

## PLANNING APPLICATION FORM

Section 57 & 58

**OFFICE USE  
ONLY**

Application Number PA2026212  
Assess No: A7644  
PID No: 6089544

|                        |                |      |        |
|------------------------|----------------|------|--------|
| Applicant Name:        | Plans To Build |      |        |
| Applicant Contact Name |                |      |        |
| Postal Address:        |                |      |        |
| Contact Phone:         | Home           | Work | Mobile |
| Email Address:         |                |      |        |

## Planning Application Lodgement Checklist

**The following documents have been submitted to support the consideration of this application:**

1. A current copy of the property title text, folio plan and schedule of easements ☒
2. A completed application form including a detailed description of the proposal ☒
3. A complete plan set: ☒
  - a) Floor plans ☒
  - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☒
  - c) Site Plan showing: ☒
    - Orientation
    - All title boundaries
    - Location of buildings and structure (both existing and proposed)
    - Setbacks from all boundaries
    - Native vegetation to be removed
    - Onsite services, connections and drainage details (including sewer, water and stormwater)
    - Cut and/or Fill
    - Car parking and access details (including construction material of all trafficable areas)
    - Fence details
    - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.  
All plans must be to scale.*

Application Number: «Application Number»

## APPLICANT DETAILS

|                        |                |
|------------------------|----------------|
| <b>Applicant Name:</b> | Plans To Build |
|------------------------|----------------|

**Note:** Full name(s) of person(s) or company making the application and postal address for correspondence.

## LAND DETAILS

|                                                               |          |
|---------------------------------------------------------------|----------|
| <b>Owner/Authority Name:</b><br>(as per certificate of title) | T. Meure |
|---------------------------------------------------------------|----------|

|                            |                                         |
|----------------------------|-----------------------------------------|
| <b>Location / Address:</b> | 34 Napier Street, Beauty Point TAS 7270 |
|----------------------------|-----------------------------------------|

|                         |          |
|-------------------------|----------|
| <b>Title Reference:</b> | 218299/1 |
|-------------------------|----------|

|                 |                         |
|-----------------|-------------------------|
| <b>Zone(s):</b> | 8.0 General Residential |
|-----------------|-------------------------|

|                                  |             |
|----------------------------------|-------------|
| <b>Existing Development/Use:</b> | Residential |
|----------------------------------|-------------|

|                                 |          |
|---------------------------------|----------|
| <b>Existing Developed Area:</b> | +/- 69m2 |
|---------------------------------|----------|

|                                                                                                                                                                    |                                         |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------|
| <b>Are any of the components in this Application seeking retrospective approval?<br/>E.g. Use and/or development that has commenced without a Planning Permit.</b> | YES <input checked="" type="checkbox"/> |
|                                                                                                                                                                    | NO <input type="checkbox"/>             |

The modifications to the existing outbuilding and converting/using it as a secondary dwelling have already been completed without approval.

## DEVELOPMENT APPLICATION DETAILS

|                      |                                                  |                                                 |                                      |                                 |
|----------------------|--------------------------------------------------|-------------------------------------------------|--------------------------------------|---------------------------------|
| <b>Proposed Use:</b> | Residential: <input checked="" type="checkbox"/> | Visitor Accommodation: <input type="checkbox"/> | Commercial: <input type="checkbox"/> | Other: <input type="checkbox"/> |
|                      | Secondary Dwelling                               |                                                 |                                      |                                 |

|                          |                                                                                                                                                                      |                                      |                                       |                                 |
|--------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------|---------------------------------------|---------------------------------|
| <b>Development Type:</b> | Building work: <input checked="" type="checkbox"/>                                                                                                                   | Demolition: <input type="checkbox"/> | Subdivision: <input type="checkbox"/> | Other: <input type="checkbox"/> |
|                          | Retrospective approval for modifications to an existing outbuilding as well as formally changing the use of the outbuilding to become a class 1a secondary dwelling. |                                      |                                       |                                 |

|                                |          |
|--------------------------------|----------|
| <b>New or Additional Area:</b> | +/- 60m2 |
|--------------------------------|----------|

|                                                                 |           |
|-----------------------------------------------------------------|-----------|
| <b>Estimated construction cost of the proposed development:</b> | \$120,000 |
|-----------------------------------------------------------------|-----------|

|                            |                      |                     |
|----------------------------|----------------------|---------------------|
| <b>Building Materials:</b> | Wall Type: Colorbond | Colour: Olive Green |
|                            | Roof Type: Colorbond | Colour: Grey        |

Application Number: «Application Number»

## VISITOR ACCOMMODATION

☒ N/A

|                                      |  |                                       |  |
|--------------------------------------|--|---------------------------------------|--|
| Gross Floor Area to be used per lot: |  | Number of Bedrooms to be used:        |  |
| Number of Carparking Spaces:         |  | Maximum Number of Visitors at a time: |  |

## SUBDIVISION

☒ N/ASubdivision creating additional lots ☐Boundary adjustment with no additional lots created ☐

|                                                                                                                                        |  |                             |  |
|----------------------------------------------------------------------------------------------------------------------------------------|--|-----------------------------|--|
| Number of Lots (existing) :                                                                                                            |  | Number of Lots (proposed) : |  |
| Description:                                                                                                                           |  |                             |  |
| If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference: |  |                             |  |
| 1.                                                                                                                                     |  |                             |  |
| 2.                                                                                                                                     |  |                             |  |
| 3.                                                                                                                                     |  |                             |  |

## COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

☒ N/A

|                                                |                  |  |    |  |
|------------------------------------------------|------------------|--|----|--|
| Hours of Operation:                            | Monday / Friday: |  | To |  |
|                                                | Saturday:        |  | To |  |
|                                                | Sunday:          |  | To |  |
| Existing Car Parking:                          |                  |  |    |  |
| Proposed Car Parking:                          |                  |  |    |  |
| Number of Employees:<br>(Existing)             |                  |  |    |  |
| Number of Employees:<br>(Proposed)             |                  |  |    |  |
| Type of Machinery installed:                   |                  |  |    |  |
| Details of trade waste and method of disposal: |                  |  |    |  |

Application Number: «Application Number»

**APPLICANT DECLARATION**

**Owner:** As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

**Applicant:** As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

**(if not the owner)**

Name (print)

Signed

Date

*Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.*

**Crown  
Consent**  
(if required)

Name (print)

Signed

Date

**Chief  
Executive  
Officer**  
(if required)

Name (print)

Signed

Date

*If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.*

**Right of Way Owner:**

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1469

TASMANIA

REAL PROPERTY ACT, 1862, as amended

NOTE—REGISTERED FOR OFFICE  
CONVENIENCE TO REPLACE



CERTIFICATE OF TITLE

Register Book

Vol. Fol.

2669 16

Cert. of Title Vol. 514 Fol. 98

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.

*M. Hutchinson*  
Recorder of Titles.



DESCRIPTION OF LAND

TOWN OF BEAUTY POINT  
THIRTY SIX PERCHES on the Plan hereon

FIRST SCHEDULE (continued overleaf)

JOHN ERNEST RICHARDS of West Tamar, Labourer. *M. Hutchinson*

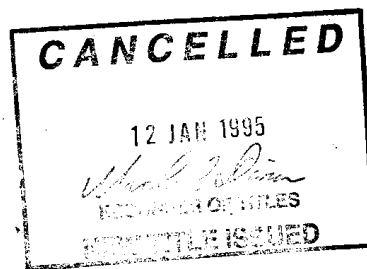
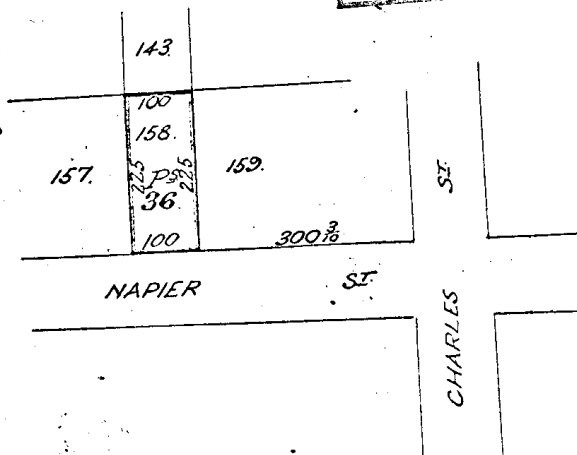
SECOND SCHEDULE (continued overleaf)  
NIL

DER OF TITLES ARE NO LONGER SUBSISTING.

Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register

REGISTERED NUMBER

218299



34 Napier Street,  
Ilfraville

Part of 15a.Or.8ps. Sec. A5 - Gtd. to W.M.Garrett - Meas. in Links  
FIRST Edition, Registered 21 MAY 1970 P.800

Derived from C.T. Vol. 514 Fol. 98 - Transfer A152778 F.E.Cameron

# RETROSPECTIVE APPROVAL

## at 34 NAPIER STREET, BEAUTY POINT TAS 7270

### for T. MEURE

PROJECT NUMBER:  
**26038**

PROPERTY ID:  
**6089544**

LAND TITLE, VOLUME & FOLIO  
**CT - 218299/1**

SITE AREA:  
911m2

FLOOR AREAS:  
EXISTING DWELLING FLOOR AREA - ±69m²  
NEW DWELLING FLOOR AREA - ±60m²

COUNCIL:  
WEST TAMAR

SCHEME / ZONE:  
8.0 GENERAL RESIDENTIAL

SCHEME / ZONE OVERLAYS:  
N/A

SITE CLASSIFICATION: AS EX.

WIND CLASSIFICATION: N1

BUSHFIRE ATTACK LEVEL: N/A

TERRAIN CLASSIFICATION: TC 3.0

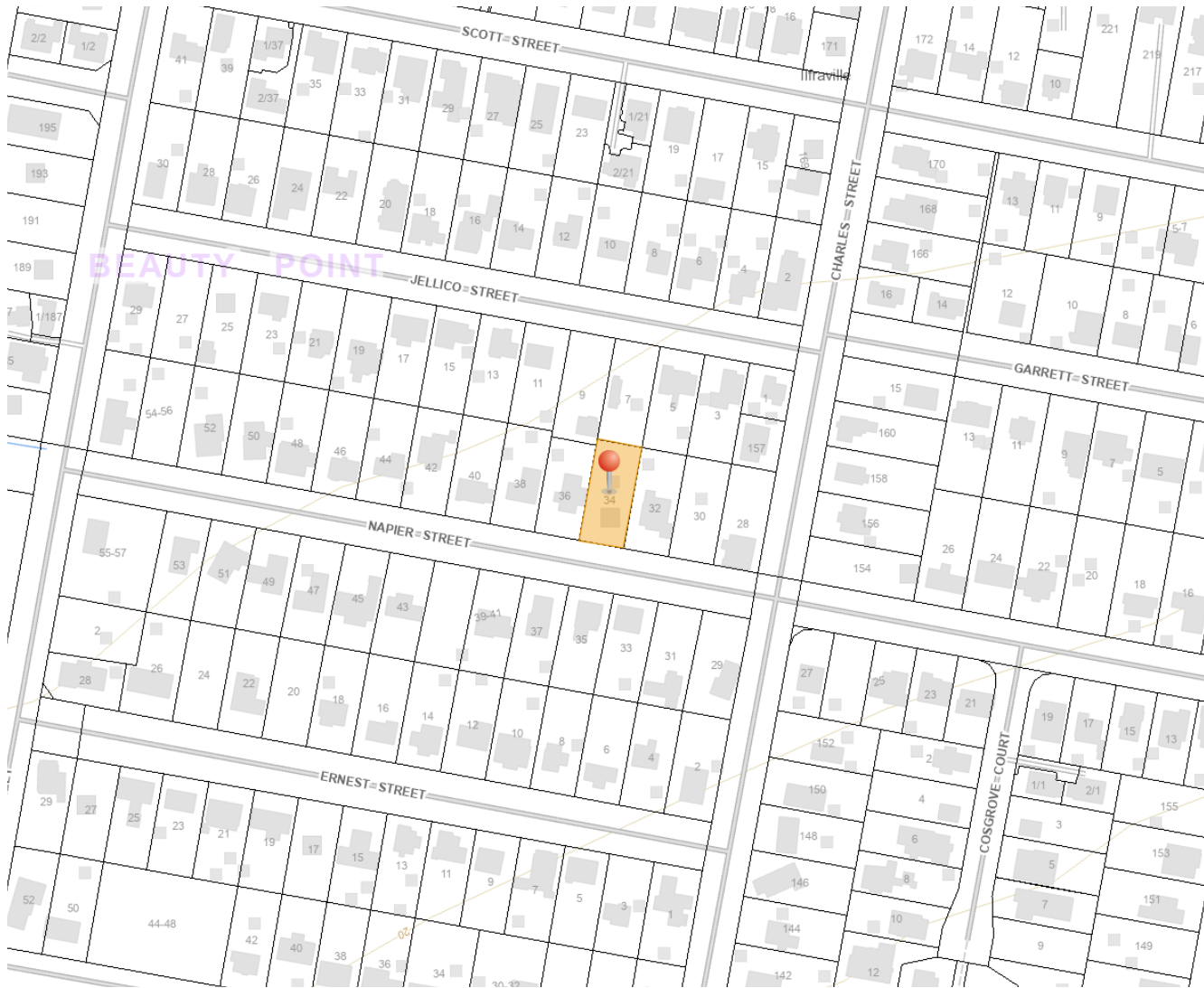
WIND REGION: A3

CLIMATE ZONE: 7

CORROSION ENVIRONMENT: MEDIUM

ALPINE AREA: N/A

PRINT DATE:  
**17/06/2026**



LOCATION PLAN

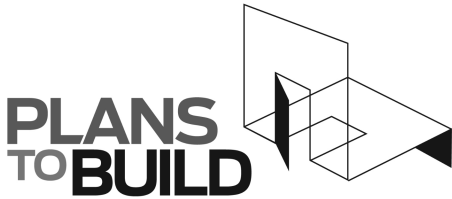
REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY  
NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY

### DRAWING SCHEDULE

- A00 COVER PAGE
- A01 SITE PLAN
- A02 SITE DRAINAGE PLAN
- A03 EXISTING FLOOR PLAN
- A04 DEMOLITION FLOOR PLAN
- A05 FLOOR PLAN
- A06 FLOOR FINISHES PLAN
- A07 DRAINAGE PLAN
- A08 WATERPROOFING TABLE & WET AREA PART PLAN
- A09 WATERPROOFING DETAILS
- A10 REFLECTED CEILING PLAN
- A11 ROOF PLAN
- A12 ELEVATIONS
- A13 FREE STANDING HEATING APPLIANCES DETAILS
- A14 WATERPROOFING NOTES
- A15 INSULATION & CORROSION TABLES
- A16 LIVEABLE HOUSING
- A17 HOUSING PROVISIONS



MEMBER  
you're in good hands



ABN 23 269 055 701  
Level 1, Holyman House, 52-60 Brisbane St,  
Launceston, Tasmania, 7250.  
Tel - 6388 9287 - Mob - 0400 655 771  
Email - leigh@planstobuild.com.au  
**L.M.DELL LIC. No. CC5932 G**

**GENERAL NOTES:**

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL BUILDING WORK SHALL BE IN STRICT COMPLIANCE WITH COUNCIL LAWS, REFERENCED AUSTRALIAN STANDARDS, BUILDING ACTS & REGULATIONS REFER ALSO TO THE GENERAL REQUIREMENTS PAGE.

THE BUILDER SHALL SECURE AND MAKE SAFE THE WORKSITE IN ACCORDANCE WITH WORK SAFE TASMANIA & WHS GUIDELINES & REGULATIONS.

THE BUILDER SHALL CARRY OUT DIAL BEFORE YOU DIG REFERRAL FOR LOCATIONS OF ALL UNDERGROUND SERVICES PRIOR TO COMMENCING ANY EARTHWORKS.

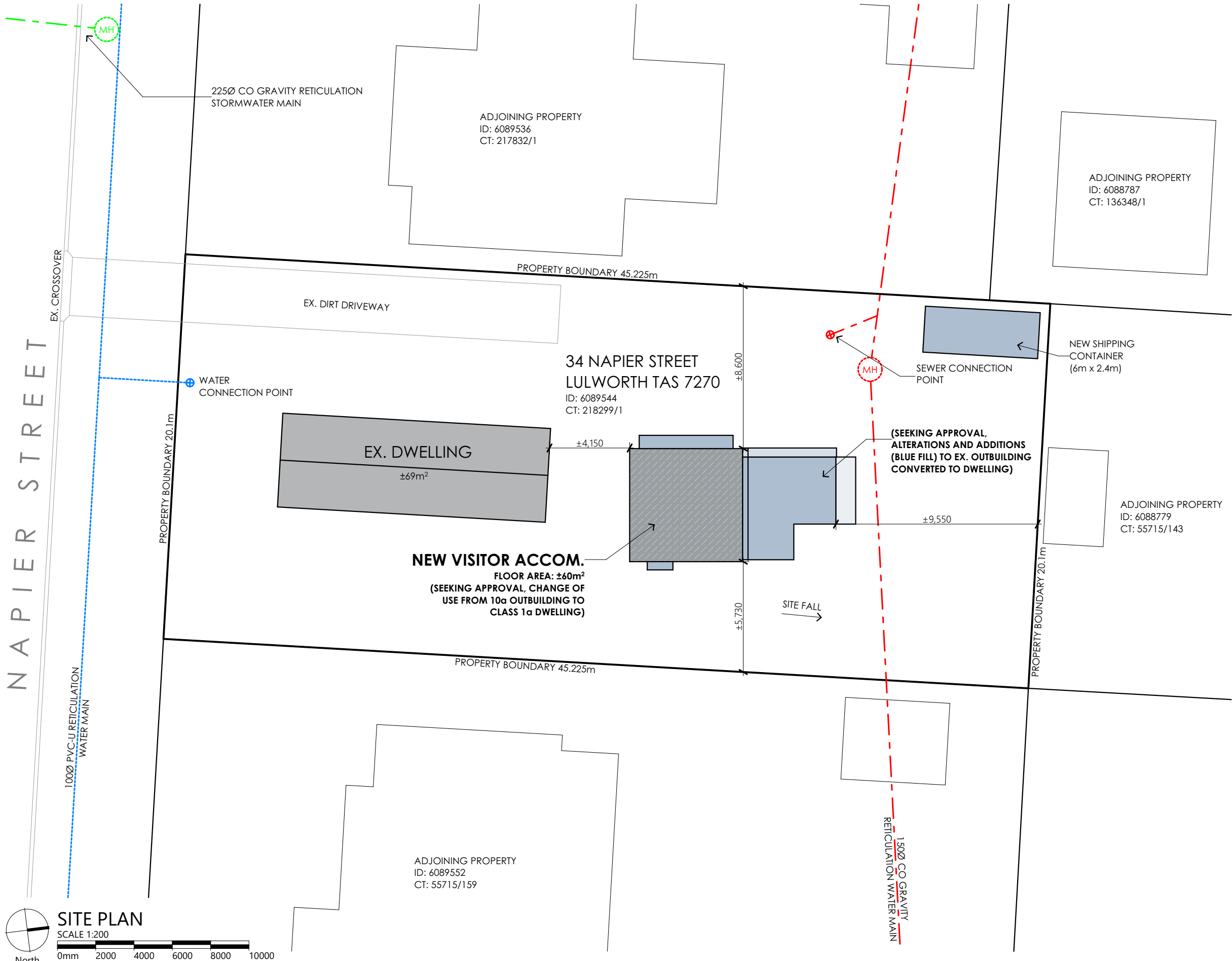
THE BUILDER SHALL INSTALL SILT TRAPS & SCREENS AT THE PROPERTY BOUNDARY TO PREVENT SILT RUNOFF INTO THE COUNCIL MAIN SYSTEM FOR THE DURATION OF SITE WORKS.

THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SETOUT OF ALL WORKS. A LAND SURVEYOR IS RECOMMENDED BY THE DESIGNER FOR ALL SETOUT. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS.

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING DRAWINGS AND SPECIFICATIONS. THE DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES WITH THE DRAWINGS.

ALL FITTINGS & FIXTURES INSTALLED SHALL BE PURCHASED AS NEW CONDITION & QUALITY & CARRY THE RELEVANT AUSTRALIAN STANDARD, AND CODEMARK & WATERMARK COMPLIANCES.

|             |           |               |
|-------------|-----------|---------------|
|             |           |               |
| rev.        | Amendment | Date          |
| DRAWING No: |           | ISSUE: #Issue |
| <b>A00</b>  |           | REV: 0        |
| 1 of 18     |           |               |



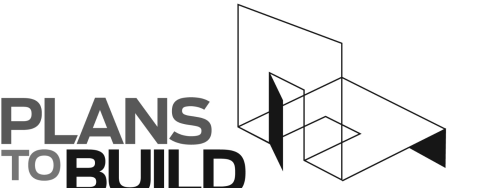
**SITE PLAN NOTES**

**SURFACE AND SUBSURFACE DRAINAGE SYSTEMS**  
IN ACCORDANCE WITH PART D2. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A STORMWATER DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3

**SOIL AND WATER MANAGEMENT**  
PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT WORKS THE APPLICANT OR BUILDER MUST INSTALL ALL NECESSARY SILT FENCES AND CUT-OFF DRAINS TO PREVENT THE SOIL, GRAVEL AND OTHER DEBRIS FROM ESCAPING THE SITE. ADDITIONAL WORKS MAY BE REQUIRED ON COMPLEX SITES.

NO MATERIAL OR DEBRIS IS TO BE TRANSPORTED ONTO THE ROAD RESERVE (INCLUDING THE NATURE STRIP, FOOTPATH AND ROAD PAVEMENT). ANY MATERIAL THAT IS DEPOSITED ONTO THE ROAD RESERVE AS A RESULT OF THE DEVELOPMENT ACTIVITY IS TO BE REMOVED BY THE APPLICANT OR BUILDER.

THE SILT FENCING, CUT-OFF DRAINS AND OTHER WORKS TO MINIMISE EROSION ARE TO BE MAINTAINED ON THE SITE UNTILL SUCH TIME AS THE SITE HAS REVEGETATED SUFFICIENTLY TO MITIGATE EROSION AND SEDIMENT TRANSPORT.



**PLANS TO BUILD**

ABN 23 269 055 701  
Level 1, Holyman House, 52-60 Brisbane St,  
Launceston, Tasmania, 7250.  
Tel - 6388 9287 - Mob - 0400 655 771  
Email - leigh@planstobuild.com.au  
**L.M.DELL LIC. No. CC5932 G**

**Owner:**  
**T. MEURE**

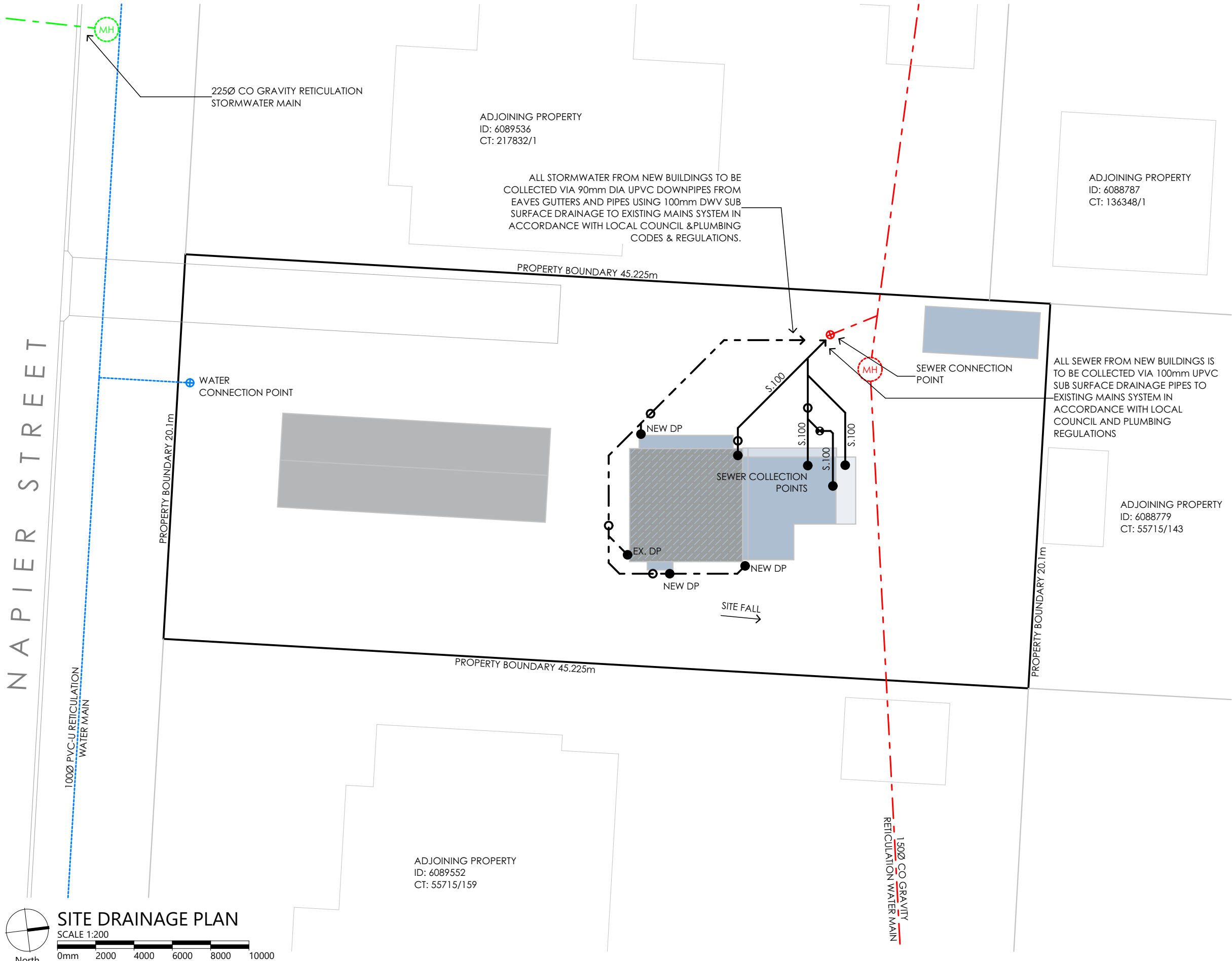
|             |           |               |
|-------------|-----------|---------------|
|             |           | Date          |
| rev.        | Amendment |               |
| DRAWING No: |           | ISSUE: #Issue |
| <b>A01</b>  |           | REV: 0        |
| 2 of 18     |           |               |

**RETROSPECTIVE APPROVAL**

**34 NAPIER STREET, BEAUTY POINT TAS 7270**

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

|                 |                        |                   |
|-----------------|------------------------|-------------------|
| PROJECT NUMBER: | SCALE: IF IN DOUBT ASK | PRINT DATE:       |
| <b>26038</b>    | <b>SCALE @ A3</b>      | <b>17/06/2026</b> |



**SITE PLAN NOTES**

**SURFACE AND SUBSURFACE DRAINAGE SYSTEMS**  
IN ACCORDANCE WITH PART D2. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A STORMWATER DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3

**SOIL AND WATER MANAGEMENT**  
PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT WORKS THE APPLICANT OR BUILDER MUST INSTALL ALL NECESSARY SILT FENCES AND CUT-OFF DRAINS TO PREVENT THE SOIL, GRAVEL AND OTHER DEBRIS FROM ESCAPING THE SITE. ADDITIONAL WORKS MAY BE REQUIRED ON COMPLEX SITES.

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THE SILT FENCING, CUT-OFF DRAINS AND OTHER WORKS TO MINIMISE EROSION ARE TO BE MAINTAINED ON THE SITE UNTILL SUCH TIME AS THE SITE HAS REVEGETATED SUFFICIENTLY TO MITIGATE EROSION AND SEDIMENT TRANSPORT.

**PLUMBING LEGEND**

- SW. 100** NEW 100mm DWV PVC SN6 STORMWATER PIPE WITH 1: 100 MINIMUM GRADE UNLESS NOTED OTHERWISE BELOW
- S. 100** NEW 100mm DWV PVC SN6 SEWER PIPE WITH 1: 60 MINIMUM GRADE UNLESS NOTED OTHERWISE BELOW
- NEW INSPECTION OPENING**
- NEW OVERFLOW RELIEF GULLY**

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Email - leigh@planstobuild.com.au  
**L.M.DELL LIC. No. CC5932 G**

**Owner:**  
**T. MEURE**

**SITE DRAINAGE PLAN**  
SCALE 1:200  
0mm 2000 4000 6000 8000 10000  
North

**RETROSPECTIVE APPROVAL**  
**34 NAPIER STREET, BEAUTY POINT TAS 7270**

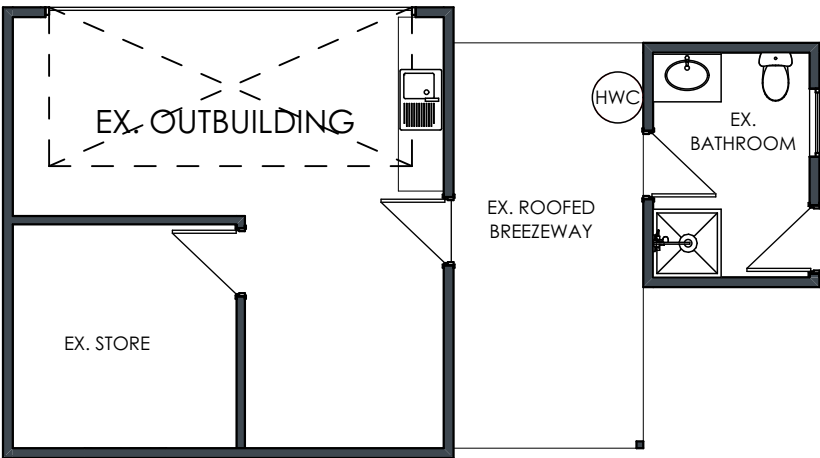
NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

PROJECT NUMBER: **26038**  
SCALE: IF IN DOUBT ASK **SCALE @ A3**  
PRINT DATE: **17/06/2026**

| rev. | Amendment              | Date          |
|------|------------------------|---------------|
|      | DRAWING No: <b>A02</b> | ISSUE: #Issue |
|      | <b>3 of 18</b>         | REV: 0        |

FLOOR PLAN LEGEND

- EXISTING WALLS
- EX. DOORS
- EX. SLIDING DOORS  
(NO OPENING ARROW)



EXISTING FLOOR PLAN

SCALE 1:100

0mm

1000

2000

3000

4000

5000

Project North

RETROSPECTIVE APPROVAL

34 NAPIER STREET, BEAUTY POINT TAS 7270

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|                          |                                      |                           |                    |  |                         |
|--------------------------|--------------------------------------|---------------------------|--------------------|--|-------------------------|
| PROJECT NUMBER:<br>26038 | SCALE: IF IN DOUBT ASK<br>SCALE @ A3 | PRINT DATE:<br>17/06/2026 | DRAWING No:<br>A03 |  | ISSUE: #Issue<br>REV: 0 |
|                          |                                      | 4 of 18                   |                    |  |                         |

PLANS  
TO BUILD

ABN 23 269 055 701  
Level 1, Holyman House, 52-60 Brisbane St,  
Launceston, Tasmania, 7250.  
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**L.M.DELL LIC. No. CC5932 G**

Owner:

T. MEURE

|      |           |      |
|------|-----------|------|
|      |           |      |
| rev. | Amendment | Date |
|      |           |      |

DEMOLITON LEGEND

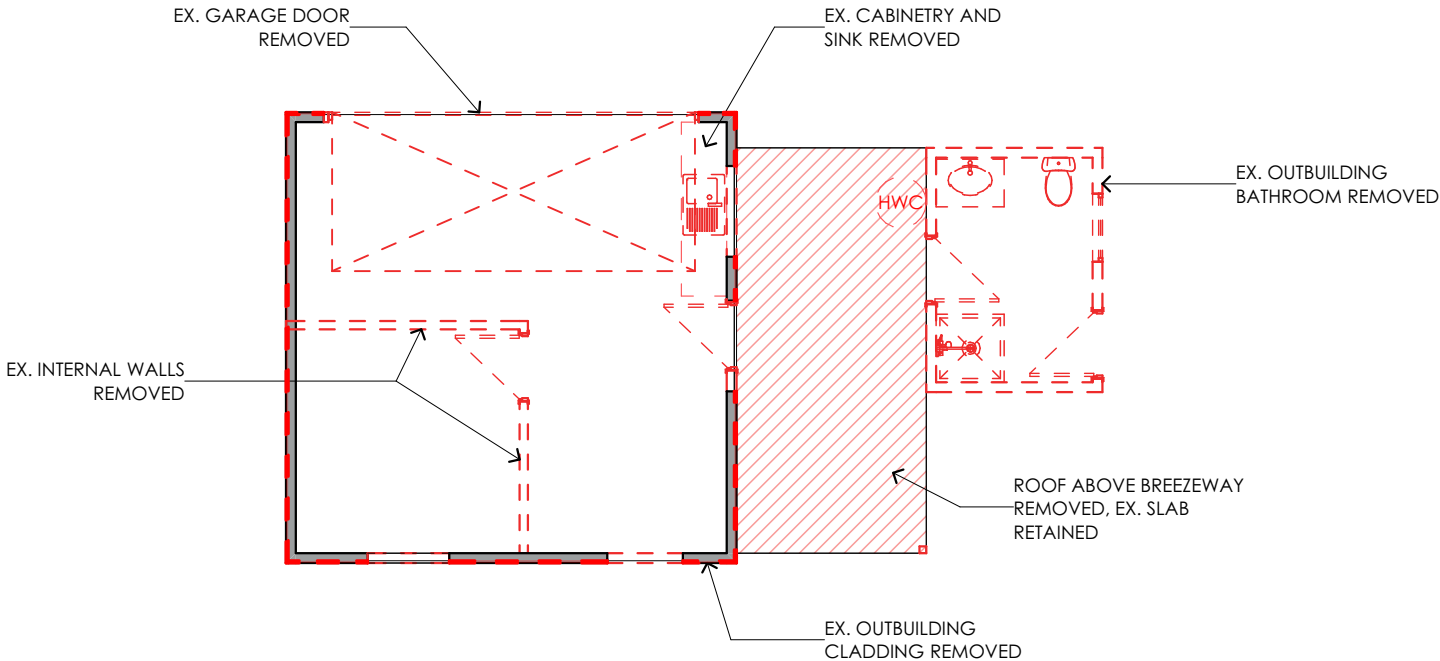
WALLS, WINDOWS DOORS AND JOINERY SHOWN DOTTED IS TO BE DEMOLISHED AND REMOVED

EXISTING WALLS RETAINED

THE CONTRACTOR SHALL CARRY OUT THE REQUIRED DEMOLITION OF THE EXISTING BUILDING ELEMENTS NOMINATED ON THIS PLAN IN STRICT ACCORDANCE WITH THE DOCUMENTATION & AS2601 - THE DEMOLITION OF STRUCTURES.

DEMOLITION WORKS SHALL BE UNDERTAKEN IN A SAFE & ENVIRONMENTALLY ACCEPTABLE MANNER. CONTRACTOR SHALL MAKE ALL ALLOWANCES AS REQUIRED FOR DEMOLITION, REMOVALS & RELOCATIONS TO SUIT THE NEW WORKS.

ALL ITEMS TO BE DEMOLISHED SHOWN DOTTED TYPICALLY. CONTACT DIAL BEFORE YOU DIG PRIOR TO ANY EXCAVATION WORKS. THE EXISTING RESIDENCE MAY CONTAIN ASBESTOS. ANY ASBESTOS SHALL BE REMOVED IN ACCORDANCE WITH WORK SAFE TASMANIA CODE OF PRACTICE CP113 & STATUTORY REGULATIONS



Project North

DEMOLITION FLOOR PLAN

SCALE 1:100

0mm

1000

2000

3000

4000

5000

RETROSPECTIVE APPROVAL

34 NAPIER STREET, BEAUTY POINT TAS 7270

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PROJECT NUMBER:

26038

SCALE: IF IN DOUBT ASK

SCALE @ A3

PRINT DATE:

17/06/2026

rev.

Amendment

Date

DRAWING No:

A04

ISSUE: #Issue

REV: 0

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FLOOR PLAN LEGEND

- EXISTING WALLS RETAINED
- EX. DOORS RETAINED
- EX. SLIDING DOORS RETAINED  
(NO OPENING ARROW)
- NEW WALLS
- NEW PAINT GRADE HOLLOW CORE  
INTERIOR SWING DOOR WITH  
ARCHITRAVES, JAMBS AND STOPS.  
PAINT FINISH
- NEW PAINT GRADE HOLLOW CORE  
(SOLID IN WETAREAS) INTERIOR  
CAVITY SLIDING DOOR WITH  
ARCHITRAVES AND JAMBS. PAINT  
FINISH (SOLID OPENING ARROW)
- W##

POWDERCOATED ALUMINIUM  
FRAMED GLAZED WINDOWS REFER  
TO DOOR AND WINDOW SCHEDULE
- SD

HARDWIRED SMOKE DETECTOR,  
REFER TO DRAWING A17 HOUSING  
PROVISIONS

FLOOR PLAN

SCALE 1:100

0mm10002000300040005000

Project North

RETROSPECTIVE APPROVAL

34 NAPIER STREET, BEAUTY POINT TAS 7270

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|                 |                        |             |
|-----------------|------------------------|-------------|
| PROJECT NUMBER: | SCALE: IF IN DOUBT ASK | PRINT DATE: |
| 26038           | SCALE @ A3             | 17/06/2026  |

|             |               |        |
|-------------|---------------|--------|
| rev.        | Amendment     | Date   |
| DRAWING No: | ISSUE: #Issue |        |
| A05         | 6 of 18       | REV: 0 |

FLOOR FINISHES NOTES

- Con

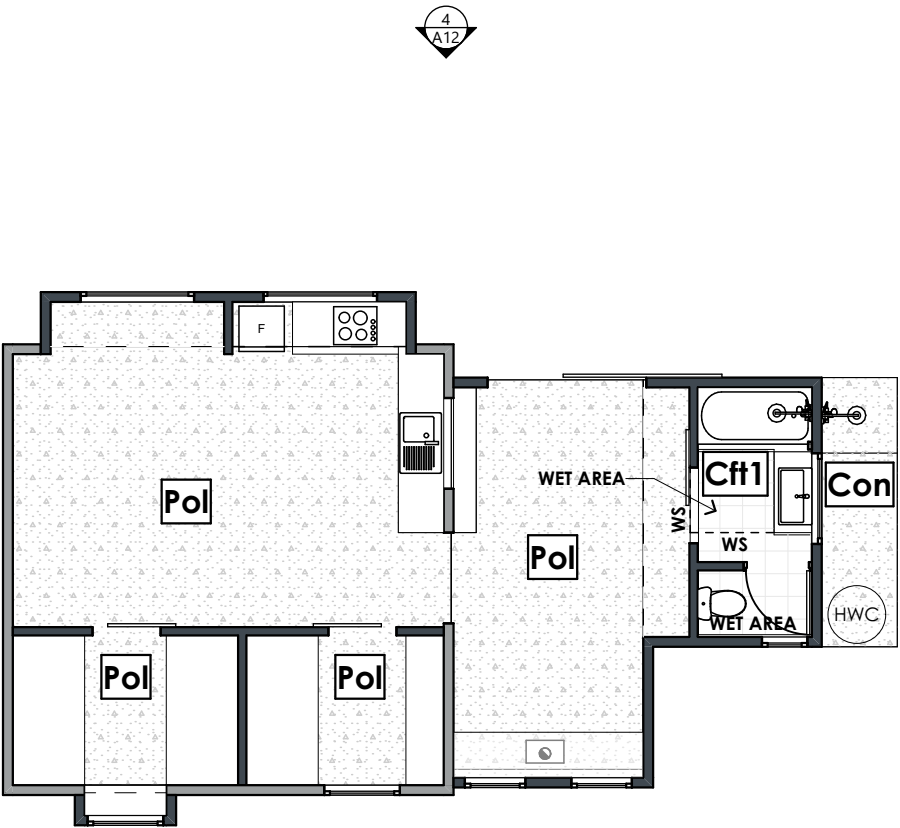
CONCRETE SLAB TROWEL AND  
HELICOPTER FINISH
- Cft1

SELECTED CERAMIC FLOOR  
TILE WITH TILE SKIRTING
- Pol

POLISHED CONCRETE, BURNISHED FINISH.

**WET AREA** REFER TO HEALTH AND AMENITY IN  
HOUSING PROVISIONS ON DRAWING  
A17 & WATERPROOFING TABLE ON  
DRAWING A09

**WS** WATERSTOP:  
REFER TO WET AREA DETAILS ON  
DRAWING A10





FLOOR FINISHES PLAN

SCALE 1:100

0mm

1000

2000

3000

4000

5000

Project North

RETROSPECTIVE APPROVAL

34 NAPIER STREET, BEAUTY POINT TAS 7270

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PROJECT NUMBER:

26038

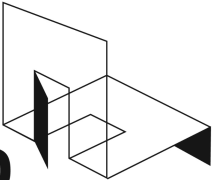
SCALE: IF IN DOUBT ASK

SCALE @ A3

PRINT DATE:

17/06/2026

PLANS  
TOBUILD



ABN 23 269 055 701

Level 1, Holyman House, 52-60 Brisbane St,  
Launceston, Tasmania, 7250.  
Tel - 6388 9287 - Mob - 0400 655 771  
Email - leigh@planstobuild.com.au  
**L.M.DELL LIC. No. CC5932 G**

**Owner:**  
**T. MEURE**

| rev. | Amendment   | Date          |
|------|-------------|---------------|
|      | DRAWING No: | ISSUE: #Issue |
|      | <b>A06</b>  | REV: 0        |
|      | 7 of 18     |               |

PLUMBING LEGEND

**SW. 100** NEW 100mm DWV PVC SN6 STORMWATER PIPE WITH 1: 100 MINIMUM GRADE UNLESS NOTED OTHERWISE BELOW

**S. 100** NEW 100mm DWV PVC SN6 SEWER PIPE WITH 1: 60 MINIMUM GRADE UNLESS NOTED OTHERWISE BELOW

NEW INSPECTION OPENING

NEW OVERFLOW RELIEF GULLY

SEWER PIPE SIZES AND GRADES

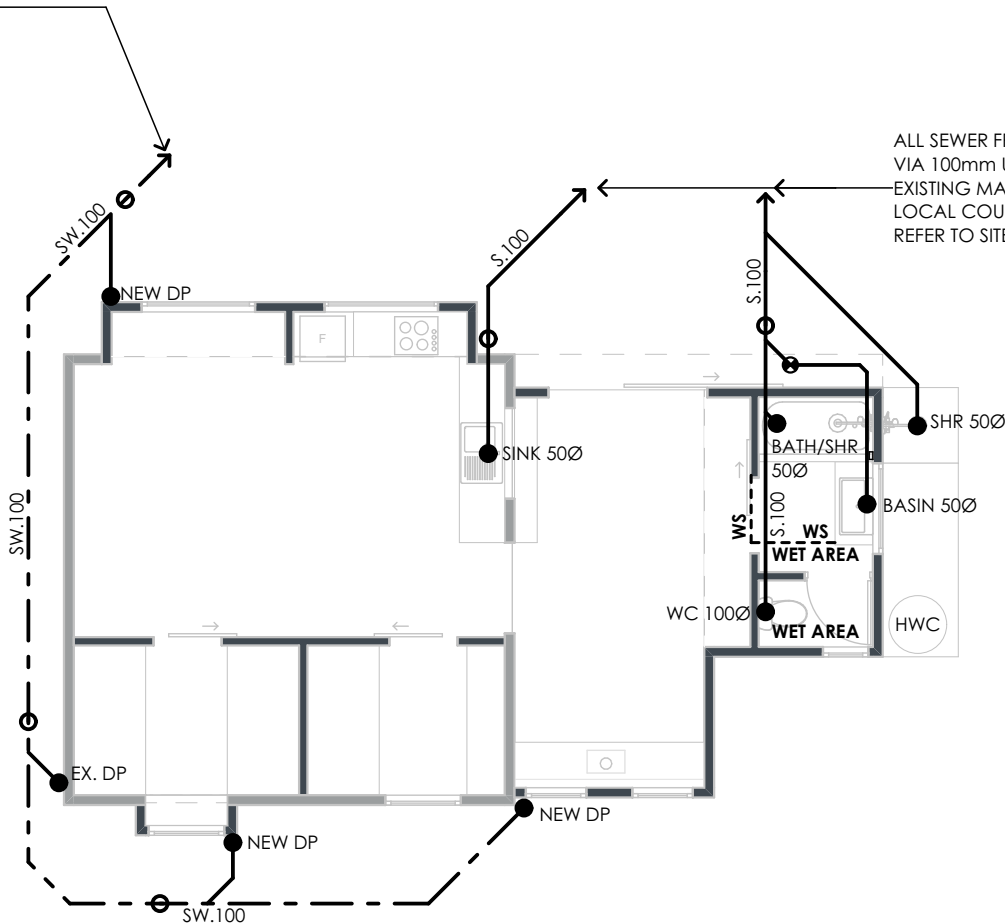
BASIN DIA 50mm, 1: 40    SINK 50mm, 1: 40  
WC DIA 100mm, 1: 40    BATH DIA 50mm, 1: 40  
VENT DIA 65mm, 1: 40    SHOWER DIA 50mm, 1: 40  
WASH TUB 50mm, 1: 40  
FLOOR WASTE (F.W.) DIA 65mm, 1: 40

**WET AREA** REFER TO HEALTH AND AMENITY IN HOUSING PROVISIONS ON DRAWING A17 & WATERPROOFING TABLE ON DRAWING A08

**WS** WATERSTOP:  
REFER TO WET AREA DETAILS ON DRAWING A09

ALL STORMWATER FROM NEW BUILDINGS TO BE COLLECTED VIA 90mm DIA UPVC DOWNPIPES FROM EAVES GUTTERS AND PIPES USING 100mm DWV SUB SURFACE DRAINAGE TO EXISTING MAINS SYSTEM IN ACCORDANCE WITH LOCAL COUNCIL & PLUMBING CODES & REGULATIONS, REFER TO SITE DRAINAGE PLAN

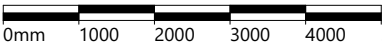
ALL SEWER FROM NEW BUILDINGS IS TO BE COLLECTED VIA 100mm UPVC SUB SURFACE DRAINAGE PIPES TO EXISTING MAINS SYSTEM IN ACCORDANCE WITH LOCAL COUNCIL AND PLUMBING REGULATIONS, REFER TO SITE DRAINAGE PLAN





DRAINAGE PLAN

SCALE 1:100



0mm 1000 2000 3000 4000 5000

Project North

RETROSPECTIVE APPROVAL

34 NAPIER STREET, BEAUTY POINT TAS 7270

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

PROJECT NUMBER:  
26038

SCALE: IF IN DOUBT ASK  
SCALE @ A3

PRINT DATE:  
17/06/2026

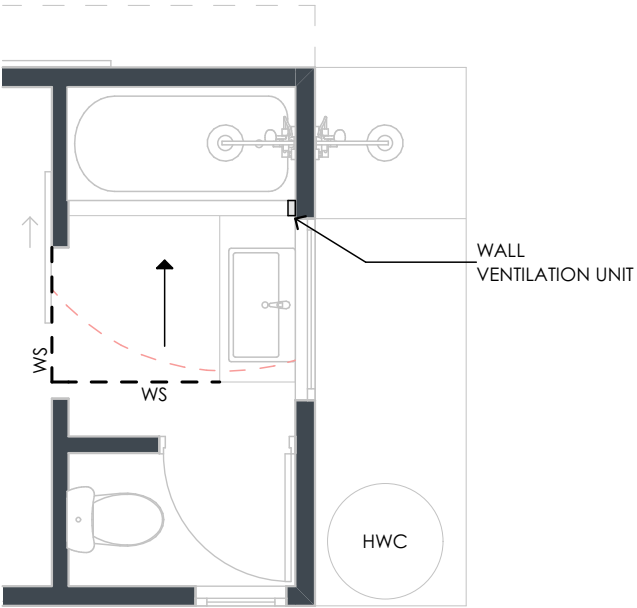
| rev. Amendment     |  | Date          |
|--------------------|--|---------------|
| DRAWING No:<br>A07 |  | ISSUE: #Issue |
| 8 of 18            |  | REV: 0        |

10.2.1 WET AREAS

(1) BUILDING ELEMENTS IN WET AREAS WITHIN A BUILDING MUST BE PROTECTED WITH A WATERPROOFING SYSTEM.  
(2) THE WATERPROOFING SYSTEM IN (1) MUST BE EITHER WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.6

REQUIREMENTS FOR BUILDING ELEMENTS IN WET AREAS TABLE (10.2.2 - 10.2.5)

| VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED                                               | FLOORS AND HORIZONTAL SURFACES                                                                                                                                                  | WALLS                                                                                                                                                                                                                                                                                                                                                                        | WALL JUNCTIONS AND JOINTS                                                                                                                                                | WALL / FLOOR JUNCTIONS                                                                                                                      | PENETRATIONS                                                                                                    |
|----------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------|
| 10.2.2 SHOWER AREA (ENCLOSED AND UNENCLOSED - INCLUDING FRAMELESS GLASS)                     |                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                          |                                                                                                                                             |                                                                                                                 |
| WITHOUT HOB OR SET-DOWN INCLUDING; LEVEL THRESHOLD                                           | FLOOR OF THE SHOWER AREA MUST BE WATERPROOF, INCLUDING ANY HOB OR STEP DOWN                                                                                                     | WATER PROOF WALLS IN SHOWER AREA TO BE NOT LESS THAN 1800mm ABOVE FLOOR SUBSTRATE                                                                                                                                                                                                                                                                                            | WALL JUNCTIONS AND JOINTS WITHIN SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 40mm EITHER SIDE OF THE JUNCTION                                                           | WALL/FLOOR JUNCTIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF                                                                              | PENETRATIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF                                                          |
| WITH PREFORMED SHOWER BASE                                                                   | N/A                                                                                                                                                                             | WATER PROOF WALLS IN SHOWER AREA TO BE NOT LESS THAN 1800mm ABOVE FLOOR SUBSTRATE                                                                                                                                                                                                                                                                                            | WALL JUNCTIONS AND JOINTS WITHIN SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 40mm EITHER SIDE OF THE JUNCTION                                                           | WALL/FLOOR JUNCTIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF                                                                              | PENETRATIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF                                                          |
| 10.2.3 AREA OUTSIDE SHOWER AREA                                                              |                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                          |                                                                                                                                             |                                                                                                                 |
| FOR CONCRETE AND COMPRESSED FIBRE- CEMENT SHEET FLOORING                                     | FLOOR OF THE ROOM MUST BE WATER RESISTANT                                                                                                                                       | N/A                                                                                                                                                                                                                                                                                                                                                                          | N/A                                                                                                                                                                      | WALL/FLOOR JUNCTIONS MUST BE-<br><br>(a) WATERPROOF AND                                                                                     | N/A                                                                                                             |
| FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS | FLOOR OF THE ROOM MUST BE WATER PROOF                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                          | (b) WHERE A FLASHING USED, THE HORIZONTAL LEG MUST NOT BE LESS THAN 40mm                                                                    |                                                                                                                 |
| 10.2.4 AREAS ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS                                      |                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                          |                                                                                                                                             |                                                                                                                 |
| FOR CONCRETE AND COMPRESSED FIBRE- CEMENT SHEET FLOORING                                     | FLOOR OF THE ROOM MUST BE WATER RESISTANT                                                                                                                                       | WALLS MUST BE WATER RESISTANT- TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75mm OF THE WALL;<br><br>AND FOR ALL EXPOSED SURFACES BELOW VESSEL LIP                                                                                                                                                          | WALL JUNCTIONS AND JOINTS MUST BE WATER RESISTANT WITHIN 150mm ABOVE A VESSEL FOR THE EXTENT OF THE VESSEL                                                               | WALL/FLOOR JUNCTIONS MUST BE WATERPROOF FOR THE EXTENT OF THE VESSEL                                                                        | TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES                           |
| FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS | FLOOR OF THE ROOM MUST BE WATERPROOF                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                          |                                                                                                                                             |                                                                                                                 |
| INSERTED BATHS AND SPARS                                                                     | ANY FLOOR OR HORIZONTAL SURFACE ADJOINING THE BATH OR SPA MUST BE WATERPROOF. INCLUDE WATERSTOP UNDER THE VESSEL LIP<br><br>NO REQUIREMENTS FOR THE FLOOR UNDER THE BATH OR SPA | WALLS MUST BE WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF A BATH OR SPA<br><br>NO REQUIREMENTS FOR THE FLOOR UNDERNEATH THE BATH OR SPA                                                                                                                                                                                                                               | WALL JUNCTIONS AND JOINTS MUST BE WATERPROOF WHEN WITHIN 150mm OF A BATH OR SPA<br><br>NO REQUIREMENTS FOR JUNCTIONS AND JOINTS IN WALLS BENEAT THE LIP OF A BATH OR SPA | N/A                                                                                                                                         | TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES                           |
| NOTE: WHERE A SHOWER IS ABOVE A BATH OR SPA, USE REQUIREMENTS FOR SHOWER.                    |                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                          |                                                                                                                                             |                                                                                                                 |
| 10.2.5 OTHER AREAS                                                                           |                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                          |                                                                                                                                             |                                                                                                                 |
| LAUNDRIES AND WC'S                                                                           | FLOOR OF THE ROOM MUST BE WATER RESISTANT                                                                                                                                       | N/A                                                                                                                                                                                                                                                                                                                                                                          | N/A                                                                                                                                                                      | WALL/FLOOR JUNCTIONS MUST BE WATER RESISTANT, AND WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST NOT BE LESS THAN 40mm                   | N/A                                                                                                             |
| WALLS ADJOINING OTHER VESSELS (E.G. SINK, BASIN OR LAUNDRY TUB)                              | N/A                                                                                                                                                                             | WALLS MUST BE WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75mm OF A WALL                                                                                                                                                                                                                   | WATERPROOF WALL JUNCTIONS WHERE A VESSEL IS FIXED TO A WALL                                                                                                              | N/A                                                                                                                                         | WATERPROOF TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN SURFACES REQUIRED TO BE WATERPROOF OR WATER RESISTANT |
| NOTE: N/A MEAS NOT APPLICABLE.                                                               |                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                          |                                                                                                                                             |                                                                                                                 |
| 10.2.5 OTHER AREAS CONT.                                                                     |                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                          |                                                                                                                                             |                                                                                                                 |
| WCS WITH HANDHELD BIDET SPRAY INSTALLATIONS                                                  | FLOOR OF THE ROOM MUST BE WATERPROOF                                                                                                                                            | WALLS MUST BE WATERPROOF IN WC AREA WITHIN A 900mm RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE FLOOR SUBSTRATE; AND<br><br>WATER RESISTANT IN WC AREA WITHIN A 900mm RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE TO NOT LESS THAN 1200mm ABOVE THE FINISHED FLOOR LEVEL OF THE WC | WALL JUNCTIONS WITHIN THE WC AREA WITHIN 900mm RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF                                     | WALL/FLOOR JUNCTIONS WITHIN THE WC AREA WITHIN 1000mm RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF | PENETRATIONS IN THE WC AREA MUST BE WATERPROOF                                                                  |



WET AREA PART PLAN LEGEND

- 1,500mm RADIUS FROM SHOWER HEAD
- FALL FLOOR IN DIRECTION OF ARROW MINIMUM 1:80 MAXIMUM 1:50

SEWER PIPE SIZES AND GRADES  
FLOOR WASTE (F.W.) DIA 65mm, 1: 40  
SHOWER DIA 50mm, 1: 40

PLANS  
TOBUILD

ABN 23 269 055 701  
Level 1, Holyman House, 52-60 Brisbane St,  
Launceston, Tasmania, 7250.  
Tel - 6388 9287 - Mob - 0400 655 771  
Email - leigh@planstobuild.com.au  
**L.M.DELL LIC. No. CC5932 G**

Owner:  
**T. MEURE**

|      |                        |               |
|------|------------------------|---------------|
|      |                        |               |
| rev. | Amendment              | Date          |
|      | DRAWING No: <b>A08</b> | ISSUE: #Issue |
|      | 9 of 18                | REV: 0        |

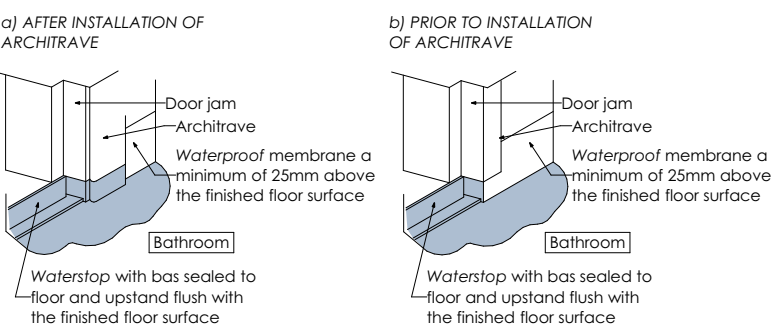
RETROSPECTIVE APPROVAL

34 NAPIER STREET, BEAUTY POINT TAS 7270

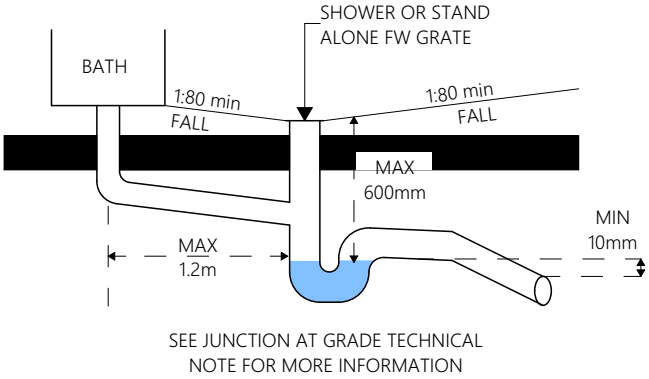
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PROJECT NUMBER: 26038  
SCALE: IF IN DOUBT ASK SCALE @ A3  
PRINT DATE: 17/06/2026

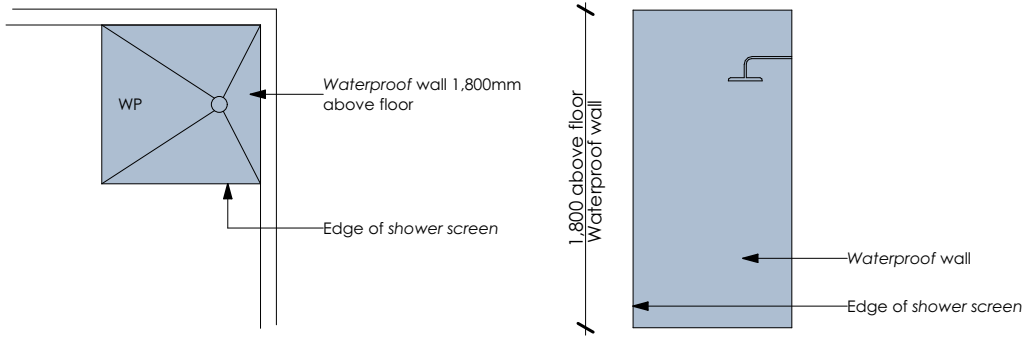
TYPICAL BATHROOM DOOR DETAILS FOR WHOLE BATHROOM WATERPROOFING



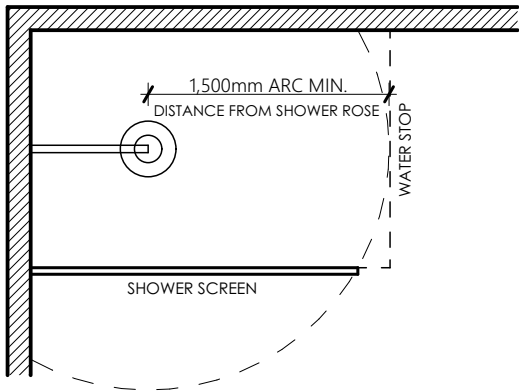
AS/NZS 3500.2:2021 -  
SANITARY PLUMBING AND DRAINAGE  
PART 13.9 | BATHS



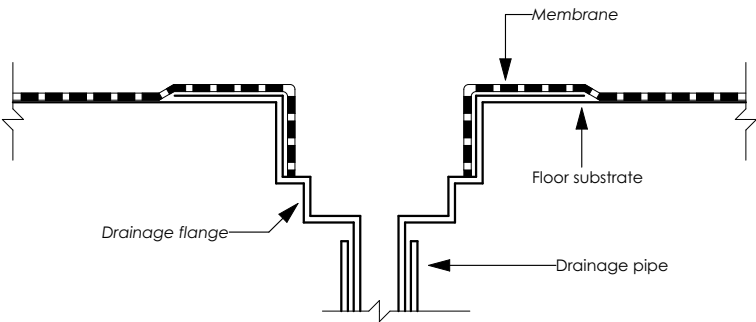
EXTENT OF TREATMENT FOR SHOWER ACCESS-  
CONCRETE COMPRESSED FC AND FC SHEET FLOORS



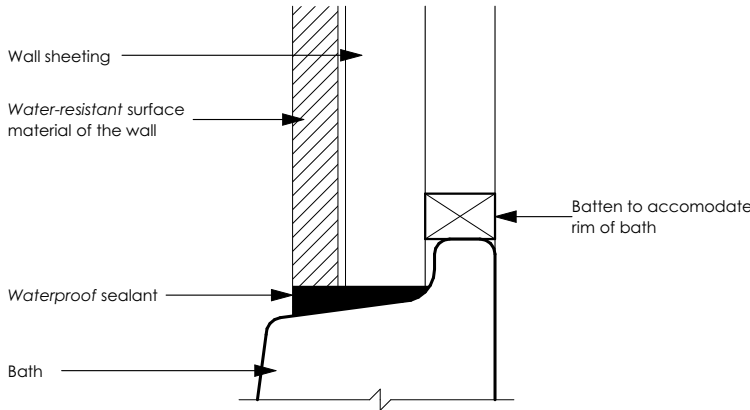
WATERSTOP MINIMUM DISTANCE  
FROM SHOWER ROSE



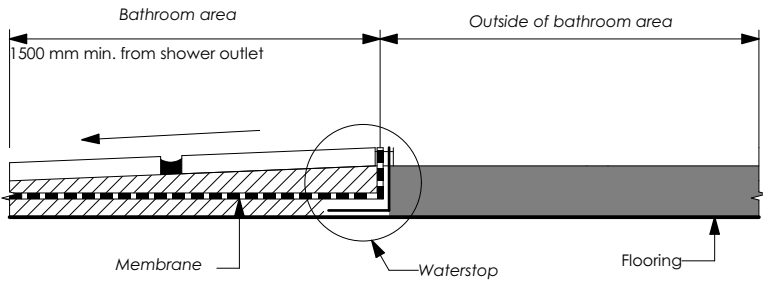
TYPICAL MEMBRANE TERMINATION AT  
DRAINAGE OUTLET



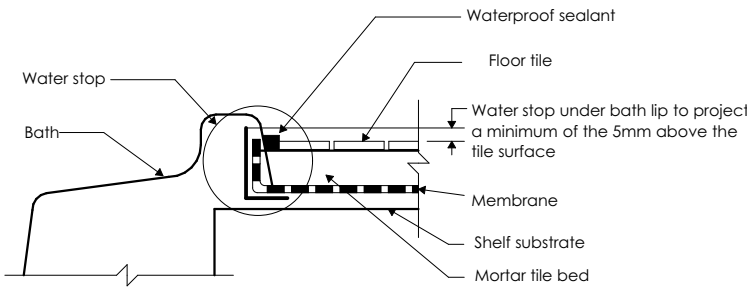
TYPICAL BATH JUNCTION  
(BATH/WALL JUNCTION BATTENED)



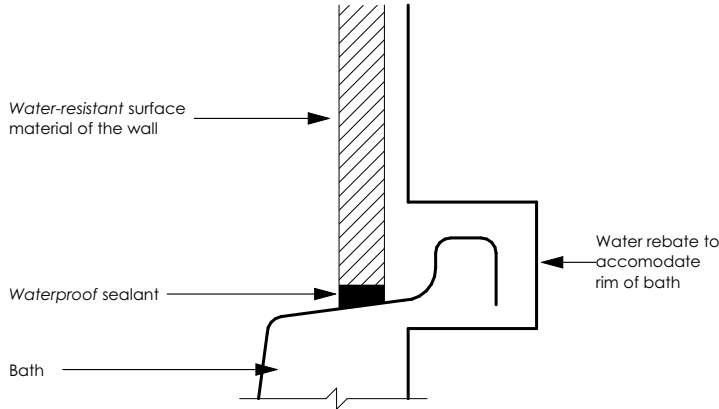
TYPICAL TERMINATION OF MEMBRANE  
AT EXTENT OF BATHROOM AREA  
(FLAT BATHROOM SIDE)



TYPICAL BATH JUNCTION  
(BATH/SHELF JUNCTION)



TYPICAL BATH JUNCTION  
(BATH/WALL JUNCTION BATTENED)



RETROSPECTIVE APPROVAL

34 NAPIER STREET, BEAUTY POINT TAS 7270

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DRAWING No:  
A09

Date  
ISSUE: #Issue  
REV: 0

Owner:  
T. MEURE

PLANS  
TO BUILD

ABN 23 269 055 701  
Level 1, Holyman House, 52-60 Brisbane St,  
Launceston, Tasmania, 7250.  
Tel - 6388 9287 - Mob - 0400 655 771  
Email - leigh@planstobuild.com.au  
L.M.DELL LIC. No. CC5932 G

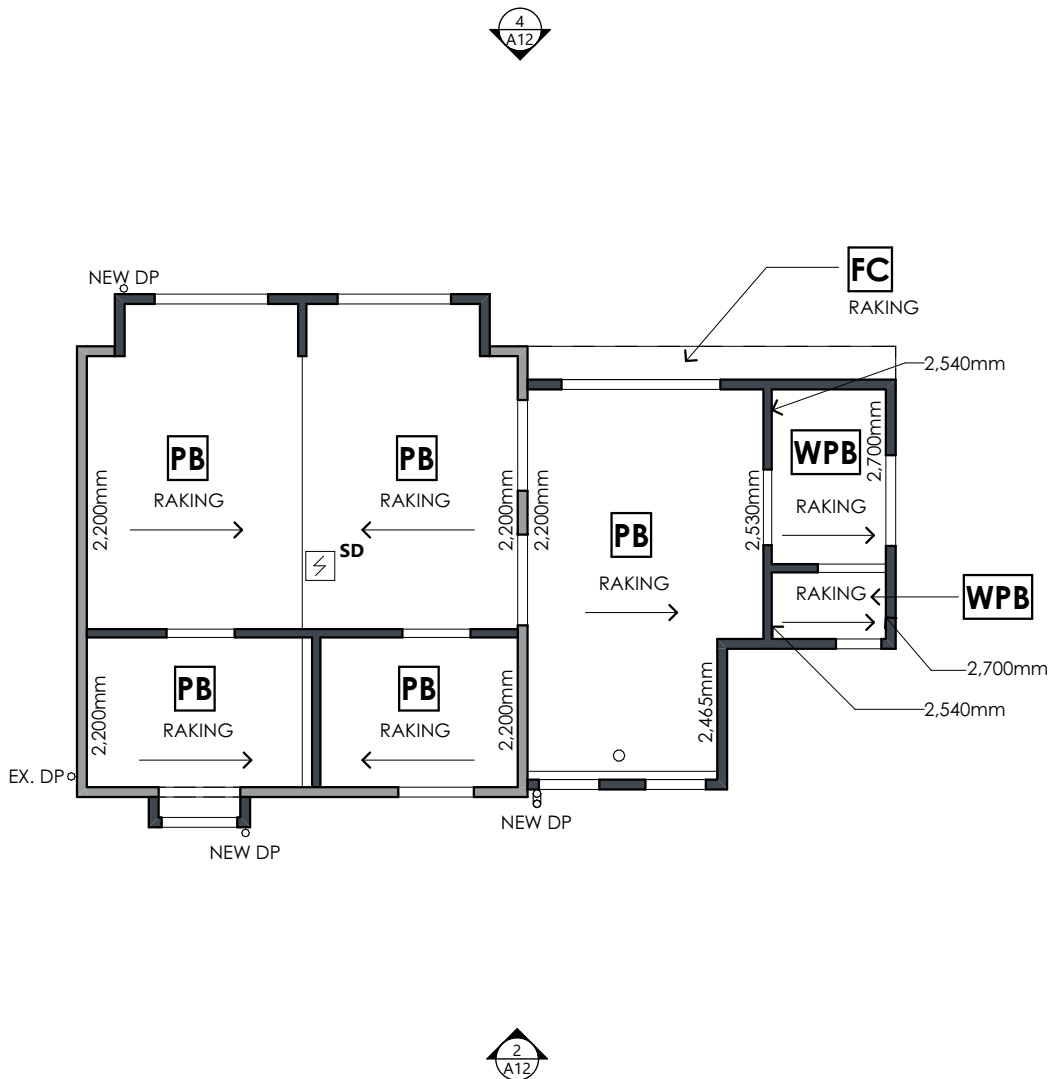
REFLECTED CEILING LEGEND

- PB

1 LAYER OF 10mm PLASTERBOARD OR EQUAL, PAINT FINISH.
- WPB

1 LAYER OF 10mm WATERPROOF PLASTERBOARD OR EQUAL, PAINT FINISH.
- FC

1 LAYER OF 6mm FIBRE CEMENT SOFFIT LINING, WEATHERPROOF PAINT FINISH.





REFLECTED CEILING PLAN  
SCALE 1:100  
0mm 1000 2000 3000 4000 5000

Project North

RETROSPECTIVE APPROVAL

34 NAPIER STREET, BEAUTY POINT TAS 7270

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|------|-----------------|---------------|
|      | DRAWING No: A10 | ISSUE: #Issue |
|      | 11 of 18        | REV: 0        |

ROOF PLAN NOTES

METAL SHEET ROOFING SHALL BE IN ACCORDANCE WITH PART 3.5.1. OF THE BCA. WHEREVER POSSIBLE HAVE THE SHEETS LAID SO THAT THE SIDE LAPS ARE FACING AWAY FROM THE PREVAILING WEATHER.

GUTTERS AND DOWNPIPES SHALL BE IN ACCORDANCE WITH PART 3.5.2 OF THE BCA. ALL DWV PVC DOWNPIPES TO BE JOINTED WITH APPROVED SOLVENT AND PRIMER. PAINT FINISH.

AN AUSTRALIAN STANDARD ROOF SAFETY MESH OR AN APPROVED ROOF SAFETY HARNESS OR RESTRAINT SYSTEM SHALL BE USED DURING INSTALLATION.

ROOF SHEETS MUST BE LAID WHEREVER POSSIBLE USING COMPLETE LENGTHS FROM RIDGES TO EAVES. SHEET METAL ROOF, CAPPINGS, FLASHINGS AND PENETRATIONS ARE TO COMPLY WITH PARTS 3.5.1.2 & 3.5.1.3 AND OF THE BCA.

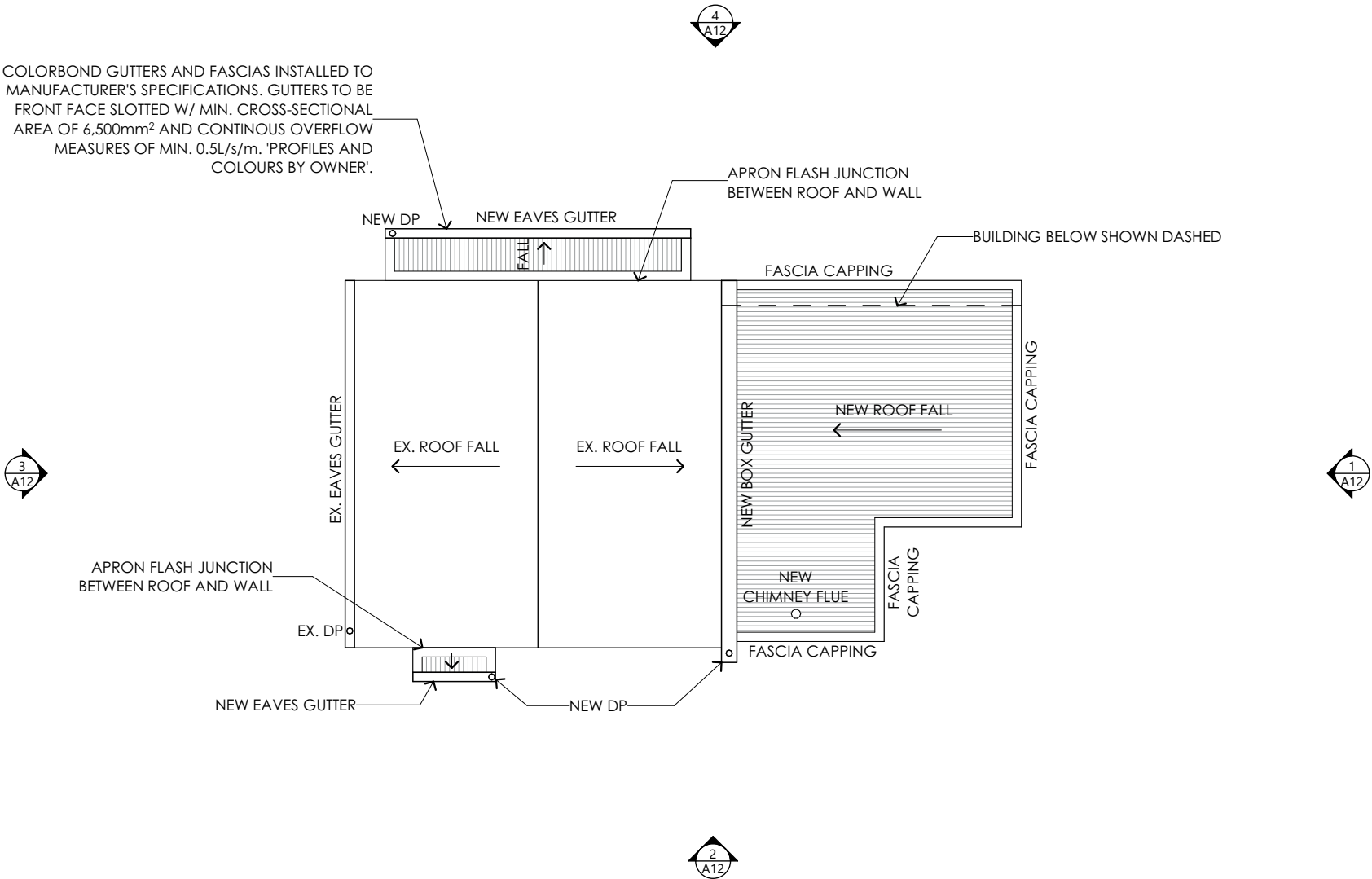
REFER TO ENGINEERS DETAILS FOR ROOF FRAMING. ENSURE THE ROOF SPACE IS VENTILATED AT THE RIDGE CAPPING AND VIA VENTS LOCATED AT THE EAVES.

ROOF BATTENS MUST BE FIXED IN ACCORDANCE WITH AS 1684.4 SECTION 9 TABLES 9.2 TO 9.7.

REFER TO INSULATION SCHEDULE FOR INSULATION REQUIREMENTS.

GUTTERS INSTALLED IN ACCORDANCE WITH PART 3.5.3 OF THE BCA, NCC. 1 IN 500 FALL.

BOX GUTTERS WITH 1 IN 100 FALL AND IN ACCORDANCE WITH AS/NZS 3500.3



Project North

0mm10002000300040005000

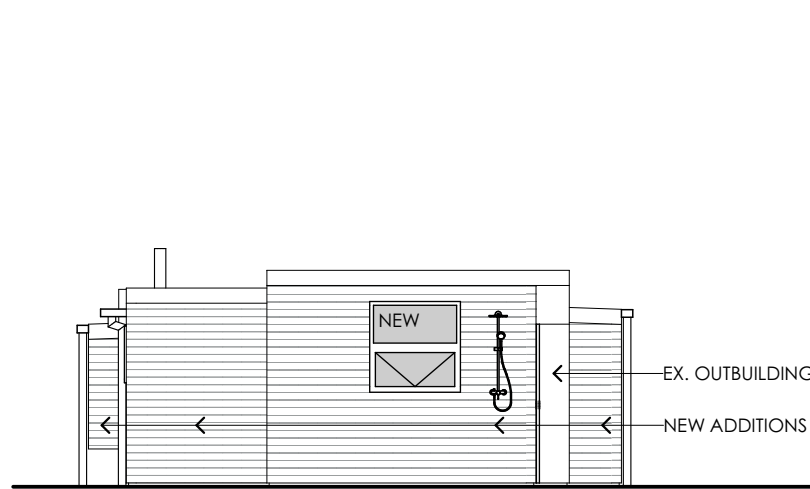
ROOF PLAN  
SCALE 1:100

RETROSPECTIVE APPROVAL

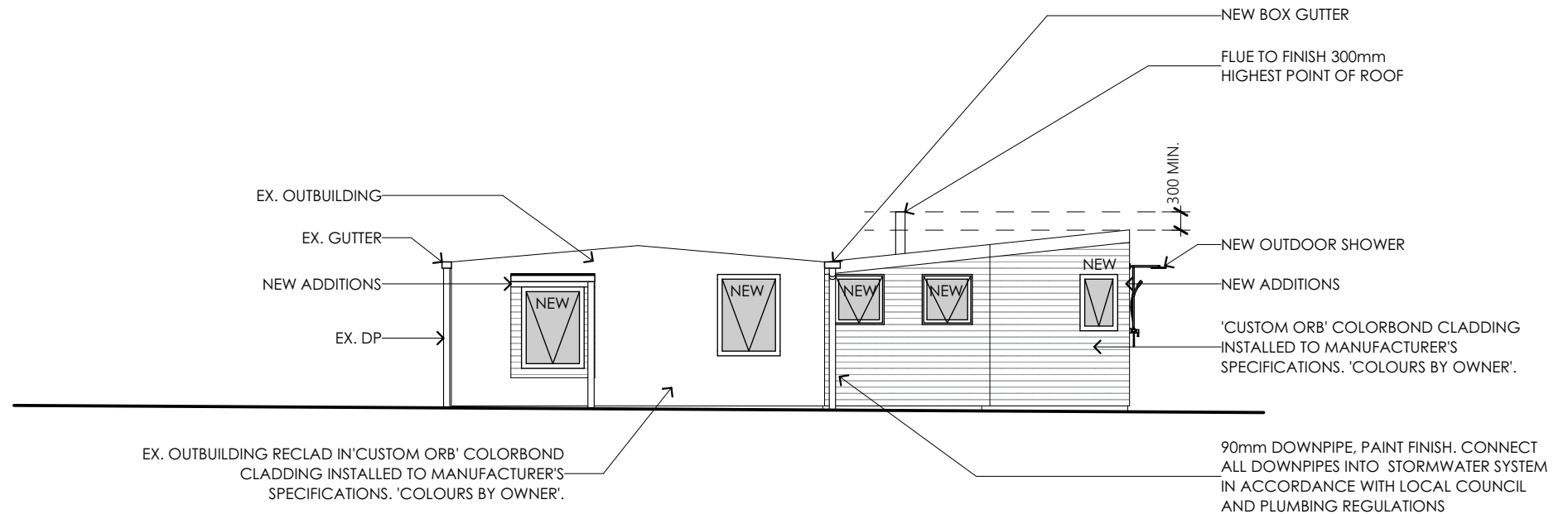
34 NAPIER STREET, BEAUTY POINT TAS 7270

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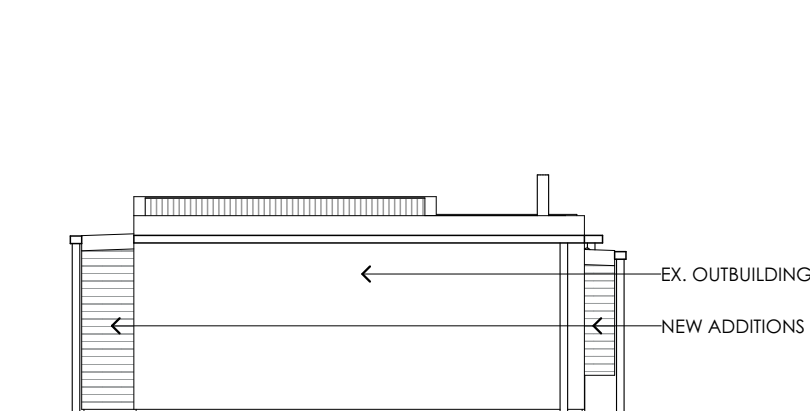
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| PROJECT NUMBER:<br>26038 | SCALE: IF IN DOUBT ASK<br>SCALE @ A3 | PRINT DATE:<br>17/06/2026 | rev. Amendment<br>Date | DRAWING No:<br>A11 | ISSUE: #Issue<br>REV: 0 |
|                          |                                      |                           |                        | 12 of 18           |                         |



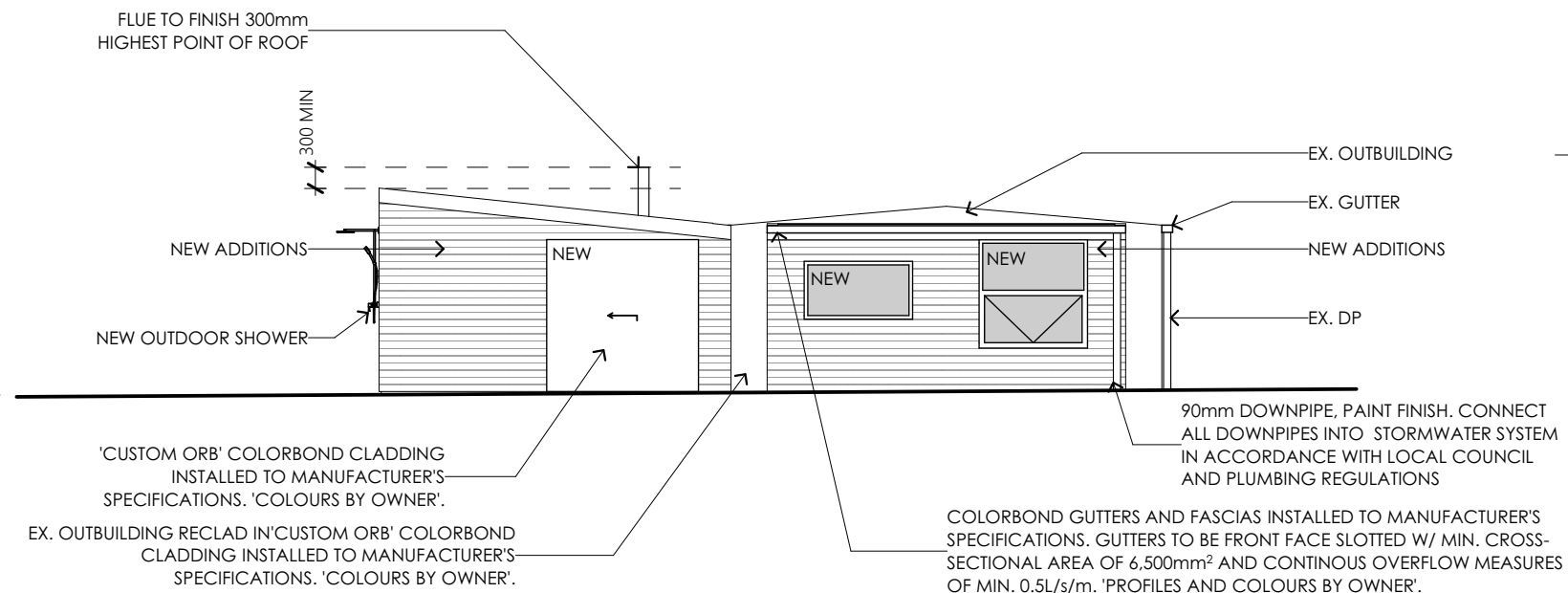
1 NORTHERN ELEVATION  
SCALE 1:100  
0mm 1000 2000 3000 4000 5000



2 EASTERN ELEVATION  
SCALE 1:100  
0mm 1000 2000 3000 4000 5000



3 SOUTHERN ELEVATION  
SCALE 1:100  
0mm 1000 2000 3000 4000 5000



4 WESTERN ELEVATION  
SCALE 1:100  
0mm 1000 2000 3000 4000 5000

# RETROSPECTIVE APPROVAL

34 NAPIER STREET, BEAUTY POINT TAS 7270

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| DRAWING No: | A12       | ISSUE: #Issue |
| REV: 0      | 13 of 18  |               |

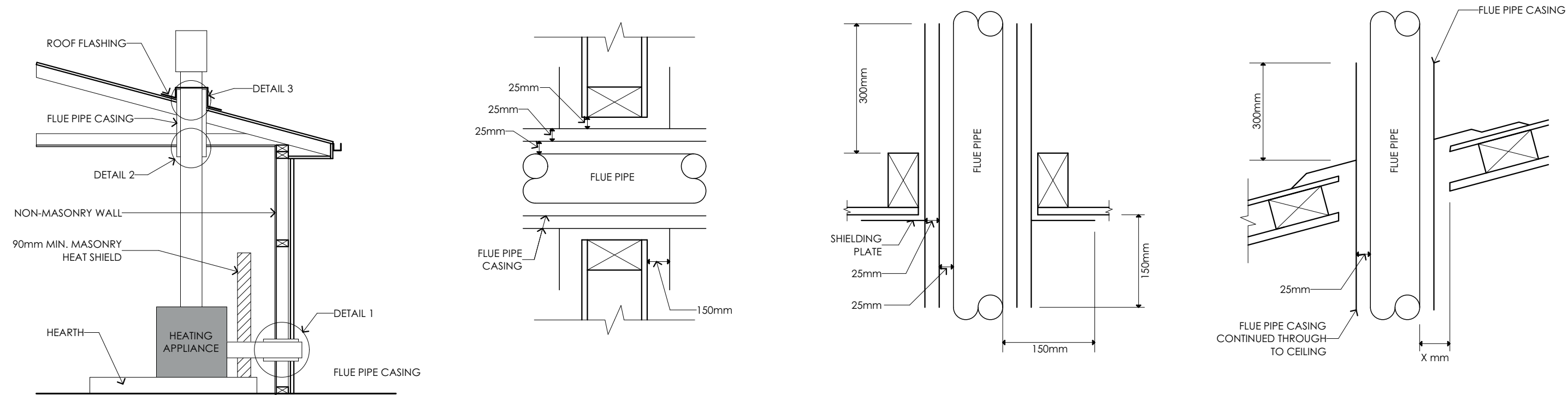
FREE STANDING HEATING APPLIANCES DETAILS

ACCEPTABLE FLUE INSTALLATION DETAILS

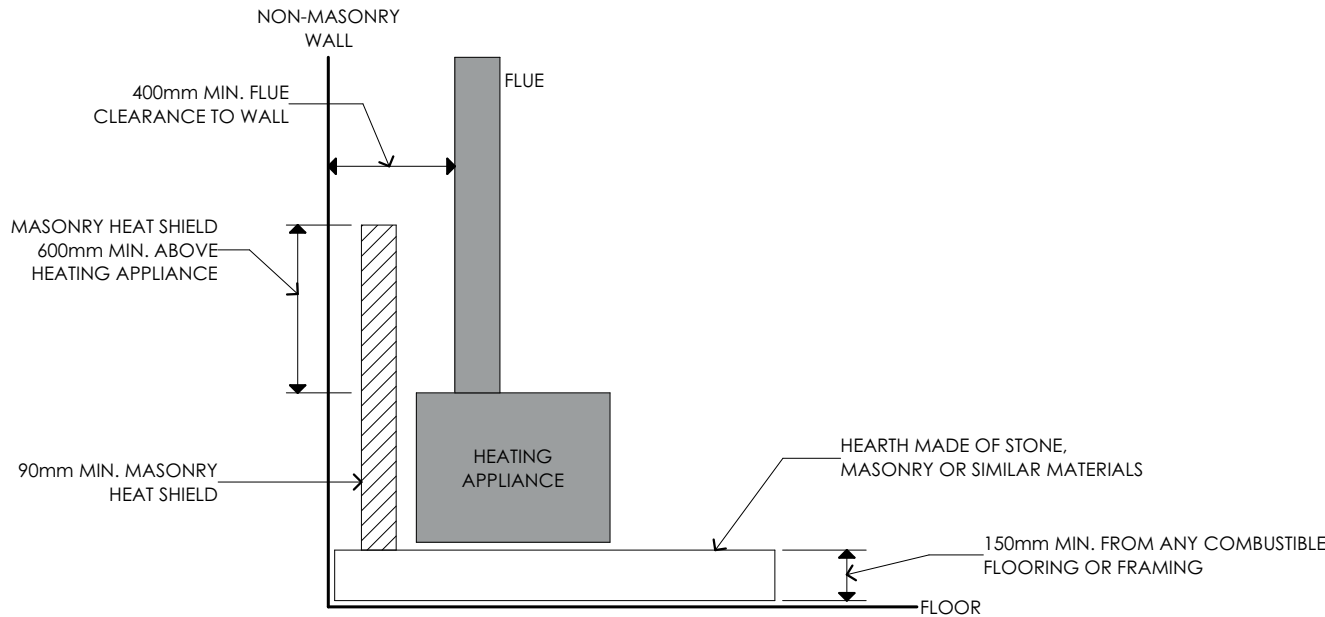
DETAIL 1

DETAIL 2

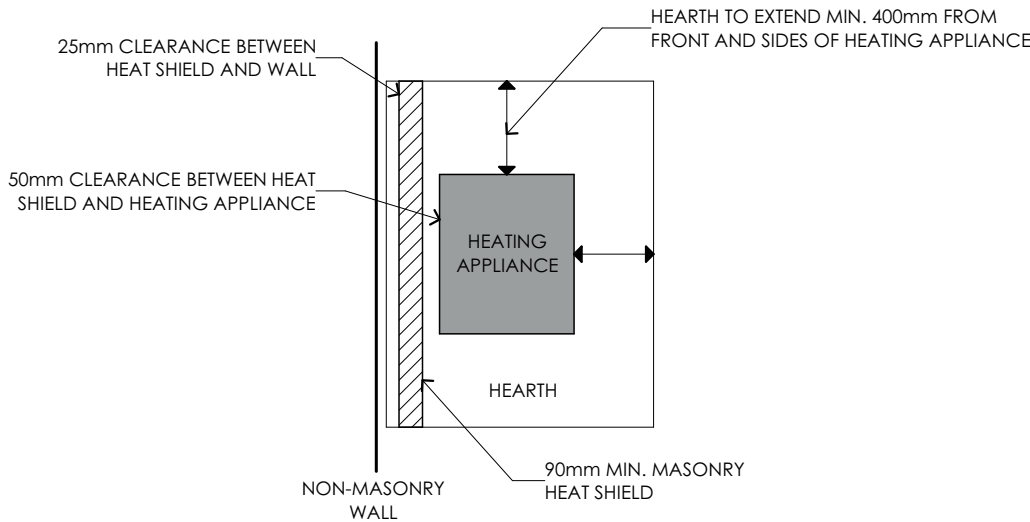
DETAIL 3



ACCEPTABLE LOCATION OF FREE STANDING HEATING APPLIANCES ADJACENT TO A NON-MASONRY WALL WITH HEAT SHIELD (SECTION)



ACCEPTABLE LOCATION OF FREE STANDING HEATING APPLIANCES ADJACENT TO A NON-MASONRY WALL WITH HEAT SHIELD (PLAN)



RETROSPECTIVE APPROVAL

34 NAPIER STREET, BEAUTY POINT TAS 7270

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PROJECT NUMBER: 26038  
SCALE: IF IN DOUBT ASK SCALE @ A3  
PRINT DATE: 17/06/2026

PLANS TO BUILD  
ABN 23 269 055 701  
Level 1, Holyman House, 52-60 Brisbane St, Launceston, Tasmania, 7250.  
Tel - 6388 9287 - Mob - 0400 655 771  
Email - leigh@planstobuild.com.au  
L.M.DELL LIC. No. CC5932 G

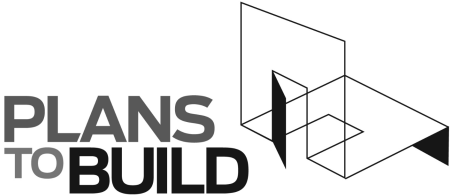
Owner:  
T. MEURE

| rev. | Amendment       | Date          |
|------|-----------------|---------------|
|      | DRAWING No: A13 | ISSUE: #Issue |
|      | 14 of 18        | REV: 0        |

# 10.2 WET AREA WATERPROOFING NOTES

## REQUIREMENTS FOR BUILDING ELEMENTS IN WET AREAS NOTES (10.2.6 - 10.2.32)

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| <b>10.2.6 WATERPROOFING SYSTEMS</b><br><br>(2) FOR A WATERPROOFING SYSTEM REQUIRED TO BE WATERPROOF IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS NOMINATED IN 10.2.8 MUST BE USED.<br><br>(3) FOR A WATERPROOFING SYSTEM REQUIRED TO BE WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS NOMINATED IN 10.2.9 MUST BE USED IN CONJUNCTION WITH THE MATERIALS IN 10.2.10.                                                                                                                                                                                                                                                                                                                                                         | <b>10.2.10 MATERIALS - WATER RESISTANT SURFACE MATERIALS CONT.</b><br><br>(b) FOR FLOORS, WHEN USED IN CONJUNCTION WITH A SUBSTRATE LISTED IN 10.2.9<br><br>(i) TILES<br>(ii) WATER RESISTANT FLEXIBLE SHEET FLOORING MATERIAL WITH SEALED JOINTS<br><br>(c) CONCRETE TREATED TO RESIST MOISTURE MOVEMENT                                                                                                                                                                              | <b>10.2.18 UNENCLOSED SHOWERS</b><br><br>(1) UNENCLOSED SHOWERS MUST BE CONSTRUCTED AS FOLLOWS:<br><br>(a) A WATERSTOP MUST BE INSTALLED A MINIMUM HORIZONTAL DISTANCE OF 1500mm FROM THE SHOWER ROSE<br>(b) THE VERTICAL LEG OF THE WATERSTOP MUST FINISH-<br><br>(i) FLUSH WITH THE TOP SURFACE OF THE FLOOR; AND<br>(ii) WHERE THE WATERSTOP INTERSECTS WITH A WALL OR IS JOINED-<br>(A) THE JUNCTION MUST BE WATERPROOF; OR<br>(B) THE WHOLE WET AREA FLOOR MUST BE WATERPROOFED AND DRAINED TO A FLOOR WASTE AS FOR THE SHOWER AREA<br><br>(2) IN THE CASE OF (1)(b)(ii)(B), AT DOORWAYS, WHERE THE HEIGHT OF THE TILING ANGLE NEEDS TO BE ADJUSTED FOR TILING PURPOSES, THE ANGLE MUST BE FIXED WITH A SEALANT COMPATIBLE WITH THE WATERPROOFING MEMBRANE WITHOUT DAMAGING THE WATERPROOFING SYSTEM | <b>10.2.23 PENETRATIONS CONT.</b><br><br>(b) THE SPINDLE HOUSING OF THE TAP BODY MUST BE ABLE TO BE REMOVED TO ENABLE REPLACEMENT OF THE WASHER WITHOUT DAMAGING THE SEAL<br>(c) THE FOLLOWING MUST BE WATERPROOFED:<br><br>(i) ALL PENETRATIONS DUE TO MECHANICAL FIXINGS OR FASTENINGS OF SUBSTRATE MATERIALS<br>(ii) ANY PENETRATION OF THE SURFACE MATERIALS DUE TO MECHANICAL FIXINGS OR FASTENINGS<br>(iii) RECESSED SOAP HOLDERS (NICHS) AND THE LIKE<br><br>(d) TAP AND SPOUT PENETRATIONS ON HORIZONTAL SURFACES SURROUNDING BATHS AND SPAS MUST BE WATERPROOFED BY-<br><br>(i) SEALING THE TAP BODY TO THE SUBSTRATE SEALANTS; OR<br>(ii) PROPRIETARY FLANGE SYSTEMS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | <b>10.2.25 SHOWER AREA FLOOR MEMBRANE APPLICATION</b><br><br>FOR HOBLESS SHOWERS, OR SHOWERS WITH HOBBS OR STEPDOWN, THE MEMBRANE MUST BE APPLIED OVER THE FLOOR AND UP THE VERTICAL FACE OF THE WALL SUBSTRATE TO A MINIMUM HEIGHT OF 1800mm ABOVE THE FINISHED TILE LEVEL OF THE FLOOR<br><br><b>10.2.26 SHOWER AREA MEMBRANE REQUIREMENTS FOR WALL SHEETING SUBSTRATES</b><br><br>(1) WHERE WALL SHEETING IS USED WITH AN EXTERNAL MEMBRANE SYSTEM IN A SHOWER AREA IT MUST BE WATERPROOF TO PREVENT WATERMOVEMENT BY CAPILLARY ACTION<br>(2) WHERE WATER RESISTANT PLASTERBOARD IS USED ALL CUT EDGES THAT HAVE THE POTENTIAL TO BE AFFECTED BY WATER AND MOISTURE MUST BE WATERPROOFED, INCLUDING THE BOTTOM EDGE OVER A PREFORMED SHOWER BASE                                                                                                                                                                                        | <b>10.2.30 DRAINAGE RISER CONNECTION</b><br><br>(1) WHERE A PREFORMED SHOWER BASE IS USED, THE DRAINAGE RISER MUST BE CONNECTED TO THE TRAY WITH A WATERPROOF JOINT<br>(2) WHERE AN IN SITU SHOWER TRAY IS USED, THE MEMBRANE MUST BE ABLE TO FORM A PERMANENT WATERPROOF SEAL TO THE DRAINAGE RISER OR DRAINAGE FLANGE                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <b>10.2.7 MATERIALS</b><br><br>WHERE REQUIRED TO BE INSTALLED IN ACCORDANCE WITH 10.2.2 TO 10.2.6, MATERIALS USED IN WET AREAS FORMING A WATERPROOFING SYSTEM MUST EITHER BE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH 10.2.8 AND 10.2.9                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | <b>10.2.11 CONSTRUCTION OF WET AREAS - WALL AND FLOOR SUBSTRATE MATERIALS</b><br><br>MATERIALS USED IN WALL AND FLOOR SUBSTRATES MUST COMPLY WITH 10.2.9                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <b>10.2.8 MATERIALS - WATERPROOF</b><br><br>THE FOLLOWING MATERIALS USED IN WATERPROOFING SYSTEMS ARE DEEMED TO BE WATERPROOF:<br><br>(a) STAINLESS STEEL<br>(b) FLEXIBLE WATERPROOF SHEET FLOORING MATERIAL WITH WATERPROOF JOINTS<br>(c) MEMBRANES COMPLYING WITH AS/NZS 4858<br>(d) WATERPROOF SEALANT                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | <b>10.2.12 CONSTRUCTION OF WET AREAS - FALLS</b><br><br>WHERE A FLOOR WASTE IS INSTALLED-<br><br>(a) THE MINIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:80; AND<br>(b) THE MAXIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:50                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | <b>10.2.24 FLASHINGS/JUNCTIONS</b><br><br>FLASHINGS MUST BE INSTALLED IN ACCORDANCE WITH 10.2.2 TO 10.2.5 AND THE FOLLOWING:<br><br>(a) PERIMETER FLASHING TO WALL/FLOOR JUNCTIONS MUST HAVE A-<br><br>(i) VERTICAL LEG THAT EXTENDS A MINIMUM OF 25mm ABOVE THE FINISHED FLOOR LEVEL, EXCEPT ACROSS DOORWAYS; AND<br>(ii) HORIZONTAL LEG THAT HAS A MINIMUM WIDTH OF NOT LESS THAN 50mm<br><br>(b) WHERE A WATER RESISTANT SUBSTRATE IS USED IN CONJUNCTION WITH A WATER RESISTANT SURFACE MATERIAL, A WATERPROOF SEALANT MUST BE INSTALLED AT THE SUBSTRATE JUNCTION AT THE WALL/FLOOR JUNCTION<br>(c) PERIMTER FLASHINGS AT A FLOOR LEVEL OPENING MUST COMPLY WITH THE FOLLOWING:<br><br>(i) WHERE THE WHOLE WET AREA FLOOR IS WATERPROOF, AT FLOOR LEVEL OPENINGS, A WATERSTOP MUST BE INSTALLED THAT HAS A VERTICAL LEG FINISHING FLUSH WITH THE TOP OF THE FINISHED FLOOR LEVEL WITH THE FLOOR MEMBRANE BEING TERMINATED TO CREATE A WTAERPROOF SEAL TO THE WATERSTOP AND TO THE PERIMETER FLASHING<br>(ii) IN ANY OTHER CASE, AT A FLOOR LEVEL OPENING A WATERSTOP MUST BE INSTALLED THAT HAS A VERTICAL LEG FINISHING FLUSH WITH THE TOP OF THE FINISHED FLOOR LEVEL AND WATERPROOFED TO THE PERIMETER FLASHING<br><br>(d) A VERTICAL FLASHING, EITHER EXTERNAL TO THE WET AREA OR INTERNAL, MUST EXTEND A MINIMUM OF 1800mm ABOVE THE FINISHED FLOOR LEVEL | <b>10.2.27 BOND BREAKER INSTALLATION FOR BONDED MEMBRANES</b><br><br>(1) BOND BREAKERS MUST BE INSTALLED AT ALL WALL/WALL, WALL/FLOOR, HOB/WALL JUNCTIONS AND AT MOVEMENT JOINTS WHERE THE MEMBRANE IS BONDED TO THE SUBSTRATE<br>(2) BOND BREAKERS MUST BE OF THE TYPE COMPATIBLE WITH THE FLEXIBILITY CLASS OF THE MEMBRANE TO BE USED                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <b>10.2.9 MATERIALS - WATER RESISTANT SUBSTRATES</b><br><br>THE FOLLOWING MATERIALS ARE DEEMED TO BE WATER RESISTANT:<br><br>(a) FOR WALLS:<br><br>(i) CONCRETE COMPLYING WITH AS 3600, TREATED TO RESIST MOISTURE MOVEMENT<br>(ii) CEMENT RENDER, TREATED TO RESIST MOISTURE MOVEMENT<br>(iii) COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2<br>(iv) WATER RESISTANT PLASTERBOARD SHEETING<br>(v) MASONRY IN ACCORDANCE WITH AS 3700, TREATED TO RESIST MOISTURE MOVEMENT<br><br>(b) FOR FLOORS:<br><br>(i) CONCRETE COMPLYING WITH AS 3600<br>(ii) CONCRETE SLABS COMPLYING WITH AS 2870<br>(iii) COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2 AND SUPPORTED ON A STRUCTURAL FLOOR | <b>10.2.13 CONSTRUCTION OF WET AREAS - WALL AND FLOOR SURFACE MATERIALS</b><br><br>WALL AND FLOOR SURFACE MATERIALS MUST COMPLY WITH 10.2.10                                                                                                                                                                                                                                                                                                                                           | <b>10.2.19 PREFORMED SHOWER BASES</b><br><br>PREFORMED SHOWER BASES MUST-<br><br>(a) HAVE AN UPTURN LIP; AND<br>(b) BE RECESSED INTO THE WALL TO ALLOW THE WATER RESISTANT SURFACE MATERIALS AND SUBSTRATE MATERIALS TO PASS DOWN INSIDE THE PERIMETER UPTURN LIP OF THE SHOWER BASE; AND<br>(c) BE SUPPORTED TO PREVENT DISTORTION OR CRACKING                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <b>10.2.21 MEMBRANE INSTALLATION FOR SCREED</b><br><br>WHERE A SCREED IS USED IN CONJUNCTION WITH A WATERPROOF MEMBRANE, THE WATERPROOF MEMBRANE CAN BE INSTALLED EITHER ABOVE OR BELOW THE TILE BED OR SCREED                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | <b>10.2.28 INSTALLATION OF INTERNAL MEMBRANES</b><br><br>(1) WHERE A SHOWER HAS A HOB THE MEMBRANE MUST BE BROUGHT OVER THE TOP OF THE HOB, DOWN THE OUTSIDE FACE AND TERMINATE NOT LESS THAN 50mm ONTO THE FLOOR<br>(2) WHERE THE SHOWER HAS A WATERSTOP, THE MEMBRANE MUST BE BROUGHT TO THE TOP OF THE FINISHED FLOOR, EXCEPT WHERE IT IS UNDER A FRAMED SHOWER SCREEN WHERE IT MUST TERMINATE NOT LESS THAN 5mm ABOVE THE FINISHED TILE SURFACE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <b>10.2.10 MATERIALS - WATER RESISTANT SURFACE MATERIALS</b><br><br>THE FOLLOWING SURFACE MATERIALS ARE DEEMED TO BE WATER RESISTANT:<br><br>(a) FOR WALLS:<br><br>(i) THERMOSETTING LAMINATE<br>(ii) PRE-DECORATED COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2<br>(iii) TILES WHEN USED IN CONJUNCTION WITH A SUBSTRATE LISTED IN 10.2.9<br>(iv) WATER RESISTANT FLEXIBLE SHEET WALL MATERIAL WITH SEALED JOINTS WHEN USED IN CONJUNCTION WITH A SUBSTRATE LISTED IN 10.2.9<br>(v) SANITARY GRADE ACRYLIC LININGS                                                                                                                                                                                                   | <b>10.2.14 SHOWER AREA REQUIREMENTS</b><br><br>SHOWER AREAS MUST BE DESIGNED AS EITHER ENCLOSED OR UNENCLOSED -<br><br>(a) TO INCLUDE A FLOOR WASTE WITH FALLS COMPLYING WITH 10.2.12 AND<br>(b) WITH A-<br><br>(i) STEPDOWN COMPLYING WITH 10.2.15; OR<br>(ii) HOB COMPLYING WITH 10.2.16; OR<br>(iii) LEVEL THRESHOLD COMPLYING 10.2.17                                                                                                                                              | <b>10.2.20 BATHS AND SPAS</b><br><br>BATHS AND SPAS, EXCEPT FREESTANDING BATHS AND SPAS, MUST-<br><br>(a) HAVE AN UPTURN LIP; AND<br>(b) BE RECESSED INTO THE WALL; AND<br>(c) HAVE THE WATER RESISTANT SUBSTRATE MATERIALS OF THE WALL PASS DOWN INSIDE THE UPTURN LIP                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | <b>10.2.22 SUBSTRATE SURFACE PREPARATION FOR APPLICATION OF MEMBRANE</b><br><br>THE SUBSTRATE SURFACE WHERE A MEMBRANE IS TO BE APPLIED MUST-<br><br>(a) BE CLEAN AND DUST FREE; AND<br>(b) FREE OF INDENTATIONS AND IMPERFECTIONS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | <b>10.2.29 INSTALLATION OF INTERNAL MEMBRANES</b><br><br>(1) MEMBRANE DRAINAGE CONNECTIONS IN CONCRETE FLOORS MUST COMPLY WITH ONE OF THE FOLLOWING:<br><br>(a) A DRAINAGE FLANGE MUST BE INSTALLED WITH THE WATERPROOFING MEMBRANE TERMINATED AT OR IN THE DRAINAGE FLANGE TO PROVIDE A WATERPROOF CONNECTION<br>(b) WHERE A PREFORMED SHOWER BASE IS USED, PROVISION MUST BE MADE TO DRAIN THE TILE BED AND PROVIDE A WATERPROOF CONNECTION TO THE DRAIN<br><br>(2) FOR MEMBRANE DRAINAGE CONNECTIONS IN OTHER FLOORS, A DRAINAGE FLANGE MUST BE INSTALLED WITH THE WATERPROOFING MEMBRANE TERMINATED AT OR IN THE DRAINAGE FLANGE TO PROVIDE A WATERPROOF CONNECTION<br>(3) WHERE A PREFORMED SHOWER BASE IS USED, PROVISION MUST BE MADE TO DRAIN THE TILE BED AND PROVIDE A WATERPROOF CONNECTION TO THE DRAIN<br>(4) FLOOR WASTES MUST BE OF SUFFICIENT HEIGHT TO SUIT THE THICKNESS OF THE TILE AND TILE BED AT THE OUTLET POSITION | <b>10.2.31 DOOR JAMBS ON TILED FLOORS</b><br><br>WHERE THE BOTTOM OF A DOOR JAMB DOES NOT FINISH ABOVE THE FLOOR TILING, THE PORTION OF THE DOOR FRAME BELOW THE FLOOR TILING MUST BE WATERPROOFED TO PROVIDE A CONTINUOUS SEAL BETWEEN THE PERIMETER FLASHING AND THE WATERSTOP                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | <b>10.2.15 STEPDOWN SHOWERS</b><br><br>FOR STEPDOWN SHOWERS, THE HIGHEST FINISHED FLOOR LEVEL OF THE SHOWER AREA MUST BE STEPPED DOWN A MINIMUM OF 25mm LOWER THAN THE FINISHED FLOOR LEVEL OUTSIDE THE SHOWER                                                                                                                                                                                                                                                                         | <b>10.2.23 PENETRATIONS</b><br><br>PENETRATIONS WITHIN SHOWER AREAS MUST COMPLY WITH THE FOLLOWING:<br><br>(a) PENETRATIONS FOR TAPS, SHOWER NOZZLES AND THE LIKE MUST BE WATERPROOFED BY SEALING WITH-<br><br>(i) SEALANTS; OR<br>(ii) PROPRIETARY FLANGE SYSTEMS; OR<br>(iii) A COMBINATION OF (i) AND (ii)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <b>EXPLANATORY INFORMATION: DRAINAGE FLANGES</b><br><br>-FOR MEMBRANE DRAINAGE CONNECTIONS IN CONCRETE FLOORS: DRAINAGE FLANGE MAY BE EITHER CAST INTO THE CONCRETE SLAB OR SET INTO THE TOP SURFACE OF THE CONCRETE SLAB OR THE TILE BED<br>- FOR MEMBRANE DRAINAGE CONNECTIONS IN OTHER FLOORS: DRAINAGE FLANGE MAY BE EITHER SET INTO THE FLOOR SUBSTRATE OR THE TILE BED                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | <b>10.2.32 SHOWER SCREENS</b><br><br>(1) FOR A SHOWER WITH A HOB, THE SHOWER SCREEN MUST BE INSTALLED FLUSH WITH THE SHOWER AREA SIDE OF THE HOB OR OVERHANG INTO THE SHOWER AREA<br>(2) FOR A SHOWER WITH A STEPDOWN, THE SHOWER SCREEN MUST BE INSTALLED FLUSH WITH THE FINISHED VERTICAL SURFACE OF THE STEPDOWN OF THE SHOWER AREA<br>(3) FOR A SHOWER WITHOUT A HOB OR STEPDOWN, THE SHOWER SCREEN MUST INCORPORATE OR BE MOUNTED ON AN INVERTED CHANNEL, POSITIONED OVER THE TOP OF THR WATERSTOP, THAT DEFINES THE SHOWER AREA<br>(4) FOR BATH END WALLS AND DIVIDING WALLS ABUTTING A SHOWER, THE SHOWER SCREEN MUST BE POSITIONED SO THAT THE BOTTOM EDGE WITHIN THE SHOWER AREA IS FLUSH WITH THE OUTSIDE EDGE OF THE BATH OR OVERHANGING INTO THE SHOWER AREA |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | <b>10.2.16 HOB CONSTRUCTION</b><br><br>(1) HOBBS MUST BE CONSTRUCTED OF-<br><br>(a) MASONRY; OR<br>(b) CONCRETE; OR<br>(c) AUTOCLAVED AERATED CONCRETE; OR<br>(d) EXTRUDED POLYURETHANE FOAM,<br><br>(2) ALL GAPS, JOINTS AND INTERSECTIONS OF THE HOB SUBSTRATE MUST BE MADE FLUSH BEFORE APPLICATION OF A MEMBRANE<br>(3) HOBBS MUST BE ADEQUATELY SECURED TO THE FLOOR AND SEALED AGAINST THE WALL PRIOR TO APPLYING A MEMBRANE<br>(4) TIMBER MUST NOT BE USED FOR HOB CONSTRUCTION | <b>CONT. NEXT COLUMN</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | <b>EXPLANATORY INFORMATION</b><br><br>-A SELF-DRAINING SUB-SILL IS CONSIDERED TO BE PART OF THE SHOWER SCREEN                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |



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# RETROSPECTIVE APPROVAL

34 NAPIER STREET, BEAUTY POINT TAS 7270

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

|                                 |                                             |                                  |                       |          |
|---------------------------------|---------------------------------------------|----------------------------------|-----------------------|----------|
| PROJECT NUMBER:<br><b>26038</b> | SCALE: IF IN DOUBT ASK<br><b>SCALE @ A3</b> | PRINT DATE:<br><b>17/06/2026</b> | rev. <b>Amendment</b> | Date     |
|                                 |                                             | DRAWING No:<br><b>A14</b>        | ISSUE: #Issue         |          |
|                                 |                                             |                                  | REV: 0                | 15 of 18 |

INSULATION SCHEDULE (BCA 3.12)

|                                           |                    |
|-------------------------------------------|--------------------|
| Region:-                                  | C                  |
| Climate Zone:-                            | 7.                 |
| WALLS                                     |                    |
| R- Value Min:-                            | R- 2.8             |
| R-Value of wall materials:-               | R- 0.42            |
| Reflective wall sisalation:-              | R- 0.05            |
| Combined wall insulation:-                | R- 2.50            |
| R- Value Walls Total:-                    | R- 2.97            |
| ROOF                                      |                    |
| R- Value Min:-                            | R- 5.1 - Upward    |
| R-Value of roof materials:-               | R- 0.21            |
| Foil backed 50mm thick insulation blanket | R- 1.00            |
| Bulk Ceiling insulation batts:-           | R- 4.10 (min)      |
| R- Value Roof Total:-                     | R- 5.31            |
| FLOORS                                    |                    |
| R- Value Floor Min:-                      | R- 2.75 - Downward |
| R-Value of Floor materials:-              | R- 0.51            |
| Added Floor insulation:-                  | R- 2.5             |
| R- Value Floor Total:-                    | R- 3.01            |

CORROSION TABLE

Corrosion protection for fixings. Defined in AS/NZS 2312.2 and described in AS 4312

| Category (ISO)                                      |         | Generic Examples                                                                                                                                                                                                                                                                                |
|-----------------------------------------------------|---------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| C3                                                  | Coastal | From 1km to 10 km inland along ocean front areas with breaking surf & significant salt spray. May be extended inland to 50km by prevailing winds & local conditions.<br><br>From 100m to 3 - 6km inland for a less sheltered bay or gulf.<br><br>From 50m to 1 km inland around sheltered bays. |
| Fixings in accordance with category above or better |         |                                                                                                                                                                                                                                                                                                 |

Table 3.5.1.1 Acceptable corrosion protection for metal sheeting

| Environment                                         | Location                                                                                                         | Minimum metal coating in accordance with AS 1397: Metallic coated steel    | Minimum metal coating in accordance with AS 1397: Metallic and organic coated steel |
|-----------------------------------------------------|------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------|-------------------------------------------------------------------------------------|
| Medium<br>(Mild steel corrosion rate 25 to 50 µm/y) | Typically more than 1 km from breaking surf or aggressive industrial areas or more than 50 m from sheltered bays | Z450 galvanised or AZ150 aluminium/zinc or AM125 aluminium/zinc/ magnesium | Z275 galvanised or AZ150 aluminium/zinc or AM100 aluminium/zinc/ magnesium          |

Table 6.3.9a Minimum protective coatings for structural steel members

| Environment                                         | Location                                                                                                        | Minimum metal coating:         |                                |                                    |
|-----------------------------------------------------|-----------------------------------------------------------------------------------------------------------------|--------------------------------|--------------------------------|------------------------------------|
|                                                     |                                                                                                                 | Option 1 (Hot dip galvanising) | Option 2 (Hot dip galvanising) | Option 3 (Paint) see Table 6.3.9b  |
| Medium<br>(Mild steel corrosion rate 25 to 50 µm/y) | Typically more than 1 km from breaking surf or aggressive industrial areas or more than 50m from sheltered bays | HDG225                         | -                              | ACL3, ACC4, ACC5, IZS1, PUR3, PUR4 |

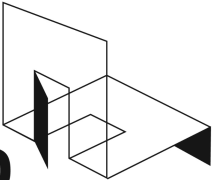
RETROSPECTIVE APPROVAL

34 NAPIER STREET, BEAUTY POINT TAS 7270

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

|                          |                                      |                           |                    |  |               |
|--------------------------|--------------------------------------|---------------------------|--------------------|--|---------------|
| PROJECT NUMBER:<br>26038 | SCALE: IF IN DOUBT ASK<br>SCALE @ A3 | PRINT DATE:<br>17/06/2026 | rev. Amendment     |  | Date          |
|                          |                                      |                           | DRAWING No:<br>A15 |  | ISSUE: #Issue |
|                          |                                      |                           | 16 of 18           |  | REV: 0        |

PLANS  
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LIVABLE HOUSING DESIGN STANDARDS

1 DWELLING ACCESS

1.1 STEP-FREE ACCESS PATH

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL STEP-FREE ACCESS PATHS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PART(S) 1.1.1 - 1.1.5

1.2 PARKING SPACE INCORPORATED INTO STEP-FREE ACCESS PATH

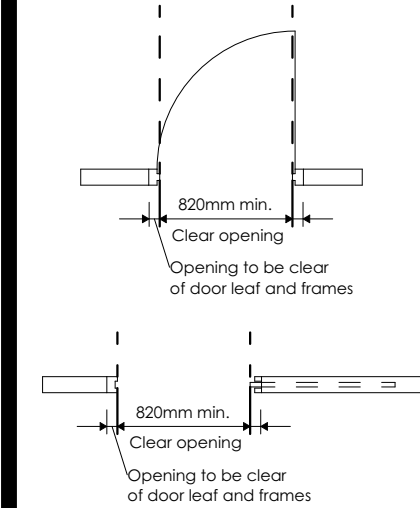
IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL PARKING SPACES INCORPORATED INTO STEP-FREE ACCESS PATHS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PART(S) 1.2.1 - 1.2.2

2 DWELLING ENTRANCE

2.1 CLEAR OPENING WIDTH

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL CLEAR OPENING WIDTHS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PART(S) 2.1.1 - 2.1.2 (SEE FIG 2.1 BELOW)

FIGURE 2.1 BELOW MEASUREMENT OF CLEAR OPENING WIDTH



2.2 THRESHOLD

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL THRESHOLDS OF AN ENTRANCE DOOR SUBJECT TO CLAUSE 2.1 SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PART(S) 2.2

2.3 LANDING AREA

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL LANDING AREAS OF AN ENTRANCE DOOR SUBJECT TO CLAUSE 2.1 SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PART(S) 2.3

2.4 WEATHERPROOFING FOR EXTERNAL STEP-FREE ENTRANCE

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL WEATHERPROOFING FOR EXTERNAL STEP-FREE ENTRANCES SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PART(S) 2.4

3 INTERNAL DOORS AND CORRIDORS

3.1 CLEAR OPENING WIDTH

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL CLEAR OPENING WIDTHS OF INTERNAL DOORS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PART (S) 3.1

3.2 THRESHOLD

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL THRESHOLDS OF INTERNAL DOORWAYS THAT ARE SUBJECT TO CLAUSE 3.1 SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PART(S) 3.2

3.3 CORRIDOR WIDTH

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL WIDTHS OF INTERNAL CORRIDORS, HALLWAYS AND PASSAGEWAYS CONNECTED TO A DOOR SUBJECT TO CLAUSE 3.1 SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PART(S) 3.3

4 SANITARY COMPARTMENT

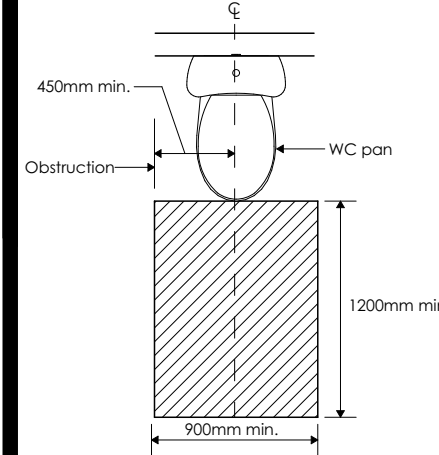
4.1 LOCATION

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, SANITARY COMPARTMENT LOCATIONS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PART(S) 4.1

4.2 CIRCULATION SPACE

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, THE CIRCULATION SPACE WITHIN A SANITARY COMPARTMENT SUBJECT TO CLAUSE 4.1 SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PART(S) 4.2 (SEE FIG 4.2 BELOW FOR TOILET PAN)

FIGURE 4.2 BELOW CIRCULATION SPACE FOR A TOILET PAN



5 SHOWER

5.1 APPLICATION

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, SHOWER APPLICATION SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PART(S) 5.1

5.2 HOBLESS AND STEP-FREE ENTRY

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, SHOWERS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PART(S) 5.2.1 - 5.2.2

6 REINFORCEMENT OF BATHROOM AND SANITARY COMPARTMENT WALLS

6.1 LOCATION

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, THE LOCATION OF REINFORCEMENT IN BATHROOM AND SANITARY COMPARTMENT WALLS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PART(S) 6.1.1- 6.1.3

6.2 CONSTRUCTION

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, THE CONSTRUCTION OF REINFORCEMENT IN BATHROOM AND SANITARY COMPARTMENT WALLS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PART(S) 6.2.1- 6.2.3 (SEE FIG(S) 6.2a, 6.2b, 6.2c, 6.2d, 6.2e, 6.2f AND 6.2g BELOW AND RIGHT)

FIGURE 6.2a BELOW LOCATION OF NOGGINGS FOR WALLS SURROUNDING A BATH

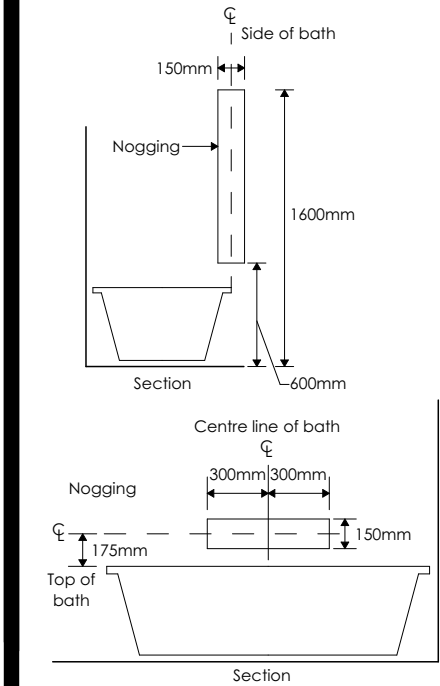


FIGURE 6.2b BELOW LOCATION OF SHEETING FOR WALLS SURROUNDING A BATH

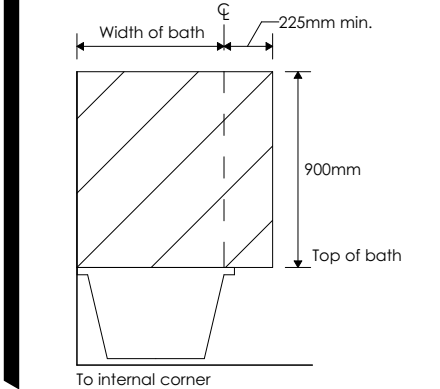


FIGURE 6.2b CONT. BELOW LOCATION OF SHEETING FOR WALLS SURROUNDING A BATH

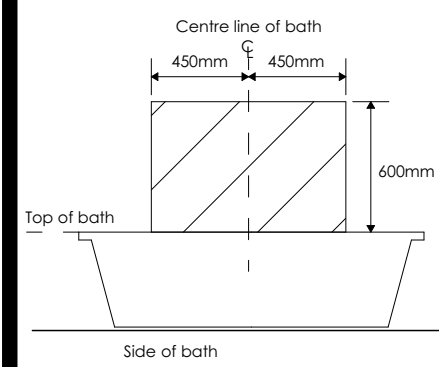


FIGURE 6.2c BELOW LOCATION OF NOGGINGS FOR SHOWER WALLS

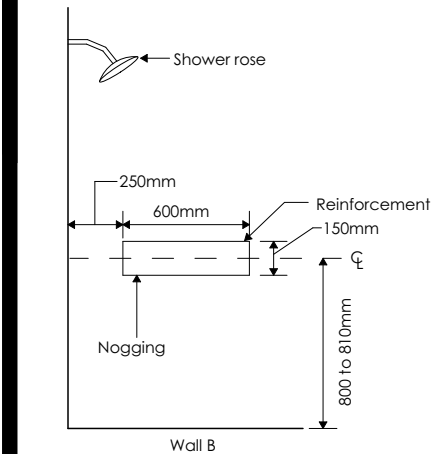
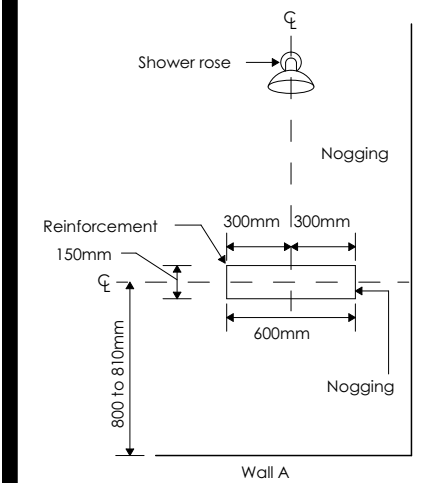


FIGURE 6.2d BELOW LOCATION OF SHEETING FOR SHOWER WALLS

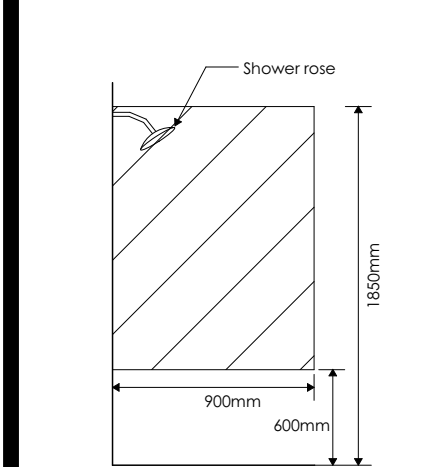
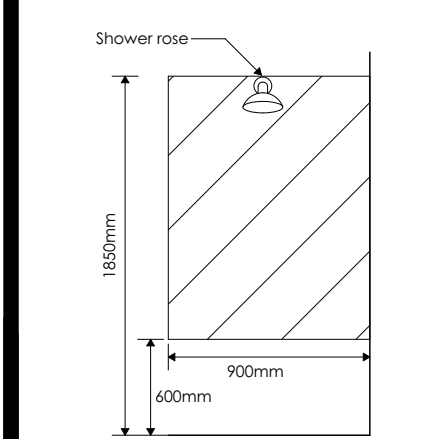


FIGURE 6.2e BELOW MINIMUM EXTENT OF SHEETING FOR WALL ADJACENT TO A TOILET PAN

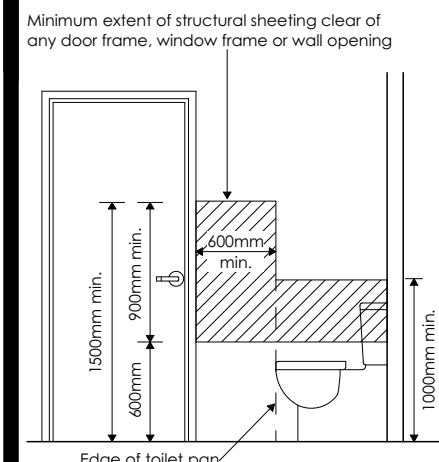


FIGURE 6.2f BELOW LOCATION OF NOGGINGS FOR A WALL BEHIND A TOILET PAN

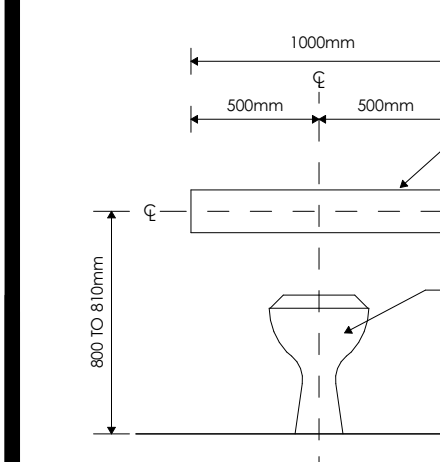
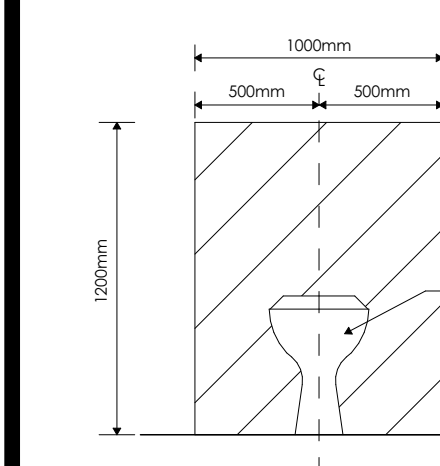


FIGURE 6.2g BELOW LOCATION OF SHEETING FOR A WALL BEHIND A TOILET PAN



**PLANS TO BUILD**

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**L.M.DELL LIC. No. CC5932 G**

**Owner:**  
**T. MEURE**

RETROSPECTIVE APPROVAL

34 NAPIER STREET, BEAUTY POINT TAS 7270

|                                 |  |                                             |  |                                  |  |
|---------------------------------|--|---------------------------------------------|--|----------------------------------|--|
| PROJECT NUMBER:<br><b>26038</b> |  | SCALE: IF IN DOUBT ASK<br><b>SCALE @ A3</b> |  | PRINT DATE:<br><b>17/06/2026</b> |  |
| rev. <b>Amendment</b>           |  | DRAWING No:<br><b>A16</b>                   |  | Date                             |  |
|                                 |  | ISSUE: #Issue                               |  | REV: 0                           |  |
|                                 |  | 17 of 18                                    |  |                                  |  |

