

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number PA2026217

Assess No: A13945

PID No: 9282969

Applicant Name:	Design To Live				
Postal Address:					
Contact Phone:	Home		Work		Mobile
Email Address:					

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements
2. A completed application form including a detailed description of the proposal
3. A complete plan set:
 - a) Floor plans
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level)
 - c) Site Plan showing:
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

✓
✓
✓
✓
✓
✓

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: Design To Live Lyndon Stubbs

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) ADAM & SSARAH BODHI

Location / Address: 52 EIGER COURT, GRINDELWALD

Title Reference: 189241/3

Zone(s): LOW DENSITY

Existing Development/Use: VACANT

Existing Developed Area: Area 0

DEVELOPMENT APPLICATION DETAILS

Proposed Use: Residential: ☒ Visitor Accommodation: ☐ Commercial: ☐ Other: ☐
Description of Use:
RESIDENTIAL

Development Type: Building work: ☒ Demolition: ☐ Subdivision: ☐ Other: ☐
Description of development:
PROPOSED DWELLING AND SHED

New or Additional Area: Area 225 + 150m²

Estimated construction cost of the proposed development: \$ 450,000

Building Materials:
Wall Type: METAL Colour: TBC
Roof Type: METAL Colour: TBC

Application Number: «Application Number»

SUBDIVISION	☒ N/A
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Subdivision creating additional lots ☐
 Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE	☒ N/A
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Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	
Existing Car Parking:				
Proposed Car Parking:				
Number of Employees: <i>(Existing)</i>				
Number of Employees: <i>(Proposed)</i>				
Type of Machinery installed:				
Details of trade waste and method of disposal:				

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

(if not the owner)

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**General
Manager**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

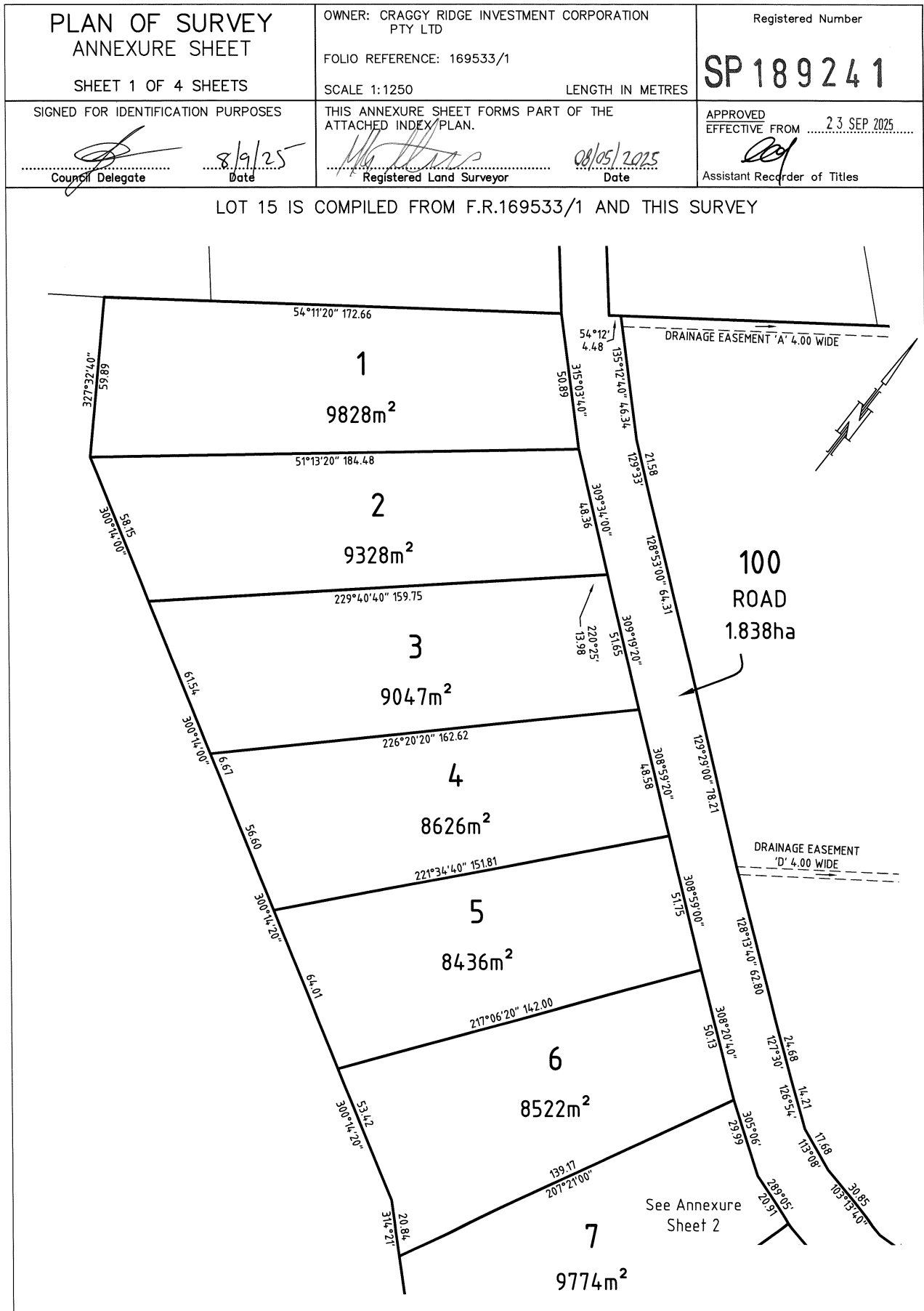
As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

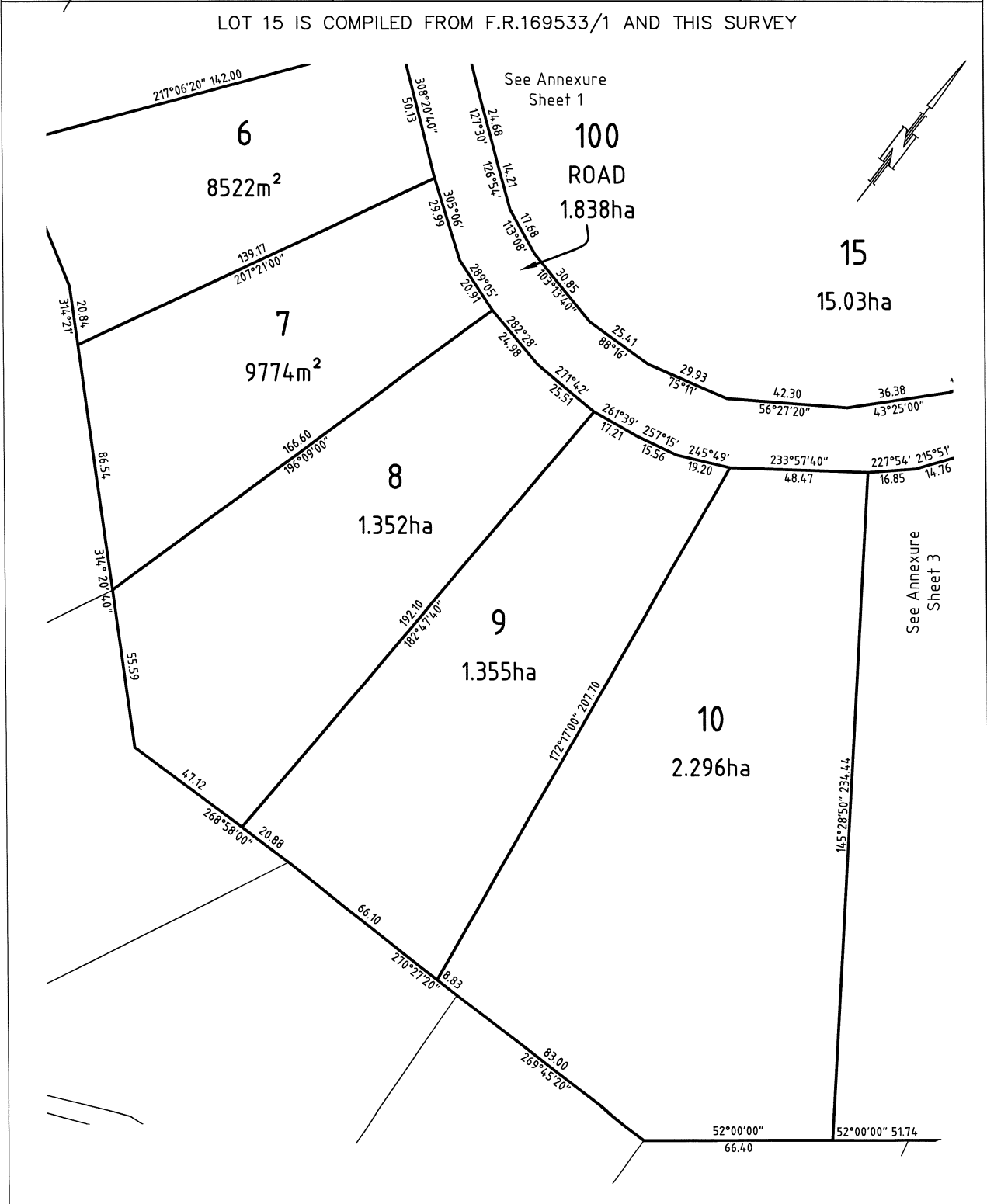
Date

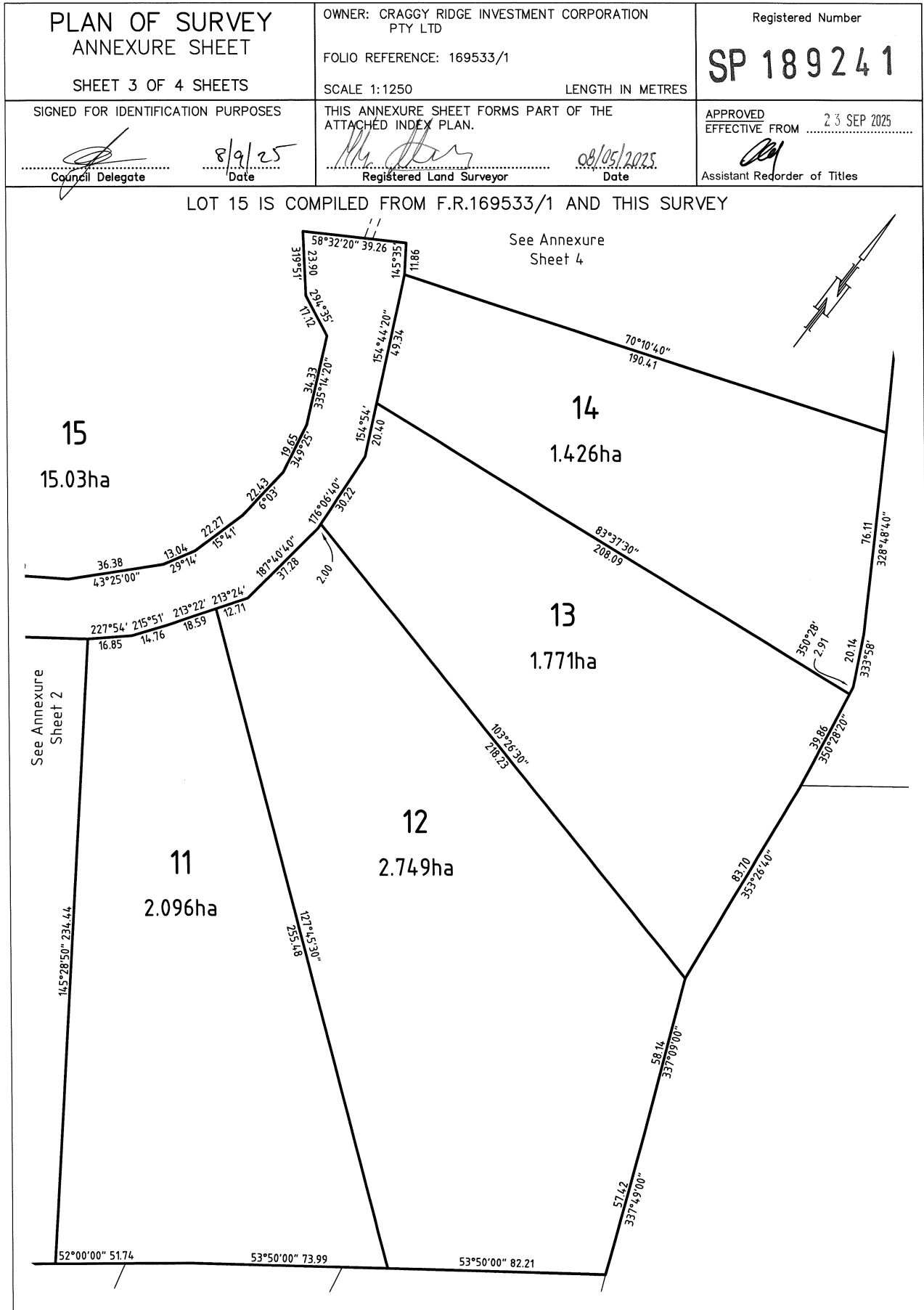
OWNER : CRAGGY RIDGE INVESTMENT CORPORATION PTY LTD FOLIO REFERENCE : F.R. 169533/1 GRANTEE : PART OF 800 ACRES GRANTED TO JOSIAS MCALLEN.	PLAN OF SURVEY BY SURVEYOR: M.R. HEATLEY of OPDA SURVEYORS, ENGINEERS & PLANNERS 3/23 BRISBANE STREET, LAUNCESTON LOCATION: LAND DISTRICT OF DEVON PARISH OF ST MICHAELS SCALE 1:4000 LENGTHS IN METRES	REGISTERED NUMBER SP189241 APPROVED EFFECTIVE FROM 23 SEP 2025 <i>[Signature]</i> Assistant Recorder of Titles
PRIORITY FINAL PLAN SURVEYORS REF: 48697 ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		
LOT 15 IS COMPILED FROM F.R.169533/1 AND THIS SURVEY A: DRAINAGE EASEMENT 'A' 4.00 WIDE B: DRAINAGE EASEMENT 'B' 4.00 WIDE C: DRAINAGE EASEMENT 'C' 4.00 WIDE & VARIABLE WIDTH D: DRAINAGE EASEMENT 'D' 3.00 WIDE F: DRAINAGE EASEMENT 'F' 4.00 WIDE G: DRAINAGE EASEMENT 'G' 3.00 WIDE H: DRAINAGE EASEMENT 'H' 10.00 WIDE		
<i>[Signature]</i> Registered Land Surveyor 08/05/2025 Date <i>[Signature]</i> Council Delegate 08/09/25 Date		

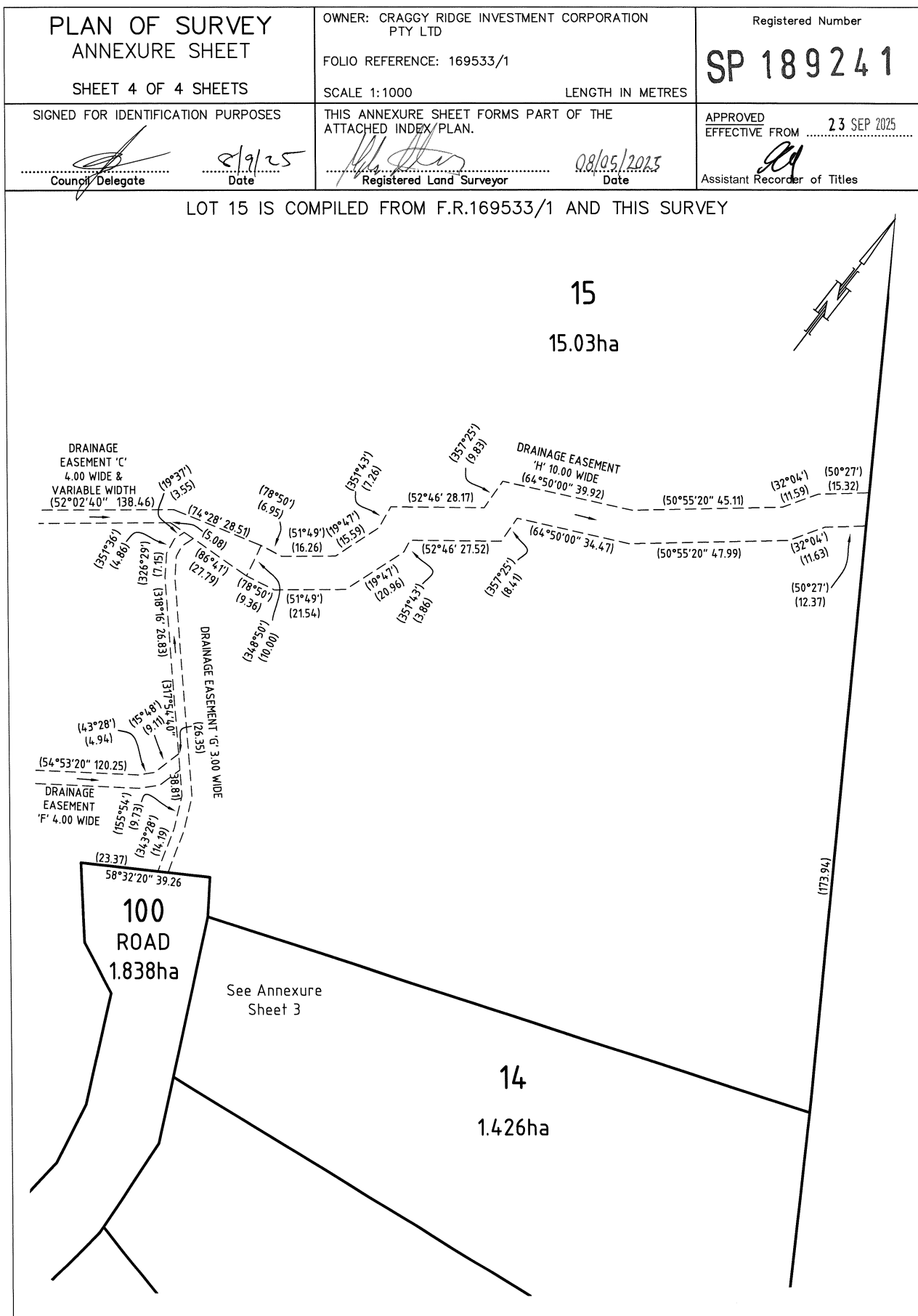


PLAN OF SURVEY ANNEXURE SHEET SHEET 2 OF 4 SHEETS	OWNER: CRAGGY RIDGE INVESTMENT CORPORATION PTY LTD FOLIO REFERENCE: 169533/1 SCALE 1:1250 LENGTH IN METRES	Registered Number SP189241
SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> 8/9/25 Council Delegate Date	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>[Signature]</i> 08/05/2025 Registered Land Surveyor Date	APPROVED EFFECTIVE FROM 23 SEP 2025 <i>[Signature]</i> Assistant Recorder of Titles

LOT 15 IS COMPILED FROM F.R.169533/1 AND THIS SURVEY







SCHEDULE OF EASEMENTS	Registered Number SP 189241
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 2 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 15 on the plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'A' 4.00 WIDE" shown passing through Lot 15 on the plan.

Lot 15 on the plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'B' 4.00 WIDE" shown passing through Lot 15 on the plan.

Lot 15 on the plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'C' 4.00 WIDE & VARIABLE WIDTH" shown passing through Lot 15 on the plan.

Lot 15 on the plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'D' 3.00 WIDE" shown passing through Lot 15 on the plan.

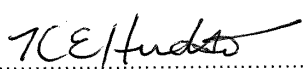
Lot 15 on the plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'F' 4.00 WIDE" shown passing through Lot 15 on the plan.

Lot 15 on the plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'G' 3.00 WIDE" shown passing through Lot 15 on the plan.

Lot 15 on the plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 'H' 10.00 WIDE" shown passing through Lot 15 on the plan.

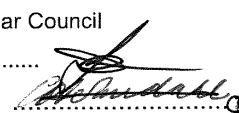
COVENANTS

Those parts of Lots 15 and 100 on the plan formerly comprised in Lots 9 and 15 on Sealed Plan 106310 are affected by the restrictive covenants more particularly set forth in SP51549 and SP106310.


Kenneth Ernest Hudson – Director


David John Vautin - Director

(USE ANNEXURE PAGES FOR CONTINUATION)

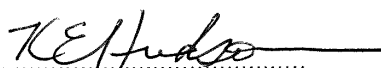
SUBDIVIDER: Craggy Ridge Investment Corporation Pty Ltd FOLIO REF: Volume 169533 Folio 1 SOLICITOR & REFERENCE: Penny Sproal - PS:248278	PLAN SEALED BY: West Tamar Council DATE: 8/9/25 PA2020105 REF NO.	 Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.		

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 2 PAGES	Registered Number SP 189241
SUBDIVIDER: Craggy Ridge Investment Corporation Pty Ltd FOLIO REFERENCE: Volume 169533 Folio 1	

FENCING COVENANT

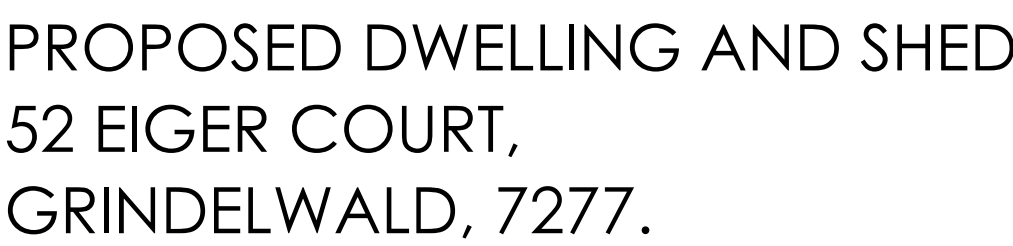
The Owner of each lot on the Plan covenants with the Vendor (Craggy Ridge Investment Corporation Pty Ltd) that the Vendor shall not be required to fence.

EXECUTED by Craggy Ridge Investment Corporation Pty Ltd (ACN 165 719 746) being the registered proprietor of the land comprised in folio of the Register Volume 169533 Folio 1 pursuant to Section 127 of the Corporations Act 2001:


.....
Kenneth Ernest Hudson – Director


.....
David John Vautin - Director

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

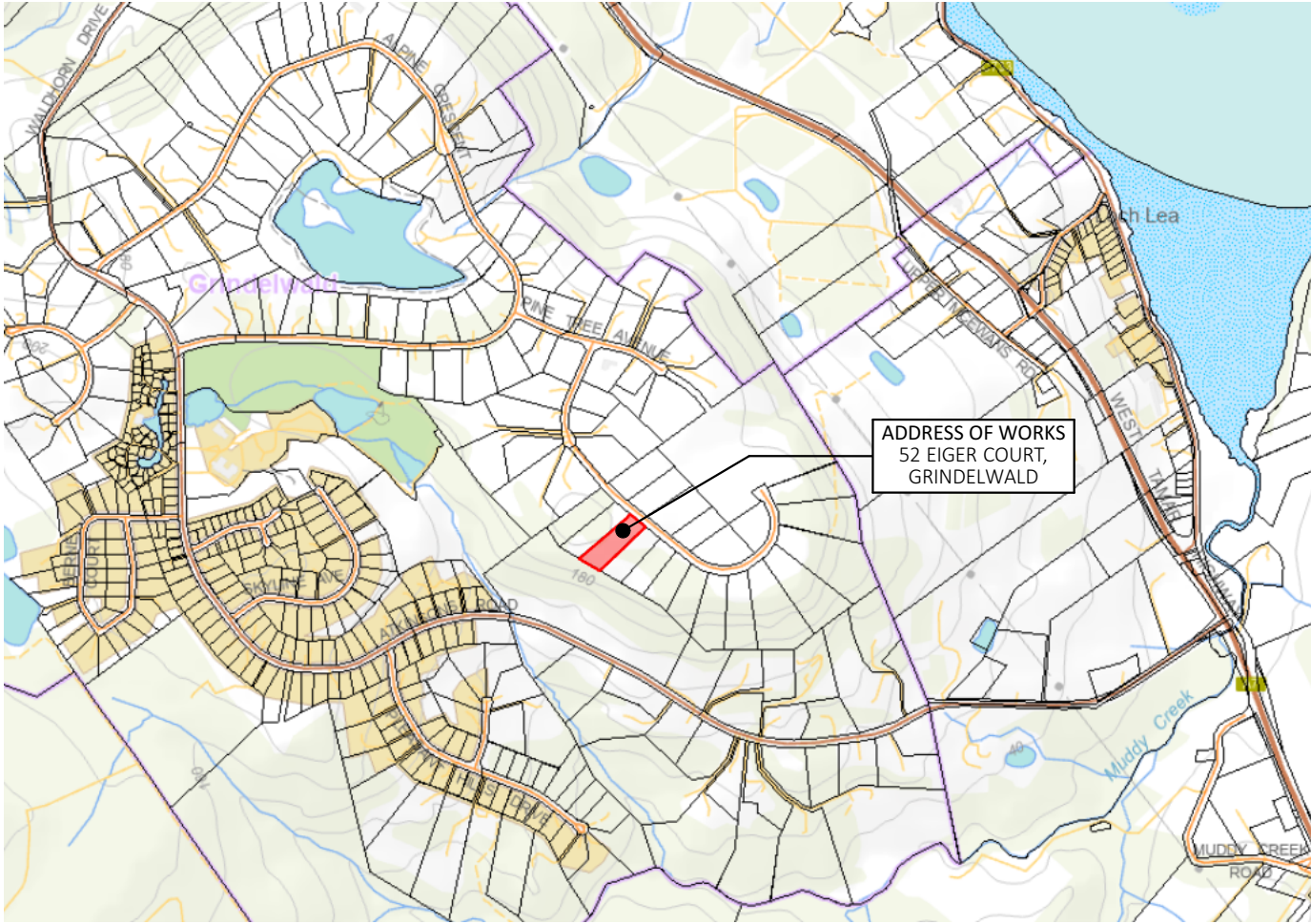


A01	COVER PAGE
A02	LOCATION PLAN
A03	SITE PLAN
A04	SITE PLAN
A05	FLOOR PLAN
A06	SITE SERVICES
A07	EXTERNAL SERVICES
A08	ELEVATIONS NTH-STH
A09	ELEVATIONS EST-WST

ATTACHMENTS

RAYHEAL2606030 SHED DOCUMENTS

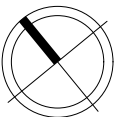
 ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: ADAM & SSARAH BODHI	DRAWING COVER PAGE	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.	SIGNATURE: DATE:	SIGNATURE: DATE:	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	EGRC52
	R1						31/07/2026	FOR D.A.	DRAWN	L.S.	DRAWING	A01 1 OF 9	
									CHECKED	M.L.	PAGE SIZE	A3	



ADDRESS OF WORKS
52 EIGER COURT,
GRINDELWALD

LOCALITY PLAN
NOT TO SCALE

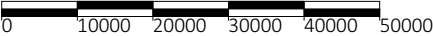
AREA	m ²
DWELLING	225.00
PROPOSED SHED	150.00



NORTH

LOCATION PLAN

SCALE 1:1000



ACC # 371799313
ABN. 71 615 812 747
PH. 6344 7319
E. info@designtolive.com.au
W. designtolive.com.au

CLIENT/S:
ADAM & SSARAH BODHI

SITE ADDRESS:
52 EIGER COURT,
GRINDELWALD, 7277.

DRAWING
LOCATION
PLAN

I/WE APPROVE THESE DRAWING TO BE
CORRECT PER CONTRACT.

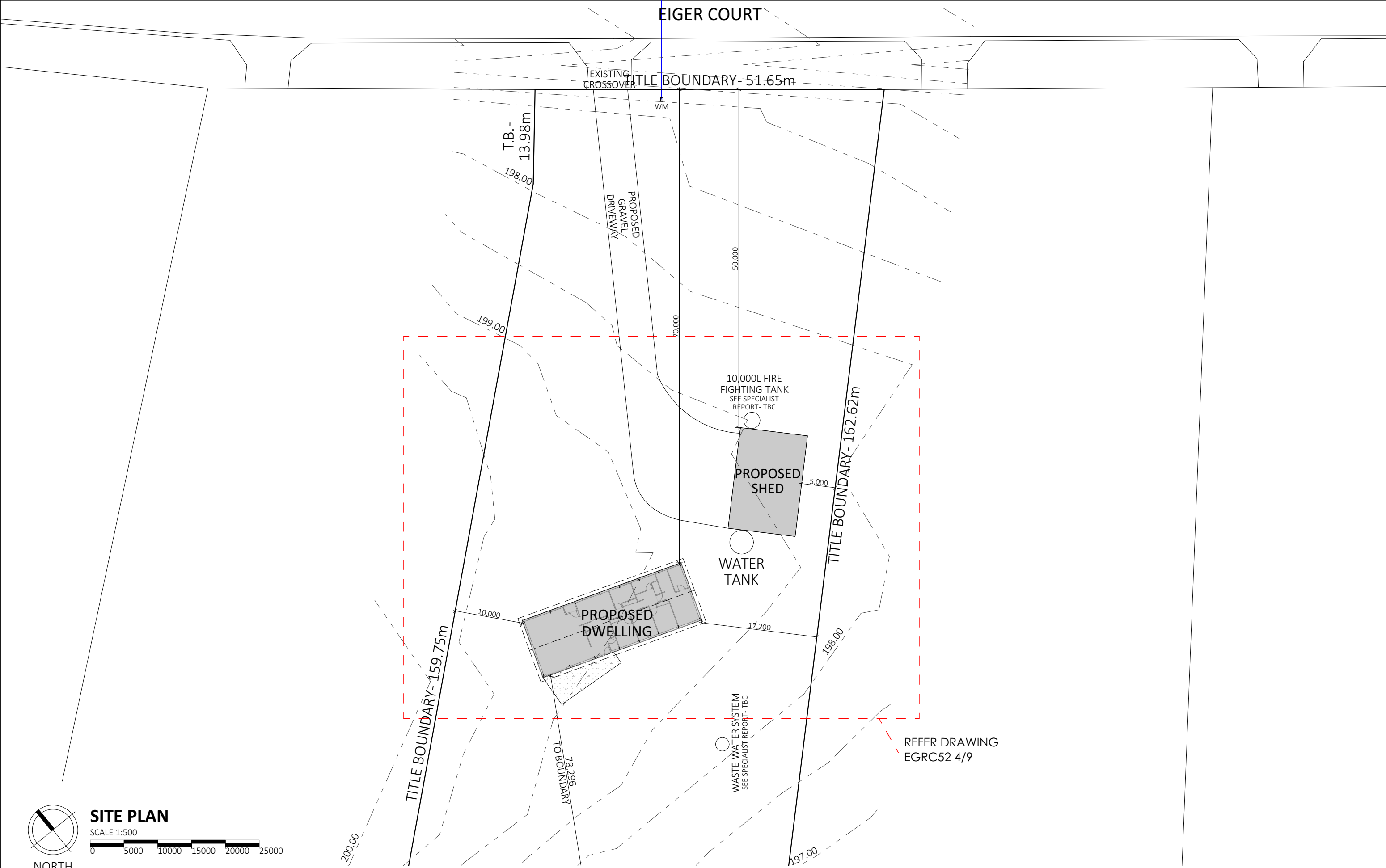
SIGNATURE:
SIGNATURE:

DATE:
DATE:

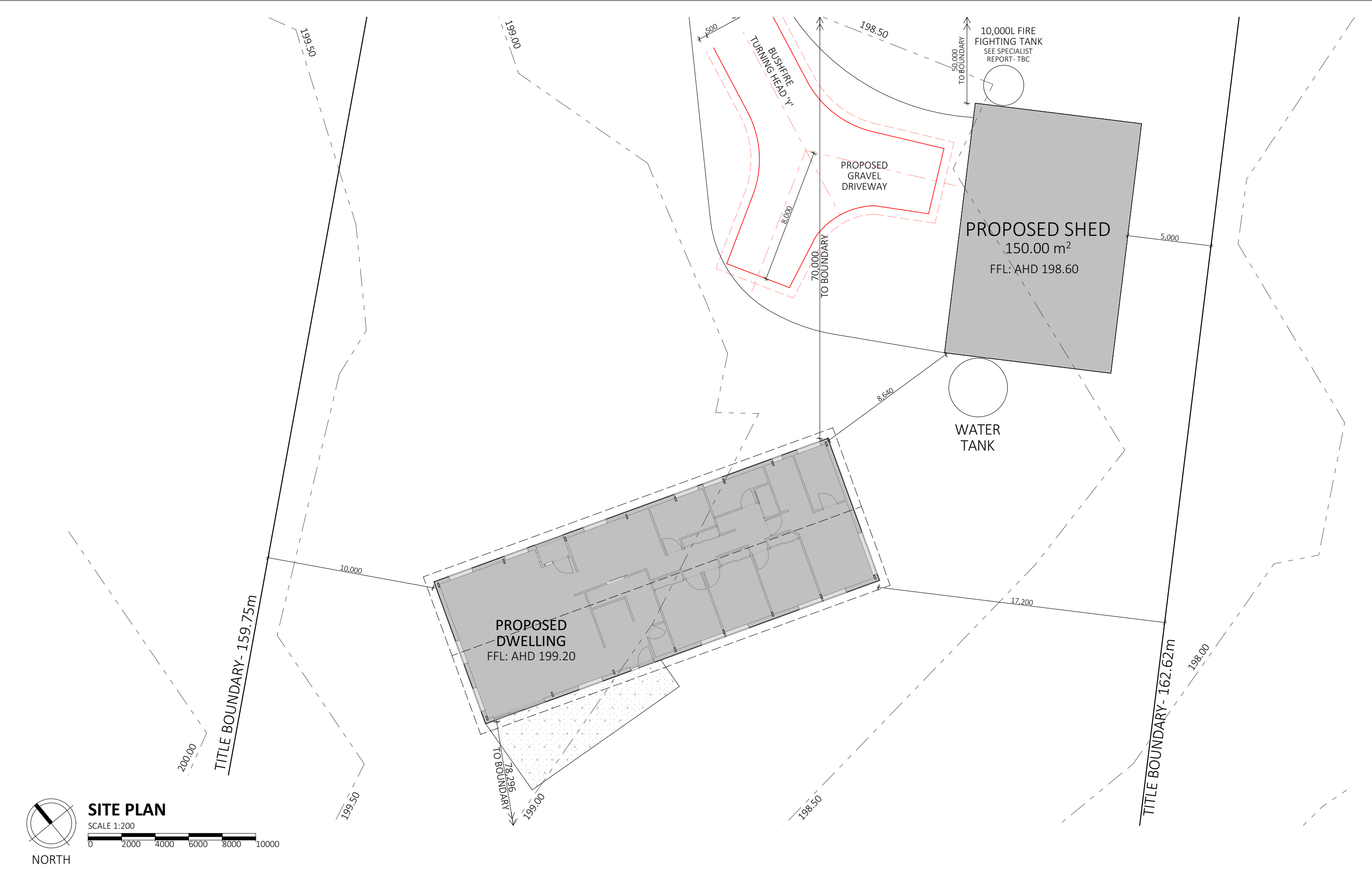
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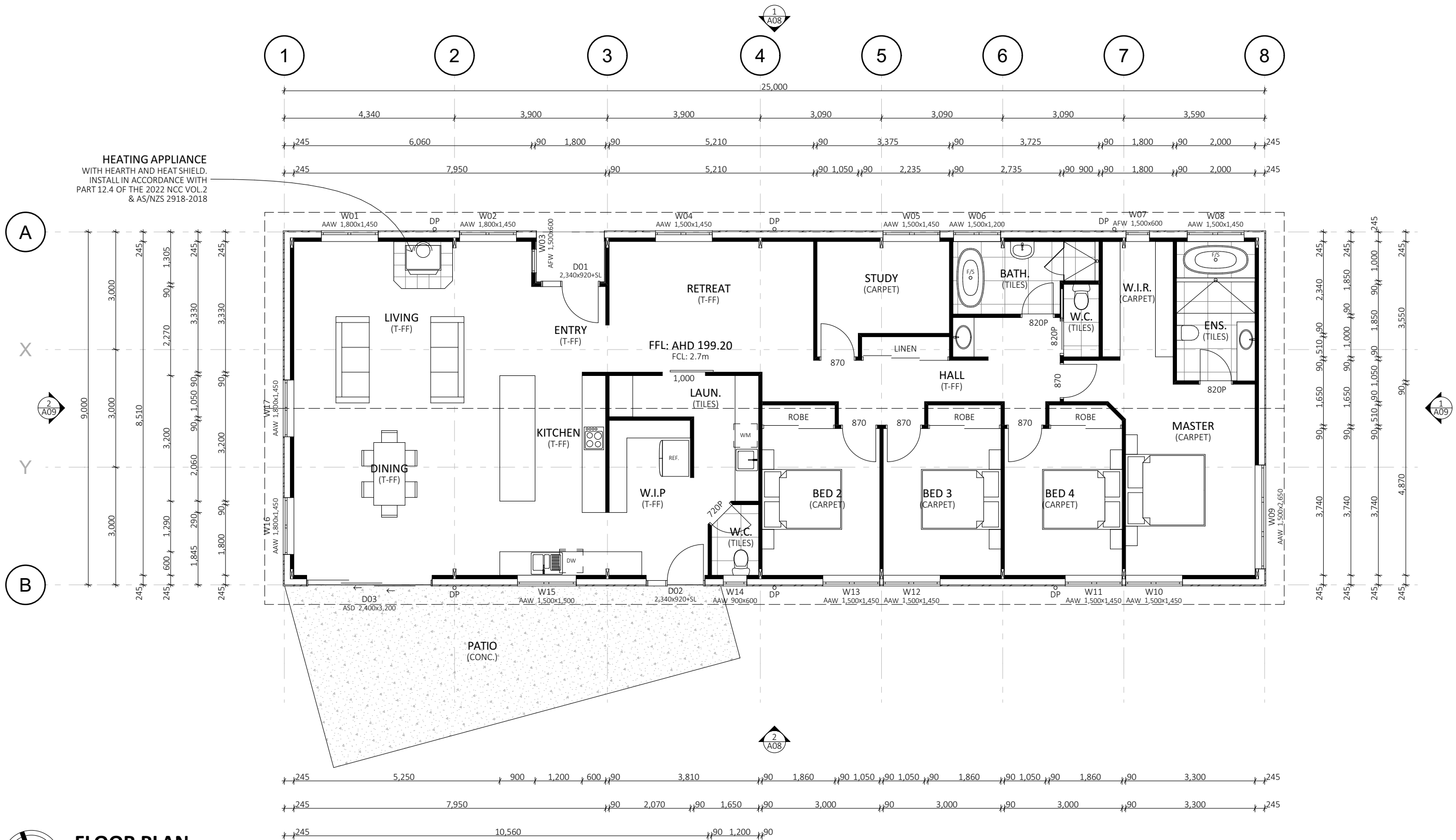
REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	EGRC52
R1	31/07/2026	FOR D.A.	DRAWN	L.S.	DRAWING	A02 2 OF 9
			CHECKED	M.L.	PAGE SIZE	A3



	ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: ADAM & SSARAH BODHI	SITE ADDRESS: 52 EIGER COURT, GRINDELWALD, 7277.	DRAWING SITE PLAN	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.	SIGNATURE: SIGNATURE:	DATE: DATE:	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	EGRC52
									R1	31/07/2026	FOR D.A.	DRAWN	L.S.	DRAWING	A03 3 OF 9
												CHECKED	M.L.	PAGE SIZE	A3



	ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: ADAM & SARAH BODHI	SITE ADDRESS: 52 EIGER COURT, GRINDELWALD, 7277.	DRAWING SITE PLAN	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.	SIGNATURE: SIGNATURE:	DATE: DATE:	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	EGRC52
									R1	31/07/2026	FOR D.A.	DRAWN	L.S.	DRAWING	A04 4 OF 9
												CHECKED	M.L.	PAGE SIZE	A3



FLOOR PLAN
SCALE 1:100



ACC # 371799313
ABN. 71 615 812 747
PH. 6344 7319
E. info@designtolive.com.au
W. designtolive.com.au

CLIENT/S:
ADAM & SARAH BODHI

SITE ADDRESS:
52 EIGER COURT,
GRINDELWALD, 7277.

**DRAWING
FLOOR PLAN**

I/WE APPROVE THESE DRAWING TO BE
CORRECT PER CONTRACT.

SIGNATURE:
SIGNATURE:

DATE:
DATE:

COPYRIGHT:
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Live, and may not be used in whole,
or in part without written or formal
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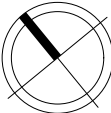
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R1	31/07/2026	FOR D.A.	DRAWN	L.S.	DRAWING	A05 5 OF 9
			CHECKED	M.L.	PAGE SIZE	A3

LEGEND	
B	BASIN
Ba	BATH (POP-UP PLUG WITH REMOVABLE WASTE)
S	SINK (65Ø)
T	LAUNDRY TUB (65Ø)
SH	SHOWER
WC	WATER CLOSET
FW	FLOOR WASTE
EV	VENT (THROUGH TO ROOF)
IO	INSPECTION OPENING
ORG	O/FLOW RELIEF GULLY
RE	RODDING EYE
X	EXTERNAL TAP
P	DRAINAGE PIT (357x357x452D)
DP	DOWNPIPE (90Ø)
	WET AREAS
	STORMWATER LINE (100mm PVC)
	SEWER LINE (100mm PVC)
	AG. DRAIN

THIS PAGE IS TO BE PRINTED
AND READ IN COLOUR.

NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH AS-3500 AND LOCAL PLUMBING CODE AND SHOULD BE CARRIED OUT BY A LICENSED PLUMBER.

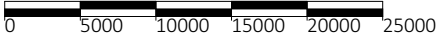
ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 03-2011-3.1 VERSION 3.1 MRWA VERSION 2.0) AND THE SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 02-2014-3.1 MRWA VERSION 2.0) AND TASWATER'S SUPPLEMENTS TO THESE CODES.

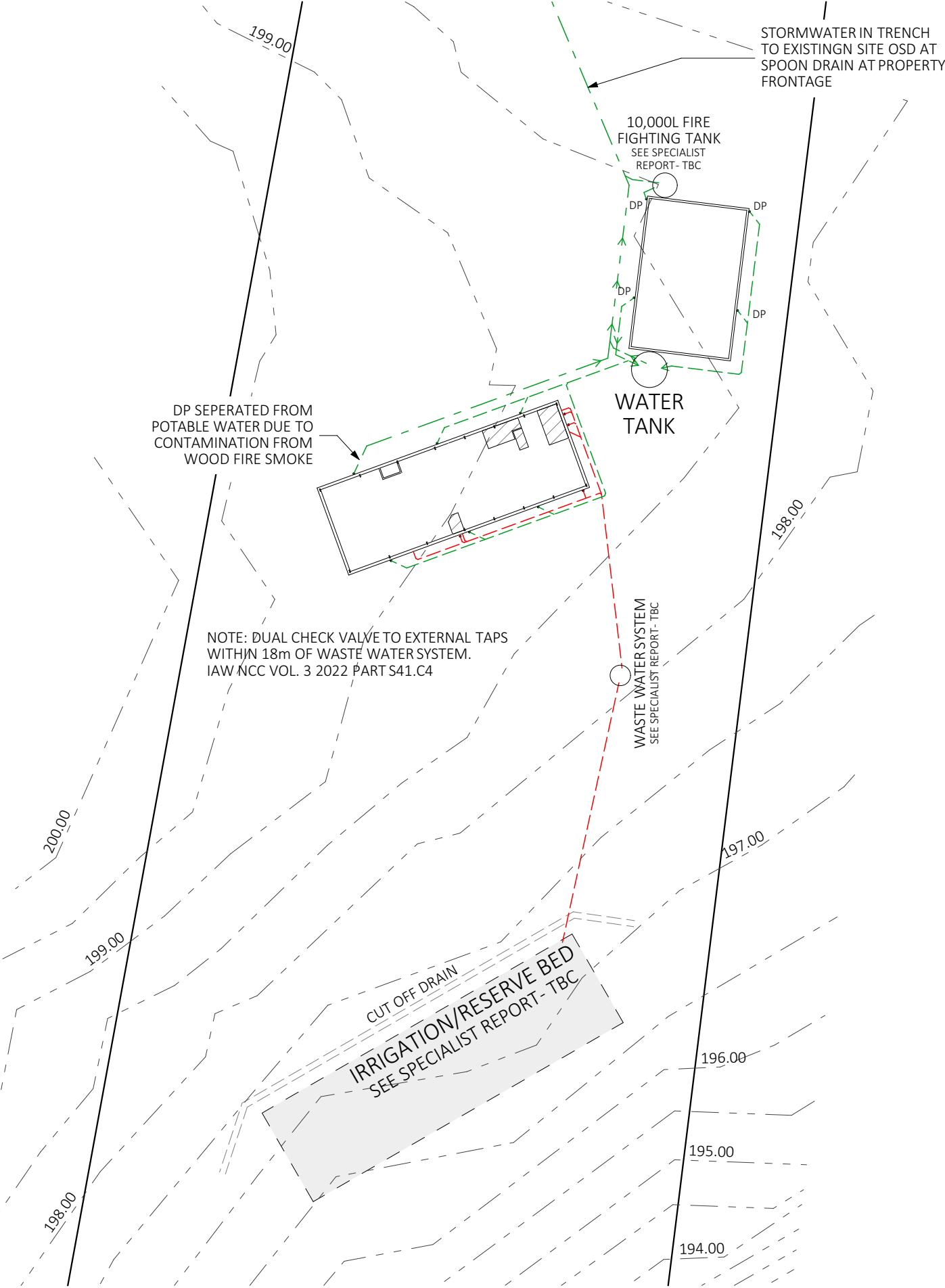


NORTH

SITE SERVICES

SCALE 1:500





INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

SERVICES
THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF THE NCC VOLUME THREE- PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST:
A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND
B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING ; AND
C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

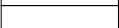
HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

1. INTERNAL PIPING
a) ALL FLOW AND RETURN INTERNAL PIPING THAT IS-
i) WITHIN AN UNVENTILATED WALL SPACE
ii) WITHIN AN INTERNAL FLOOR BETWEEN STOREYS; OR
iii) BETWEEN CEILING INSULATION AND A CEILING
MUST HAVE A MINIMUM R-VALUE OF 0.2

2. PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE
a) ALL FLOW AND RETURN PIPING
b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM,
MUST HAVE A MINIMUM R-VALUE OF 0.45

3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB FLOOR OR ROOF SPACE
a) ALL FLOW AND RETURN PIPING
b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM
MUST HAVE A MINIMUM R-VALUE OF 0.6

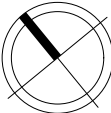
PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.

LEGEND	
B	BASIN
Ba	BATH (POP-UP PLUG WITH REMOVABLE WASTE)
S	SINK (65Ø)
T	LAUNDRY TUB (65Ø)
SH	SHOWER
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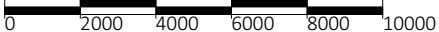
ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 03-2011-3.1 VERSION 3.1 MRWA VERSION 2.0) AND THE SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 02-2014-3.1 MRWA VERSION 2.0) AND TASWATER'SSUPPLEMENTS TO THESE CODES.

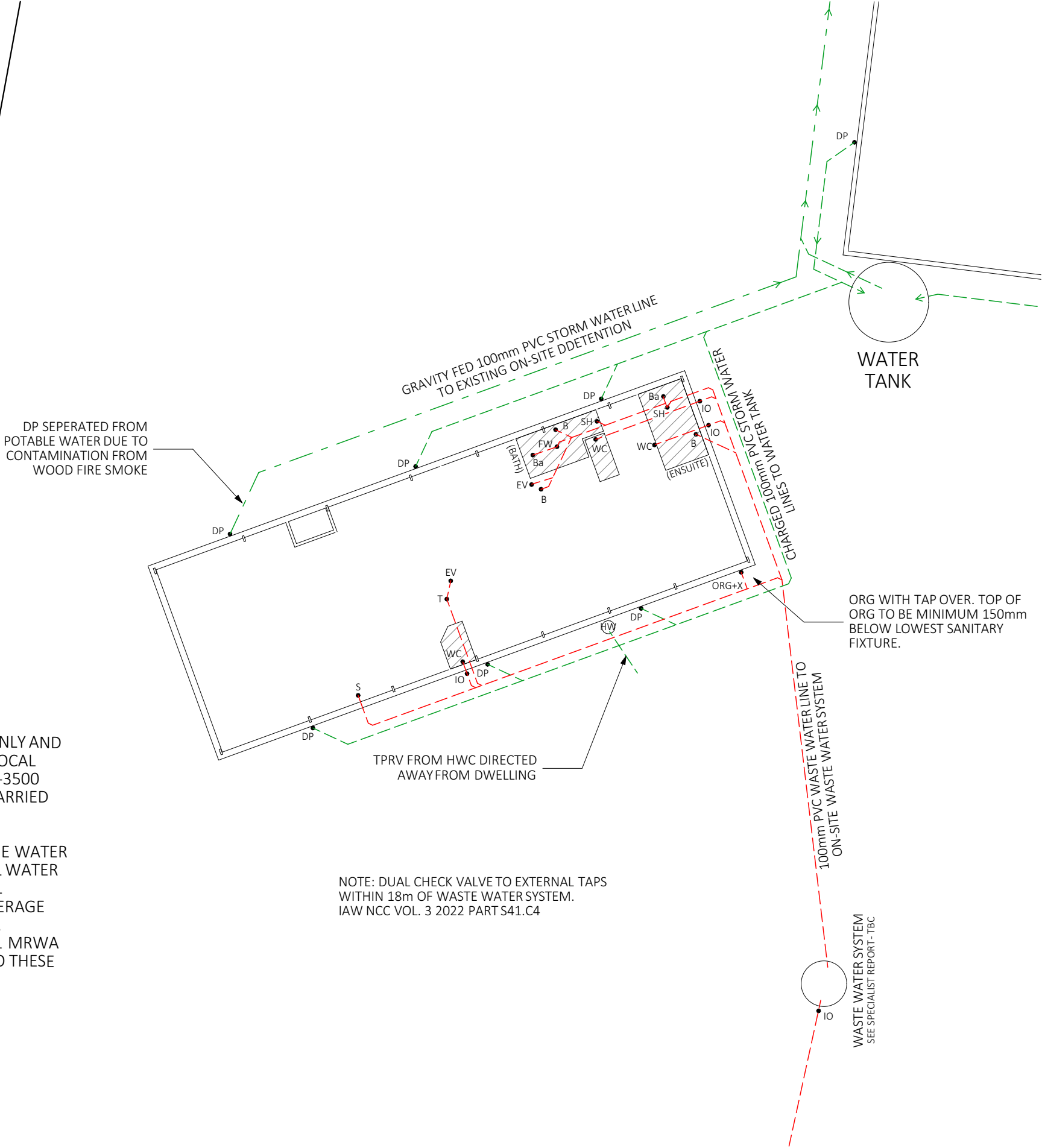


NORTH

EXTERNAL SERVICES

SCALE 1:200





INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

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THERMAL INSULATION FOR HEATED WATER PIPING MUST:
A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND
B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING ; AND
C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

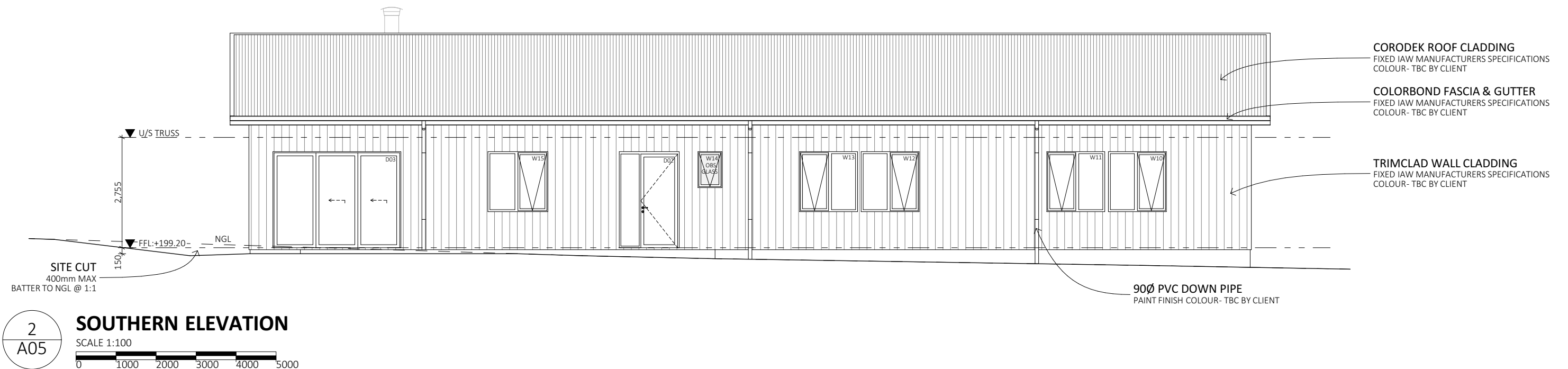
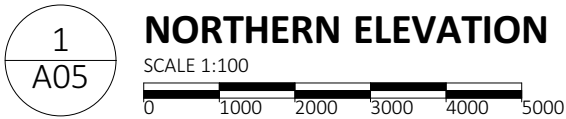
1. INTERNAL PIPING
a) ALL FLOW AND RETURN INTERNAL PIPING THAT IS-
i) WITHIN AN UNVENTILATED WALL SPACE
ii) WITHIN AN INTERNAL FLOOR BETWEEN STOREYS; OR
iii) BETWEEN CEILING INSULATION AND A CEILING
MUST HAVE A MINIMUM R-VALUE OF 0.2

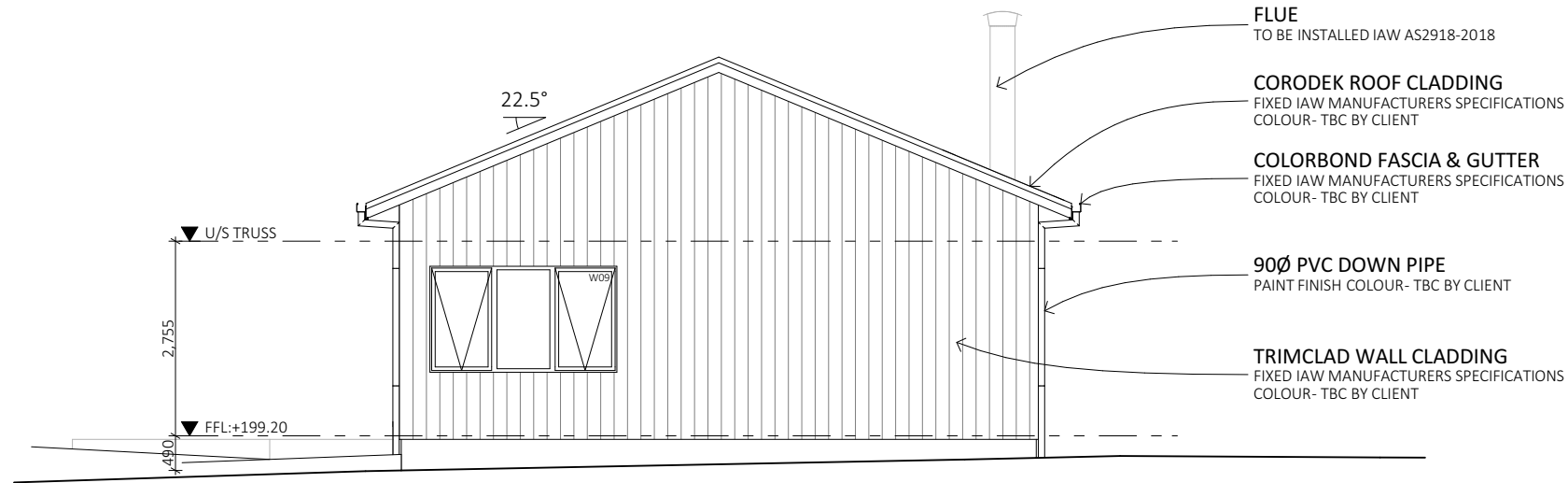
2. PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE
a) ALL FLOW AND RETURN PIPING
b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM,
MUST HAVE A MINIMUM R-VALUE OF 0.45

3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB FLOOR OR ROOF SPACE
a) ALL FLOW AND RETURN PIPING
b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM
MUST HAVE A MINIMUM R-VALUE OF 0.6

PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.

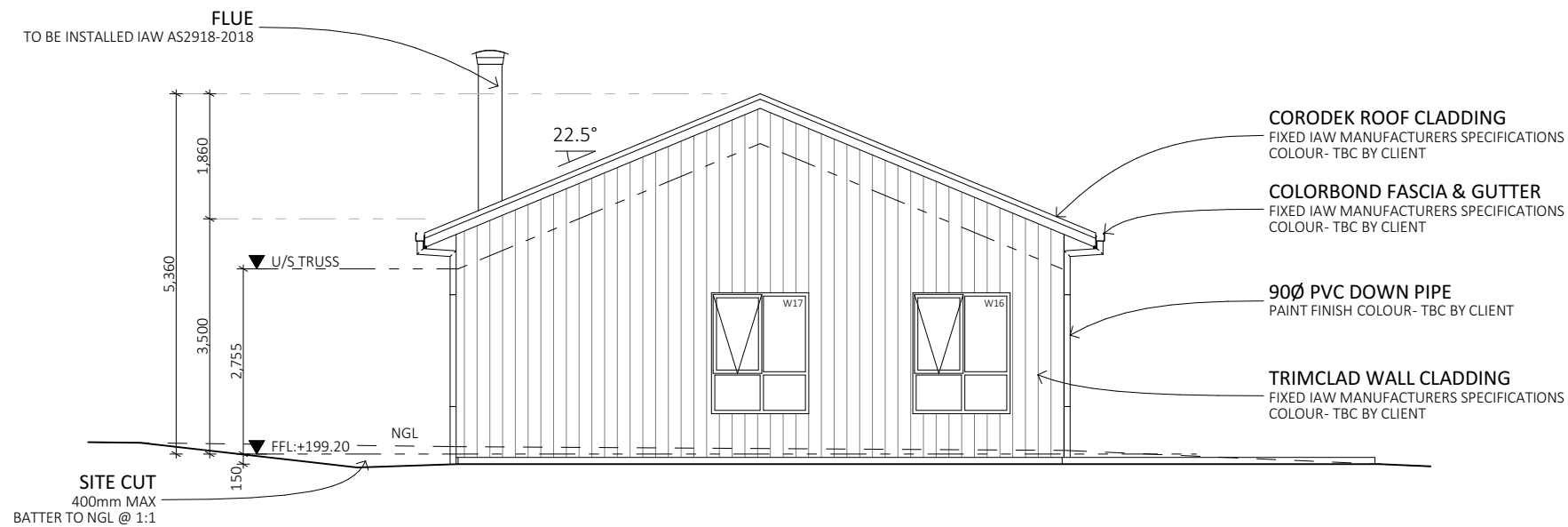
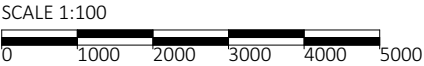
	ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: ADAM & SSARAH BODHI	DRAWING EXTERNAL SERVICES	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.	SIGNATURE: SIGNATURE:	DATE: DATE:	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	EGR52
	R1	31/07/2026						FOR D.A.	DRAWN	L.S.	DRAWING	A07 7 OF 9		
									CHECKED	M.L.	PAGE SIZE	A3		





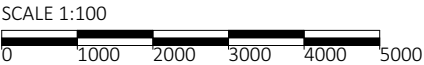
1
A05

EASTERN ELEVATION



2
A05

WESTERN ELEVATION



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CLIENT/S:
ADAM & SARAH BODHI

SITE ADDRESS:
52 EIGER COURT,
GRINDELWALD, 7277.

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ELEVATIONS
EST-WST**

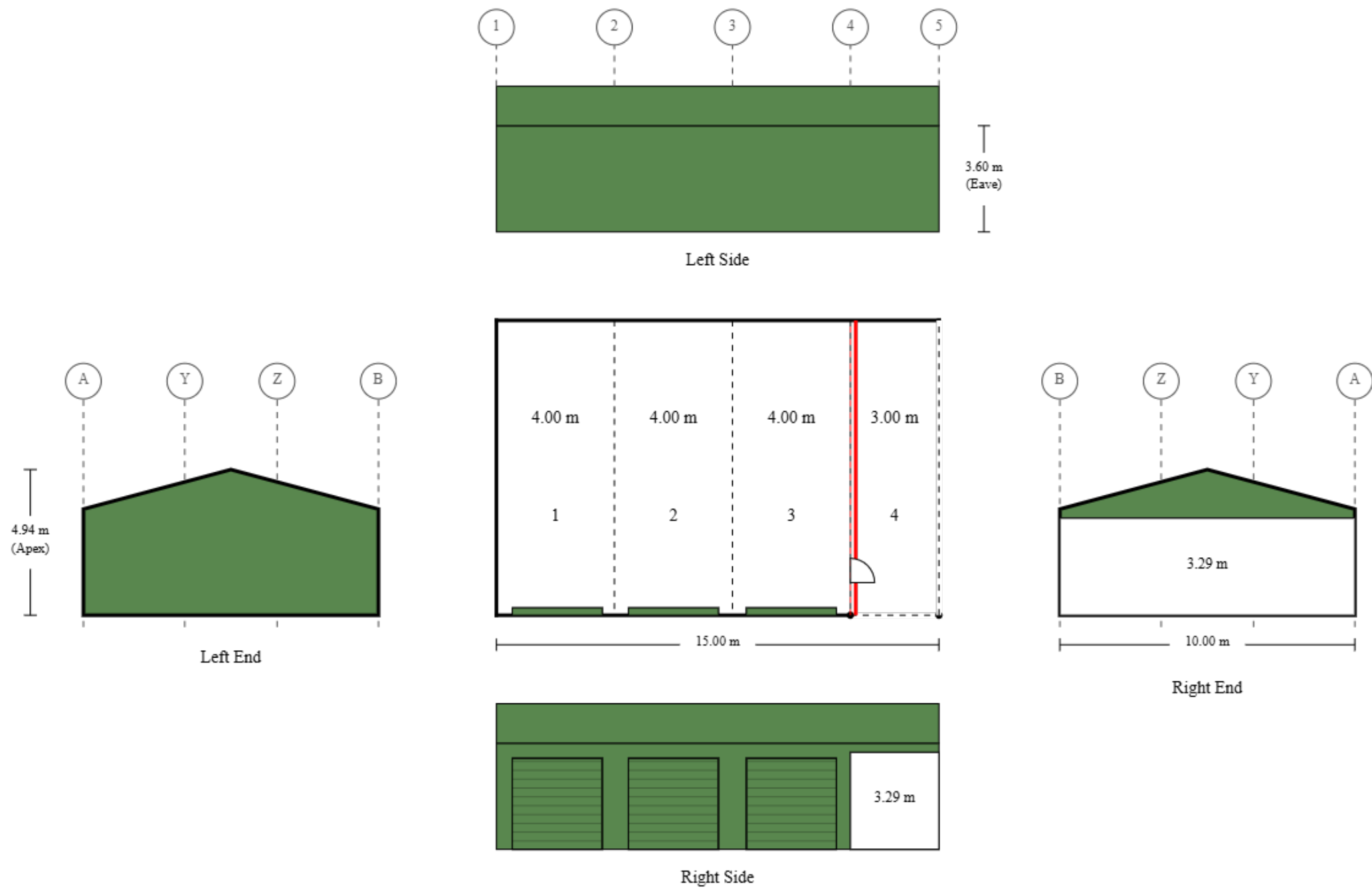
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