

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number PA2026 214

Assess No: A11590

PID No: 9515771

Applicant Name:	Prime Design					
Applicant Contact Name						
Postal Address:						
Contact Phone:	Home		Work		Mobile	
Email Address:						

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements
2. A completed application form including a detailed description of the proposal
3. A complete plan set:
 - a) Floor plans
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level)
 - c) Site Plan showing:
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:



*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: Prime Design

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) Veronia Gekus

Location / Address: 22 Jacqueline Place, Riverside

Title Reference: 185855/2

Zone(s): General Residential

Existing Development/Use: Residential – Multiple Residential

Existing Developed Area: 0m2

Are any of the components in this Application seeking retrospective approval?
E.g. Use and/or development that has commenced without a Planning Permit.

YES ☐

NO ☒

(If yes please specify the relevant components):

DEVELOPMENT APPLICATION DETAILS

Proposed Use:

Residential: ☒ Visitor Accommodation: ☐ Commercial: ☐ Other: ☐

Description of Use: Residential – Single Dwelling

Development Type:

Building work: ☒ Demolition: ☐ Subdivision: ☐ Other: ☐

Description of development: Proposal for Single Dwelling

New or Additional Area: 367.16m2

Estimated construction cost of the proposed development: \$1,000,000

Building Materials:

Wall Type: refer elevations

Colour:

Roof Type: refer elevations

Colour:

Application Number: «Application Number»

VISITOR ACCOMMODATION

☒ N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION

☒ N/A

Subdivision creating additional lots ☐
Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

☒ N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	
Existing Car Parking:				
Proposed Car Parking:				
Number of Employees: (Existing)				
Number of Employees: (Proposed)				
Type of Machinery installed:				
Details of trade waste and method of disposal:				

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,
(if not the owner)

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**Chief
Executive
Officer**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

OWNER

SHONA MAREE OLLINGTON
VERONICA SHARON GESKUS

FOLIO REFERENCE

158995-6, 158995-7

GRANTEE

PART OF 500 ACRES LOCATED
TO WILLIAM ADAMS BRODRIBB

PLAN OF SURVEY



COHEN & ASSOCIATES PTY LTD,
LAUNCESTON

BY SURVEYOR: S.P. VERBEETEN

LOCATION

TOWN OF RIVERSIDE

SCALE 1 : 750

LENGTHS IN METRES

PRIORITY FINAL PLAN

REGISTERED NUMBER

SP185855

APPROVED

EFFECTIVE FROM 4 DEC 2023

Recorder of Titles

LOTS 1 & 2 COMPILED FROM SP 158995 & THIS SURVEY

ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN

ALLISON AVENUE

(SP 113881)

(STR 141490)

(SP 139862)

(1.00)

DRAINAGE
EASEMENT 'A'
(SP 157735)

(10.00)

(SP 157735)

(SP 170951)

(SP 113881)

75.34

2

8320m²

15.64

(SP 170950)

82.11

(SP 170950)

GREENFIELD DRIVE

(SP 158995)

(P 157485)

(P 141640)

(SP 138133)

(P 122549)

(SP 121613)

(P 118386)

(P 113882)

(P 112353)

(P 110312)

(P 106229)

(1/57 DEV)

(P 4 DEV)

11.26

302°

06°

37.12

20°

26°18'20"

36.32

1

2290m²

(SP 158995)

(SP 170950)

(P 160897)

(P 158996)

(P 157485)

(P 141640)

(SP 138133)

(P 122549)

31.51

7.44

7.44

7.44

6.27

6.96

7.44

3.86°

71.78

119°13'00"

74.99

16.04

36.58

(SP 158995)

(STR 165312)

(SP 157484)

DRAINAGE
EASEMENT 'B'
3.00 WIDE
TASWATER
EASEMENT
3.00 WIDE

(SP 158995)

(11.58)

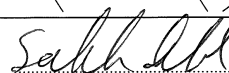
(8.97)

JACQUELINE PLACE

(SP 158995)

(SP 158995)

(P 157485)



9/01/23

REGISTERED LAND SURVEYOR

DATE



27/9/23

COUNCIL DELEGATE

DATE

PROPOSED NEW RESIDENCE

22 JACQUELINE PLACE,

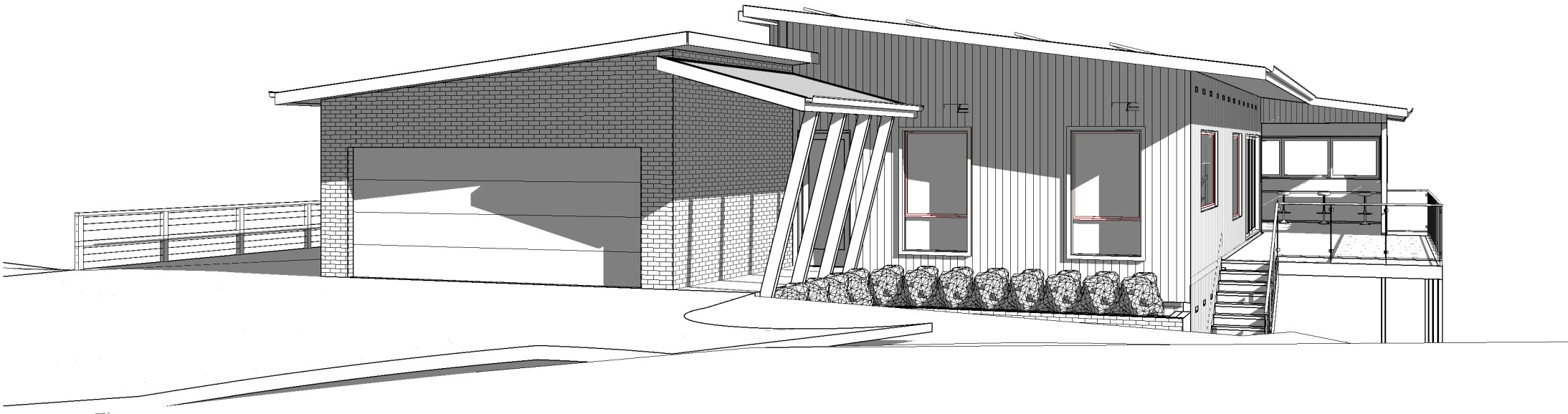
RIVERSIDE

V.S. GESKUS

PD19302

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	PART SITE PLAN
03	SITE DRAINAGE PLAN
04	SOIL & WATER MANAGEMENT PLAN
05	LOCALITY PLAN
06	FLOOR PLAN
07	LOWER FLOOR PLAN
08	DOOR AND WINDOW SCHEDULES
09	ELEVATIONS
10	ELEVATIONS
11	ROOF PLAN



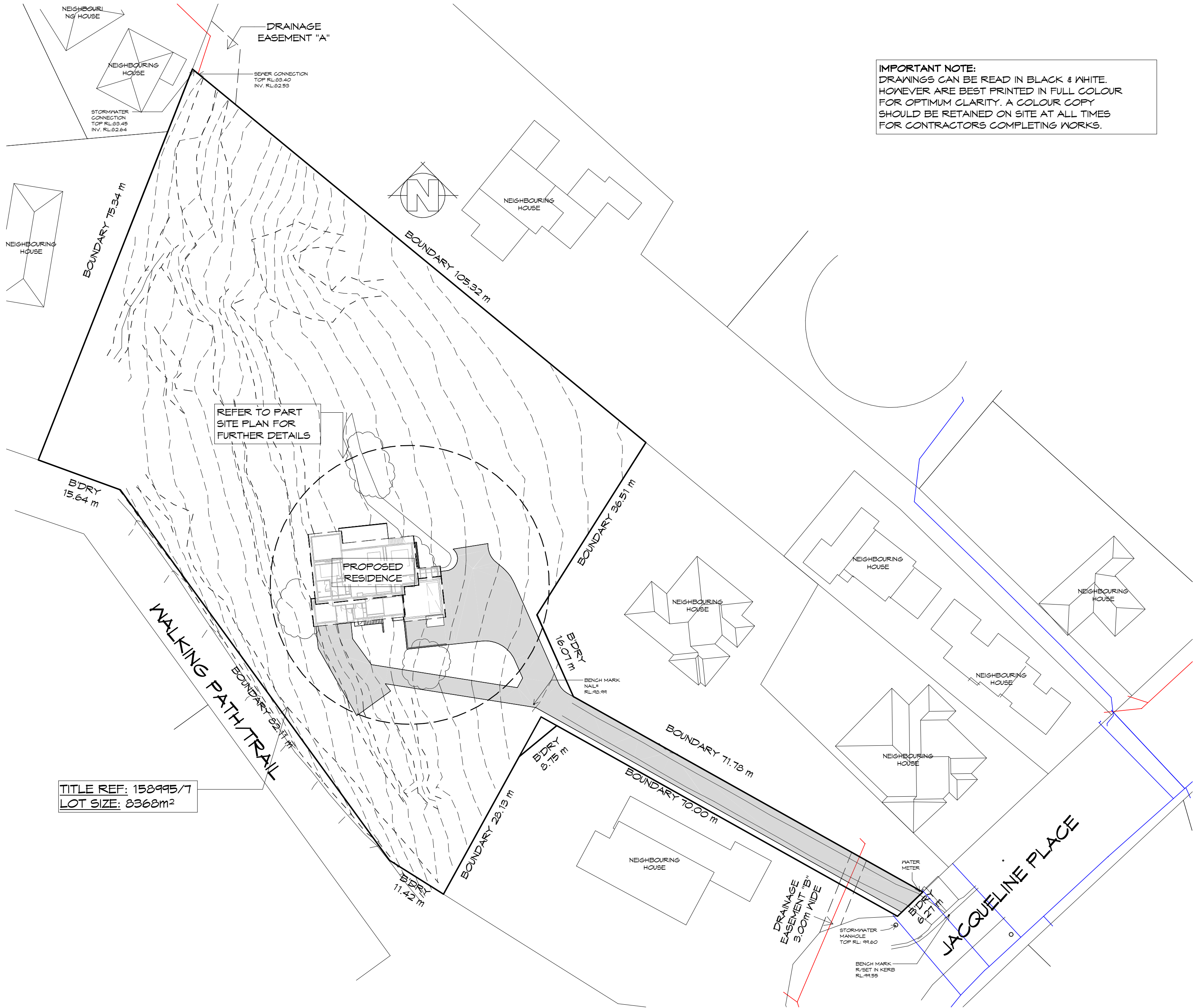
GENERAL PROJECT INFORMATION
TITLE REFERENCE: T/150995
SITE AREA: 8368m²
DESIGN WIND SPEED: N3
SOIL CLASSIFICATION: P/H2
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT:NO
BAL RATING: EXEMPT
OTHER KNOWN HAZARDS: MEDIUM LANDSLIP RISK



10 Goodman Court , Invermay Launceston 7248
p(t) +03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+03 6228 4575
info@ primedesigntas.com.au primedesigntas.com.au
Accredited Building Practitioner: Frank Geskus -No CC246A

JULY 2026

PLANNING



IMPORTANT NOTE:
DRAWINGS CAN BE READ IN BLACK & WHITE.
HOWEVER ARE BEST PRINTED IN FULL COLOUR
FOR OPTIMUM CLARITY. A COLOUR COPY
SHOULD BE RETAINED ON SITE AT ALL TIMES
FOR CONTRACTORS COMPLETING WORKS.

- GENERAL NOTES**
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
 - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
 - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2019, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
 - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
 - CONFIRM ALL FLOOR AREAS
 - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500 & APPROVED BY COUNCIL INSPECTOR
 - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
 - ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2041
 - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
 - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
 - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
 - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION

SITE DETAIL

HORIZONTAL DATUM IS ARBITRARY

VERTICAL DATUM IS ARBITRARY

WARNINGS:
THE DETAIL SHOWN / RECORDED

- MAY ONLY BE CORRECT AT THE DATE OF SURVEY.
- IS NOT A COMPLETE REPRESENTATION OF ALL SURFACE AND UNDERGROUND DETAIL.
- SHOULD ONLY BE USED FOR THE PURPOSES INTENDED.

THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AS INDICATED BY SURFACE FEATURES.

PRIOR TO ANY CONSTRUCTION REFER TO RELEVANT AUTHORITIES FOR DETAILED LOCATION OF ALL SERVICES.

CONTOUR INTERVAL 1.00m



10 Goodman Court, Invermay Tasmania 7248,
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info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED NEW RESIDENCE
22 JACQUELINE PLACE,
RIVERSIDE**

Client name:
V.S. GESKUS

Drawing:
SITE PLAN

Drafted by: **D.D.H.** Approved by: **F.G.G.**

Date: **24.07.2026** Scale: **1 : 500@A2**

Project/Drawing no: **PD19302 -01** Revision: **A**

Accredited building practitioner: Frank Geskus -No CC246A

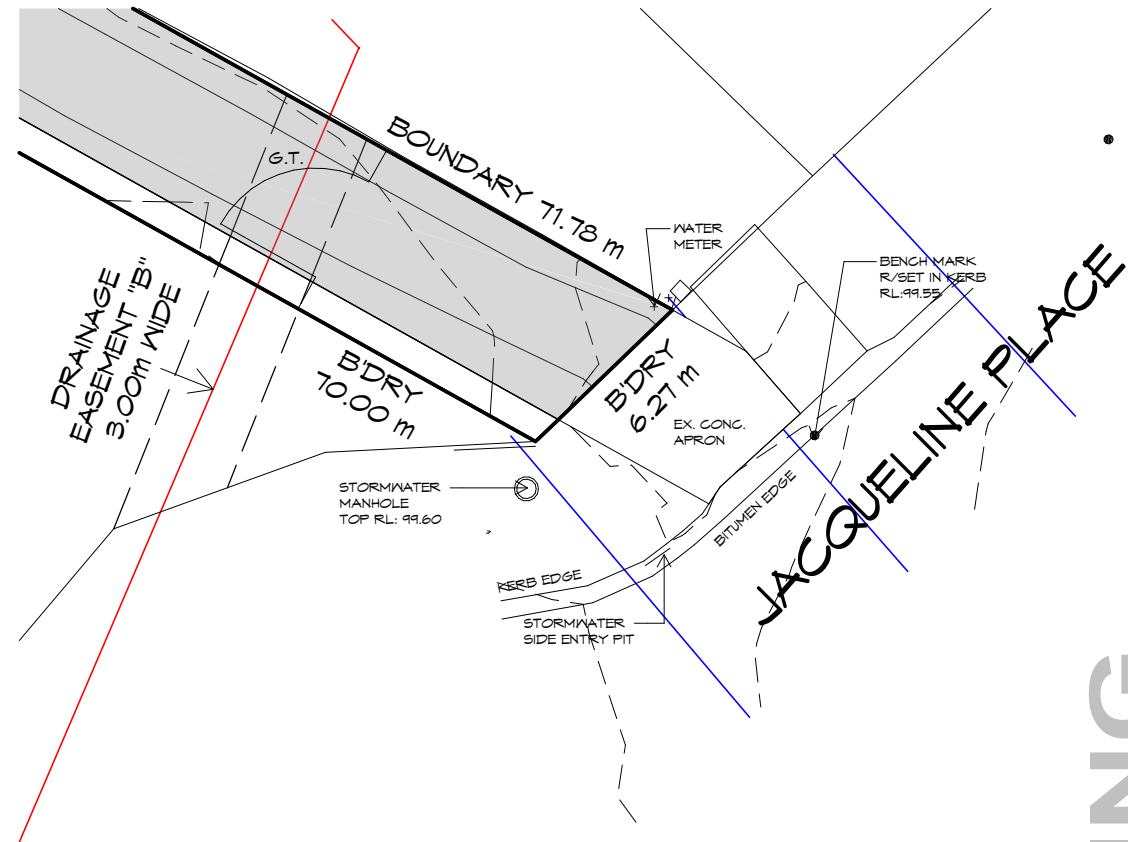


SITE PLAN
1 : 500

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

PART SITE PLAN

1 : 250



PART SITE PLAN - FRONTAGE

1 : 250

SITE DETAIL

HORIZONTAL DATUM IS ARBITRARY

VERTICAL DATUM IS ARBITRARY

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CONTOUR INTERVAL 0.20m

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.



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Project:
PROPOSED NEW RESIDENCE
22 JACQUELINE PLACE,
RIVERSIDE

Client name:
V.S. GESKUS

Drawing:
PART SITE PLAN

Drafted by:
D.D.H.

Approved by:
F.G.G.

Date:
24.07.2026

Scale:
1 : 250@A2

Project/Drawing no:
PD19302 -02

Revision:
A

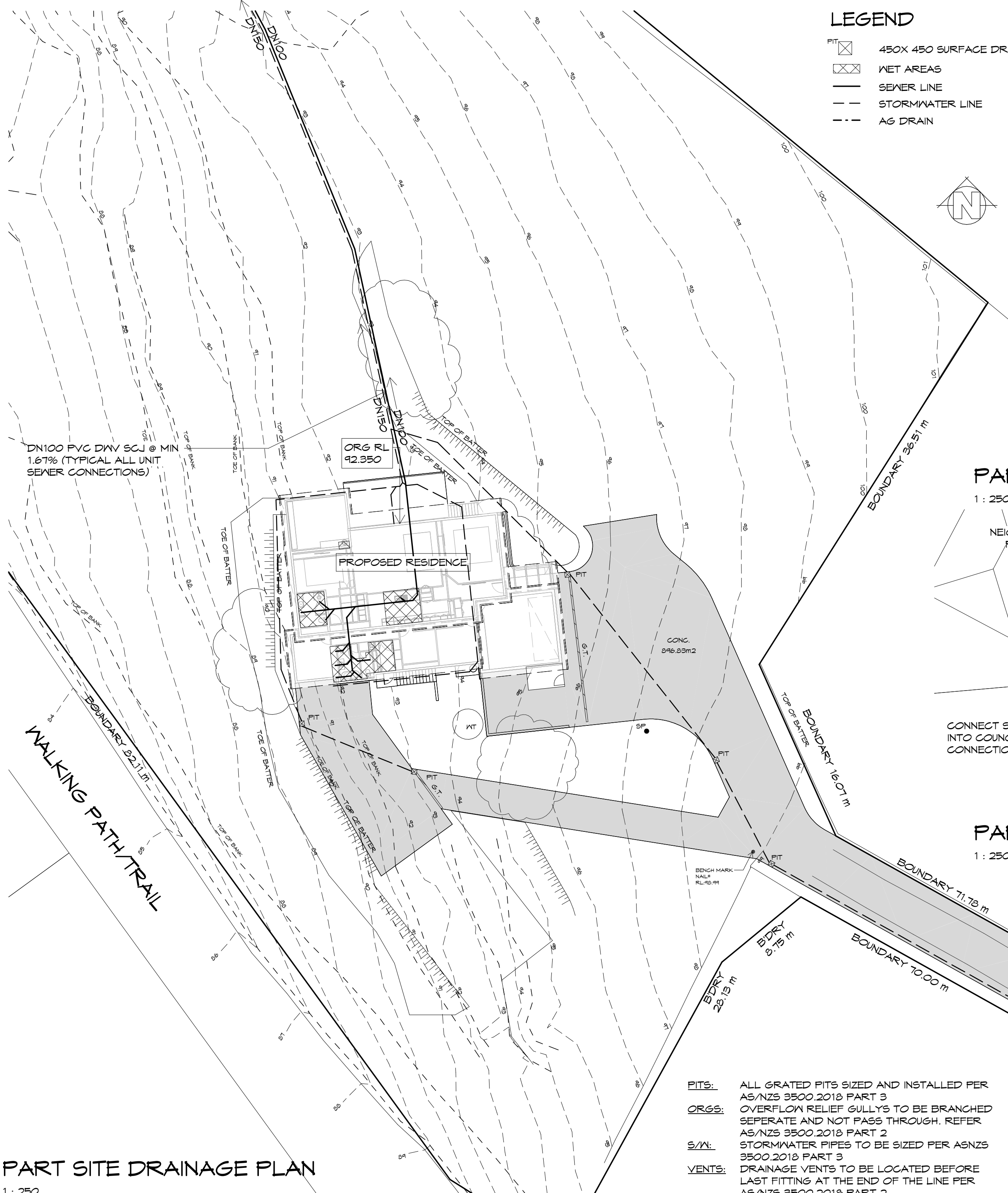
Accredited building practitioner: Frank Geskus -No CC246A



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

PLANNING

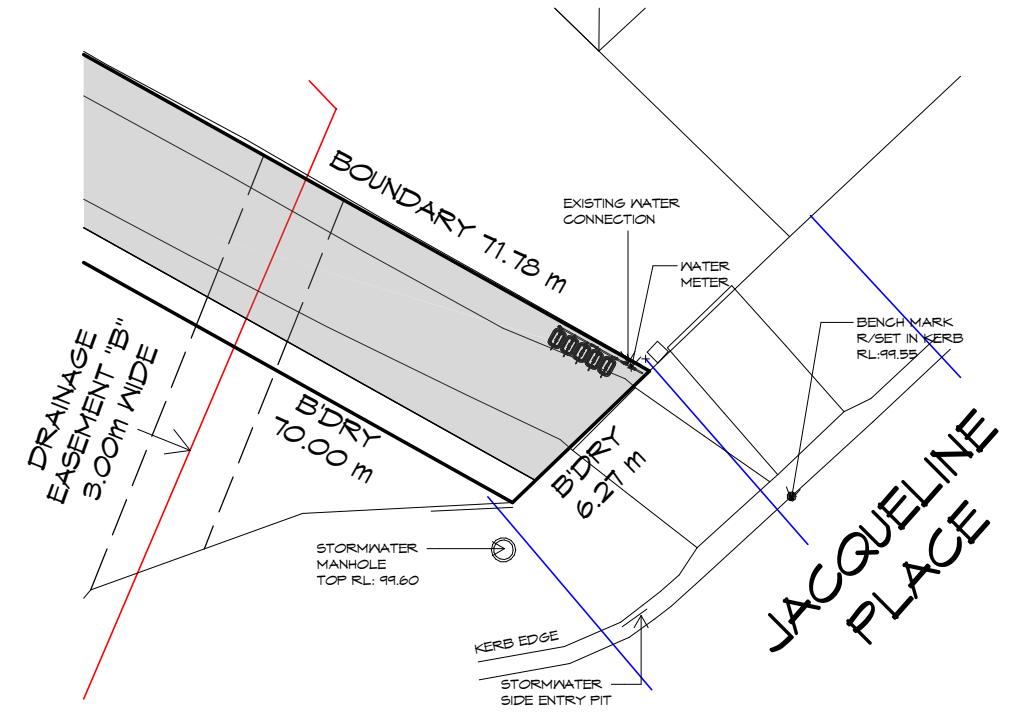
NOTE: DO NOT SCALE OFF DRAWINGS



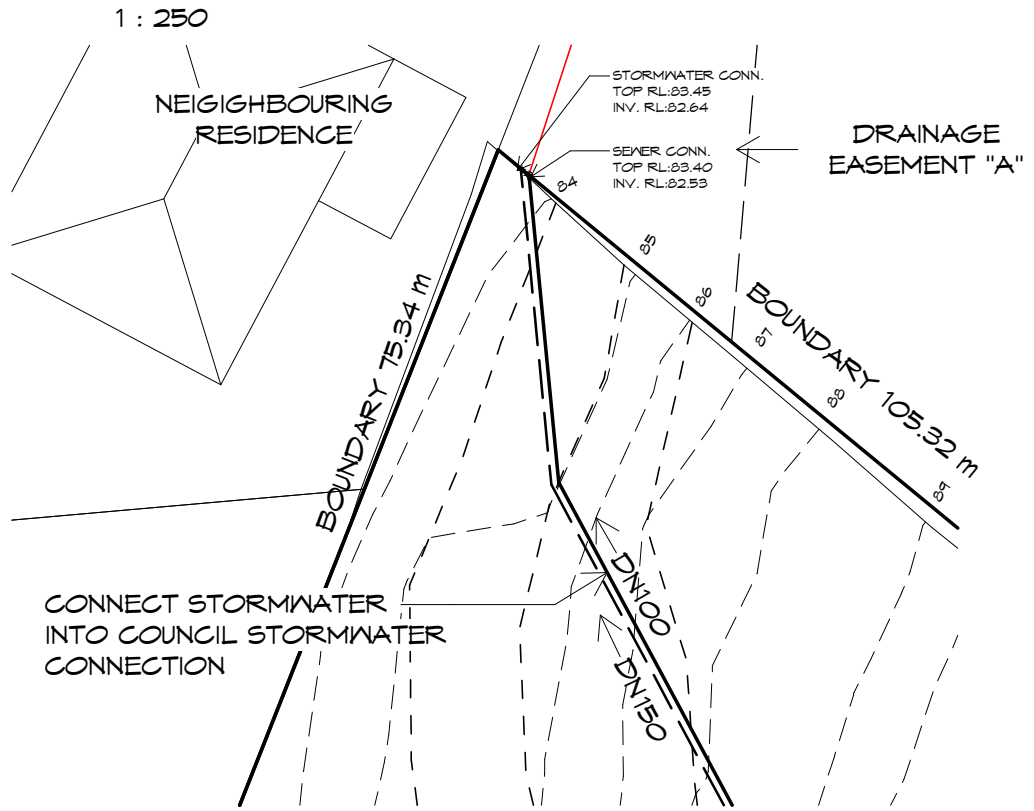
LEGEND

- PIT 450X 450 SURFACE DRAINAGE PIT
- WT 10,000L RAINWATER TANK
- SP STAND PIPE
- G.T. GRATED TRENCH; 150 WIDE
- WT 10,000L RAINWATER TANK 2030 HIGH X 2600 Ø
- SP STAND PIPE
- NET AREAS
- SEWER LINE
- STORMWATER LINE
- AG DRAIN

PLUMBING NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2018 & THE TASMANIAN PLUMBING CODE AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.



PART SITE DRAINAGE PLAN - FRONTAGE



PART SITE DRAINAGE PLAN - CONNECTION

- PITS: ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2018 PART 3
- ORGS: OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2018 PART 2
- S/W: STORMWATER PIPES TO BE SIZED PER AS/NZS 3500.2018 PART 3
- VENTS: DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2018 PART 2

PART SITE DRAINAGE PLAN

1 : 250



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p(h) + 03 6228 4575
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Project:
PROPOSED NEW RESIDENCE
22 JACQUELINE PLACE,
RIVERSIDE

Client name:
V.S. GESKUS

Drawing:
SITE DRAINAGE PLAN

Drafted by: D.D.H. Approved by: F.G.G.

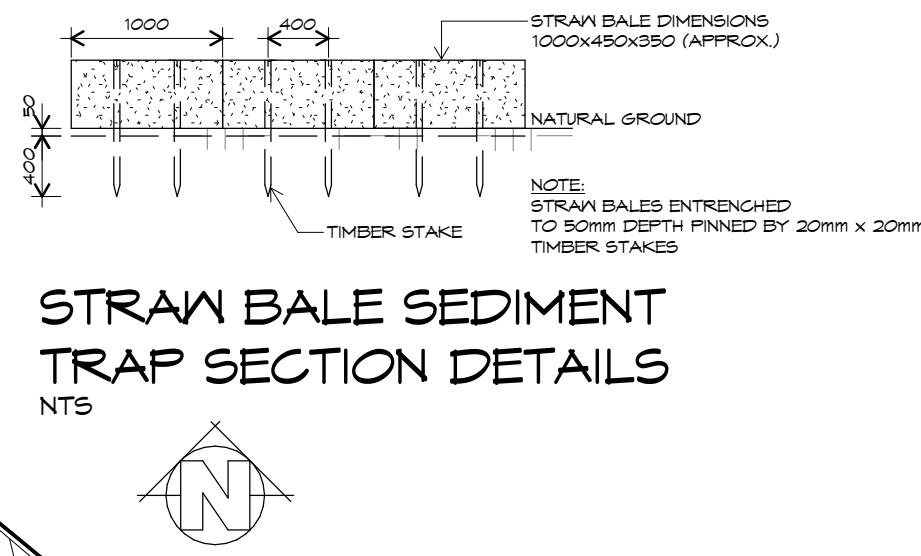
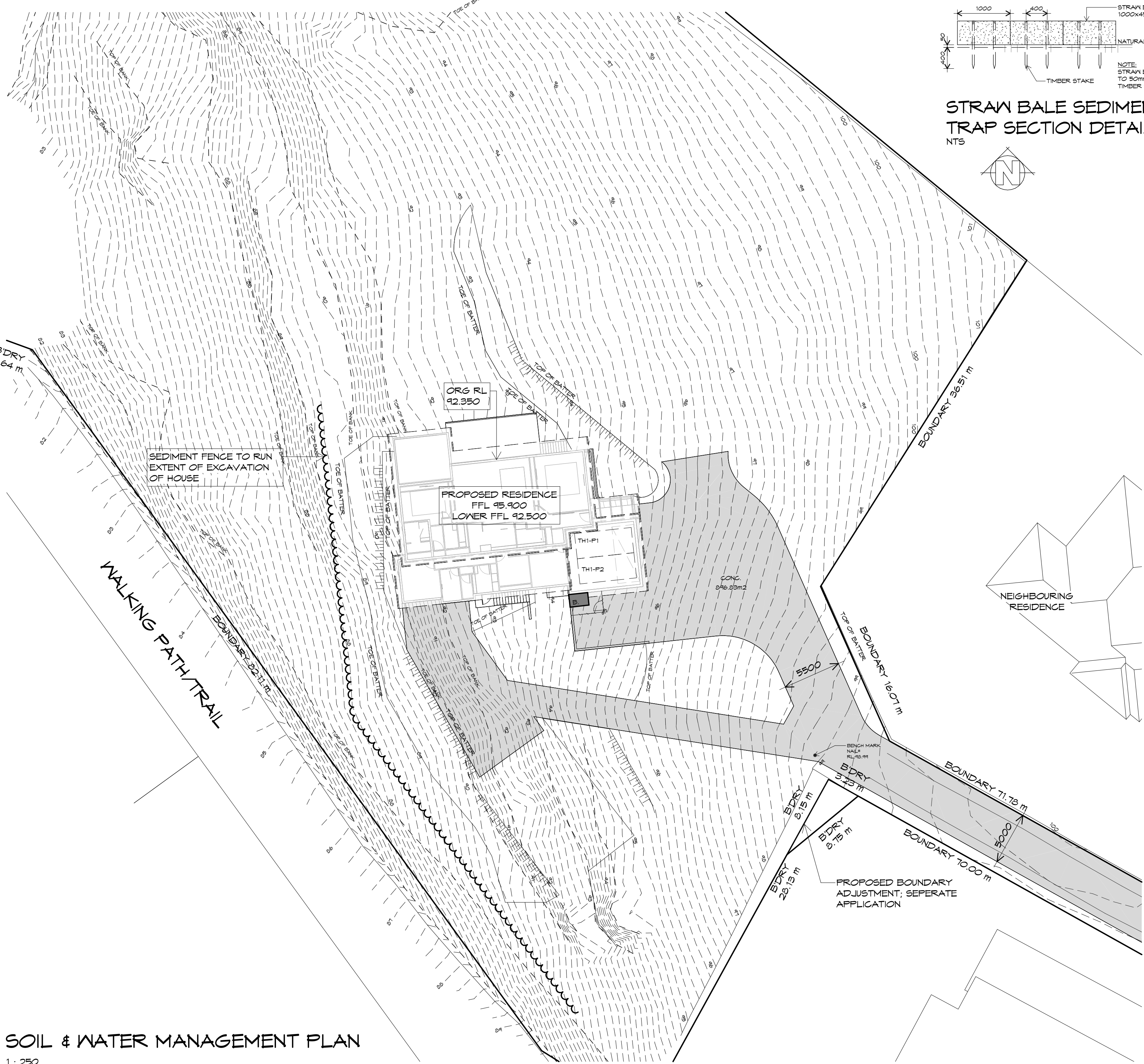
Date: 24.07.2026 Scale: As indicated@A2

Project/Drawing no: PD19302 -03 Revision: A

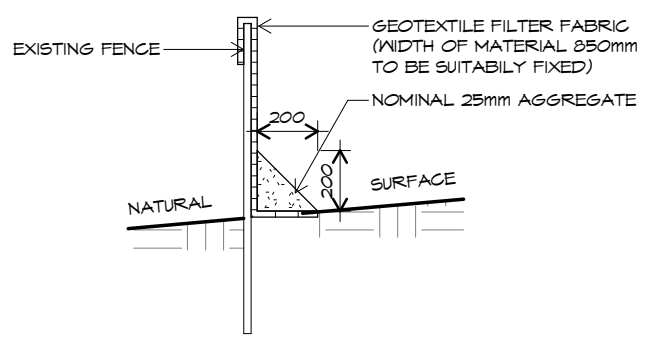
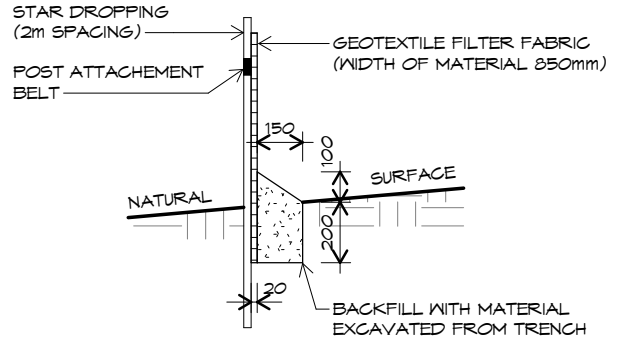
Accredited building practitioner: Frank Geskus -No CC246A



PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



- NOTES:**
- SEDIMENT & EROSION CONTROL MEASURES SUFFICIENT TO PREVENT SEDIMENT FROM LEAVING THE SITE MUST BE INSTALLED PRIOR TO ANY DISTURBANCE TO SITE
- NOTES:**
1. ALL EROSION & SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY & MAINTAINED IN GOOD WORKING ORDER.
 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING BUILDING PHASE.
 3. ALL EROSION AND SEDIMENT CONTROL MEASURE TO BE INSTALL PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
 5. ROOF WATER DOWNPIPPES TO BE CONNECTED TO THE WATER CONNECTION AS SOON AS PRACTICABLE AFTER THE ROOF IS LAID
- NOTES:**
1. DIVERSION DRAINS ARE TO BE CONNECTED TO LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM)
 2. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS



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Project:
PROPOSED NEW RESIDENCE
22 JACQUELINE PLACE,
RIVERSIDE

Client name:
V.S. GESKUS

Drawing:
SOIL & WATER MANAGEMENT PLAN

Drafted by: **D.D.H.** Approved by: **F.G.G.**

Date: **24.07.2026** Scale: **As indicated@A2**

Project/Drawing no: **PD19302 -04** Revision: **A**

Accredited building practitioner: Frank Geskus -No CC246A



PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



LOCALITY PLAN
1 : 2000

THIS SITE IS ZONED GENERAL RESIDENTIAL AND DOES NOT FALL WITHIN A BUSHFIRE PRONE AREAS OVERLAY, THEREFORE DOES NOT REQUIRE A BUSHFIRE ASSESSMENT.

PLANNING
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Project:
**PROPOSED NEW RESIDENCE
22 JACQUELINE PLACE,
RIVERSIDE**

Client name:
V.S. GESKUS

Drawing:
LOCALITY PLAN

Drafted by: D.D.H. Approved by: F.G.G.

Date: 24.07.2026 Scale: 1 : 2000@A2

Project/Drawing no: PD19302 -05 Revision: A

Accredited building practitioner: Frank Geskus -No CC246A



LEGEND

- Ⓟ EXHAUST IN PART OF HRV SYSTEM
- ⦿ 240v SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- FSD FACE SLIDING DOOR
- S/D SLIDING DOOR
- o FW FLOOR WASTE
- G.S. GLASS SCREEN
- R/H RANGE HOOD x2
- B.H. BULK HEAD
- IL ILLUME SKYLIGHT 300x600
- L.B. LOAD BEARING WALL
- H.R. HAND RAIL
- HWC HOT WATER CYLINDER
- R.T. RETAINING WALL TO ENGINEERS SPEC.
- COL 90SHS COLUMN TO ENGINEERS SPEC
- D.S. 2/90X45 F1T KDHW TO ENGINEERS SPEC
- HRV HEAT RECOVERY VENTILATION UNIT IN CUPBOARD
- T.RAIL HAND TOWEL RAIL
- WS WINDOW SHROUD
- TR 40L TROUGH

REFER TO JOINERY DRAWINGS FOR ALL DETAILS

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

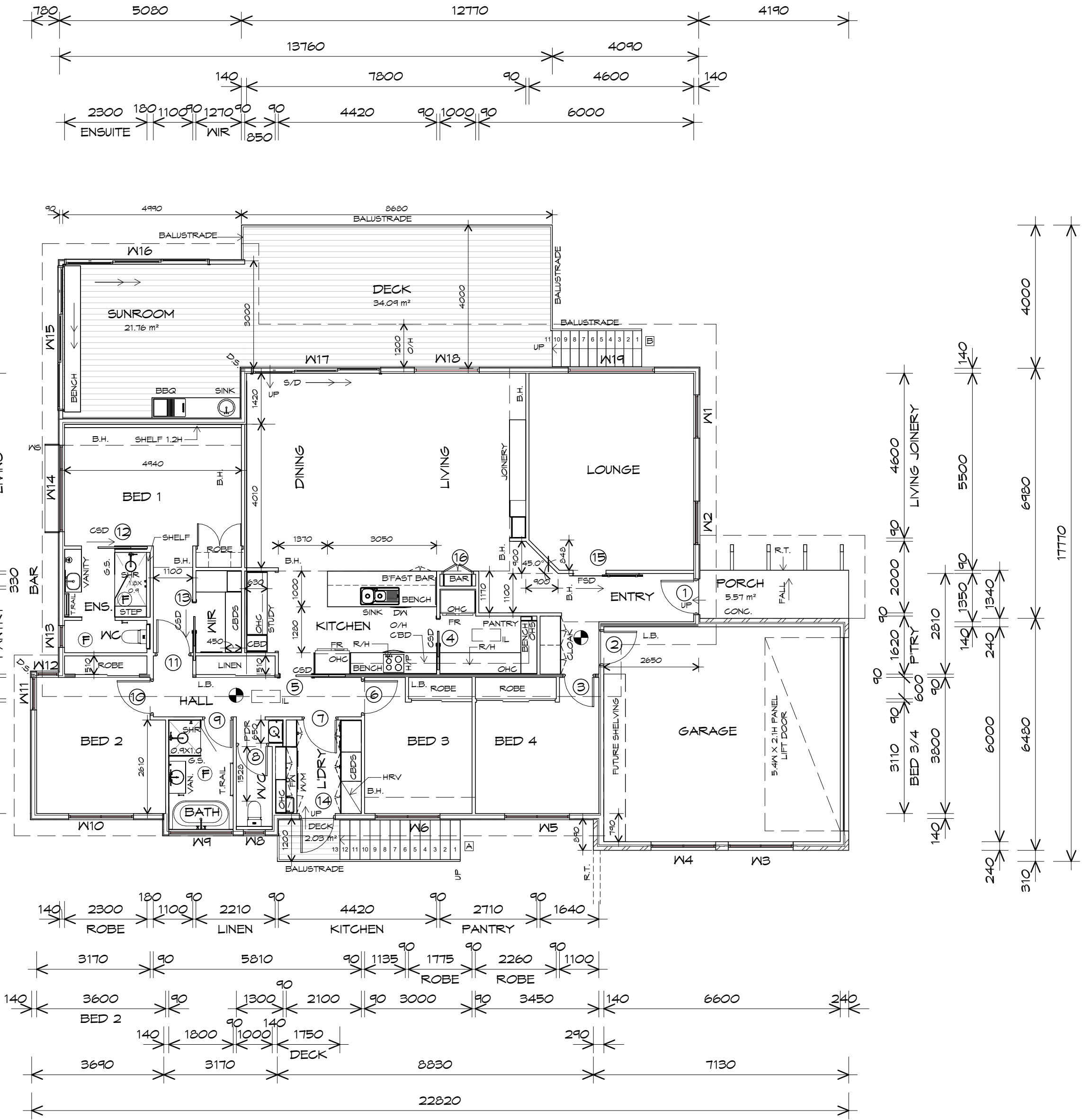
FLOOR PLAN

1 : 100

NOTE:
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

FLOOR AREA	208.76	m2	(	22.45	SQUARES)
GARAGE AREA	44.67	m2	(	4.80	SQUARES)
LOWER FLOOR AREA	113.73	m2	(	12.23	SQUARES)
TOTAL AREA	367.16			39.48	

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



STAIRS			
STAIR	No RISERS	RISER HT	TREAD DEPTH
A	13	169	280
B	11	177	250

GOING NON SLIP TO COMPLY NCC 2019

HIGH LEVEL WINDOW
C/W SAFETY GLASS AS PER AS1288
BEVEL WINDOW SEAL
RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

HANDRAIL
HANDRAIL REQUIRED TO AT LEAST ONE SIDE OF RAMP OR STAIRWAY IF HEIGHT MORE THAN 1m TO COMPLY NCC 2019 PART 3.9.2

SMOKE ALARMS

- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
- TO BE INTERCONNECTED BETWEEN FLOORS WHERE APPLICABLE.
- SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH NCC 2019 PART 3.7.5.2

SANITARY COMPARTMENTS

MAINTAIN A CLEAR SPACE OF AT LEAST 1.2m BETWEEN THE CLOSET PAN AND NEAREST PART OF THE DOORWAY. OTHERWISE ENSURE REMOVABLE HINGES ARE INSTALLED TO SWING DOORS TO COMPLY WITH NCC 2019 PART 3.8.33



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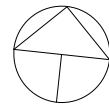
Client name:
V.S. GESKUS

Drawing:
FLOOR PLAN

Drafted by: D.D.H. Approved by: F.G.G.
Date: 24.07.2026 Scale: 1 : 100@A2

Project/Drawing no: PD19302 -06 Revision: A

Accredited building practitioner: Frank Geskus -No CC246A



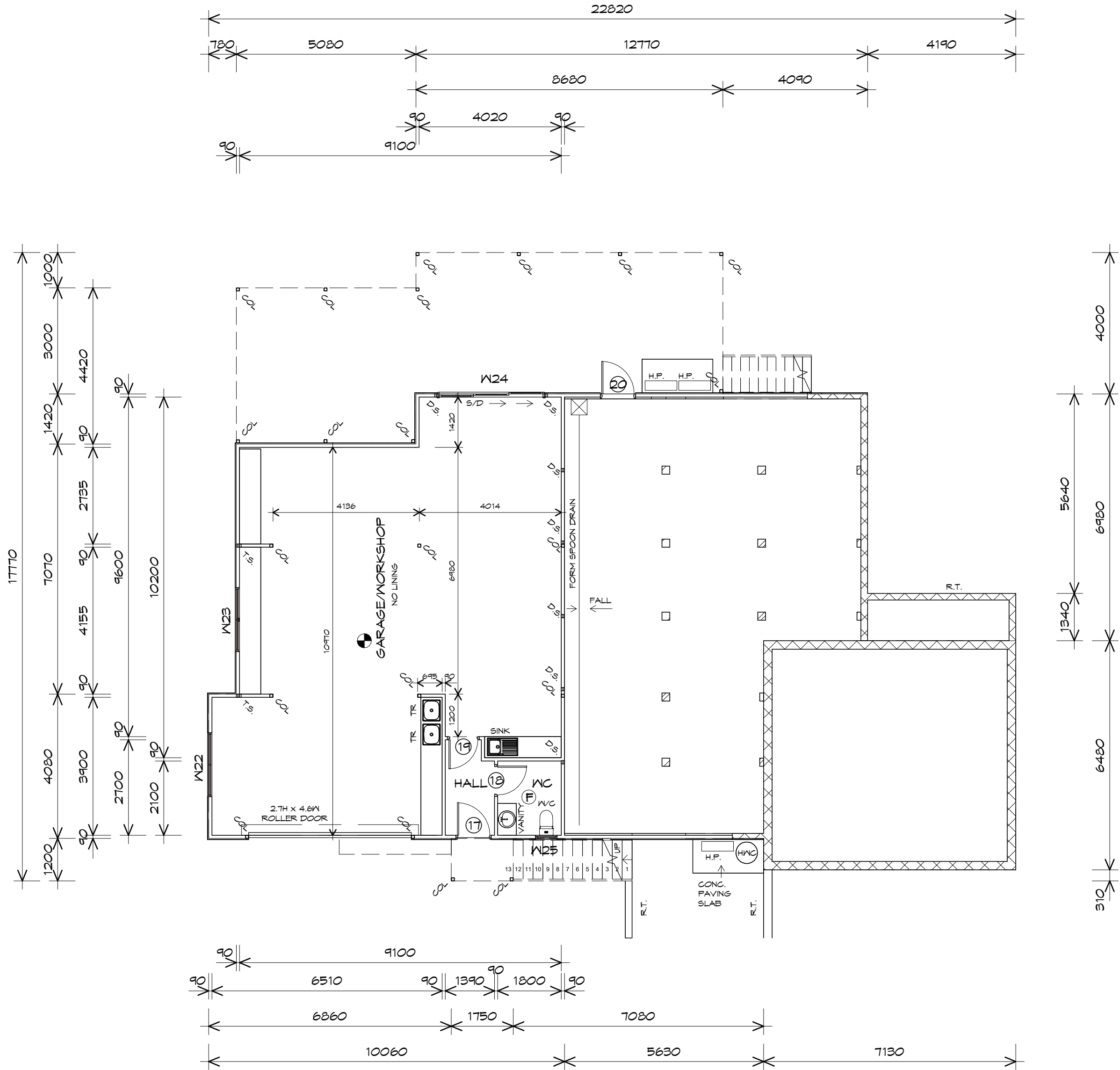
LEGEND

- Ⓢ EXHAUST IN PART OF HRV SYSTEM
- ⦿ 240V SMOKE ALARM
- ⒸSD CAVITY SLIDING DOOR
- ⒻSD FACE SLIDING DOOR
- Ⓕ/D SLIDING DOOR
- ⦿ FW FLOOR WASTE
- Ⓖ.S. GLASS SCREEN
- Ⓐ/H RANGE HOOD x2
- Ⓐ.H. BULK HEAD
- ⒶL ILLUME SKYLIGHT 300x600
- ⒶLB. LOAD BEARING WALL
- ⒶH.R. HAND RAIL
- ⒶHWC HOT WATER CYLINDER
- ⒶR.T. RETAINING WALL TO ENGINEERS SPEC.
- ⒶCOL 90SHS COLUMN TO ENGINEERS SPEC
- ⒶD.S. 2/90X45 F17 KDHV TO ENGINEERS SPEC
- ⒶHRV HEAT RECOVERY VENTILATION UNIT IN CUPBOARD
- ⒶT.RAIL HAND TOWEL RAIL
- ⒶWS WINDOW SHROUD
- ⒶTR 40L TROUGH

REFER TO JOINERY DRAWINGS FOR ALL DETAILS

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



NOTE:
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

FLOOR AREA	208.76	m2	(22.45 SQUARES)
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TOTAL AREA	367.16		39.48

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FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

LOWER FLOOR PLAN

1 : 100

STAIRS			
STAIR	No RISERS	RISER H.T	TREAD DEPTH
A	13	169	280
B	11	177	250

GOING NON SLIP TO COMPLY NCC 2019

HIGH LEVEL WINDOW
C/W SAFETY GLASS AS PER AS1288
BEVEL WINDOW SEAL
RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

HANDRAIL
HANDRAIL REQUIRED TO AT LEAST ONE SIDE OF RAMP OR STAIRWAY IF HEIGHT MORE THAN 1m TO COMPLY NCC 2019 PART 3.9.2

SMOKE ALARMS

- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
- TO BE INTERCONNECTED BETWEEN FLOORS WHERE APPLICABLE.
- SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH NCC 2019 PART 3.7.5.2

SANITARY COMPARTMENTS

MAINTAIN A CLEAR SPACE OF AT LEAST 1.2m BETWEEN THE CLOSET PAN AND NEAREST PART OF THE DOORWAY. OTHERWISE ENSURE REMOVABLE HINGES ARE INSTALLED TO SWING DOORS TO COMPLY WITH NCC 2019 PART 3.8.33



10 Goodman Court, Invermay Tasmania 7248,
p(l) + 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h) + 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED NEW RESIDENCE
22 JACQUELINE PLACE,
RIVERSIDE

Client name:
V.S. GESKUS

Drawing:
LOWER FLOOR PLAN

Drafted by: D.D.H. Approved by: F.G.G.
Date: 24.07.2026 Scale: 1 : 100@A2

Project/Drawing no: PD19302 -07 Revision: A
Accredited building practitioner: Frank Geskus -No CC246A



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	GLAZED EXTERNAL DOOR	2400 HIGH
2	920	EXTERNAL DOOR	SEAL & SPEC EXTERNAL DOOR
3	820	INTERNAL TIMBER DOOR	
4	720	CAVITY SLIDING DOOR	
5	920	CAVITY SLIDING DOOR	
6	920	INTERNAL TIMBER DOOR	
7	920	INTERNAL TIMBER DOOR	
8	820	INTERNAL TIMBER DOOR	
9	770	INTERNAL TIMBER DOOR	
10	920	INTERNAL TIMBER DOOR	
11	920	INTERNAL TIMBER DOOR	
12	920	CAVITY SLIDING DOOR	
13	820	CAVITY SLIDING DOOR	
14	920	GLAZED EXTERNAL DOOR	
15	920	Barn Door	
16	800	2/820 ROBE DOORS	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	2100	1210	AWNING WINDOW	
W2	2100	1210	AWNING WINDOW	
W3	600	1810	AWNING WINDOW	
W4	600	1810	AWNING WINDOW	
W5	1300	1810	AWNING WINDOW	
W6	1300	1810	AWNING WINDOW	
W8	1300	610	AWNING WINDOW	OPAQUE
W9	1300	1800	AWNING WINDOW	OPAQUE
W10	600	1810	AWNING WINDOW	
W11	1800	910	AWNING WINDOW	
W12	1800	610	AWNING WINDOW	
W13	1800	610	AWNING WINDOW	
W14	1800	2410	AWNING WINDOW	
W15	1200	4040	STACKING SLIDING WINDOW	
W16	1200	4040	STACKING SLIDING WINDOW	
W17	2400	3610	STACKING SLIDING DOOR	
W18	1800	1810	FIXED WINDOW	
W19	1400	2410	FIXED WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT **BAL-EXEMPT** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

LOWER FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
17	920	EXTERNAL DOOR	
18	820	INTERNAL TIMBER DOOR	
19	820	INTERNAL TIMBER DOOR	
20	920	EXTERNAL DOOR	CLAD WITH WALL CLADDING

LOWER FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W22	1200	1810	AWNING WINDOW	1200 SILL
W23	1200	1810	AWNING WINDOW	1200 SILL
W24	2100	3010	STACKING SLIDING DOOR	3-PANEL
W25	900	610	AWNING WINDOW	OPAQUE

ARTIFICIAL LIGHTING						
ROOM	FLOOR AREA	m2	ALLOWANCE	W/m2	TOTAL POWER LOAD	W
BAR	0.24	m2	5	W/m2	1.18	W
BATH	5.42	m2	5	W/m2	27.12	W
BED 1	20.07	m2	5	W/m2	100.37	W
BED 2	13.17	m2	5	W/m2	65.84	W
BED 3	10.11	m2	5	W/m2	50.57	W
BED 4	11.49	m2	5	W/m2	57.44	W
DINING	19.39	m2	5	W/m2	96.93	W
ENS.	4.42	m2	5	W/m2	22.08	W
ENTRY	10.08	m2	5	W/m2	50.41	W
HALL	3.53	m2	5	W/m2	17.66	W
HALL	7.07	m2	5	W/m2	35.36	W
KITCHEN	12.53	m2	5	W/m2	62.67	W
L'DRY	5.98	m2	5	W/m2	29.89	W
LINEN	1.13	m2	5	W/m2	5.64	W
LIVING	23.73	m2	5	W/m2	118.65	W
LOUNGE	24.69	m2	5	W/m2	123.45	W
P'DR	0.90	m2	5	W/m2	4.51	W
PANTRY	5.01	m2	5	W/m2	25.07	W
ROBE	0.65	m2	5	W/m2	3.24	W
ROBE	1.07	m2	5	W/m2	5.33	W
ROBE	1.36	m2	5	W/m2	6.78	W
ROBE	1.17	m2	5	W/m2	5.87	W
STUDY	1.48	m2	5	W/m2	7.41	W
SUNROOM	21.76	m2	5	W/m2	108.78	W
W/C	2.32	m2	5	W/m2	11.60	W
WC	2.16	m2	5	W/m2	10.80	W
WC	3.78	m2	5	W/m2	18.90	W
WIR	2.86	m2	5	W/m2	14.31	W
DECK	34.09	m2	4	W/m2	136.36	W
DECK	2.03	m2	4	W/m2	8.10	W
PORCH	5.57	m2	4	W/m2	22.28	W
GARAGE	39.60	m2	3	W/m2	118.80	W
GARAGE/WORKSHOP	100.14	m2	3	W/m2	300.41	W
TOTALS	398.99	m2			1673.79	W

ARTIFICIAL LIGHTING
THE ABOVE TABLE ILLUSTRATES THE MAXIMUM ALLOWANCE OF POWER LOAD TO THE TYPE OF SPACE AS PER NCC 2019, 3.12.5.5.

- ARTIFICIAL LIGHTING MUST NOT EXCEED:
- 5W/m2 FOR CLASS 1 RESIDENCE
 - 4W/m2 FOR VERANDAH5 & BALCONIES
 - 3W/m2 FOR CLASS 10 GARAGE, STORAGE



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Project:
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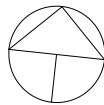
Client name:
V.S. GESKUS

Drawing:
DOOR AND WINDOW
SCHEDULES

Drafted by: **D.D.H.** Approved by: **F.G.G.**
Date: **24.07.2026** Scale: **@A2**

Project/Drawing no: **PD19302 -08** Revision: **A**

Accredited building practitioner: Frank Geskus -No CC246A



PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

GLAZING
ALL GLAZING IS TO COMPLY WITH THE PROVISIONS OF PART 3.6. OF THE NCC 2019. IN PARTICULAR THAT THE GLAZING IN THE WINDOW LOCATED OVER THE BATH/ SHOWER INSTALLATION TO COMPLY WITH HUMAN IMPACT SAFETY REQUIREMENTS, SECTION 5.12 OF A.S.1288
WINDOWS TO BE SEALED IN ACCORDANCE WITH A.S.2047
ALL GLASS INSTALLATIONS INCLUDING ROOFS, WINDOW AND DOORS TO BE TAGGED ON-SITE OR GLAZIER TO SUPPLY COMPLIANCE CERTIFICATE AT FINAL INSPECTION.

DAMP PROOF COURSE
TO BE INSTALLED UNDER EXTERNAL MASONRY ON SLABS OR FOOTINGS, SHALL BE OF SUFFICIENT WIDTH TO PROJECT PAST THE EXTERNAL FACE OF THE WALL.
NCC 2019 PART 3.3.5.7
UNDER SUBFLOOR WALL ON MASONRY

CAVITY VENTILATION AND DRAINAGE
OPEN WEEPHOLES TO BRICK COURSE IMMEDIATELY ABOVE ANY DPC OR FLASHING. AT 1200 CRS AND HEAD AND SILL OPENING OVER 1000mm
SILL AND HEAD FLASHING INSTALLED IN ACCORDANCE WITH NCC 2019 PART 3.3.5.9

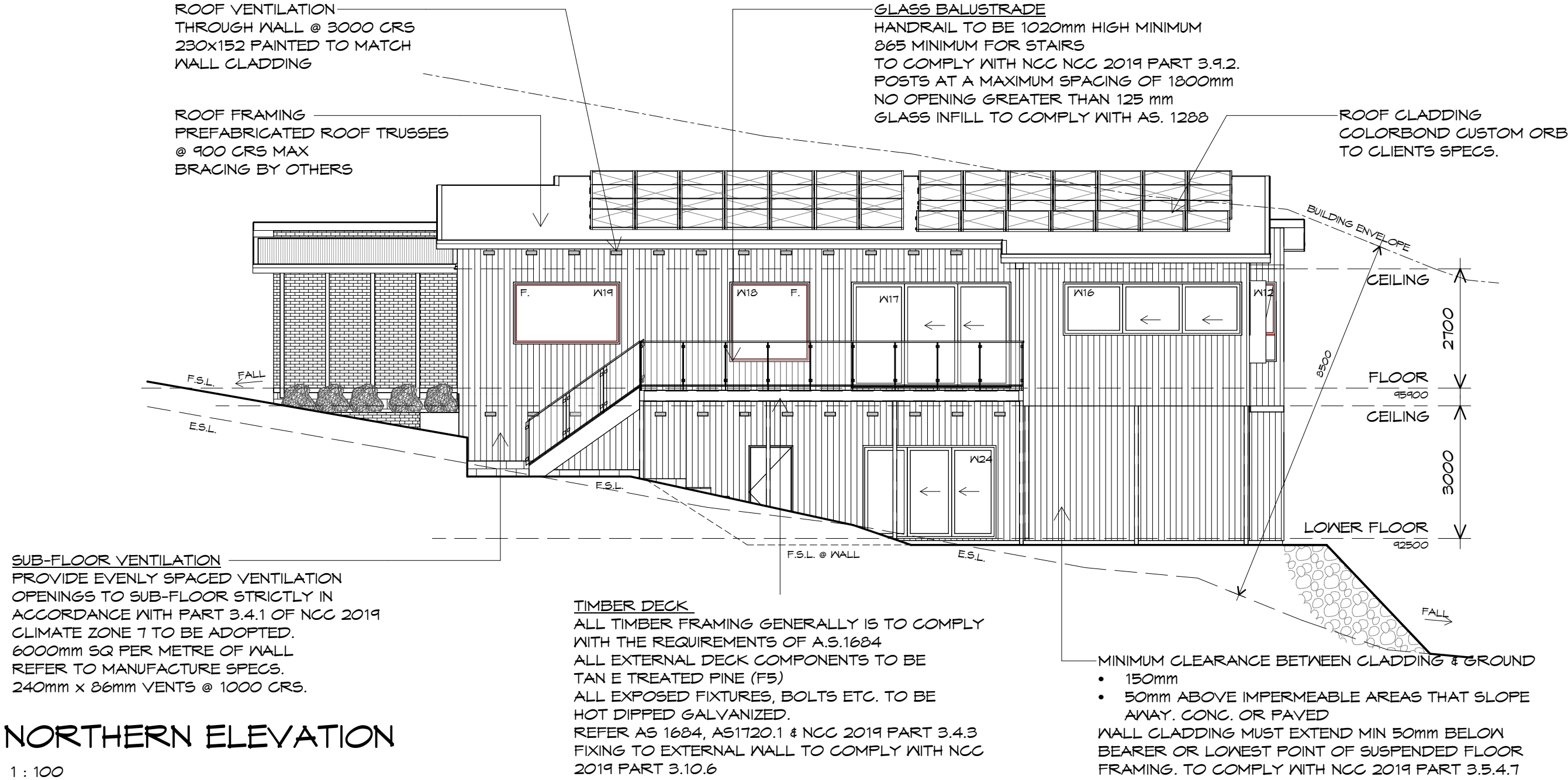
BRICK TIE SPACINGS
FOR 450mm STUD SPACING
TYPICAL 600x450 SPACING 300x225 AT OPENINGS AND CONTROL JOINTS
REFER TO NCC 2019 PART 3.3.5.10 / AS2699.1 FOR FURTHER DETAILS

PROTECTION OF WINDOWS

- PROTECTION IS TO BE PROVIDED TO A BEDROOM WINDOW IF THE FINISHED FLOOR LEVEL OF THE BEDROOM HAS A HEIGHT GREATER THAN 2M FROM THE FINISHED GROUND LEVEL AND WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS WITHIN 1.7M MEASURED FROM THE FINISHED FLOOR LEVEL OF THE BEDROOM FLOOR.
- ALL BARRIERS, DEVICES AND OPERATION OF PROTECTED WINDOWS ARE TO COMPLY WITH NCC 2019 Vol.2 PART 3.9.2.6.

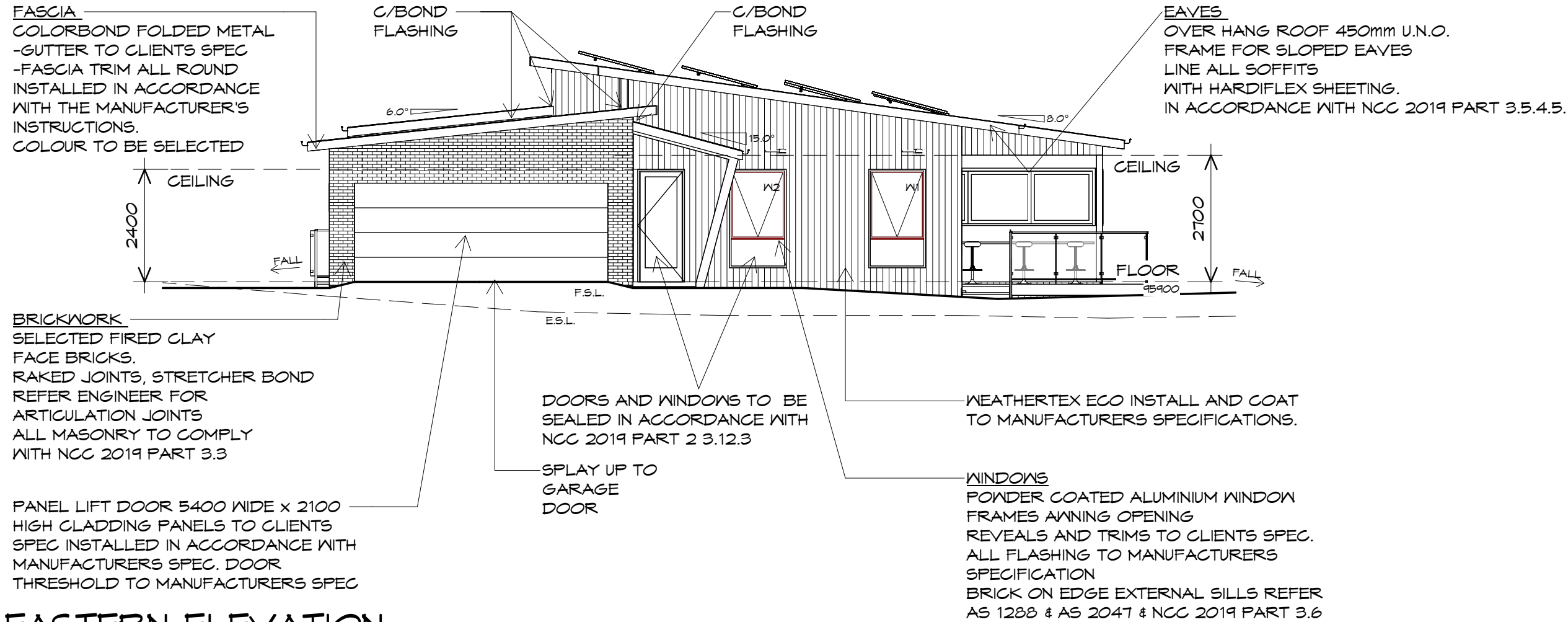
BUILDING MEMBRANE
PLIABLE BUILDING MEMBRANE INSTALLED TO EXTERIOR WALLS TO BE VAPOUR PERMEABLE TO COMPLY WITH & BE INSTALLED TO AS4200 & COMPLY WITH NCC 2019 PART 3.8.7.2.

FLASHINGS TO WALL OPENINGS
OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO WEATHER MUST BE FLASHED WITH MATERIAL COMPLYING WITH AS/NZS 2904 TO TOP, BOTTOM & SIDES OF OPENINGS. FLASHINGS MUST BE SUITABLE FOR FRAMING & CLADDING USED. TO COMPLY NCC 2019 PART 3.5.4.6



NORTHERN ELEVATION

1 : 100



EASTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

FOR COLOURS AND FINISHES REFER TO INTERIOR SPEC DOCUMENTATION

Prime Design

10 Goodman Court, Invermay Tasmania 7248,
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Project:
PROPOSED NEW RESIDENCE
22 JACQUELINE PLACE,
RIVERSIDE

Client name:
V.S. GESKUS

Drawing:
ELEVATIONS

Drafted by:
D.D.H.

Approved by:
F.G.G.

Date:
24.07.2026

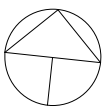
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Project/Drawing no:
PD19302 -09

Revision:
A

Accredited building practitioner: Frank Geskus -No CC246A

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GLAZING
ALL GLAZING IS TO COMPLY WITH THE PROVISIONS OF PART 3.6. OF THE NCC 2019. IN PARTICULAR THAT THE GLAZING IN THE WINDOW LOCATED OVER THE BATH/ SHOWER INSTALLATION TO COMPLY WITH HUMAN IMPACT SAFETY REQUIREMENTS, SECTION 5.12 OF A.S.1288
WINDOWS TO BE SEALED IN ACCORDANCE WITH A.S.2047
ALL GLASS INSTALLATIONS INCLUDING ROOFS, WINDOW AND DOORS TO BE TAGGED ON-SITE OR GLAZIER TO SUPPLY COMPLIANCE CERTIFICATE AT FINAL INSPECTION.

DAMP PROOF COURSE
TO BE INSTALLED UNDER EXTERNAL MASONRY ON SLABS OR FOOTINGS, SHALL BE OF SUFFICIENT WIDTH TO PROJECT PAST THE EXTERNAL FACE OF THE WALL.
NCC 2019 PART 3.3.5.7
UNDER SUBFLOOR WALL ON MASONRY

CAVITY VENTILATION AND DRAINAGE
OPEN WEEPHOLES TO BRICK COURSE IMMEDIATELY ABOVE ANY DPC OR FLASHING. AT 1200 CRS AND HEAD AND SILL OPENING OVER 1000mm
SILL AND HEAD FLASHING INSTALLED IN ACCORDANCE WITH NCC 2019 PART 3.3.5.9

BRICK TIE SPACINGS
FOR 450mm STUD SPACING
TYPICAL 600x450 SPACING 300x225 AT OPENINGS AND CONTROL JOINTS
REFER TO NCC 2019 PART 3.3.5.10 / AS2699.1 FOR FURTHER DETAILS

PROTECTION OF WINDOWS

- PROTECTION IS TO BE PROVIDED TO A BEDROOM WINDOW IF THE FINISHED FLOOR LEVEL OF THE BEDROOM HAS A HEIGHT GREATER THAN 2M FROM THE FINISHED GROUND LEVEL AND WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS WITHIN 1.7M MEASURED FROM THE FINISHED FLOOR LEVEL OF THE BEDROOM FLOOR.
- ALL BARRIERS, DEVICES AND OPERATION OF PROTECTED WINDOWS ARE TO COMPLY WITH NCC 2019 Vol.2 PART 3.9.2.6.

BUILDING MEMBRANE
PLIABLE BUILDING MEMBRANE INSTALLED TO EXTERIOR WALLS TO BE VAPOUR PERMEABLE TO COMPLY WITH & BE INSTALLED TO AS4200 & COMPLY WITH NCC 2019 PART 3.8.7.2.

FLASHINGS TO WALL OPENINGS
OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO WEATHER MUST BE FLASHED WITH MATERIAL COMPLYING WITH AS/NZS 2904 TO TOP, BOTTOM & SIDES OF OPENINGS. FLASHINGS MUST BE SUITABLE FOR FRAMING & CLADDING USED. TO COMPLY NCC 2019 PART 3.5.4.6

ROOF VENTILATION
THROUGH WALL @ 3000 CRS
230x152 PAINTED TO MATCH WALL CLADDING

ROOF CLADDING
COLORBOND CUSTOM ORB TO CLIENTS SPECS.

C/BOND FLASHING

CEILING

CEILING

LOWER FLOOR

F.S.L.

FALL

ESL

ESL

ESL

ESL

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GLASS BALUSTRADE
HANDRAIL TO BE 1020mm HIGH MINIMUM
865 MINIMUM FOR STAIRS
TO COMPLY WITH NCC NCC 2019 PART 3.9.2.
POSTS AT A MAXIMUM SPACING OF 1800mm
NO OPENING GREATER THAN 125 mm
GLASS INFILL TO COMPLY WITH AS. 1288

EAVES
OVER HANG ROOF 450mm U.N.O.
FRAME FOR SLOPED EAVES
LINE ALL SOFFITS
WITH HARDIFLEX SHEETING.
IN ACCORDANCE WITH NCC 2019 PART 3.5.4.5.

SUB-FLOOR VENTILATION
PROVIDE EVENLY SPACED VENTILATION OPENINGS TO SUB-FLOOR STRICTLY IN ACCORDANCE WITH PART 3.4.1 OF NCC 2019
CLIMATE ZONE 7 TO BE ADOPTED.
6000mm SQ PER METRE OF WALL
REFER TO MANUFACTURE SPECS.
240mm x 86mm VENTS @ 1000 CRS.

TIMBER DECK
ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF A.S.1684
ALL EXTERNAL DECK COMPONENTS TO BE TAN E TREATED PINE (F5)
ALL EXPOSED FIXTURES, BOLTS ETC. TO BE HOT DIPPED GALVANIZED.
REFER AS 1684, AS1720.1 & NCC 2019 PART 3.4.3
FIXING TO EXTERNAL WALL TO COMPLY WITH NCC 2019 PART 3.10.6

SOUTHERN ELEVATION

1 : 100

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

FASCIA
COLORBOND FOLDED METAL
-GUTTER TO CLIENTS SPEC
-FASCIA TRIM ALL ROUND
INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
COLOUR TO BE SELECTED

MINIMUM CLEARANCE BETWEEN CLADDING & GROUND

- 150mm
- 50mm ABOVE IMPERMEABLE AREAS THAT SLOPE AWAY. CONC. OR PAVED

WALL CLADDING MUST EXTEND MIN 50mm BELOW BEARER OR LOWEST POINT OF SUSPENDED FLOOR FRAMING. TO COMPLY WITH NCC 2019 PART 3.5.4.7

WEATHERTEX ECO INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS.

WINDOWS
POWDER COATED ALUMINIUM WINDOW FRAMES AWNING OPENING
REVEALS AND TRIMS TO CLIENTS SPEC.
ALL FLASHING TO MANUFACTURERS SPECIFICATION
REFER AS 1288 & AS 2047 & NCC 2019 PART 3.6

WESTERN ELEVATION

1 : 100

FOR COLOURS AND FINISHES REFER TO INTERIOR SPEC DOCUMENTATION

Prime Design

10 Goodman Court, Invermay Tasmania 7248,
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Shop 9, 105-111 Main Road, Moonah Hobart 7009
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Project:
PROPOSED NEW RESIDENCE
22 JACQUELINE PLACE,
RIVERSIDE

Client name:
V.S. GESKUS

Drawing:
ELEVATIONS

Drafted by: **D.D.H.** Approved by: **F.G.G.**

Date: **24.07.2026** Scale: **1 : 100@A2**

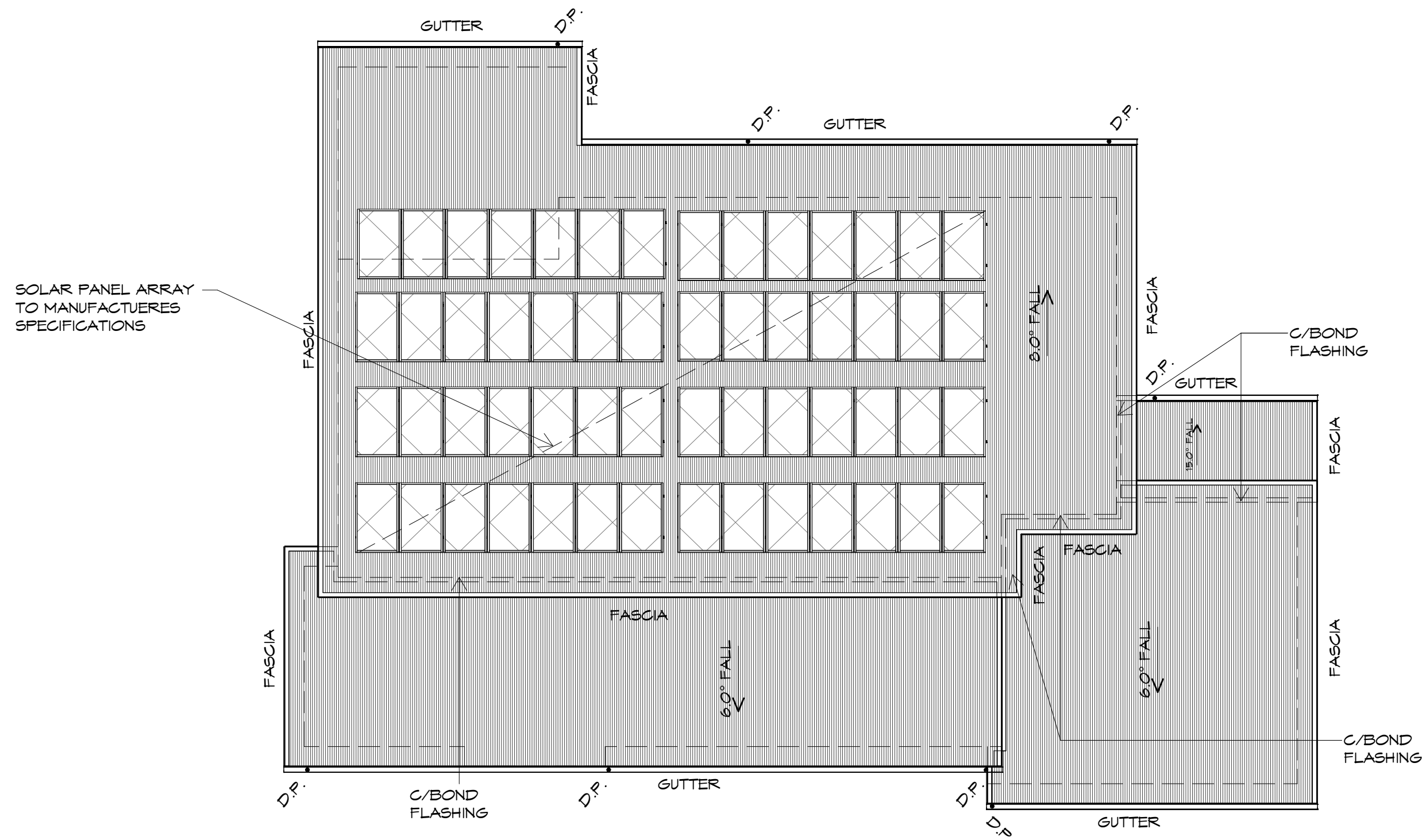
Project/Drawing no: **PD19302 -10** Revision: **A**

Accredited building practitioner: Frank Gekus -No CC246A

bdaa
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PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



ROOF PLAN
1 : 100

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
NCC 2019 PART 3.5.2.4.
WITH FALL NO LESS THAN
1:100 FOR BOX GUTTERS
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & WITHIN 1.2m FROM A
VALLEY GUTTER.

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF
CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS.
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER
FREQUENCY FOR TRANSVERSE FLASHINGS AND
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF PENETRATION FLASHING DETAILS.
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER
NCC 2019 PART 3.5.1.8



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Project:
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22 JACQUELINE PLACE,
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Client name:
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Drawing:
ROOF PLAN

Drafted by: D.D.H. Approved by: F.G.G.
Date: 24.07.2026 Scale: 1 : 100@A2

Project/Drawing no: PD19302 -11 Revision: A
Accredited building practitioner: Frank Geskus -No CC246A

