 covenant with the West Tamar Council to the intent that the burden of this covenant may run with and bind the covenantor's lot and every part thereof and that the benefit shall be annexed to and devolve with the said West Tamar Council to observe the following stipulation, namely:

- (a) not to erect any habitable building on Lots 112, 113, 114, 115 and 116 with a floor level below 73.15 metres on the Australian Height Datum (Tasmania) 1983; and
- (b) not to erect any non-habitable building or structure on Lots 112, 113, 114, 115 and 116 with a floor level below 73.00 metres on the Australian Height Datum (Tasmania) 1983.

Each Lot on the Plan is burdened by the covenants created by and more fully set forth in Sealed Plan 181255.

EXECUTED by **JOCHRO PTY LTD (ACN 065 179 213)** as registered proprietor of the property comprised in Folio of the Register Volume 181255 Folio 1000 in accordance with Section 127 of the Corporations Act in the presence of:


.....
Director


.....
Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

Planning Report
Proposed Dwelling and 2 x sheds
39 Ecclestone Road
Riverside



Prepared by:
Town Planning Solutions Pty Ltd
29 July 2026

Contents

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Introduction

Town Planning Solutions Pty Ltd was engaged to prepare a proposal report for the construction of two units at the rear an existing dwelling at 39 Ecclestone Road, Riverside, against the *Tasmanian Planning Scheme – West Tamar*.

This report was prepared by Mick Purves, Principal and Director of Town Planning Solutions Pty Ltd.

Mick is a qualified and practising Town Planner with a Bachelor of Environmental Design and a Master of Town Planning from the University of Tasmania. Mick is a member of the Planning Institute of Australia, a Certified Practising Planner and current President of the Tasmanian Division of the Institute.

Mick has 33 years' experience in the development industry and 25 years post-graduate experience working as a town planner and development manager in Local Government and consultancy.

Proposal documents

Proposal Plans, Plans to Build, Project No. 26082, dated 15/07/2026

Abbreviations

Proposal	Dwelling and 2 sheds at 39 Ecclestone Road, Riverside
Scheme	Tasmanian Planning Scheme – West Tamar
Site	28 Countryside Court, Riverside, CT <u>184385/62</u>

Proposal

The proposal seeks to establish the following at 28 Countryside Court, Riverside, CT 184385/62, by:

- Establishing a new house near the Countryside Court entrance on the southern end of the property;
- Constructing and using 2 new sheds towards the northern end of the property; and
- Associated landscaping and site works to enable access to the proposed structures.

The proposed use is residential, for a single dwelling and associated outbuildings.

One or both of the sheds will be constructed first, to allow the owners to store their possessions prior to construction of the house. The owners have numerous vehicles for personal use (cars, trailer, caravans, boat) that require garaging, and the need to store their belongings pending construction of the proposed house.

The layout of the project is shown Figure 1, with floor plans and elevations in Figures 2 through 10.

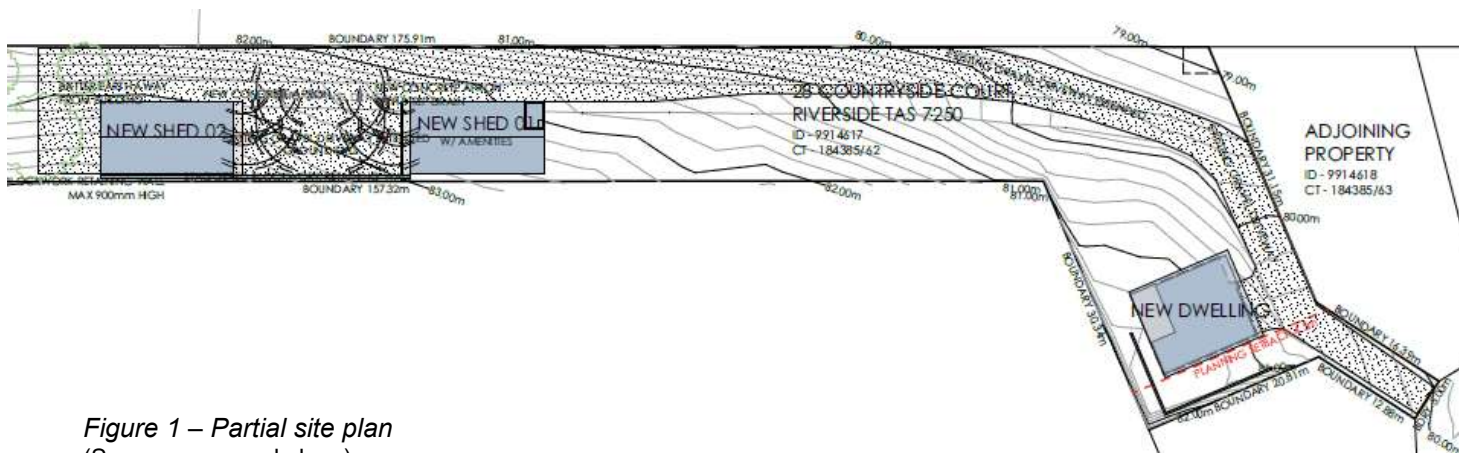


Figure 1 – Partial site plan
(Source: proposal plans)

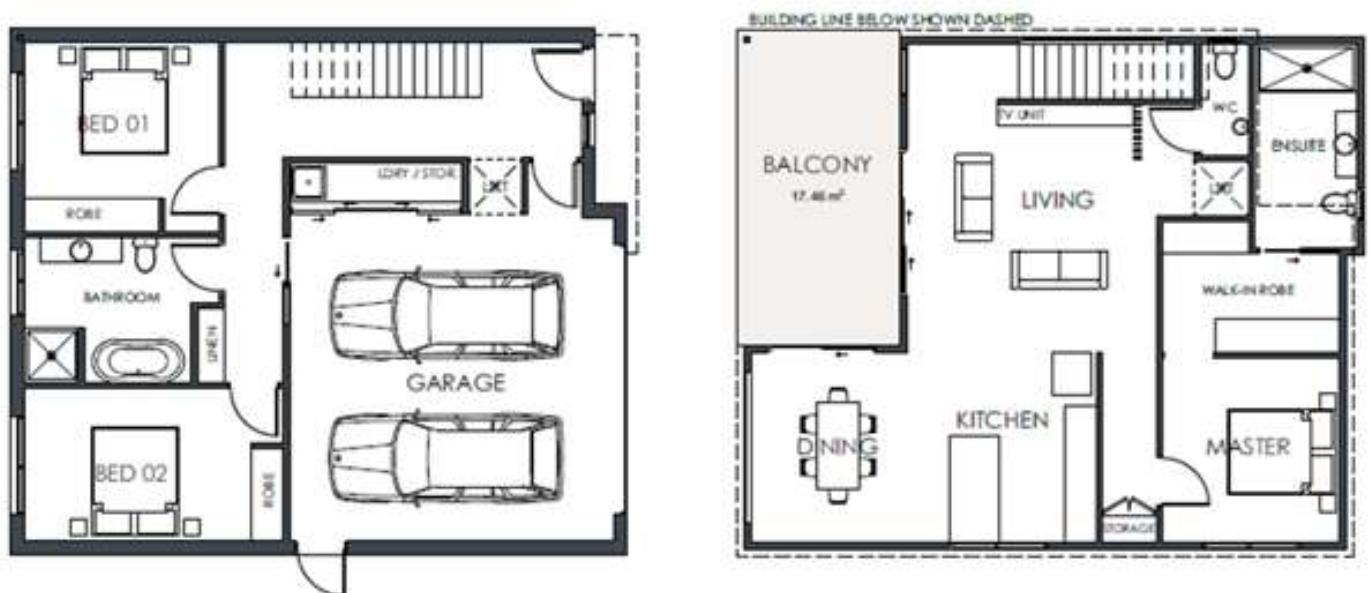


Figure 2 – Proposed dwelling- floor plans, lower left, upper right
(Source: compiled from proposal plans)

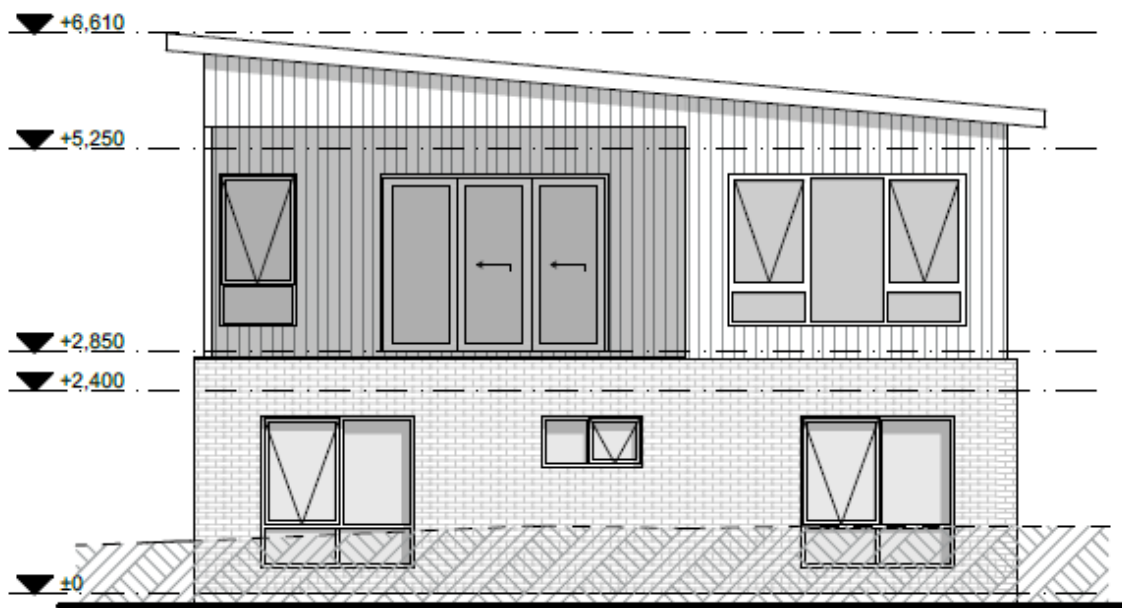


Figure 3 –Northern elevation
(Source: proposal plans)

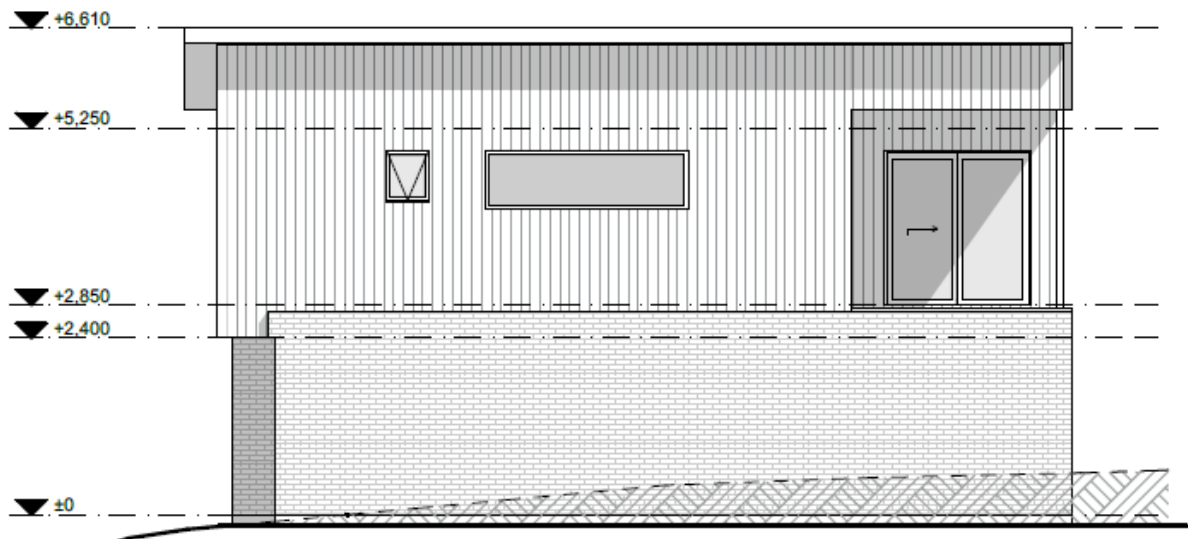


Figure 4 –Eastern elevation
(Source: compiled from proposal plans)

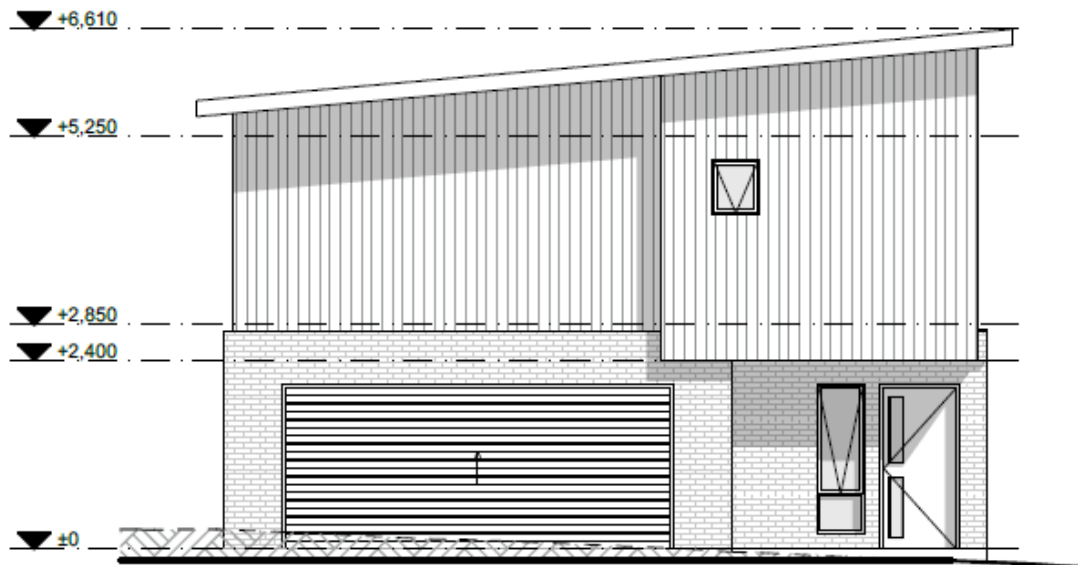


Figure 5 –Southern elevation
(Source: proposal plans)

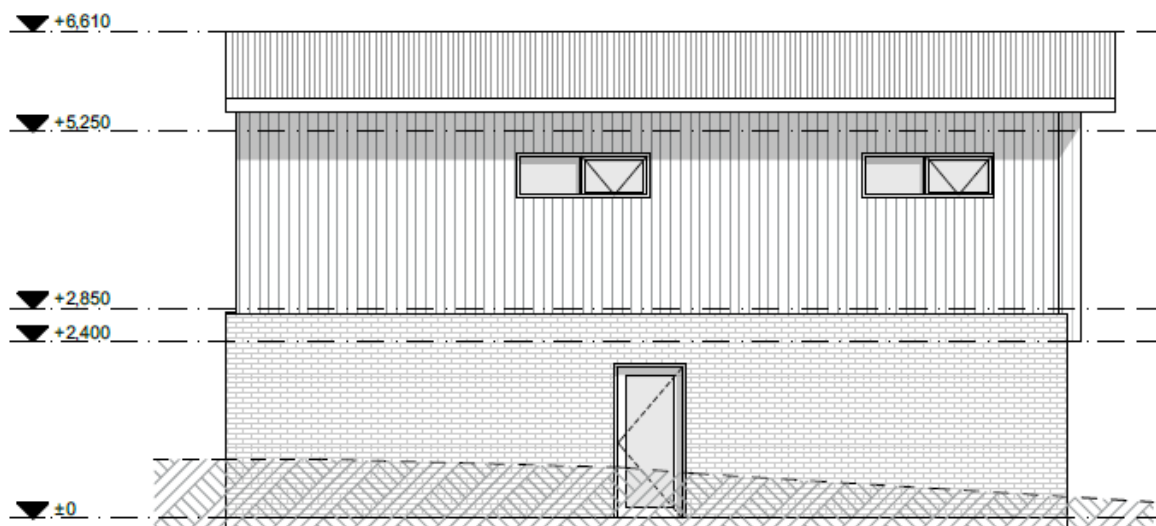


Figure 6 –Western elevation
(Source: proposal plans)

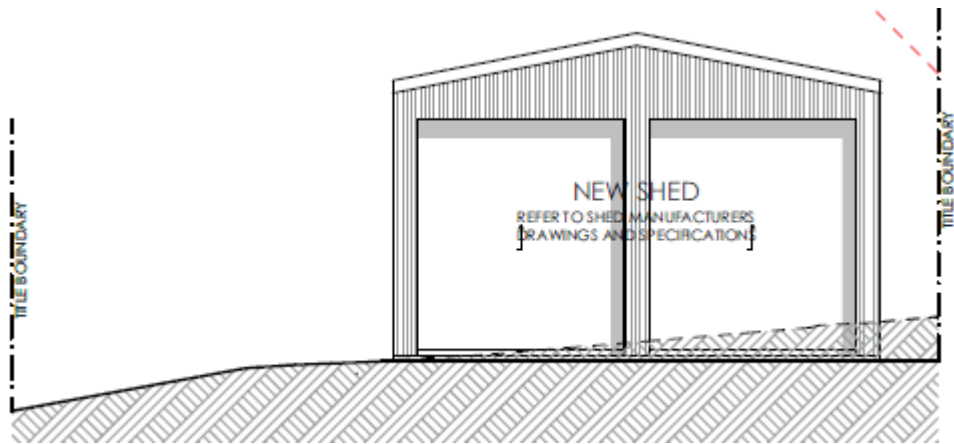


Figure 7 – Typical northern shed elevation
(Source: proposal plans)

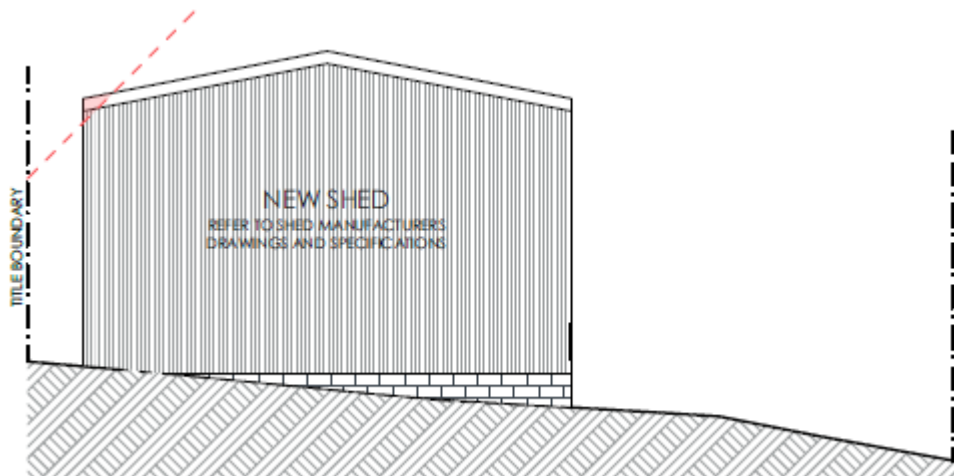


Figure 8 – Typical southern shed elevation
(Source: proposal plans)

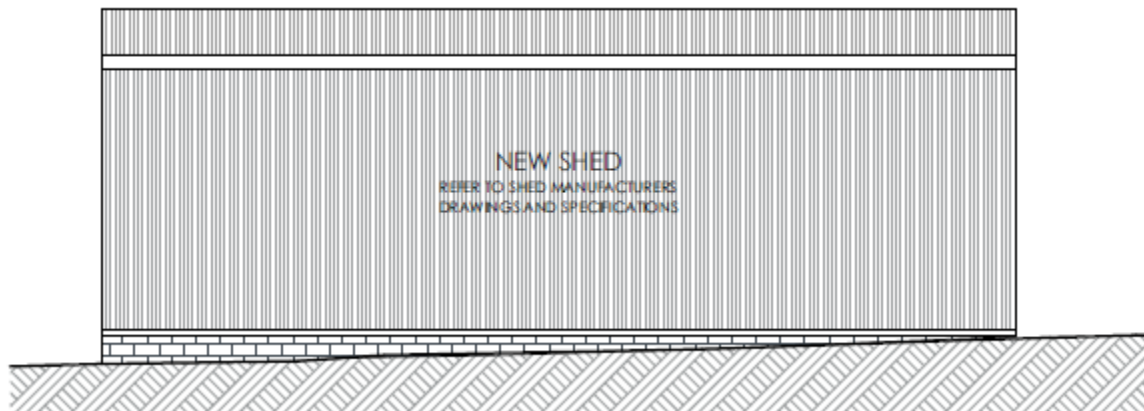


Figure 9 – Typical eastern shed elevation
(Source: proposal plans)

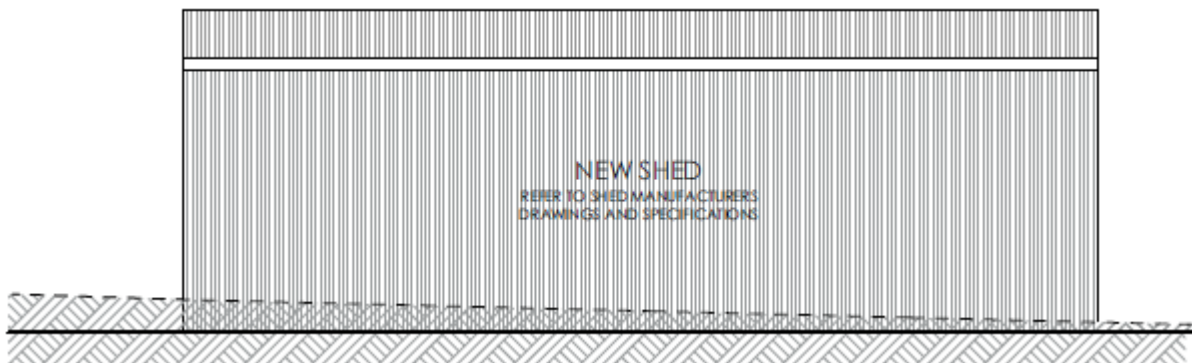


Figure 10 – Typical western shed elevation
(Source: proposal plans)

The Site

The site is known as 28 Countryside Court, Riverside, CT 184385/62, PID 9914617.

The title identified that the title has an area of 3,367 m². A copy of the land title accompanied the application.

The site is described as follows:

- It is generally an irregular battle axe shape, with a long handle and short access strip to Countryside court;
- It is undeveloped, with established trees to the northern end of the title and the main body of the site gravelled on the Countryside Court end of the block;
- The frontage and access are from Countryside Court;
- The property is connected to reticulated stormwater, water and sewer services;
- It is generally flat across its length, with more slope to the Countryside Court area, while generally sloping down from the western boundary to the east across the rear section of the title.

The site is surrounded by existing residential use and development, at urban residential densities to Countryside court. Low density towards Ecclestone Road and rural lifestyle to the north and south of the rear portion of the title.



Figure 11 - Existing conditions, site and area (subject site within blue border)
(source: LISTmap)

Planning Scheme

The site is located within the West Tamar Council and therefore subject to the *Tasmanian Planning Scheme – West Tamar* (Scheme).

Zoning and overlay information was obtained from LISTmap and identifies the site as:

- located within the General Residential Zone;
- adjoined by the General residential zone to the east, south and northwest;
- adjoined by the Low Density Residential zone to the top and bottom sides (north east and south west);
- not subject to any other overlays under the Scheme;
- not subject to any other known natural hazards available on LISTmap.

All planning scheme documents (TPS +LPS) referred to were current as at 23 June 2026.

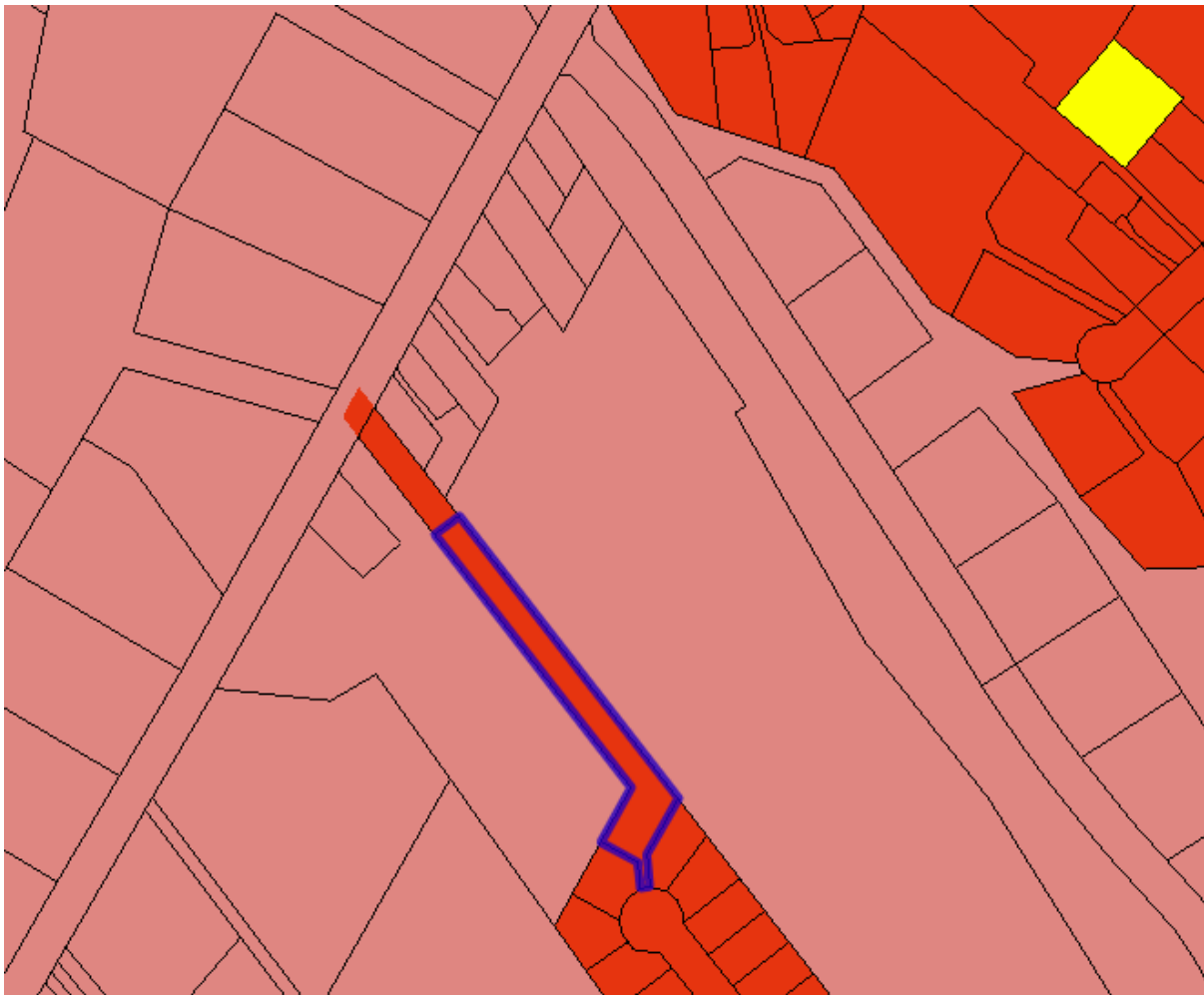


Figure 12 - Extract – Zoning – Tasmanian Planning Scheme – West Tamar
(source: Modified from LISTmap)

The proposal complies with the terms Single dwelling and outbuilding, which is part of a residential use and defined at Table 3.1 of the Scheme, as follows:

Single dwelling means a dwelling on a lot on which no other dwelling, other than a secondary residence, is situated.

Outbuilding means a non-habitable detached building of Class 10a of the Building Code of Australia and includes a garage, carport or shed.

The site has a regular shape, and does not require consideration for any special conditions under the Scheme.

The provisions for sheds on vacant sites at clause 7.12 of the Scheme do not apply to the General Residential zone.

8.0 General Residential Zone

Clause 8.2 of the Scheme establishes the use table for the zone and defines Residential use for single dwellings as a *no permit required* use within the zone. The use therefore does not require planning approval.

Use standards at clauses 8.3.1 and 8.3.2 do not apply to the proposal.

Development standards at clause 8.4 apply to the proposal.

8.4.1 Residential density for multiple dwellings	
Not applicable.	
8.4.2 Setbacks and building envelope for all dwellings	
A1 Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is: (a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site; ...	The proposal provides a 5 metre frontage setback, consistent with Figure 8.3 of the Scheme. Complies with A1.
A2 A garage or carport for a dwelling must have a setback from a primary frontage of not less than: (a) 5.5m, or alternatively 1m behind the building line; (b) the same as the building line, if a portion of the dwelling gross floor area is located above the garage or carport; or (c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage.	The site and floor plans identify that garage is located in line with the main building, noting that a portion of the gross floor area of the dwelling is located above the garage, including the main living spaces and main bedroom suite. The proposed sheds are located behind the building line. Complies with A2(a).
A3 A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must: (a) be contained within a building envelope (refer to Figures 8.1, 8.2 and 8.3) determined by: (i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m	The proposed house was located to comply with the building envelope established at Figure 8.3 of the Scheme. Complies with A3. Both Shed 01 and Shed 02 have heights more than 2.4 metres and require assessment against P3. It is noted that Shed 02 was located to be within the building envelope under this standard.

from the rear boundary of a property with an adjoining frontage; and (ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level; and (b) only have a setback of less than 1.5m from a side or rear boundary if the dwelling: (i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or (ii) does not exceed a total length of 9m or one third the length of the side	
P3 The siting and scale of a dwelling must: (a) not cause an unreasonable loss of amenity to adjoining properties, having regard to: (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property; (ii) overshadowing the private open space of a dwelling on an adjoining property; (iii) overshadowing of an adjoining vacant property; and (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; (b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and (c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on: (i) an adjoining property; or (ii) another dwelling on the same site.	The subject sheds are defined by the Scheme to form part of the associated dwelling. In response to the criteria: (a) Adjoining properties to both the Ecclestone Road and Countryside Court boundaries, are remote from the proposed sheds. We submit the proposed sheds are unlikely to experience any loss of amenity from them. Properties to each side of the proposed sheds (31A & 41-43A Ecclestone Road) have dwellings located away from the subject boundaries, with established landscaping adjoining on both sides. As a result, there is no unreasonable loss of amenity expected: (i) there is no reduction in sunlight to habitable rooms of adjoining established dwellings; (ii) there is no unreasonable overshadowing of the private open space of adjoining dwellings; (iii) there are no impacts to adjoining vacant properties; and (iv) visual impacts caused by the apparent scale, bulk or proportions of the proposed sheds when viewed from adjoining properties, noting the setback to the north and the elevated landform to the south that will reduce the apparent size of both proposed sheds; (b) the established dwellings and associated outbuildings on both 37 and 43 Ecclestone Road provide a similar setback to the proposed sheds. Similarly, both 26 and 27 Countryside Court provide comparable setbacks to the shared boundaries with 28 Countryside Court as the proposed sheds. The requested setbacks are therefore consistent with established properties in the area; and

	(c) the sheds will not impact adjoining solar energy installations on the subject or adjoining sites. The proposed sheds comply with P3.
8.4.3 Site coverage and private open space for all dwellings	
A1 Dwellings must have: (a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and (b) for multiple dwellings, a total area of private open space of not less than 60m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer).	The proposed house and associated outbuildings provide a site coverage of less than 50% of the site area (3367 m²). The proposal does not include multiple dwellings, so b is not applicable. The proposal complies with A1(a), while (b) is not applicable.
A2 A dwelling must have private open space that: (a) is in one location and is not less than: (i) 24m²; or (ii) 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); (b) has a minimum horizontal dimension of not less than: (i) 4m; or (ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); (c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and (d) has a gradient not steeper than 1 in 10.	The proposal plan shows the proposed dwelling will have access to private open space that meets the requirements of a, b and c. Complies with A2.
8.4.4 Sunlight to private open space of multiple dwellings	
A1 A multiple dwelling, that is to ...	No multiple dwellings are proposed Not applicable.
8.4.5 Width of openings for garages and carports for all dwellings	
A1 A garage or carport for a dwelling within 12m of a primary frontage, whether the garage or carport is free-standing or	No garages or carports are proposed within 12 metres of the frontage.

part of the dwelling, must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).	The proposal complies with A1.
8.4.6 Privacy for all dwellings	
A1 A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a: (a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary; (b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and (c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m: (i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or (ii) from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.	The proposed elevated deck is located more than 3 metres from a side boundary and 4 metres from a rear boundary, with no other dwellings on site. The proposal complies with A1.
A2 A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b): ... (a) the window or glazed door: (i) is to have a setback of not less than 3m from a side boundary; (ii) is to have a setback of not less than 4m from a rear boundary; (iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and (iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private	The proposal plans identify that the first floor doors and windows are located more than 3 metres to side boundaries and 4 metres to rear boundaries. The proposal complies with A2 (a).

open space of another dwelling on the same site. (b) the window or glazed door: ...	
A3 A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling ...	The proposal does not include shared driveways or parking spaces. Not applicable.
8.4.7 Frontage fences for all dwellings	
A1 No Acceptable Solution.	No frontage fencing is proposed. Complies with exemption. Not applicable.
8.4.8 Waste storage for multiple dwellings	
A1 A multiple dwelling must have ...	No multiple dwellings are proposed. Not applicable.

The proposed dwelling and sheds comply with the relevant development standards for the zone and can therefore be considered for approval.

Codes

The proposal was assessed against the Codes of the Scheme and the following were identified as relevant to the proposal:

- C2.0 Parking and Sustainable Transport Code
- C3.0 Road and Railway Assets Code

The assessment identified that the following codes were not applicable to the application:

- C1.0 Signs Code
- C4.0 Electricity Transmission Infrastructure Protection Code
- C5.0 Telecommunications Code
- C6.0 Local Historic Heritage Code
- C7.0 Natural Assets Code
- C8.0 Scenic Protection Code
- C9.0 Attenuation Code
- C10.0 Coastal Erosion Hazard Code
- C11.0 Coastal Inundation Hazard Code
- C12.0 Flood-Prone Areas Hazard Code
- C13.0 Bushfire-Prone Areas Code
- C14.0 Potentially Contaminated Land Code
- C15.0 Landslip Hazard Code
- C16.0 Safeguarding of Airports Code

C2 Car Parking and Sustainable Transport Code

C2.2.1 This code applies to all use and development of land.	The Code applies to the proposal and is not exempt under C2.4.
C2.2.2 application of Clause C2.5.3.	Not applicable.

C2.2.3 application of Clause C2.5.4	Not applicable.
C2.2.4 application of Clause C2.5.5	Not applicable.
C2.5.1 Car Parking Numbers	
A1 The number of car parking spaces must be no less than the number specified in Table C2.1, excluding if: ...	Table C2.1 requires: 2 spaces per dwelling. The proposal requires 2 spaces. The Plans show that the proposed dwelling has 2 dedicated parking spaces including garages and the driveways. Additional parking is provided in the sheds. Complies with A1.
C2.6.1 Construction of car parking spaces	
P1 All parking, access ways, manoeuvring and circulation spaces must be readily identifiable and constructed so that they are useable in all weather conditions, having regard to: (a) the nature of the use; (b) the topography of the land; (c) the drainage system available; (d) the likelihood of transporting sediment or debris from the site onto a road or public place; (e) the likelihood of generating dust; and (f) the nature of the proposed surfacing.	A gravel driveway is proposed, which does not meet c and requires assessment against P1. The existing gravel driveway provides a clear delineation of parking, access ways, manoeuvring and circulation spaces within the site. Landscaping and the limited paving proposed around the house will delineate those same areas for the dwelling. The owners content that the gravel surface will provide access to and within the various parts of the site that is useable in all weather conditions and suits their immediate needs. They submit the following: (a) the proposed finish is suitable and appropriate for the proposed single dwelling; (b) it is consistent with the existing and proposed topography of the land; (c) drainage will be provided in accordance with the Building Act 2016 and associated requirements, which is appropriate to the semi-rural style of the majority of the subject and adjoining lots; (d) sediment or debris transport from the site onto a road can be managed; (e) the nature of the adjoining uses are unlikely to be impacted by any dust generated from the gravelled areas; and (f) the proposed gravel surface is consistent with water sensitive urban design principles. The owners submit that the proposal is a practical response to the site conditions that complies with P1.

C2.6.2 Design and layout of parking areas

- A1.1 Parking, access ways, manoeuvring and circulation spaces must either:
- (a) comply with the following:
- (i) have a gradient in accordance with Australian Standard AS 2890 - Parking facilities, Parts 1-6;
 - (ii) provide for vehicles to enter and exit the site in a forward direction where providing for more than 4 parking spaces;
 - (iii) have an access width not less than the requirements in Table C2.2;
 - (iv) have car parking space dimensions which satisfy the requirements in Table C2.3;
 - (v) have a combined access and manoeuvring width adjacent to parking spaces not less than the requirements in Table C2.3 where there are 3 or more car parking spaces;
 - (vi) have a vertical clearance of not less than 2.1m above the parking surface level; and
 - (vii) excluding a single dwelling, be delineated by line marking or other clear physical means; or
- (b) comply with Australian Standard AS 2890- Parking facilities, Parts 1-6.

The designer advises that the requirements of A1.1(a) are met, as follows:

- (i) gradients comply with Australian Standard AS 2890 - Parking facilities, Parts 1-6;
- (ii) the site layout provides for all vehicles to enter and exit the site in a forward direction;
- (iii) shared access width is 4.5 metres for the first 9.5 metres and then 3 metres, complying with Table C2.2;
- (iv) car parking space comply with Table C2.3;
- (v) combined access and manoeuvring areas are perpendicular to the driveways and parking spaces, complying with Table C2.3;
- (vi) provides a vertical clearance of not less than 2.1m above the parking surface level; and
- (vii) will be line marked; or ...

Complies with A1.1.

- A1.2 Parking spaces provided for use by persons with a disability must satisfy the following:
- (a) be located as close as practicable to the main entry point to the building;
 - (b) be incorporated into the overall car park design; and
 - (c) be designed and constructed in accordance with Australian/New Zealand Standard AS/NZS 2890.6:2009 Parking facilities, Off-street parking for people with disabilities.1

It is understood that no disabled parking is required for the proposal.

Disabled car parking may be provided at the discretion of the Building Surveyor, through the assessment under the National Construction Code.

Complies with A1.2.

C2.6.3 Number of accesses for vehicles

- A1 The number of accesses provided for each frontage must:
- (a) be no more than 1; or
 - (b) no more than the existing number of accesses,
- whichever is the greater.

The plans show that no additional accesses are proposed.

Complies with A1.

A2 Within the Central Business Zone or in a pedestrian priority street no new access is provided unless an existing access is removed.	Not applicable.
C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone	Not applicable.
C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone C2.6.5 Pedestrian access C2.6.6 Loading bays C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone C2.6.8 Siting of parking and turning areas C2.7.1 Parking precinct plan	
	Not applicable.

The application complies with the relevant acceptable solutions for the Car Parking and Sustainable Transport Code and can be considered for approval.

C3 Road and Rail Asset code

C3.2.1 This code applies to a use or development that: (a) will increase the amount of vehicular traffic or the number of movements of vehicles longer than 5.5m using an existing vehicle crossing or private level crossing; (b) will require a new vehicle crossing, junction or level crossing; or (c) involves a subdivision or habitable building within a road or railway attenuation area if for a sensitive use.	The Code applies to the proposal and is not exempt at C3.4.
C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction	
A1.1 For a category 1 road or a limited access road, ... A1.2 For a road, excluding a category 1 road or a limited access road, written consent for a new junction, vehicle crossing, or level crossing to serve the use and development has been issued by the road authority. A1.3 For the rail network, ... A1.4 Vehicular traffic to and from the site, using an existing vehicle crossing or private level crossing, will not increase by more than: (a) the amounts in Table C3.1; or (b) allowed by a licence issued under Part IVA of the Roads and Jetties Act 1935 in respect to a limited access road.	A1.1, A1.3 and A1.5 do not apply. A1.2 No new access point or vehicle crossing is proposed. A1.4 Countryside Court is not a major road. Table C3.1 allows up to 40 additional vehicle movements. 1 dwelling is accepted as generating 6-8 movements per day based on accepted practice. Movements of vehicles longer than 5.5 metres are included in that total, and are expected to be up to 4 movements per day. Both are within the allowable limits of Table C3.1 Complies with the applicable standards at A1.2 and A1.4.

A1.5 Vehicular traffic must be able to enter and leave a major road in a forward direction.	
C3.6.1 Habitable buildings for sensitive uses within a road or railway attenuation area	Not applicable.
C3.7.1 Subdivision for sensitive uses within a road or railway attenuation area	Not applicable.

The application complies with the relevant acceptable solutions of the Road and Rail Assets Code and can be considered for approval.

Conclusion

The proposal seeks approval for the construction and use of a house and two sheds in the rear yard at 39 Ecclestone Road.

The proposal demonstrated compliance with all relevant standards under the Scheme.

Discretions were sought for the height of the proposed sheds (noting this was triggered by height, even though the sheds are within the required building envelope under A3), and the surfacing of the car parking and manoeuvring areas.

In both cases, the proposal demonstrated compliance with the relevant performance criteria.

The application demonstrated compliance with the requirements of the Scheme and can be considered for approval.

NEW DWELLING & OUTBUILDING

at 28 COUNTRYSIDE COURT, RIVERSIDE TAS 7250

for H & P CHELL

PROJECT NUMBER:
26082

PROPERTY ID:
9914617

LAND TITLE, VOLUME & FOLIO
CT - 184385/62

SITE AREA:
3,367m²

FLOOR AREAS:
NEW DWELLING FLOOR AREA - 380.2m²
NEW OUTBUILDING FLOOR AREA - 104m²

COUNCIL:
WEST TAMAR

SCHEME / ZONE:
8.0 GENERAL RESIDENTIAL

SCHEME / ZONE OVERLAYS:
BUSHFIRE PRONE

SITE CLASSIFICATION:

WIND CLASSIFICATION: N2

BUSHFIRE ATTACK LEVEL: BAL 12.5

TERRAIN CLASSIFICATION: TC2

WIND REGION: A3

CLIMATE ZONE: 7

CORROSION ENVIRONMENT: LOW

ALPINE AREA: N/A

PRINT DATE:
15/07/2026



LOCATION PLAN

DRAWING SCHEDULE

- A00 COVER PAGE
- A01 SITE SURVEY PLAN
- A02 OVERALL SITE PLAN
- A03 PART SITE PLAN - DWELLING
- A04 PART SITE PLAN - OUTBUILDING
- A05 DWELLING FLOOR PLAN
- A06 DWELLING ELEVATIONS
- A07 DWELLING ELEVATIONS
- A08 SHED 01 ELEVATIONS
- A09 SHED 02 ELEVATIONS



PLANS TO BUILD

ABN 23 269 055 701
Level 1, Holyman House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
Tel - 6388 9287 - Mob - 0488 377 937
Email - jackson@planstobuild.com.au
J.E. YOUNG LIC. No. 674 563 705

GENERAL NOTES:

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL BUILDING WORK SHALL BE IN STRICT COMPLIANCE WITH COUNCIL LAWS, REFERENCED AUSTRALIAN STANDARDS, BUILDING ACTS & REGULATIONS REFER ALSO TO THE GENERAL REQUIREMENTS PAGE.

THE BUILDER SHALL SECURE AND MAKE SAFE THE WORKSITE IN ACCORDANCE WITH WORK SAFE TASMANIA & WHS GUIDELINES & REGULATIONS.

THE BUILDER SHALL CARRY OUT DIAL BEFORE YOU DIG REFERRAL FOR LOCATIONS OF ALL UNDERGROUND SERVICES PRIOR TO COMMENCING ANY EARTHWORKS.

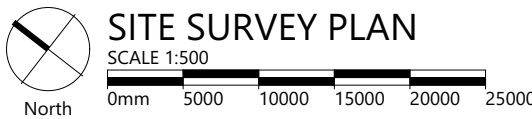
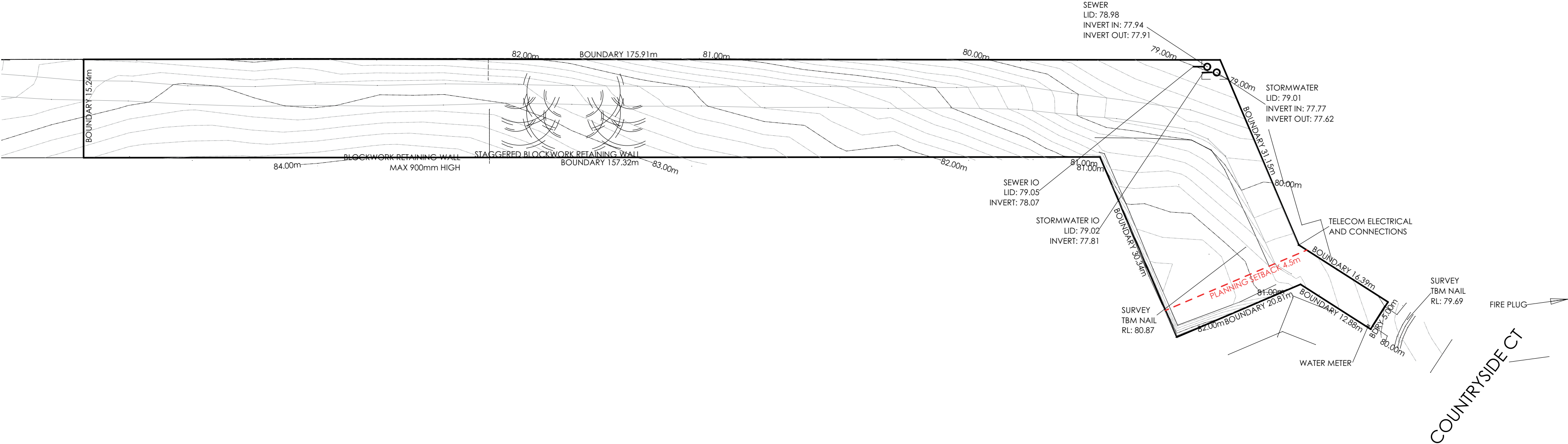
THE BUILDER SHALL INSTALL SILT TRAPS & SCREENS AT THE PROPERTY BOUNDARY TO PREVENT SILT RUNOFF INTO THE COUNCIL MAIN SYSTEM FOR THE DURATION OF SITE WORKS.

THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SETOUT OF ALL WORKS. A LAND SURVEYOR IS RECOMMENDED BY THE DESIGNER FOR ALL SETOUT. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS.

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING DRAWINGS AND SPECIFICATIONS. THE DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES WITH THE DRAWINGS.

ALL FITTINGS & FIXTURES INSTALLED SHALL BE PURCHASED AS NEW CONDITION & QUALITY & CARRY THE RELEVANT AUSTRALIAN STANDARD, AND CODEMARK & WATERMARK COMPLIANCES.

rev. Amendment		Date	
DRAWING No:		ISSUE: SCHEMATIC	
A00		3 of 12 REV: 0	



NEW DWELLING & OUTBUILDING
28 COUNTRYSIDE COURT, RIVERSIDE TAS 7250

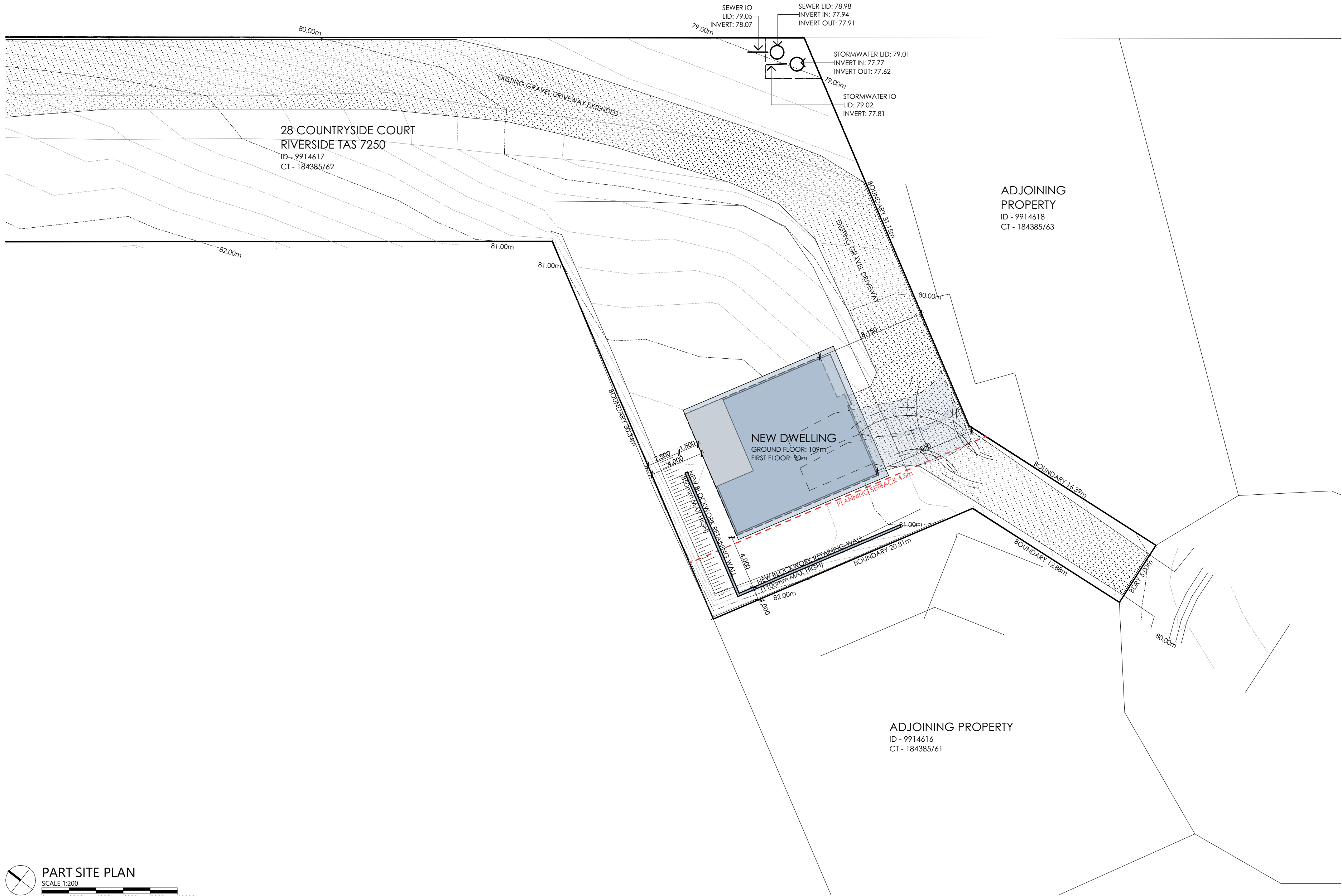


PLANS TO BUILD
ABN 23 269 055 701
Level 1, 52 Brisbane Street, Launceston
Tasmania, 7250.
Tel - 6388 9287 - Mob - 0400 655 771
Email - jackson@planstobuild.com.au
J.E.YOUNG LIC. No. 674 563 705

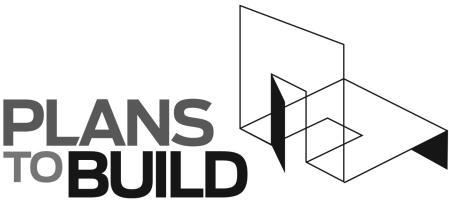
Owner:
H & P CHELL

0.	rev.	Date
Amendment		
DRAWING No:		ISSUE: SCHEMATIC
A01		4 of 12 REV: 0

PROJECT NUMBER: 26082	SCALE: IF IN DOUBT ASK SCALE @ A2	PRINT DATE: 15/07/2026
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NEW DWELLING & OUTBUILDING
28 COUNTRYSIDE COURT, RIVERSIDE TAS 7250



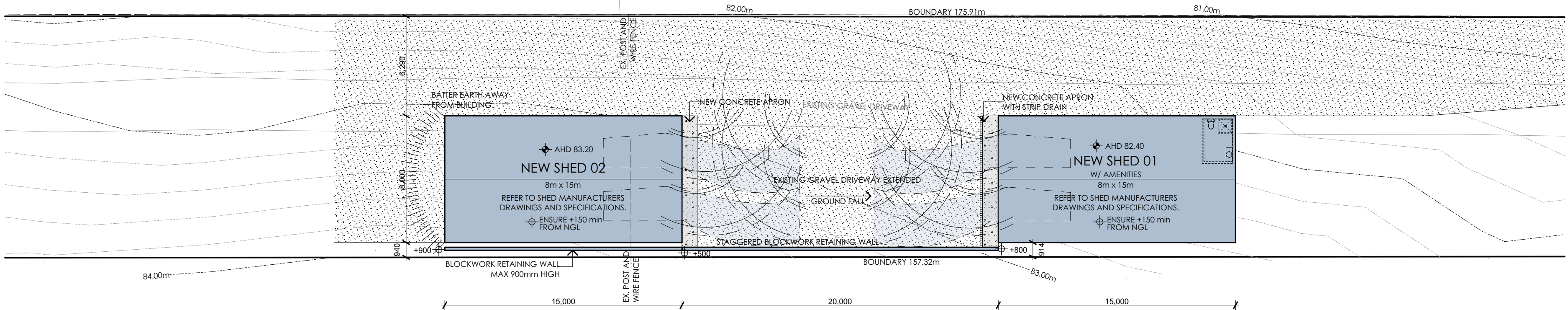
ABN 23 269 055 701
Level 1, 52 Brisbane Street, Launceston
Tasmania, 7250.
Tel - 6388 9287 - Mob - 0400 655 771
Email - jackson@plantobuild.com.au
J.E.YOUNG LIC. No. 674 563 705

Owner:
H & P CHELL

0.	rev.	Amendment	Date
DRAWING No: A03			ISSUE: SCHEMATIC
6 of 12			REV: 0

PROJECT NUMBER: **26082**
SCALE: IF IN DOUBT ASK **SCALE @ A2**
PRINT DATE: **15/07/2026**

ADJOINING PROPERTY
ID - 3436061
CT - 170950/2



ADJOINING PROPERTY
ID - 7907131
CT - 105824/1



NEW DWELLING & OUTBUILDING
28 COUNTRYSIDE COURT, RIVERSIDE TAS 7250



PLANS TO BUILD
ABN 23 269 055 701
Level 1, 52 Brisbane Street, Launceston
Tasmania, 7250.
Tel - 6388 9287 - Mob - 0400 655 771
Email - jackson@planstobuild.com.au
J.E.YOUNG LIC. No. 674 563 705

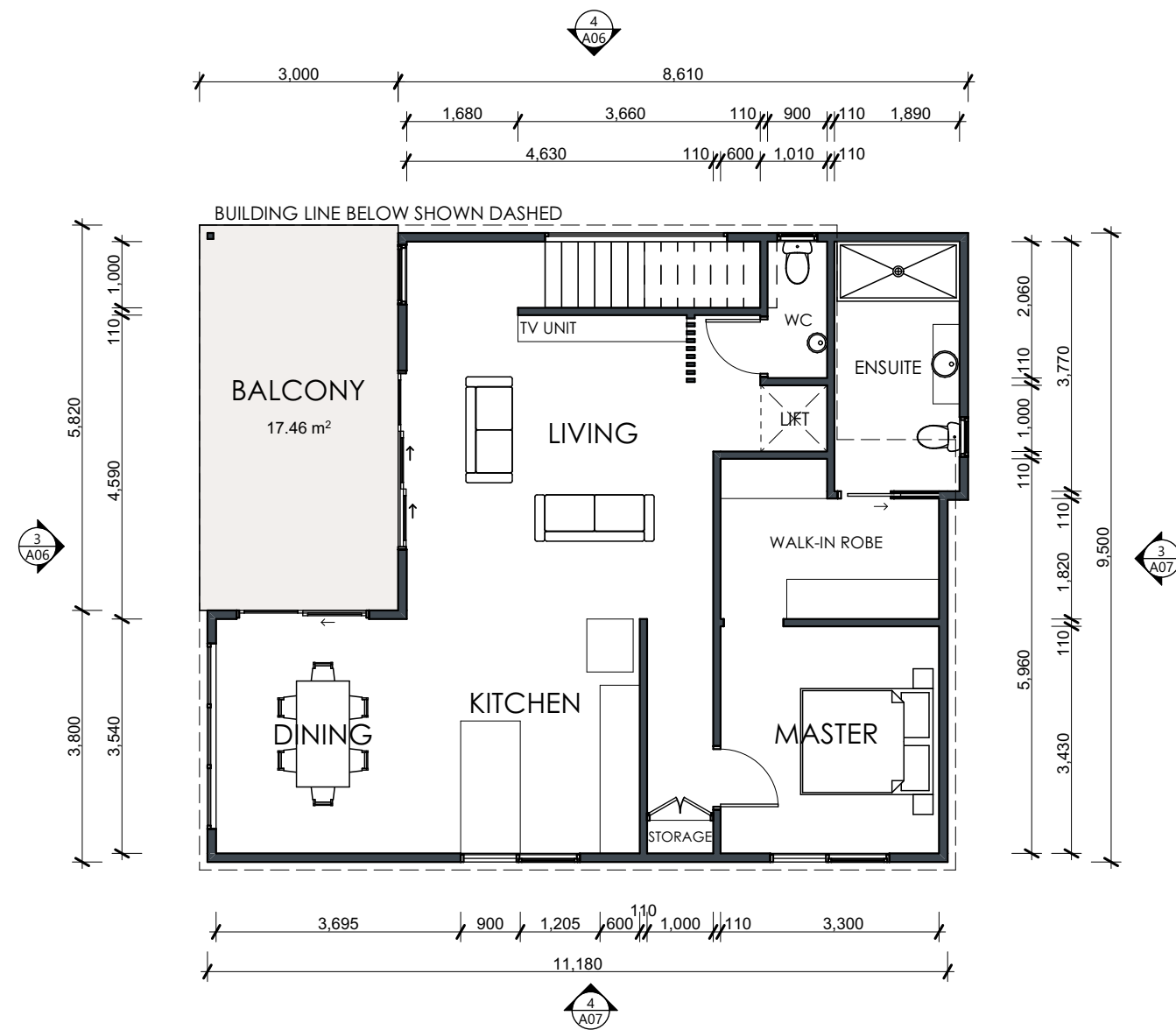
Owner:
H & P CHELL

rev.	Amendment	Date
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DRAWING No:		ISSUE: SCHEMATIC
A04		7 of 12 REV: 0

PROJECT NUMBER: 26082	SCALE: IF IN DOUBT ASK SCALE @ A2	PRINT DATE: 15/07/2026
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GROUND FLOOR PLAN
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North



FIRST FLOOR PLAN
SCALE 1:100
0mm 1000 2000 3000 4000 5000
North



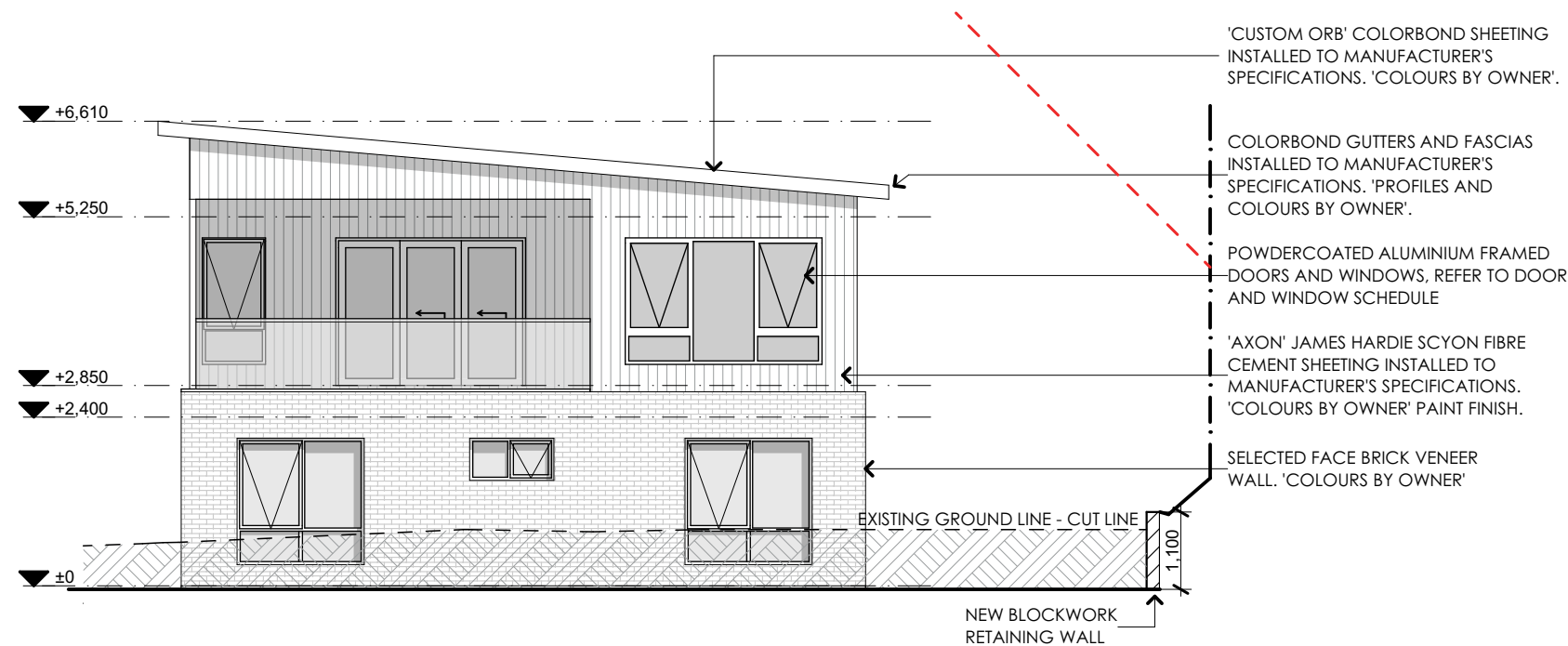
PLANS TO BUILD
ABN 23 269 055 701
Level 1, 52 Brisbane Street, Launceston
Tasmania, 7250.
Tel - 6388 9287 - Mob - 0400 655 771
Email - jackson@planstobuild.com.au
J.E.YOUNG LIC. No. 674 563 705

Owner:
H & P CHELL

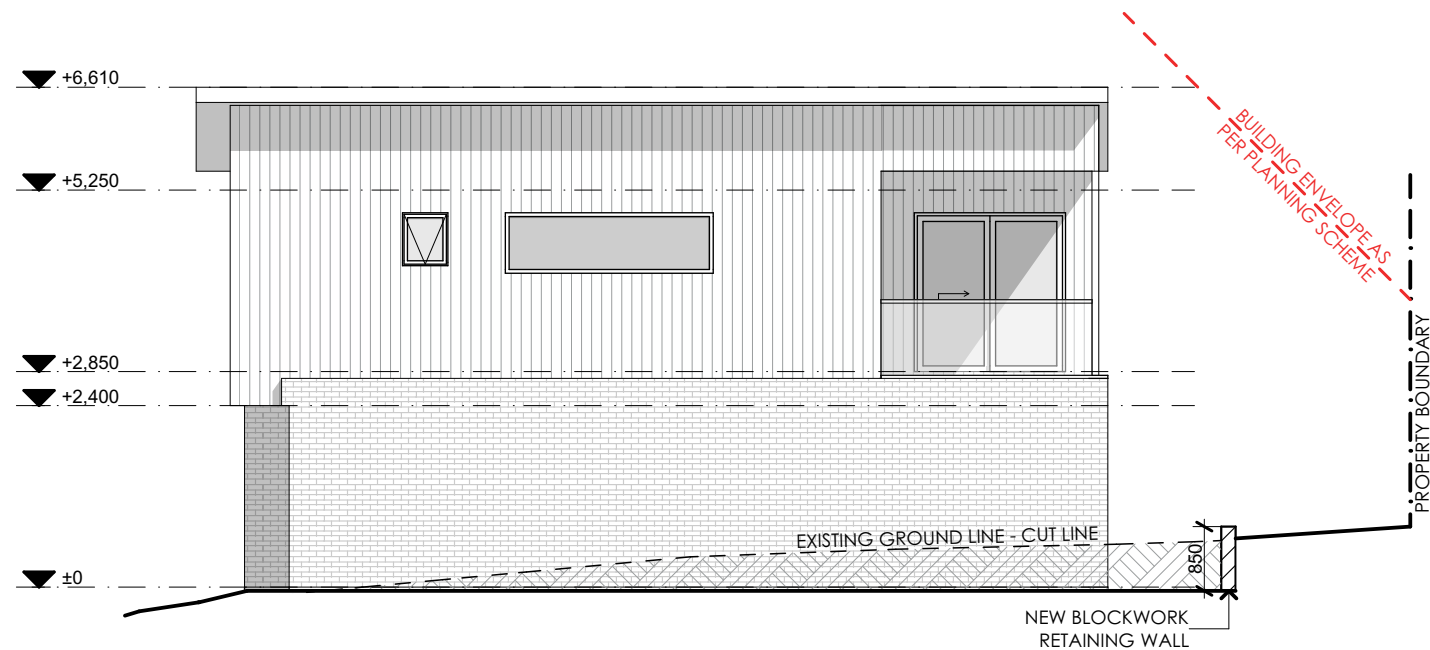
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8 of 12			REV: 0

NEW DWELLING & OUTBUILDING
28 COUNTRYSIDE COURT, RIVERSIDE TAS 7250

PROJECT NUMBER: 26082	SCALE: IF IN DOUBT ASK SCALE @ A2	PRINT DATE: 15/07/2026
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1 NORTH ELEVATION
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2 EAST ELEVATION
SCALE 1:100
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NEW DWELLING & OUTBUILDING

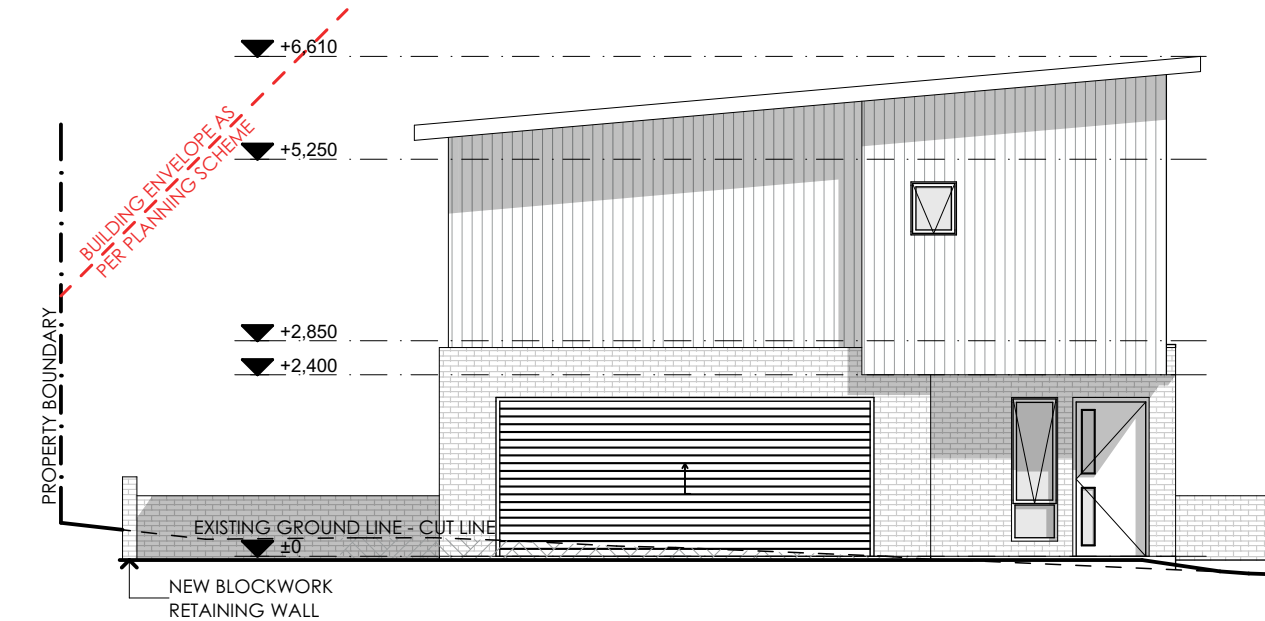
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PROJECT NUMBER:
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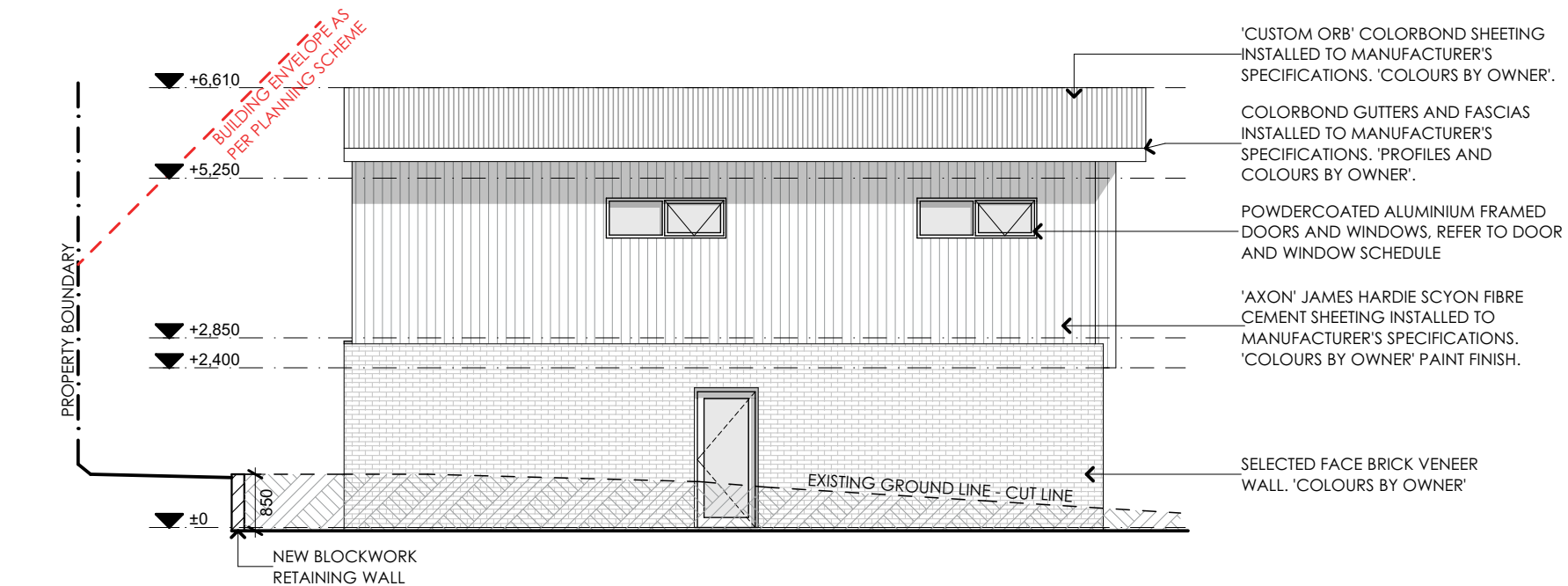
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SCALE @ A3

PRINT DATE:
15/07/2026

rev.	Amendment	Date
DRAWING No:	A06	ISSUE: SCHEMATIC
9 of 12	REV: 0	



1 SOUTH ELEVATION
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2 WEST ELEVATION
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NEW DWELLING & OUTBUILDING

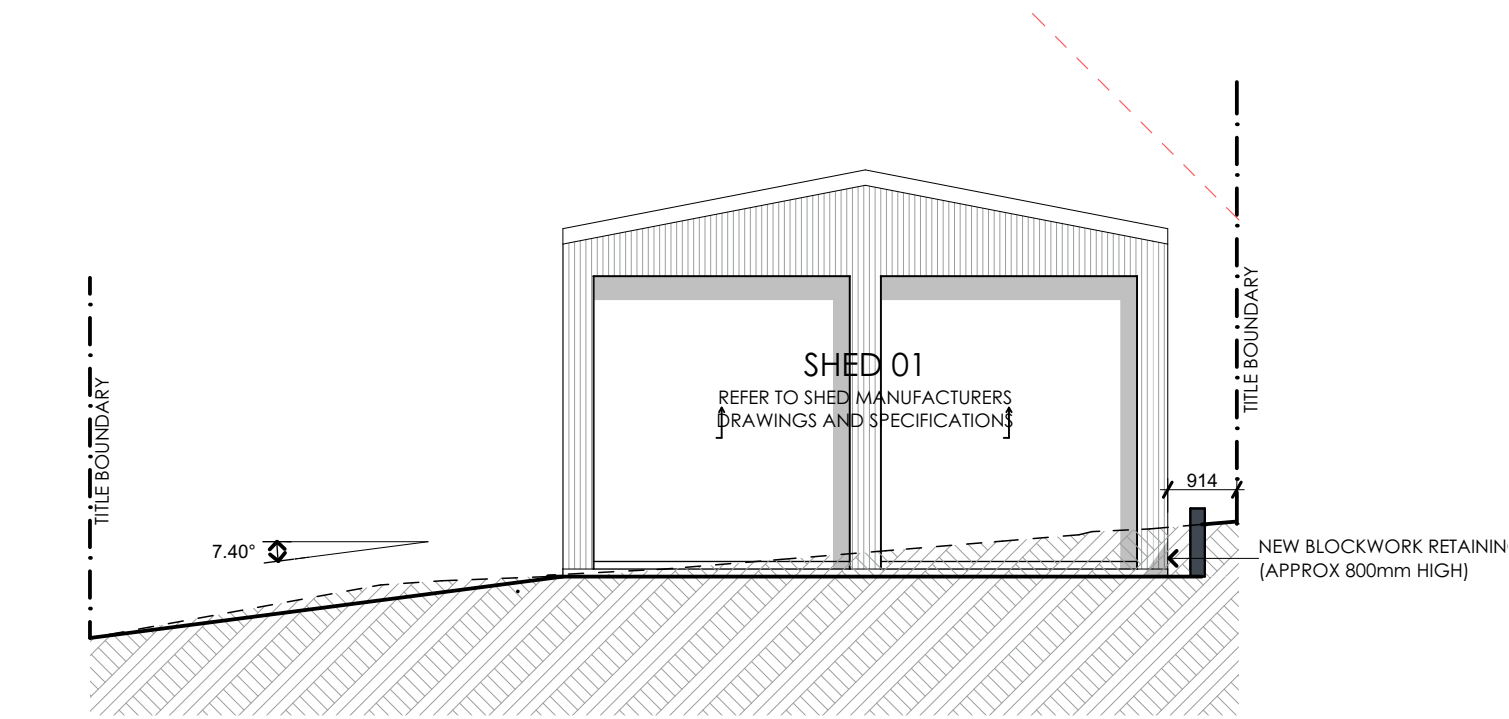
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26082

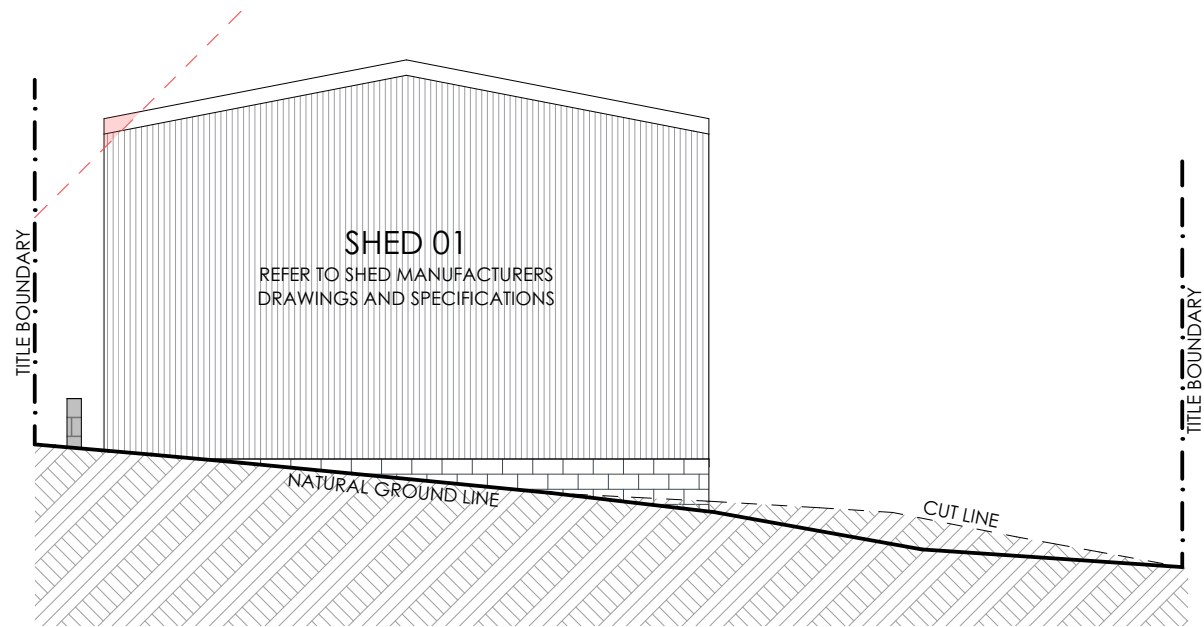
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PRINT DATE:
15/07/2026

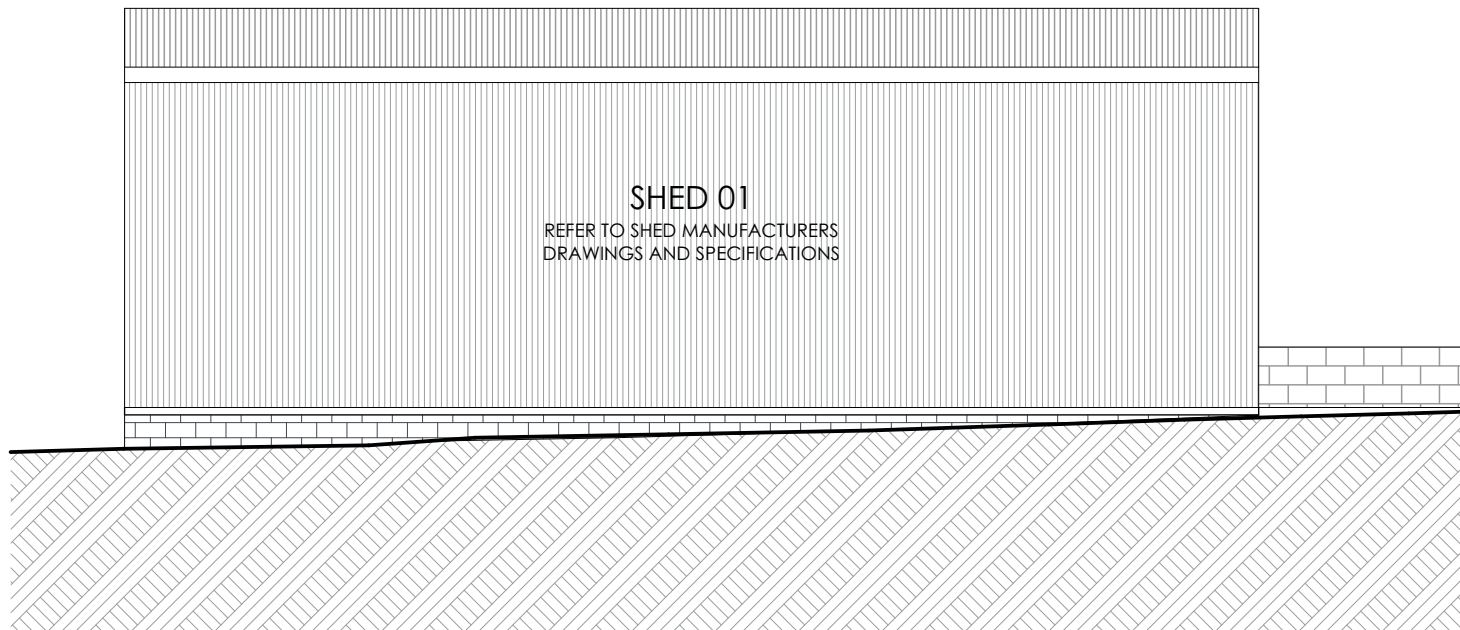
rev.	Amendment	Date
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	10 of 12	REV: 0



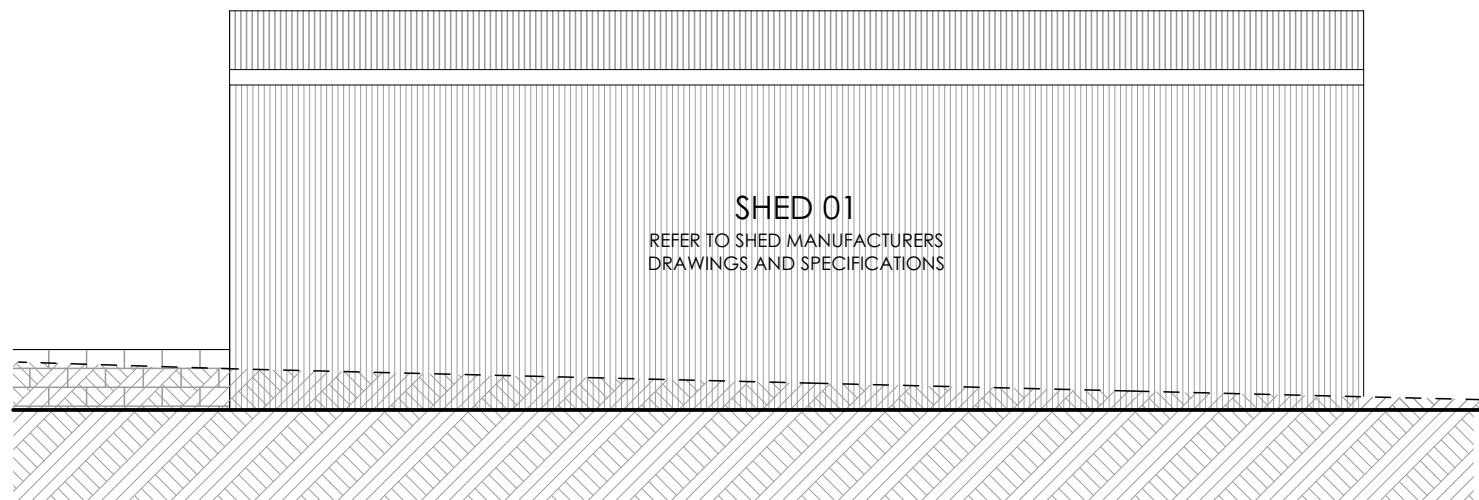
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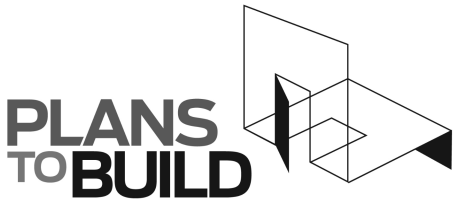
3 SHED 01 SOUTH ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000



2 SHED 01 EAST ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000



4 SHED 01 WEST ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000



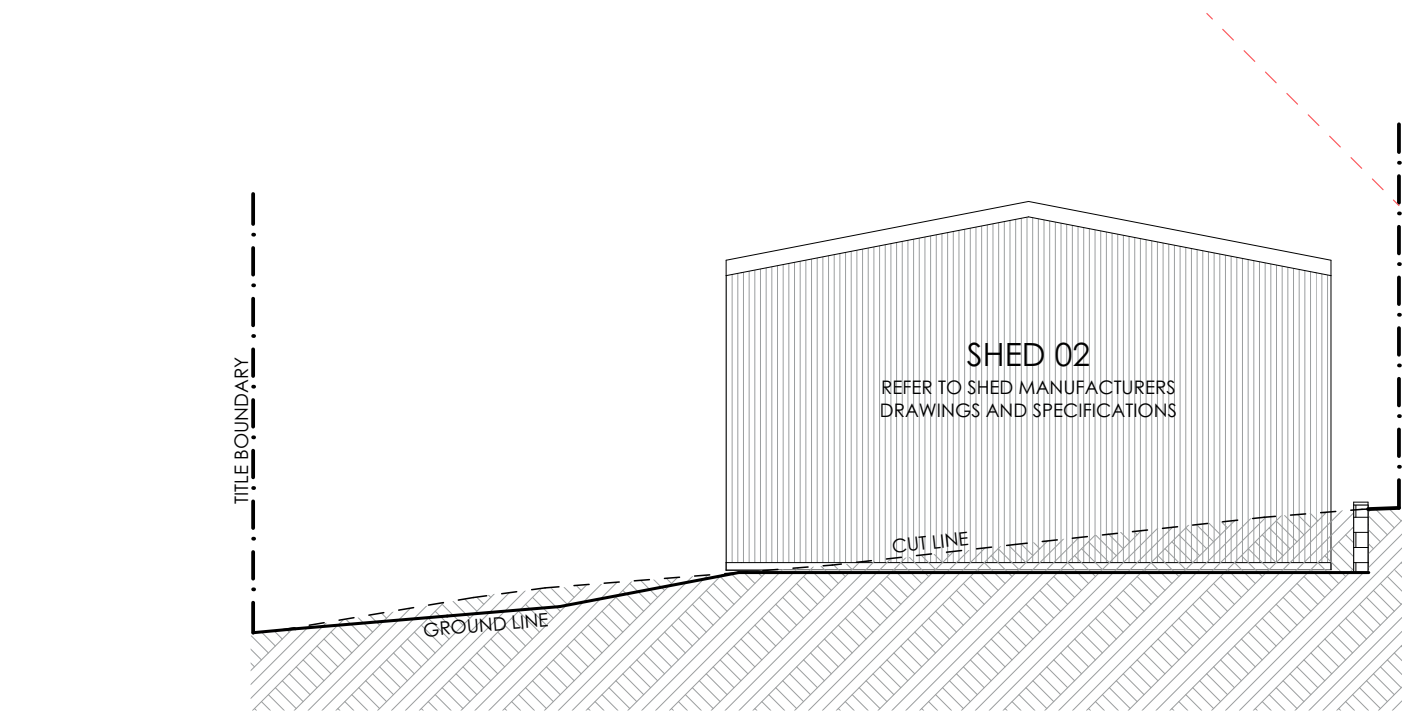
ABN 23 269 055 701
Level 1, 52 Brisbane Street, Launceston
Tasmania, 7250.
Tel - 6388 9287 - Mob - 0400 655 771
Email - jackson@plantobuild.com.au
J.E.YOUNG LIC. No. 674 563 705

Owner:
H & P CHELL

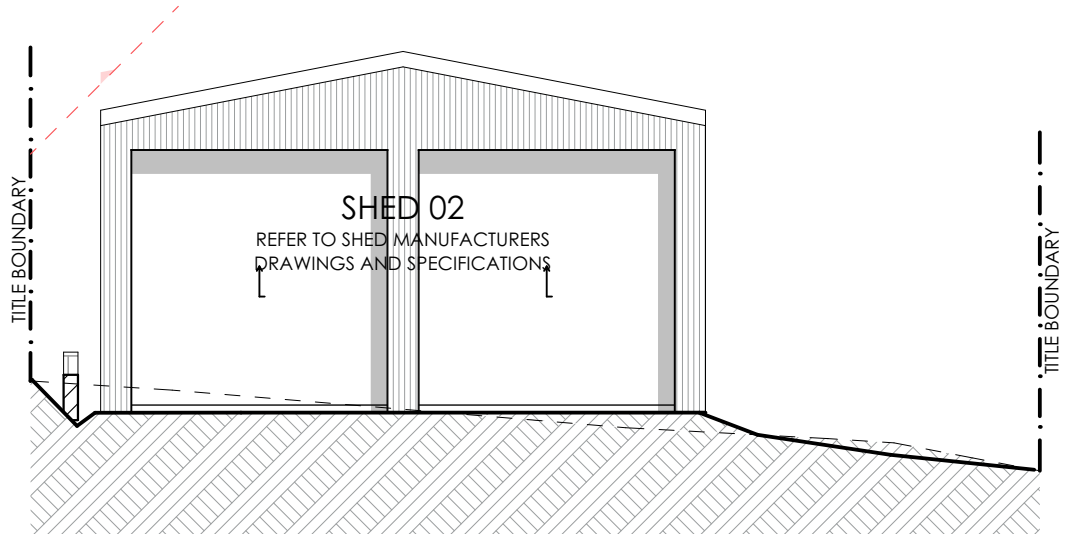
0.	rev.	Amendment	Date
DRAWING No: A08			ISSUE: SCHEMATIC
11 of 12			REV: 0

NEW DWELLING & OUTBUILDING
28 COUNTRYSIDE COURT, RIVERSIDE TAS 7250

PROJECT NUMBER: 26082	SCALE: IF IN DOUBT ASK SCALE @ A2	PRINT DATE: 15/07/2026
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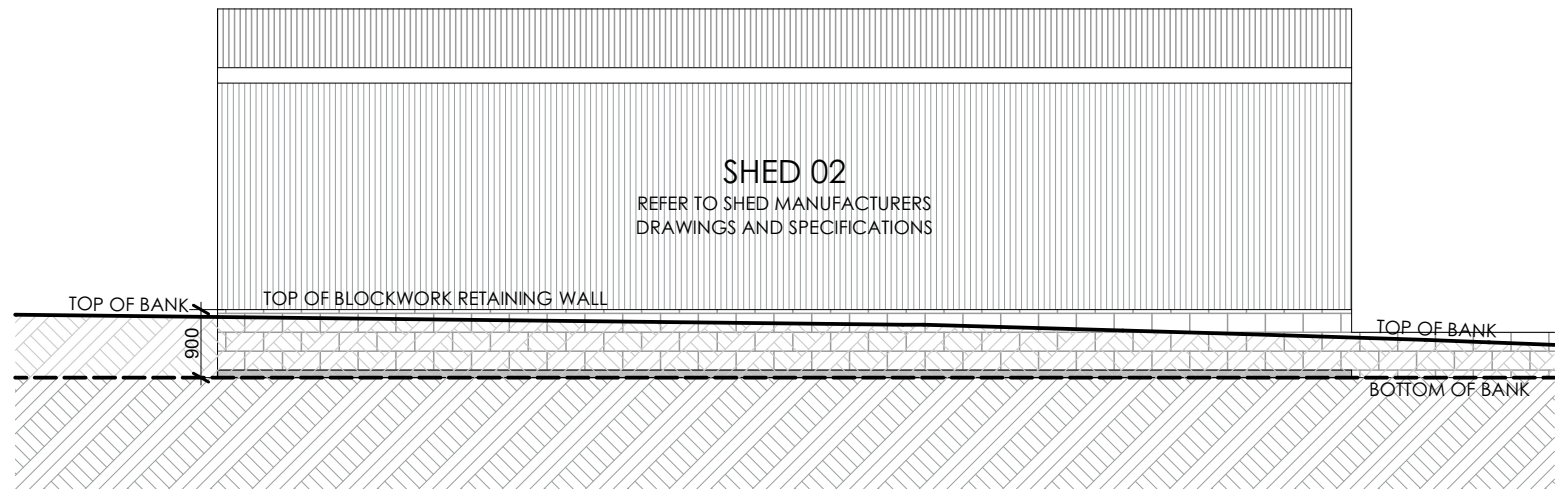
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SCALE 1:100
0mm 1000 2000 3000 4000 5000



3 SHED 02 SOUTH ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000

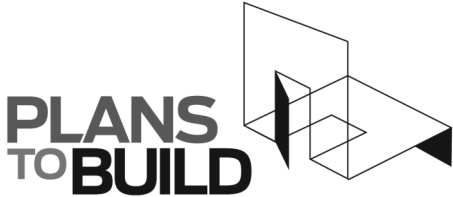


2 SHED 02 EAST ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000



4 SHED 02 WEST ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000

NEW DWELLING & OUTBUILDING
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0.	rev.	Amendment	Date
DRAWING No: A09			ISSUE: SCHEMATIC
12 of 12			REV: 0

PROJECT NUMBER: **26082**
SCALE: IF IN DOUBT ASK **SCALE @ A2**
PRINT DATE: **15/07/2026**