

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number PA2026223
Assess No: A8960
PID No: 9636282

Applicant Name:	6ty Pty Ltd					
Applicant Contact Name						
Postal Address:						
Contact Phone:	Home		Work		Mobile	
Email Address:						

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ✓
2. A completed application form including a detailed description of the proposal ✓
3. A complete plan set: ✓
 - a) Floor plans ✓
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ✓
 - c) Site Plan showing: ✓
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:
 - a) Planning submission

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: 6ty Pty Ltd

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) J & W Sherriff Pty Ltd

Location / Address: Lot 200 Greens Beach Glade, Greens Beach

Title Reference: CT 188913/200

Zone(s): Low Density Residential

Existing Development/Use: Vacant land (planning permit issued for a dwelling and shed on approved future Lot 19)

Existing Developed Area: Nil (existing approval for a 188 m² dwelling and 108 m² shed on approved future Lot 19)

Are any of the components in this Application seeking retrospective approval?
E.g. Use and/or development that has commenced without a Planning Permit.

YES ☐
NO ☒

(If yes please specify the relevant components):

DEVELOPMENT APPLICATION DETAILS

Proposed Use:

Residential: ☒ Visitor Accommodation: ☐ Commercial: ☐ Other: ☐

Description of Use: Three (3) additional dwellings and associated residential outbuildings (sheds) on approved future Lots 3, 25 and 27, requiring assessment as *multiple dwellings* because future titles have not yet been registered

Development Type:

Building work: ☒ Demolition: ☐ Subdivision: ☐ Other: ☐

Description of development: Construction of three dwellings, associated sheds and associated works

New or Additional Area: 695 m²

Estimated construction cost of the proposed development: \$1M

Building Materials:

Wall Type: Masonry & lightweight cladding for dwellings and steel for the sheds	Colour: To be selected for the dwellings and Monolith for the sheds
Roof Type: Steel	Colour: To be selected for the dwellings and Monolith for the sheds

Application Number: «Application Number»

VISITOR ACCOMMODATION

✓ N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION

✓ N/A

Subdivision creating additional lots ☐
 Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

✓ N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: (Existing)	
Number of Employees: (Proposed)	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,
(if not the owner)

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**Chief
Executive
Officer**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

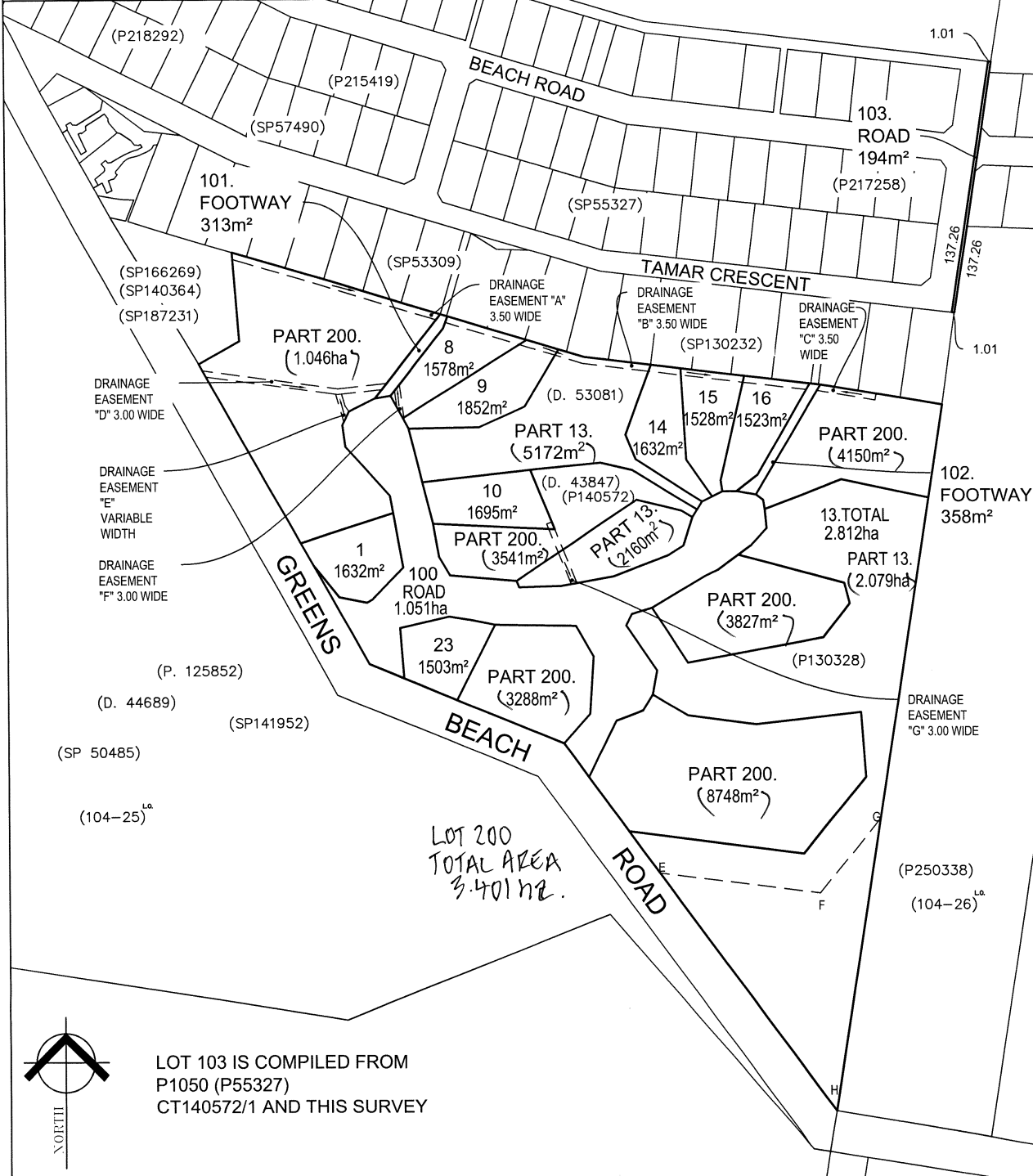
OWNER J & W SHERRIFF PTY LTD FOLIO REFERENCE C.T. 140572/1 GRANTEE PART OF LOT 26615, 158 ^{AC} 3 ^R 9 ^G GRANTED TO JAMES THOMAS SQUIRES		PLAN OF SURVEY BY SURVEYOR R. M. PECK LOCATION LAND DISTRICT OF DEVON PARISH OF STOCKPORT SCALE 1:2000 LENGTHS IN METRES		REGISTERED NUMBER SP188913 APPROVED EFFECTIVE FROM 25 AUG 2025  Recorder of Titles	
---	--	--	--	---	--

MAPSHEET MUNICIPAL CODE No

LAST UPI No

LAST PLAN No. P 140572

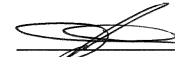
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

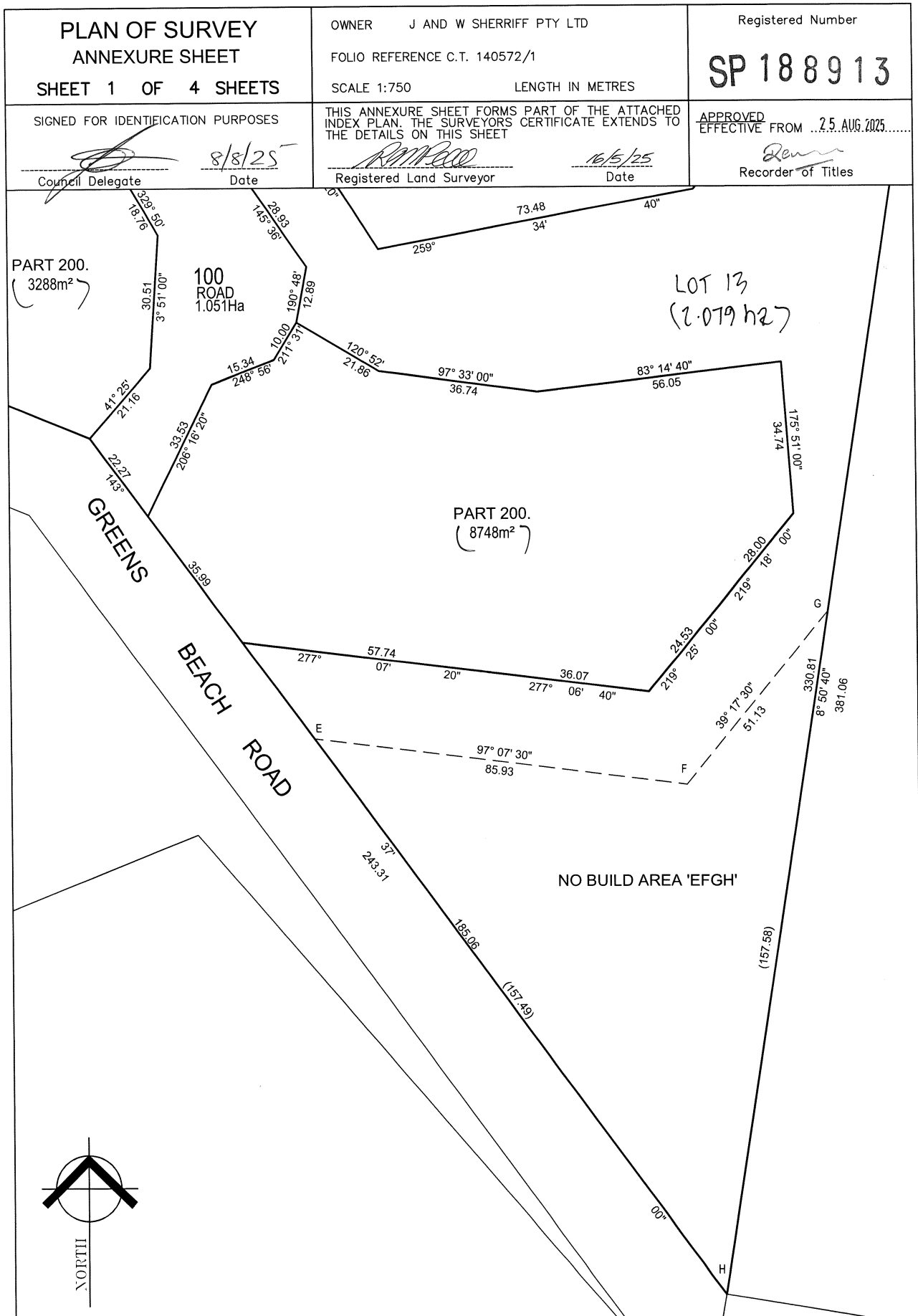


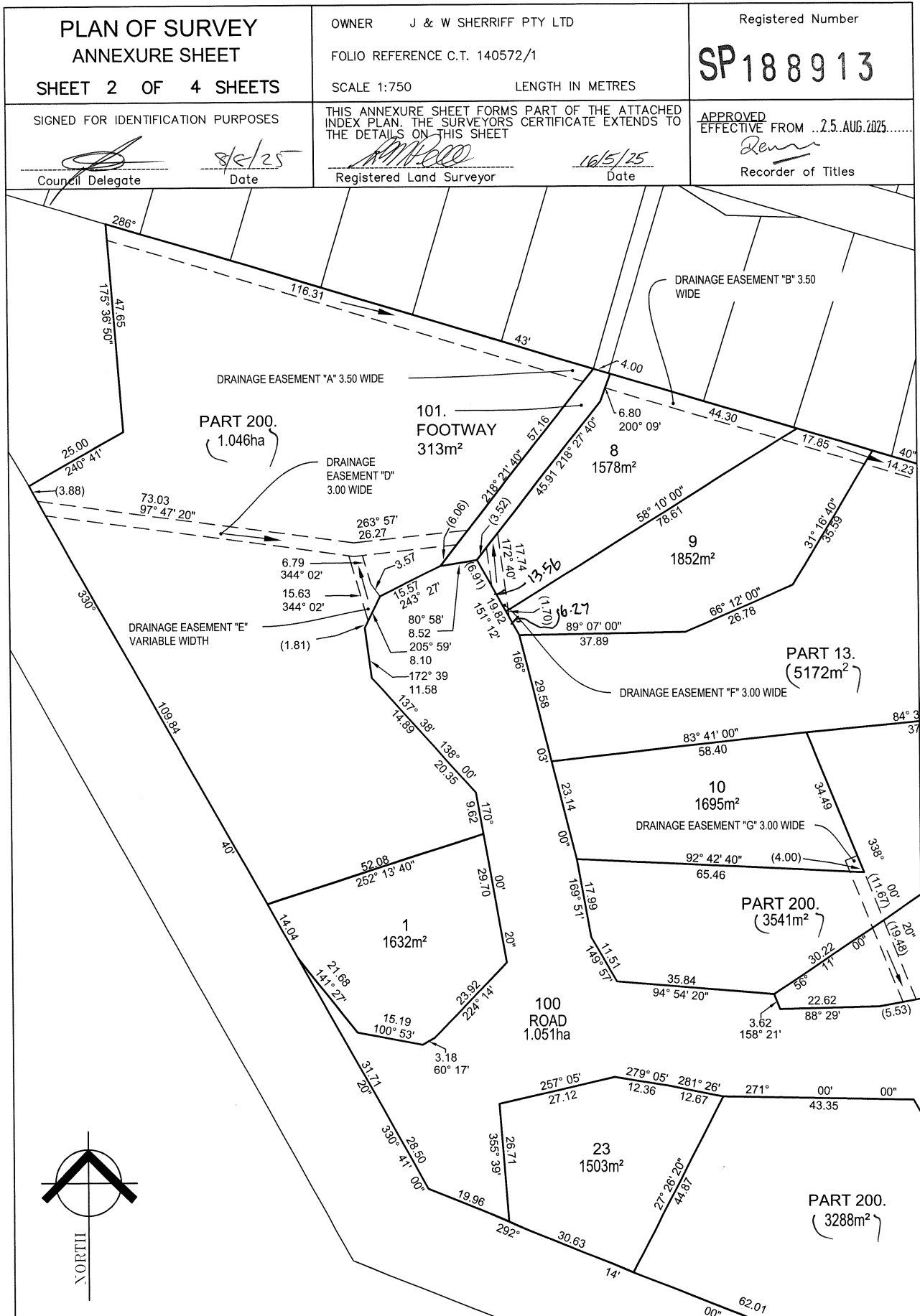


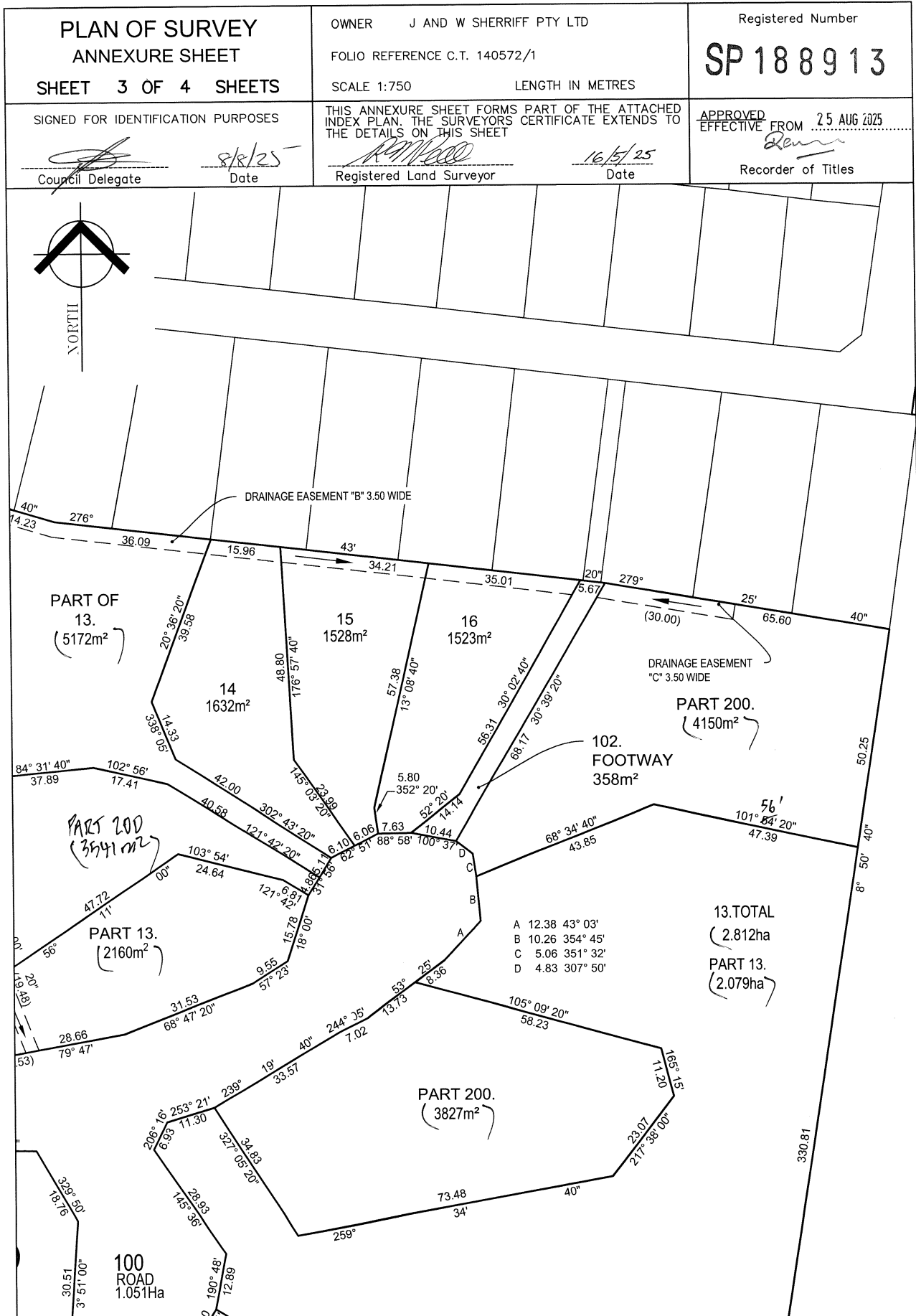
NORTH

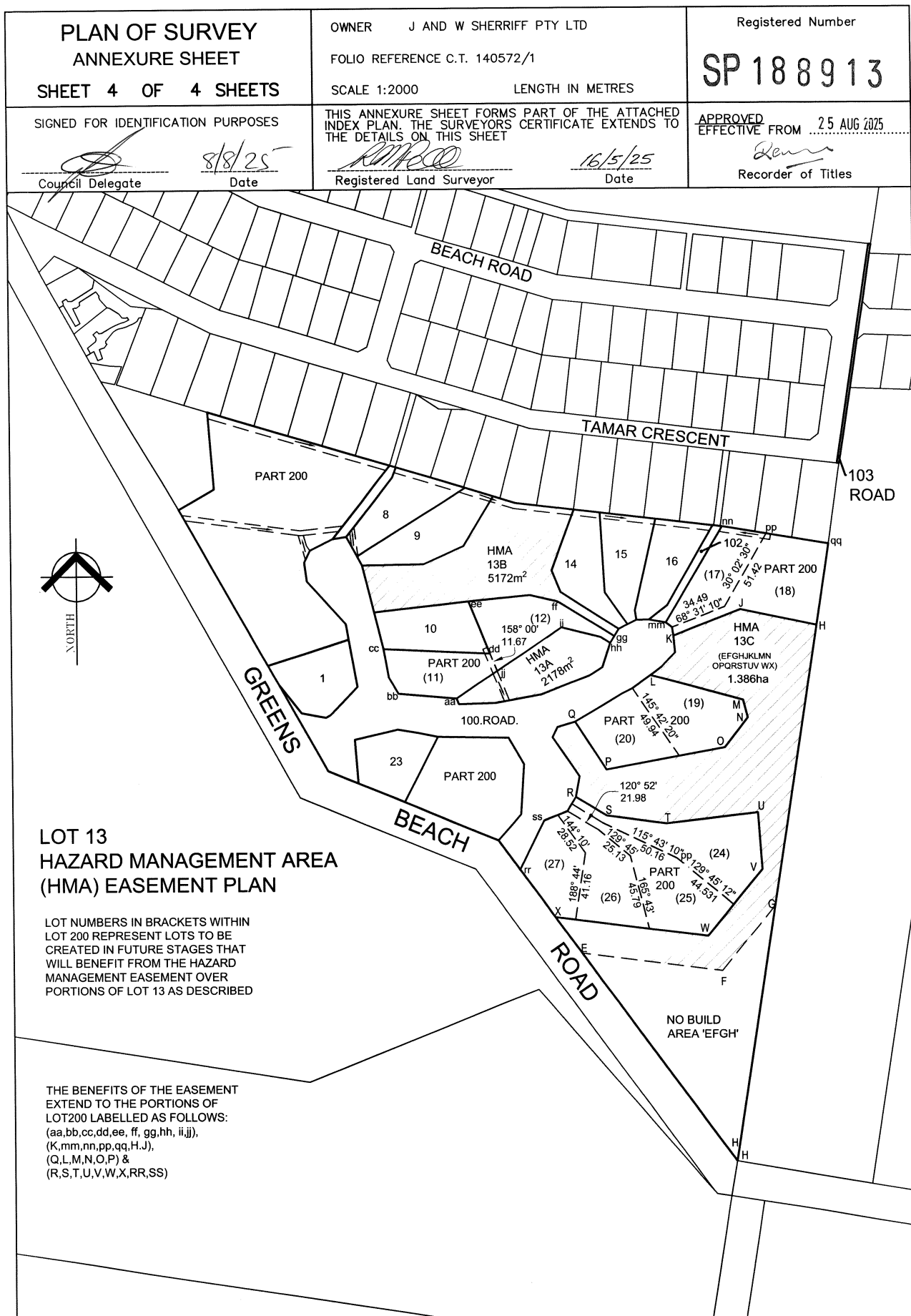
LOT 103 IS COMPILED FROM
P1050 (P55327)
CT140572/1 AND THIS SURVEY

 REGISTERED LAND SURVEYOR	16/5/25 DATE
 COUNCIL DELEGATE	8/8/25 DATE









SCHEDULE OF EASEMENTS

Registered Number

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS
& MORTGAGEES OF THE LAND AFFECTED.
SIGNATURES MUST BE ATTESTED.

SP 18 89 13

PAGE 1 OF 4 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 200 on the Plan is SUBJECT TO a right of drainage for the West Tamar Council over the land marked Drainage Easement "A" 3.50 Wide on the Plan.

Lots 8, 9, 13, 14, 15 and 16 on the Plan are each SUBJECT TO a right of drainage for the West Tamar Council over the land marked Drainage Easement "B" 3.50 Wide on the Plan.

Lot 200 on the Plan is SUBJECT TO a right of drainage for the West Tamar Council over the land marked Drainage Easement "C" 3.50 Wide on the Plan.

Lot 200 on the Plan is SUBJECT TO a right of drainage for the West Tamar Council over the land marked Drainage Easement "D" 3.00 Wide on the Plan.

Lot 200 on the Plan is SUBJECT TO a right of drainage for the West Tamar Council over the land marked Drainage Easement "E" Variable Width on the Plan.

Lot 8 on the Plan is SUBJECT TO a right of drainage for the West Tamar Council over the land marked Drainage Easement "F" 3.00 Wide on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: J & W SHERRIFF PTY LTD
FOLIO REF: 140572/1
SOLICITOR
& REFERENCE: Shields Heritage KH Alcorso

PLAN SEALED BY: *West Tamar Council*
DATE: *8/6/25*
PA2022052
REF NO. *[Signature]*
Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

[Signature]

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 2 OF 4 PAGES

Registered Number

SP 188913

SUBDIVIDER: J & W SHERRIFF PTY LTD
FOLIO REFERENCE: 140572/1

Lots 10, 200 and 13 on the Plan are each SUBJECT TO a right of drainage for the West Tamar Council over the land marked Drainage Easement "G" 3.00 Wide on the Plan.

Those parts of Lot 200 on the Plan marked "KJHqppnnmm", "LMNOPQ" and "RSTUVWXrrss" and also marked (17), (18), (19), (20), (24), (25), (26) and (27) are TOGETHER WITH a Bushfire Management Zone Easement (as defined herein) over that part of Lot 13 marked as HMA 13C (EFGHIJKLMNOPQRSTUVWXYZ) on the Plan.

That part of Lot 13 marked as HMA 13C (EFGHIJKLMNOPQRSTUVWXYZ) on the Plan is SUBJECT TO a Bushfire Management Zone Easement (as defined herein and as appurtenant to those parts of Lot 200 on the Plan marked "KJHqppnnmm", "LMNOPQ" and "RSTUVWXrrss" and also marked (17), (18), (19), (20), (24), (25), (26) and (27) respectively) on the Plan.

That part of Lot 200 on the Plan marked (11) and (12) and also marked "aabbccddeeffgghhiijj" is TOGETHER WITH a Bushfire Management Zone Easement (as defined herein) over that part of Lot 13 marked as HMA 13A "aajjiijh" on the Plan.

That part of Lot 13 marked HMA 13A "aajjiijh" on the Plan is SUBJECT TO a Bushfire Management Zone Easement (as defined herein and as appurtenant to that part of Lot 200 on the Plan marked (11) and (12) and also marked "aabbccddeeffgghhiijj") on the Plan.

DEFINITIONS

"Bushfire Management Zone Easement Land" means those parts of Lot 13 marked as HMA 13C (EFGHIJKLMNOPQRSTUVWXYZ), and HMA 13A "aajjiijh".

"Bushfire Management Zone Easement" means the full free and uninterrupted right and liberty for every person who is at any time entitled to an interest in possession in the land herein indicated as the dominant tenement or any part or parts thereof, his agents, servants, and workmen from time to time and at all times hereafter to enter upon and remain upon Bushfire Management Easement Land:

- (a) maintain grasses to length of less than 100mm on the Bushfire Management Zone Easement Land,

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 3 OF 4 PAGES

Registered Number

SP 188913

SUBDIVIDER: J & W SHERRIFF PTY LTD
FOLIO REFERENCE: 140572/1

- (b) remove fallen limbs, bark and litter from the Bushfire Management Zone Easement Land,
- (c) regularly thin out the under storey of trees and shrubs on the Bushfire Management Zone Easement Land,
- (d) prune larger trees to create canopy separation on the Bushfire Management Zone Easement Land,
- (e) remove and maintain flammable debris from any gutter within the Bushfire Management Zone Easement Land, and
- (f) do all ancillary works and things in connection therewith without doing unnecessary damage to the Bushfire Management Zone Easement Land or adjoining land and leaving the same in a clean and tidy condition
- (g) in accordance with the Bushfire Hazard Maintenance requirements stated in the Bushfire Hazard Management Report: Subdivision by Livingston Natural Resource Services dated 8th October 2024 Version 2.

PROVIDED THAT prior to accessing the Bushfire Management Zone Easement Land the dominant tenement must:

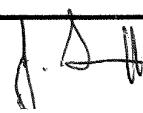
- (a) given notice to the owner of Lot 13 as to when the owner of the dominant tenement intends to undertake the maintenance of the Bushfire Management Zone Easement Land;
- (b) cause as little disruption to the owner of Lot 13 as possible;
- (c) comply with the reasonable directions of the owner of Lot 13 at all times;
- (d) ensure all gates remain secured;
- (e) make good any damage to the owner of Lot 13's property; and
- (f) access the Land via the established usual access to the Bushfire Management Zone Easement Land.

COVENANTS

The owner of that part of Lot 13 marked EFGH on the Plan (called "the No Build Area") covenants with the West Tamar Council to the intent that the burden of the covenants may run with and bind each and every part thereof and that the benefit thereof may be created in favour of the West Tamar Council to observe the following stipulations:-

1. Not to, or permit, or allow the clearing or modification of native vegetation within the No Build Area on the Plan;

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 4 OF 4 PAGES

Registered Number

SP 188913

SUBDIVIDER: J & W SHERRIFF PTY LTD
FOLIO REFERENCE: 140572/1

2. Not to, or permit, or allow any buildings or structures to be erected within the No Build Area on the Plan;
3. Not to, or permit, or allow any earthworks to be carried out within the No Build Area on the Plan;
4. Not to, or permit, or allow any vehicle accessways to be constructed within the No Build Area on the Plan;
5. Not to permit or allow any infrastructure to be installed or placed within the No Build Area on the Plan.

The owner of Lot 13 (other than that part of Lot 13 marked EFGH) on the Plan covenants with the owners of Lot 200 (other than those parts of Lot 200 marked PART 200. 1.046ha and PART 200. 3288m²), Lot 9, Lot 10 and Lot 14 to the intent that the burden of this covenant may run with and bind the Covenantor's Lot and every part thereof (other than that part of Lot 13 marked EFGH) and that the benefit thereof shall be annexed to and devolve with each and every part of Lot 200 (other than those parts of Lot 200 marked PART 200. 1.046ha and PART 200. 3288m²), Lot 9, Lot 10 and Lot 14 to observe the following stipulation:-

1. Not to, or permit, or allow Lot 13 (other than that part of Lot 13 marked EFGH) to reach a state which is not in compliance with the Bushfire Hazard Management Report: Subdivision by Livingston Natural Resource Services dated 8th October 2024 Version 2

FENCING COVENANT

The owner of each Lot on the Plan covenants with the Vendor J & W Sherriff Pty Ltd (A.C.N. 117 426 356) that the said J & W Sherriff Pty Ltd (A.C.N. 117 426 356) shall not be required to fence.

SIGNED by J & W SHERRIFF PTY)
LTD (A.C.N. 117 426 356) the registered)
proprietor of the land comprised in Folio of)
the Register Volume 140572 Folio 1)
pursuant to Section 127(1)(c) of the)
Corporations Act 2001 by being signed by)
the company's sole director who is also the)
sole company secretary)

.....
Jason John Sherriff

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

31 July 2026

6ty Pty Ltd
ABN 27 014 609 900

Planning Department
West Tamar Council
By Email: planning@wtc.tas.gov.au

Postal Address
PO Box 63
Riverside
Tasmania 7250
W 6ty.com.au
E admin@6ty.com.au

Tamar Suite 103
The Charles
287 Charles Street
Launceston 7250
P (03) 6332 3300

57 Best Street
PO Box 1202
Devonport 7310
P (03) 6424 7161

Dear Sir/Madam,

PLANNING APPLICATION – PROPOSED DWELLINGS – LOT 200 GREEN HEART GLADE, GREENS BEACH

1. Introduction

This submission accompanies a planning application lodged by 6ty°, on behalf of J & W Sherriff Pty Ltd, for three detached dwellings and associated residential outbuildings on land at Lot 200 Green Heart Glade, Greens Beach.

The proposed buildings are positioned within approved future Lots 3, 25 and 27 of the Green Heart residential subdivision.

The application is also accompanied by:

- Completed planning application form;
- Planning drawings prepared by 6ty° (Drawing Nos. Ap010–Ap013 and 1Ap100–3Ap100;
- Shed plans prepared by Best Sheds; and
- Certificate of Title for the site.

2. Planning Overview

Location	Lot 200 Greens Beach Glade, Greens Beach
Property ID	9636282
Title Information	Volume 188913 Folio 200
Land Area	±3.4 ha
Planning Instrument	<i>Tasmanian Planning Scheme – West Tamar</i>
Use Class	Residential
Proposal	Construction of three dwellings and associated residential outbuildings (sheds), and associated works
Zone	10.0 Low Density Residential
Overlays	Waterway and Coastal Protection Area Priority Vegetation Area Bushfire-Prone Area

Relevant Codes	C2.0 Parking and Sustainable Transport Code C3.0 Road and Railway Assets Code C7.0 Natural Assets Code C13.0 Bushfire-Prone Areas Code
Status of Proposal	Discretionary (Relies on Clauses 10.3.1 P4, 10.4.3 P1–P2 and C7.6.1 P1.1)

3. Subject Site

3.1 Subdivision Balance

The land that is the subject of the application is known as Lot 200 Greens Beach Glade, Greens Beach. It is contained within Certificate of Title Volume 188913 Folio 200 and is zoned Low Density Residential under the *Tasmanian Planning Scheme – West Tamar* (the “Planning Scheme”). Its location is shown in the aerial image in Figure 1.

Figure 1 – Site Location



The site comprises the balance lot associated with the Green Heart residential subdivision approved under Planning Permit PA2022052-2. The balance retains an area of approximately 3.4 hectares and forms part of the staged delivery of the approved subdivision. Titles for the remaining lots are approved to be registered in any order, noting that the engineering works associated with the subdivision have been substantially completed.

The balance lot has frontages to Greens Beach Road, Green Heart Glade, Satinwood Close and Seaberry Close. It is irregular in shape and generally undeveloped.

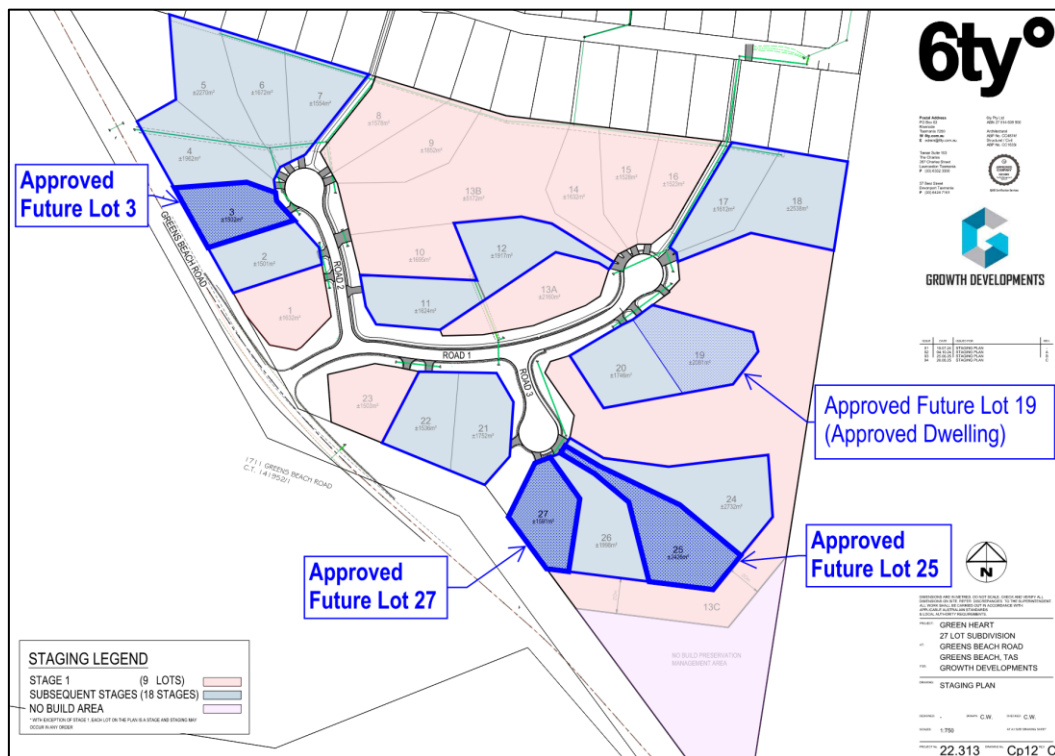
3.2 Approved Future Lots

The application is made over the current balance lot because the future subdivision titles have not yet been registered. Accordingly, the proposal presently requires assessment as *multiple dwellings* under the Planning Scheme.

An existing planning permit authorises a dwelling and an associated shed on approved future Lot 19.

The current application seeks approval for three additional dwellings and associated residential outbuildings on approved future Lots 3, 25 and 27, as shown in Figure 2. Each proposed dwelling and associated outbuilding (shed) is positioned wholly within the corresponding approved future lot, having regard to the approved subdivision layout. The assessment that follows has regard to both the current title configuration and the approved subdivision layout.

Figure 2 – Location of Approved Future Lots 3, 25 and 27



3.3 Site Context

Surrounding land comprises recently created lots within the subdivision together with established residential development within Greens Beach to the north. Native vegetation, associated with adjacent privately owned land, borders the subdivision to the east and west.

4. Proposal

The proposal comprises:

- **Approved Future Lot 3** – One two-bedroom dwelling with an approximate building height of 4.169 metres and an associated 63 m² shed (9 m × 7 m) with an approximate building height of 3.38 metres;

- **Approved Future Lot 25** – One two-bedroom dwelling with an approximate building height of 4.229 metres and an associated 162 m² shed (18 m × 9 m) with an approximate building height of 4.475 metres; and
- **Approved Future Lot 27** – One two-bedroom dwelling with an approximate building height of 3.901 metres and an associated 63 m² shed (9 m × 7 m) with an approximate building height of 3.38 metres.

The accompanying planning drawings identify the approved future lot boundaries together with the siting of each dwelling and associated shed.

The proposed dwellings have been sited to comply with the relevant Acceptable Solution setback requirements under the Low Density Residential Zone, including setbacks exceeding 8 metres from road frontages and 5 metres from side and rear boundaries.

The proposed sheds have setbacks of 3 metres from the Greens Beach Road frontage (Lots 3 and 27) and minimum setbacks of 3 metres from existing title boundaries adjoining other land within the subdivision.

Stormwater runoff from the proposed buildings will be directed to the existing subdivision stormwater infrastructure.

5. Planning Assessment

5.1 Use Categorisation

The proposal comprises three detached dwellings and associated sheds on land comprising the current balance lot associated with the approved Green Heart residential subdivision.

While the proposal has been designed having regard to the approved future subdivision layout, the future titles have not yet been registered. Accordingly, the proposal presently requires assessment as *multiple dwellings*.

Each dwelling and associated shed is positioned wholly within its corresponding approved future lot, with no building spanning a future lot boundary. Following registration of titles, each approved future lot will contain a single dwelling and associated shed.

The proposed use is appropriately categorised as Residential, which is listed as Discretionary in the Clause 10.2 Use Table where *multiple dwellings* are involved.

The proposal also relies on the following Performance Criteria:

- Clause 10.3.1 – Performance Criterion P4 (Discretionary uses);
- Clause 10.4.3 – Performance Criterion P1–P2 (frontage, side and rear boundary setbacks); and
- Clause C7.6.1 – Performance Criterion P1.1 (Waterway and Coastal Protection Area overlay).

The development is therefore Discretionary under Clause 6.8.1 of the Planning Scheme and requires assessment against the above Performance Criteria, as addressed in Sections 5.2.1–5.2.3 and 5.5.1 of this submission.

5.2 Low Density Residential Zone

The proposed buildings comply with the following Acceptable Solutions for applicable standards in the provisions for the Zone:

- Clause 10.4.1 – Acceptable Solution A1 (residential density for multiple dwellings): The density of dwellings on the current subdivision balance will be one dwelling per 8,500 m² of site, which exceeds the relevant minimum (2,500 m² per dwelling) specified under the standard. It is noted that, following registration of the approved future titles, each dwelling will be situated on an individual lot and will no longer comprise multiple dwellings for the purposes of the Planning Scheme.
- Clause 10.4.2 – Acceptable Solution A1 (building height): The proposed building heights are less than the 8.5 metres specified under the standard.
- Clause 10.4.4 – Acceptable Solution A1 (site coverage): The proposal will result in a site coverage of approximately 3% across the current subdivision balance, which is less than the 30% specified under the standard. It is noted that the proposed buildings will also occupy only a small proportion of each corresponding approved future lot following registration of titles.

5.2.1 Clause 10.3.1 – Performance Criterion P4 (Discretionary Uses)

Acceptable Solution	Performance Criterion
A4 <i>No Acceptable Solution.</i>	P4 <i>A use listed as Discretionary must not cause an unreasonable loss of amenity to adjacent sensitive uses, having regard to:</i> <i>(a) the intensity and scale of the use;</i> <i>(b) the emissions generated by the use;</i> <i>(c) the type and intensity of traffic generated by the use;</i> <i>(d) the impact on the character of the area; and</i> <i>(e) the need for the use in that location.</i>

As subdivision titles have not yet been registered for the approved future lots involved, the application requires assessment as *multiple dwellings*, which is a Discretionary use in the Zone. Accordingly, the proposal is assessed against Performance Criterion P4 for the standard in Clause 10.3.1.

The proposal is residential in nature and is of a scale and intensity consistent with the Low Density Residential Zone. Following registration of titles, each approved future lot will contain a single dwelling and associated shed.

The proposal is not expected to generate emissions beyond those ordinarily associated with residential use and will not give rise to unreasonable traffic generation, noise or other off-site impacts.

The proposal is compatible with the existing and anticipated character of the surrounding area, which comprises the Green Heart residential subdivision together with established residential development within Greens Beach to the north. The approved subdivision anticipates future residential development, and the proposed dwellings are consistent with that planned pattern of development.

Accordingly, the proposal will not cause an unreasonable loss of amenity to adjacent sensitive uses and satisfies Performance Criterion P4.

5.2.2 Clause 10.4.3 – Performance Criterion P1 (Frontage Setback)

Acceptable Solution	Performance Criterion
A1 <i>Dwellings, excluding protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage not less than 8m.</i>	P1 <i>The siting of a dwelling must be compatible with the streetscape and character of development existing on established properties in the area, having regard to:</i> <i>(a) the topography of the site;</i> <i>(b) the setbacks of surrounding buildings;</i> <i>(c) the height, bulk and form of existing and proposed buildings;</i> <i>(d) the appearance when viewed from roads and public open space adjacent to the site; and</i> <i>(e) the safety of road users.</i>

The proposed sheds on approved future Lots 3 and 27 have frontage setbacks of 3 metres from Greens Beach Road. Accordingly, the proposal is assessed against Performance Criterion P1 for the standard in Clause 10.4.3.

It is noted that the proposed dwellings and associated sheds will otherwise be setback more than 8 metres from the frontages of Greens Beach Road, Satinwood Close and Seaberry Close.

The reduced frontage setbacks of the sheds to Greens Beach Road will not result in an adverse impact on the streetscape or character of the surrounding area.

The proposed sheds are associated with the proposed dwellings on approved future Lots 3 and 27. They are modest in scale, each comprising a floor area of 63 m² and an approximate height of 3.38 metres.

The siting of the sheds responds to the particular configuration of the site and has been selected having regard to the approved subdivision layout. While set back 3 metres from the Greens Beach Road frontage, the sheds will be located behind a timber paling fence extending along the frontage. In addition, the road reservation is relatively wider adjacent to approved future Lot 27, with a greater depth of retained vegetation between the site and the road carriageway.

The sheds will therefore remain visually subordinate within the broader site and will not dominate the road frontage or create an unreasonable visual impact when viewed from the road.

The proposal will not adversely affect the safety of road users. The sheds are positioned outside the road reservation and will not interfere with vehicle movements, sight distances or the function of the adjoining road network.

Accordingly, the proposal is compatible with the streetscape and character of development within the surrounding area and satisfies Performance Criterion P1.

5.2.3 Clause 10.4.3 – Performance Criterion P2 (Side and Rear Boundary Setbacks)

Acceptable Solution	Performance Criterion
A2 <i>Dwellings, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally from the building, must have a setback from side and rear boundaries of not less than 5m.</i>	P2 <i>The siting of a dwelling must not cause an unreasonable loss of amenity to adjoining properties, having regard to:</i> <i>(a) the topography of the site;</i> <i>(b) the size, shape and orientation of the site;</i> <i>(c) the setbacks of surrounding buildings;</i> <i>(d) the height, bulk and form of existing and proposed buildings;</i> <i>(e) the existing buildings and private open space areas on the site;</i> <i>(f) sunlight to private open space and windows of habitable rooms on adjoining properties; and</i> <i>(g) the character of development existing on established properties in the area.</i>

The proposed shed on approved future Lot 3 will be setback 3 metres from a future boundary to the south. The proposed shed on approved future Lot 25 will be setback 3 metres from an existing boundary to the north. The proposed shed on approved future Lot 27 will be setback 3 metres from an existing boundary to the east and 4.6 metres from an existing boundary to the south. Accordingly, the proposal is assessed against Performance Criterion P2 for the standard in Clause 10.4.3.

The reduced side and rear boundary setbacks associated with the proposed sheds will not result in an unreasonable loss of amenity to adjoining properties.

The boundary to the south of the proposed shed on Lot 3 is shared with approved future Lot 2. Both lots form part of the approved subdivision and are intended to accommodate future residential development. The proposed setback is compatible with the pattern and character of development on established properties in the surrounding area and will not adversely affect the use or development of approved future Lot 2.

The boundary to the north of the proposed shed on Lot 25 is shared with Lot 100 of the subdivision, which is designated as Road. The immediately adjoining land within that title comprises a residual area to the south of Seaberry Close. Accordingly, the reduced setback will not adversely affect any existing or future residential development, private open space or sunlight access, and will not result in unreasonable visual impacts.

The boundaries to the east and south of the proposed shed on Lot 27 are shared with Lot 13 of the subdivision. The immediately adjoining land within that title forms a narrow strip between the site and a No Build Area applying to Lot 13 and is also subject to a Bushfire Hazard Management Easement. The development potential of this adjoining land is therefore limited, and the proposal will not adversely affect the reasonable use and enjoyment of the land.

Having regard to the size and configuration of the site, the nature of the land immediately adjoining the proposed sheds, and the pattern and character of development within the surrounding area, the proposal will not result in unreasonable overshadowing, visual bulk, privacy impacts or other loss of amenity.

Accordingly, the proposal satisfies Performance Criterion P2.

5.3 Parking and Sustainable Transport Code

In accordance with Clause C2.2.1 of the Planning Scheme, the Parking and Sustainable Transport Code applies to the proposal.

Table C2.1 requires two on-site parking spaces for each of the proposed two-bedroom dwellings. The required parking will be accommodated within each corresponding approved future lot.

The proposal complies with the applicable standards in the Code.

5.4 Road and Railway Assets Code

In accordance with Clause C3.2.1(a) of the Planning Scheme, the Road and Railway Assets Code applies to the proposal.

Based on the NSW *Guide to Transport Impact Assessment* (2024), the proposal is expected to generate approximately 23 additional vehicle movements per day in total, distributed across the existing vehicle crossings serving approved future Lots 3, 25 and 27. This is well below the threshold in Table C3.1 of the Code.

Accordingly, the proposal complies with the applicable standard in Clause C3.5.1 A1.4 of the Code.

5.5 Natural Assets Code

Parts of the site are subject to Waterway and Coastal Protection Area and Priority Vegetation Area overlays.

5.5.1 Clause C7.6.1 – Performance Criterion P1.1 (Waterway and Coastal Protection Area)

The Waterway and Coastal Protection Area affects part of the proposed development associated with approved future Lots 25 and 27. Buildings and works within the overlay are subject to standards under Clause C7.6.1 of the Natural Assets Code. The proposed development associated with approved future Lot 3 is located entirely outside the overlay.

The only standard under Clause C7.6.1 that is applicable to the proposal is considered below. The remaining standards under this clause deal with buildings and works within a Future Coastal Refugia Area overlay, new stormwater point discharges into a watercourse, wetland or lake, dredging or reclamation, and coastal protection works or watercourse erosion or inundation protection works. The proposal does not involve any of these matters and the other standards therefore do not apply.

Acceptable Solution	Performance Criterion
A1 Buildings and works within a waterway and coastal protection area must: (a) be within a building area on a sealed plan approved under this planning scheme; (b) in relation to a Class 4 watercourse, be for a crossing or bridge not more than 5m in width; or (c) if within the spatial extent of tidal waters, be an extension to an existing boat ramp, car park, jetty, marina, marine farming shore facility or slipway that is not more than 20% of the area of the facility existing at the effective date.	P1.1 Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to: (a) impacts caused by erosion, siltation, sedimentation and runoff; (b) impacts on riparian or littoral vegetation; (c) maintaining natural streambank and streambed condition, where it exists; (d) impacts on in-stream natural habitat, such as fallen logs, bank overhangs, rocks and trailing vegetation; (e) the need to avoid significantly impeding natural flow and drainage; (f) the need to maintain fish passage, where known to exist; (g) the need to avoid land filling of wetlands;

Acceptable Solution	Performance Criterion
	<i>(h) the need to group new facilities with existing facilities, where reasonably practical;</i> <i>(i) minimising cut and fill;</i> <i>(j) building design that responds to the particular size, shape, contours or slope of the land;</i> <i>(k) minimising impacts on coastal processes, including sand movement and wave action;</i> <i>(l) minimising the need for future works for the protection of natural assets, infrastructure and property;</i> <i>(m) the environmental best practice guidelines in the Wetlands and Waterways Works Manual; and</i> <i>(n) the guidelines in the Tasmanian Coastal Works Manual.</i>

As there are no relevant building areas shown on the sealed plan for the site, and the proposal is not for a crossing or bridge over a Class 4 watercourse, the proposal is assessed against Performance Criterion P1.1 for the standard. The site is not within the spatial extent of tidal waters.

The proposal involves land forming part of the approved Green Heart residential subdivision. The buildings and works within the Waterway and Coastal Protection Area are modest in scale and located within areas intended for residential use and development.

Stormwater runoff from the proposed development will be directed to the existing subdivision stormwater infrastructure, which has been designed to service residential development on the land. Accordingly, the proposal will not result in adverse impacts associated with erosion, siltation, sedimentation or uncontrolled runoff.

Having regard to the scale, nature and location of the proposal, it will avoid adverse impacts on the natural asset values associated with the Waterway and Coastal Protection Area.

For these reasons, the proposal satisfies Performance Criterion P1.1.

5.5.2 Priority Vegetation Area

Where land is zoned General Residential or Low Density Residential, the standards in the Natural Assets Code relevant to a Priority Vegetation Area only apply to an application for subdivision. The application does not seek approval for a subdivision. Accordingly, the relevant standards do not apply to the proposal.

5.6 Bushfire-Prone Areas Code

While the site is subject to a Bushfire-Prone Area, the application does not seek approval for a subdivision, or a vulnerable use or hazardous use as defined under the Bushfire-Prone Areas Code. Accordingly, in accordance with Clause C13.2.1, the Code does not apply to the proposal.

6. Conclusion

The proposed dwellings and associated sheds have been assessed against the applicable provisions of the *Tasmanian Planning Scheme – West Tamar*.

The proposal satisfies the relevant Performance Criteria associated with discretionary use, frontage and side/rear boundary setbacks, and the Waterway and Coastal Protection Area.

It also complies with the applicable standards of the Parking and Sustainable Transport Code and the Road and Railway Assets Code.

Accordingly, it is submitted that a Discretionary permit can be issued for the proposal in accordance with Clause 6.8.1 of the Planning Scheme and section 57 of the *Land Use Planning and Approvals Act 1993*.

Please do not hesitate to contact me should you have any queries regarding the application.

Yours faithfully

6ty Pty Ltd



Ashley Brook
Planning Consultant

Project: NEW SHEDS & DWELLINGS

At: LOT 200, GREENS BEACH GLADE,
GREENS BEACH

For: J & W SHERRIFF

Project: 24.166

Drawings:

- Ap010

SITE PLAN
- Ap011

SITE PART PLAN 01
- Ap012

SITE PART PLAN 02
- Ap013

SITE PART PLANS - PLANNING OVERLAYS
- 1Ap100

DWELLING 1 - FLOOR & ROOF PLANS, & ELEVATIONS
- 2Ap100

DWELLING 2 - FLOOR & ROOF PLANS, & ELEVATIONS
- 3Ap100

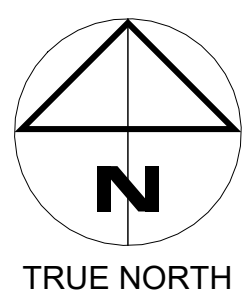
DWELLING 3 - FLOOR & ROOF PLANS, & ELEVATIONS

PROJECT DETAILS	
DESIGNER:	DAVID GILLIES (TAS 640)
BUILDING CLASSIFICATION:	1 & 10a
TITLE REFERENCE:	188913/200
BAL RATING:	
PLANNING OVERLAY:	WATERWAY & COASTAL PROTECTION AREA, PRIORITY VEGETATION AREA, BUSHFIRE PRONE AREA



AREA SCHEDULE	
SITE AREA (TOTAL LOT 200)	33,473m ²
TOTAL EXISTING BUILDING	316m ²
TOTAL NEW BUILDING	695m ²

SITE PLAN
SCALE 1 : 1000





SITE PART PLAN 01
SCALE 1 : 200



SITE PART PLAN 02

SCALE 1 : 200



6ty Pty Ltd
ABN 27 014 609 900
Tamar Suite 103
The Charles
287 Charles Street
Launceston Tasmania
P (03) 6332 3300

Postal Address
PO Box 63
Riverside
Tasmania 7250
W 6ty.com.au
E admin@6ty.com.au

Drawings include
information that
must be reproduced
in colour.

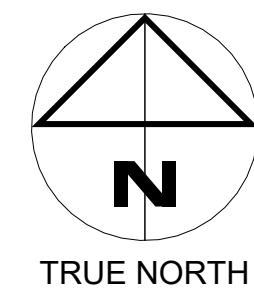
ISSUE	DATE	ISSUED FOR
001	19-06-26	ISSUED FOR CLIENT INFORMATION
002	29-06-26	ISSUED FOR PLANNING APPROVAL

PROJECT: NEW SHEDS & DWELLINGS

AT: LOT 200, GREENS BEACH GLADE,
GREENS BEACH

FOR: J & W SHERRIFF

DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE. CHECK AND VERIFY ALL DIMENSIONS ON SITE. REFER DISCREPANCIES TO THE SUPERINTENDENT. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA, APPLICABLE AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS.
COPYRIGHT TO THIS DRAWING AND ALL OF ITS CONTENT REMAIN THE PROPERTY OF 6ty Pty Ltd. THE DRAWINGS AND ITS CONTENT MAY NOT BE RETAINED, COPIED OR REPRODUCED IN PART OR WHOLLY, WITHOUT THE WRITTEN PERMISSION FROM 6ty Pty Ltd. SOME SPECIFIED CONTENT, BRANDS AND MANUFACTURERS MAY BE COPYRIGHTED PROPERTY OF OTHERS, ACKNOWLEDGEMENT OF THESE COPYRIGHTS ARE HEREBY GIVEN.



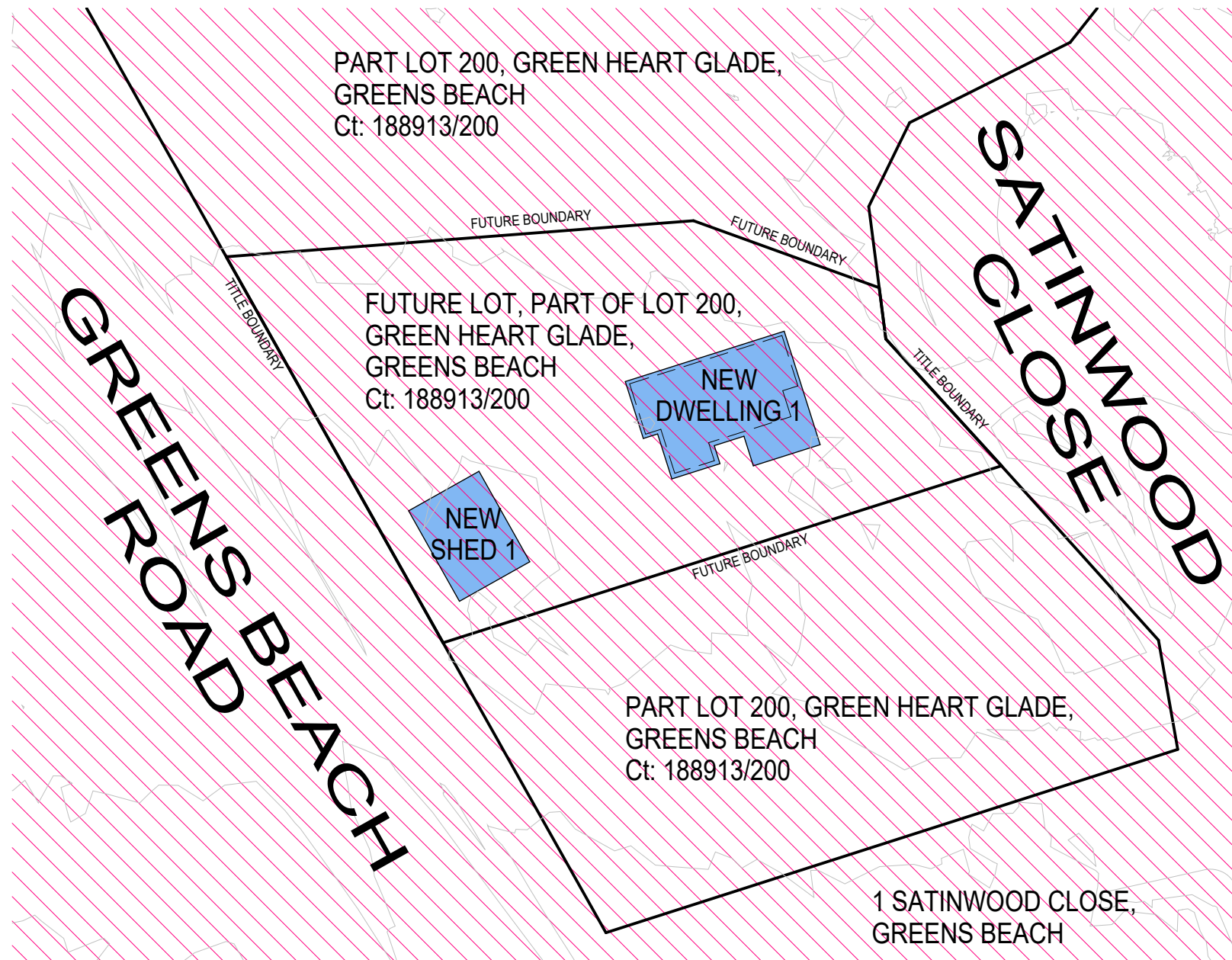
DRAWING: SITE PART PLAN 02

DESIGNED: DVG (Tas 640) DRAWN: MDC CHECKED: -

SCALES: 1 : 200 AT A1

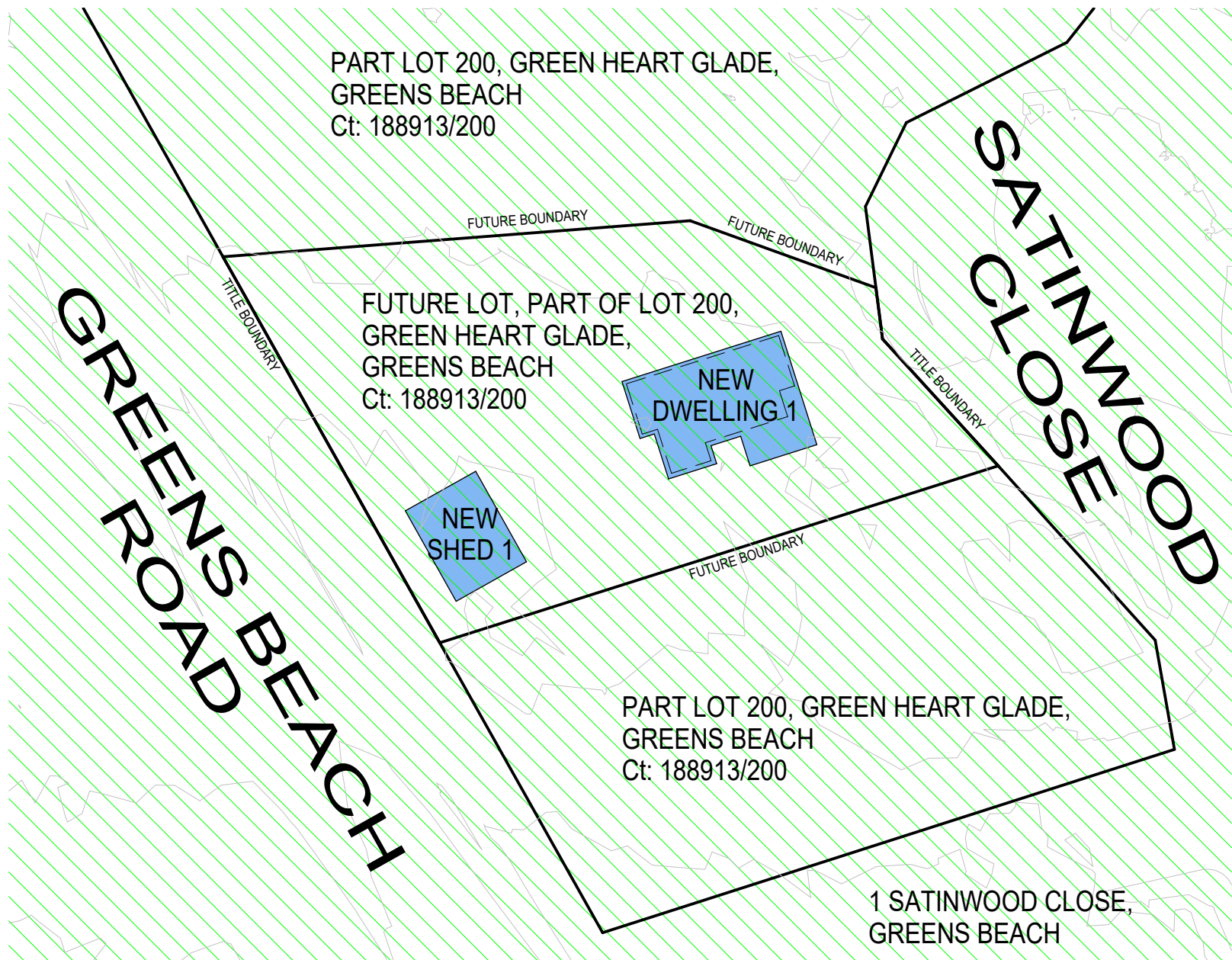
PROJECT No. **24.166** DRAWING No. **Ap012** REV. **002**

I:\2024\24166\2 Production\3 Drawings\1 Architectural\24166-A.rvt



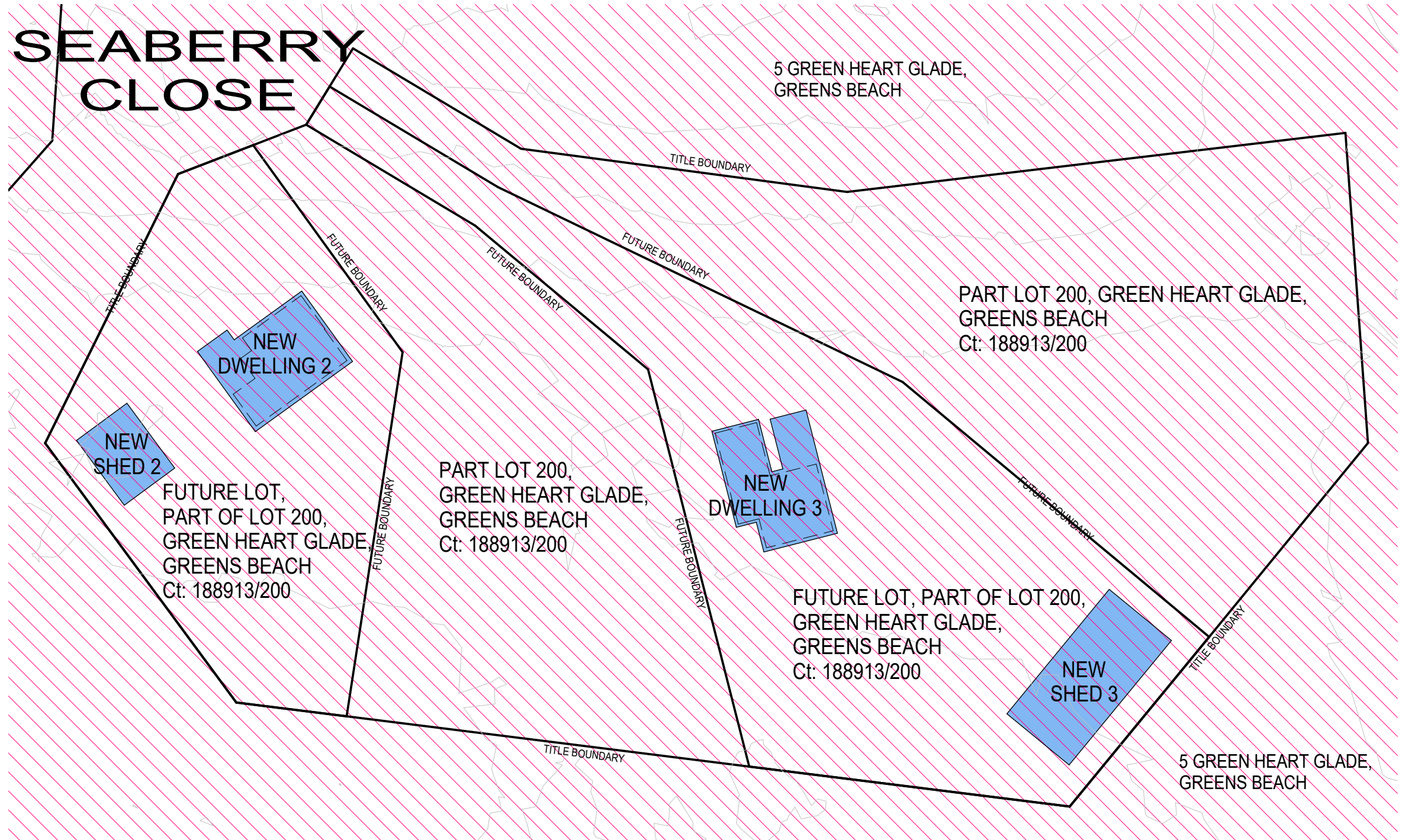
SITE PART PLAN 01 - BUSHFIRE PRONE AREA

SCALE 1 : 500



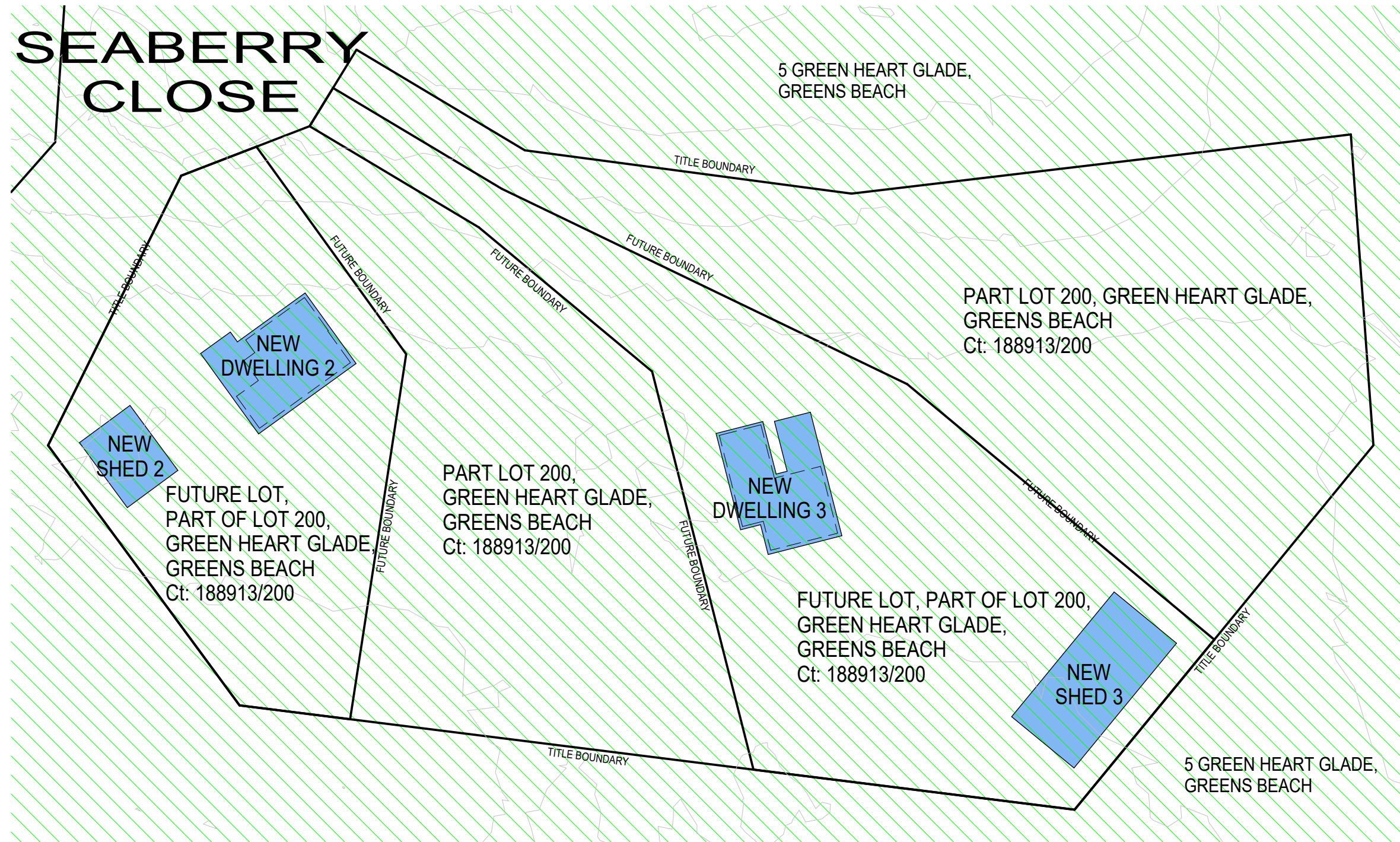
SITE PART PLAN 01 - PRIORITY VEGETATION AREA

SCALE 1 : 500



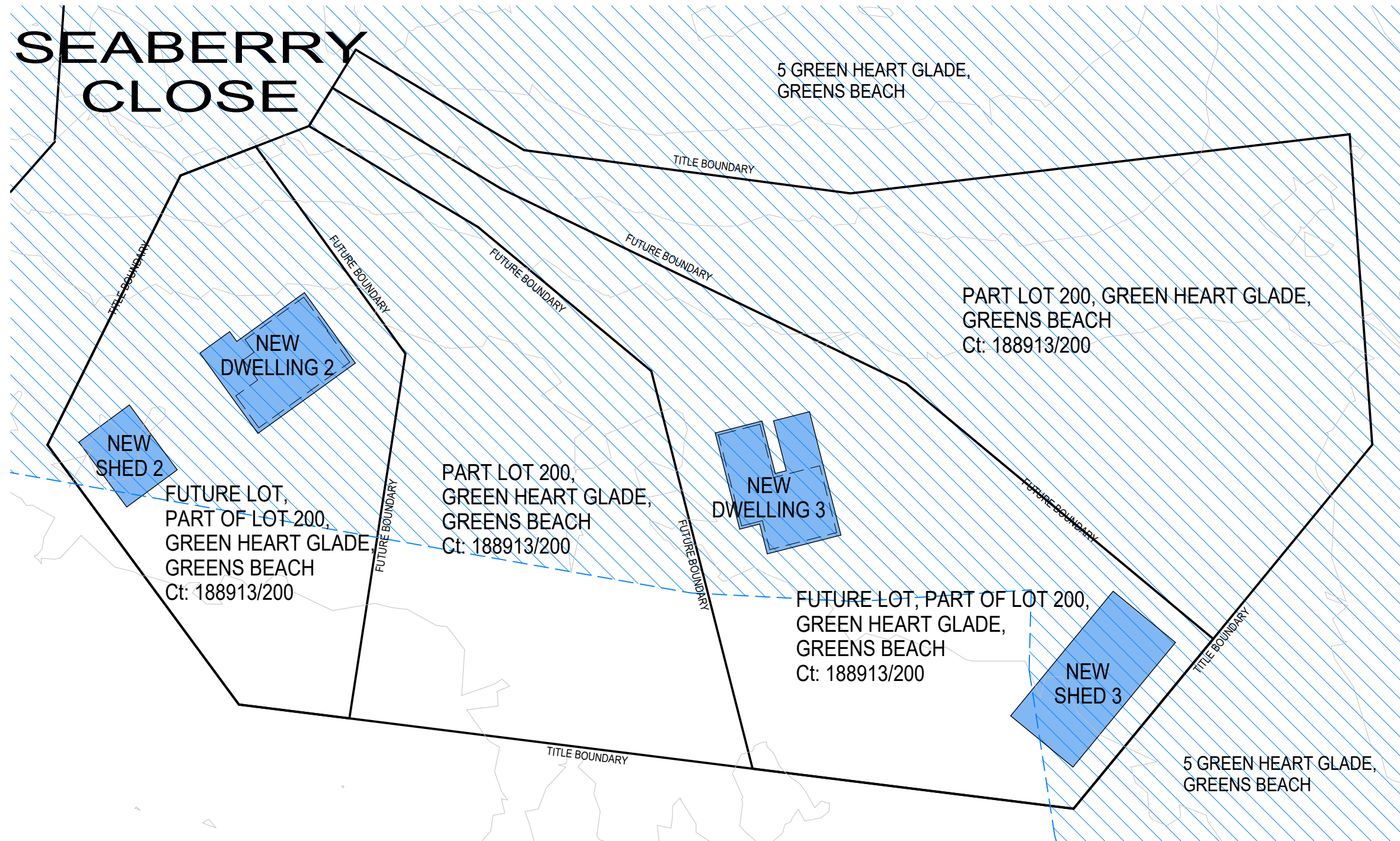
SITE PART PLAN 02 - BUSHFIRE PRONE AREA

SCALE 1 : 500



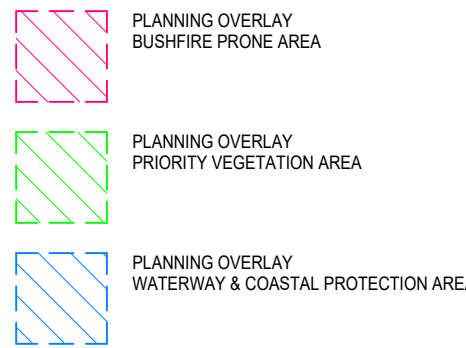
SITE PART PLAN 02 - PRIORITY VEGETATION AREA

SCALE 1 : 500



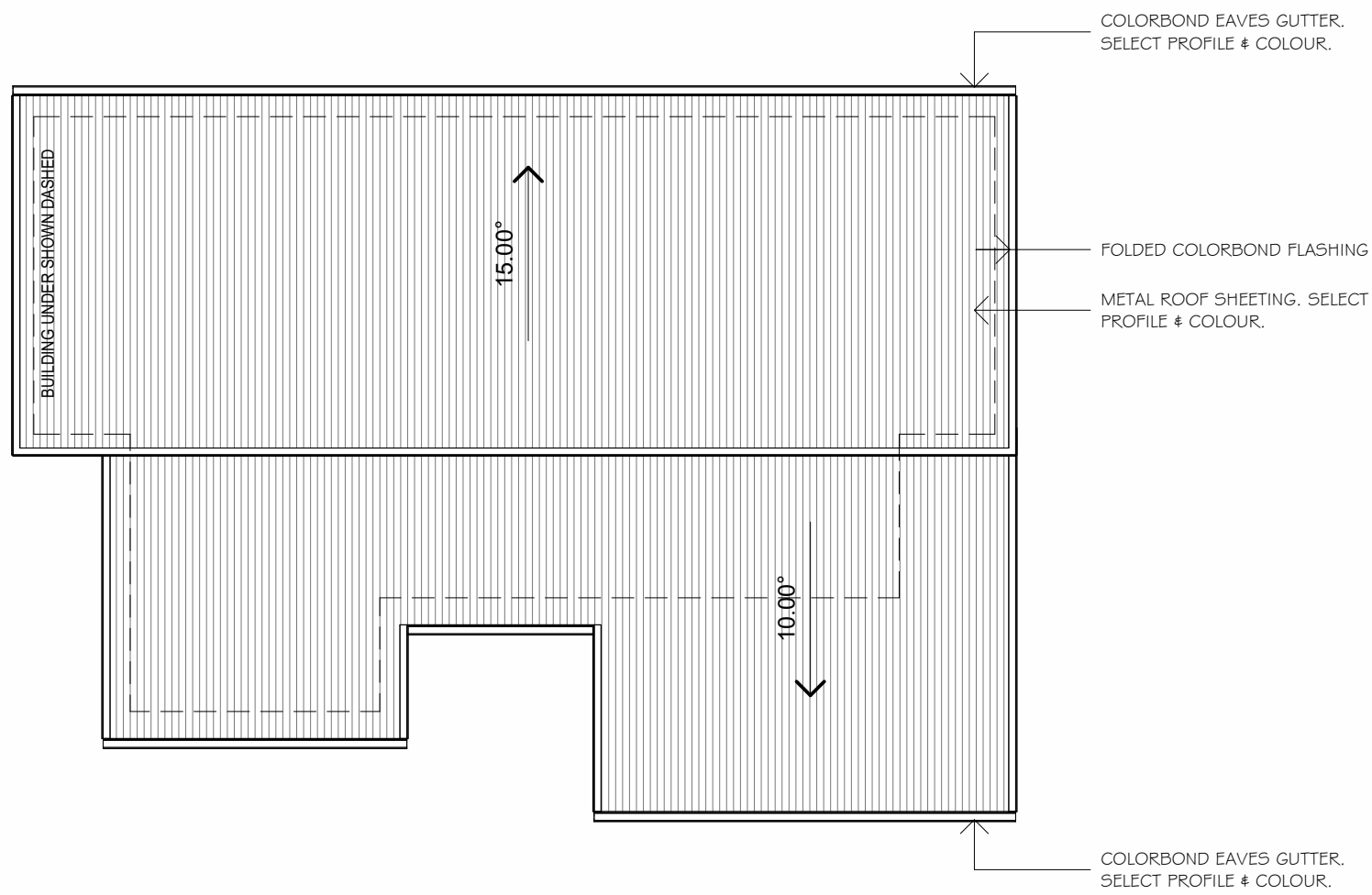
SITE PART PLAN 02 - WATERWAY & COASTAL PROTECTION AREA

SCALE 1 : 500

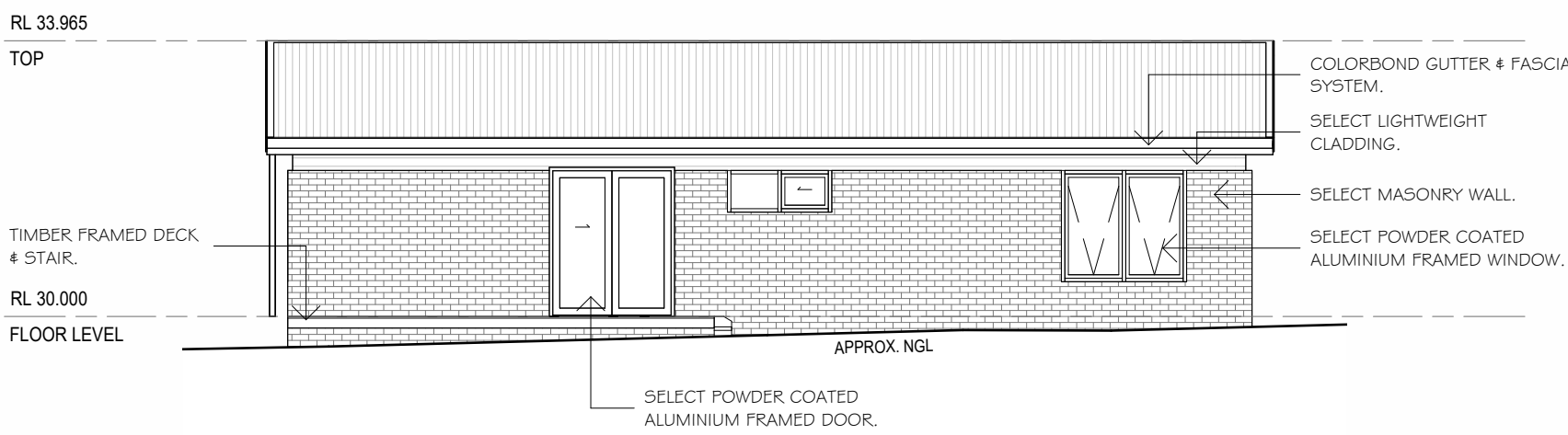




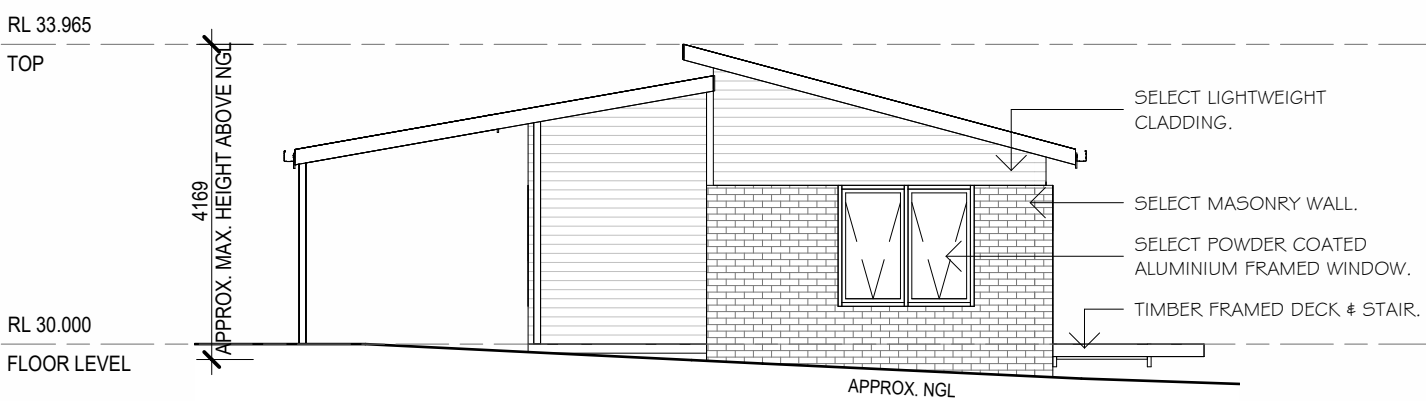
FLOOR PLAN
SCALE 1 : 100



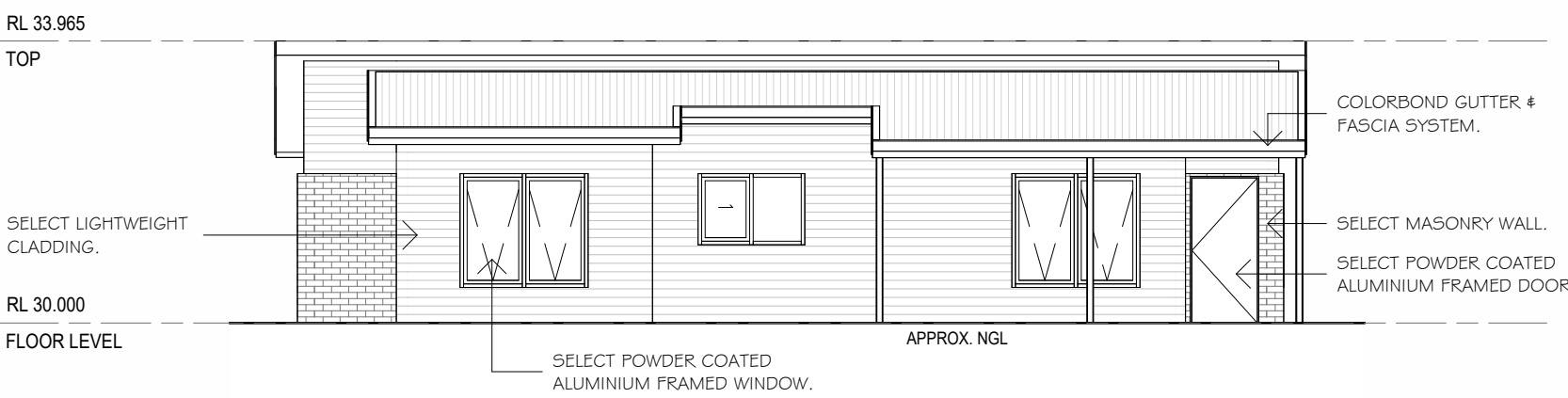
ROOF PLAN
SCALE 1 : 100



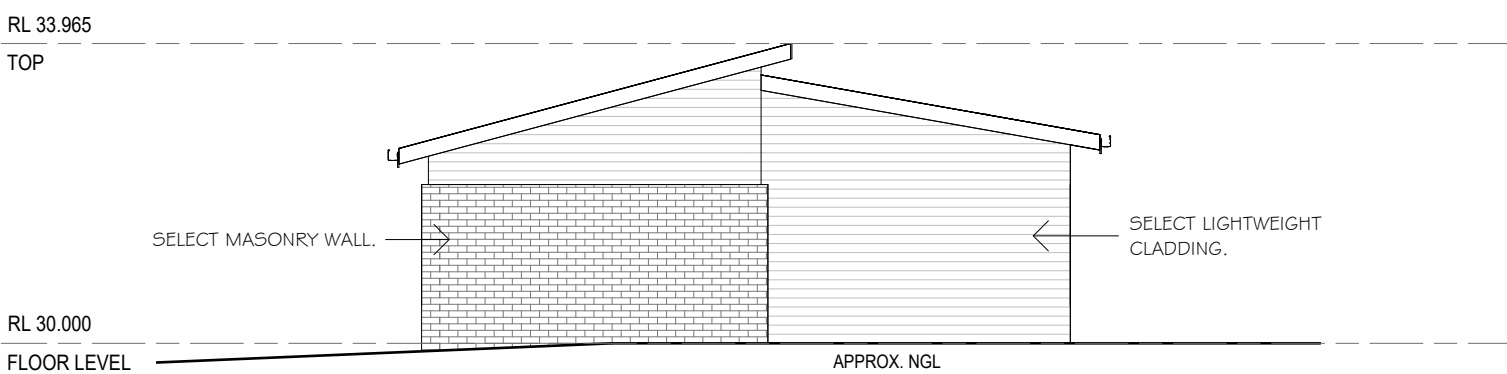
NORTH ELEVATION
SCALE 1 : 100



EAST ELEVATION
SCALE 1 : 100



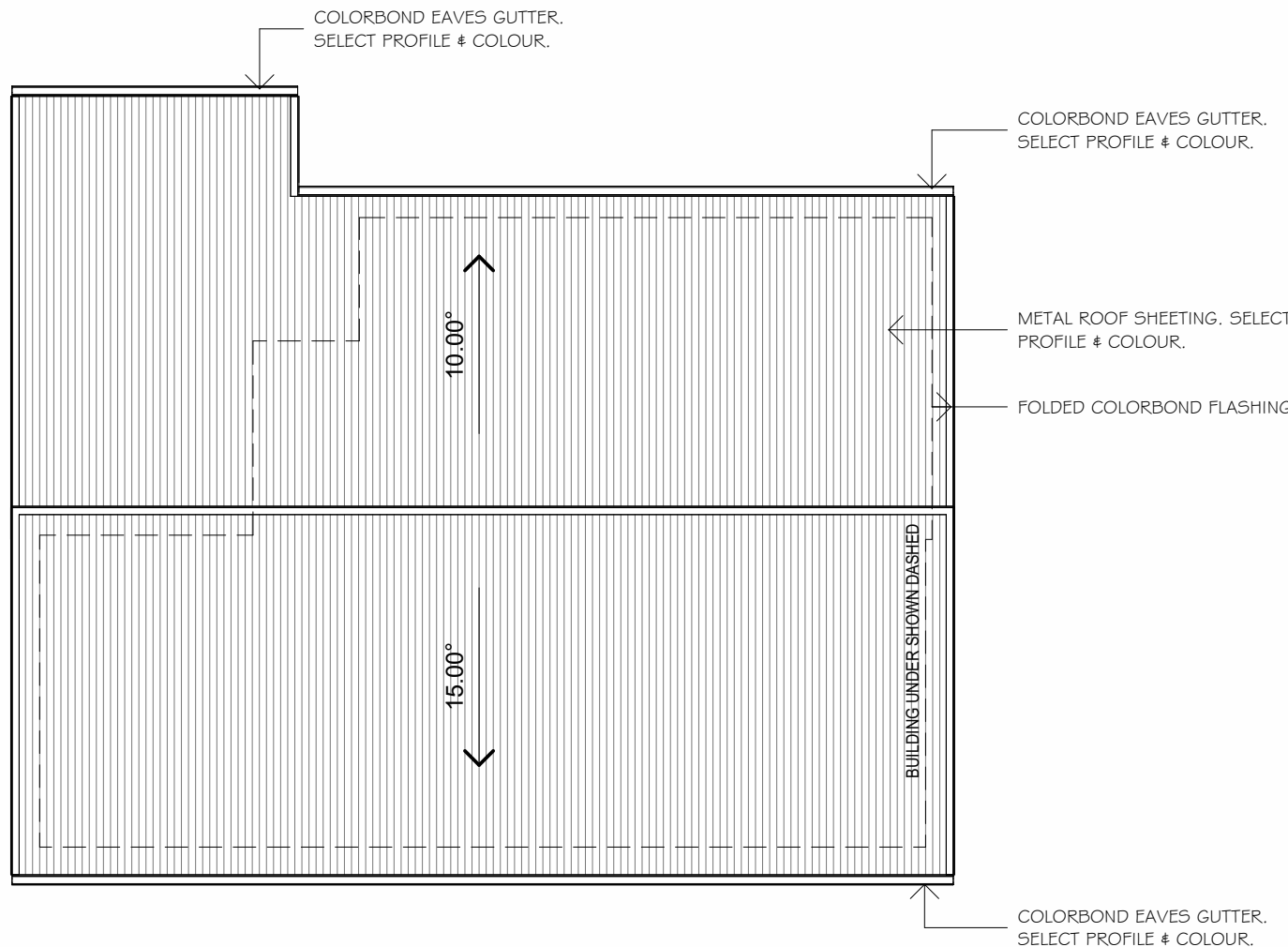
SOUTH ELEVATION
SCALE 1 : 100



WEST ELEVATION
SCALE 1 : 100



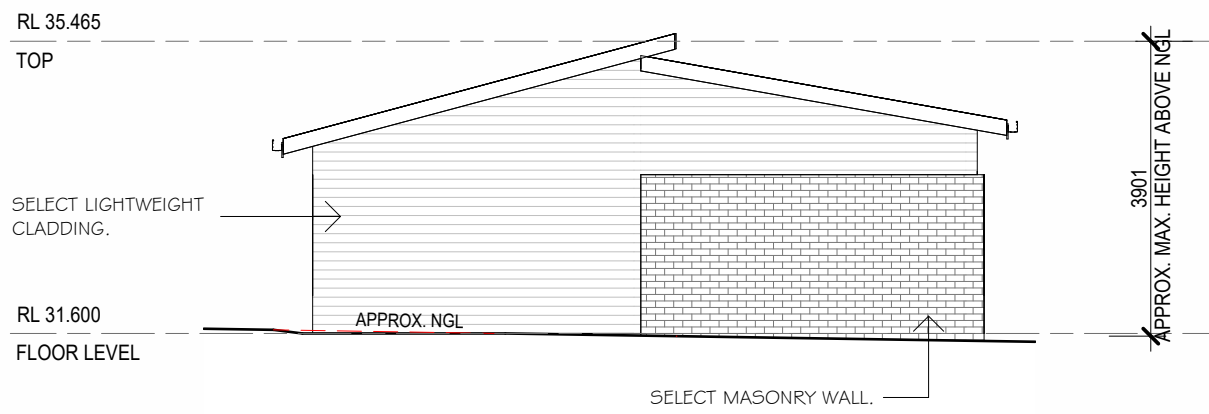
GROUND FLOOR PLAN
SCALE 1 : 100



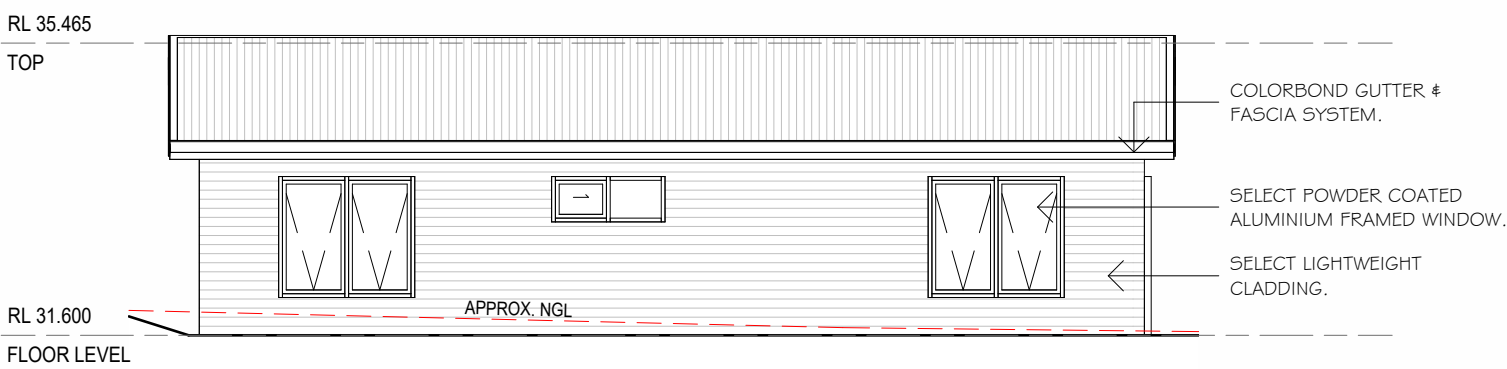
ROOF PLAN
SCALE 1 : 100



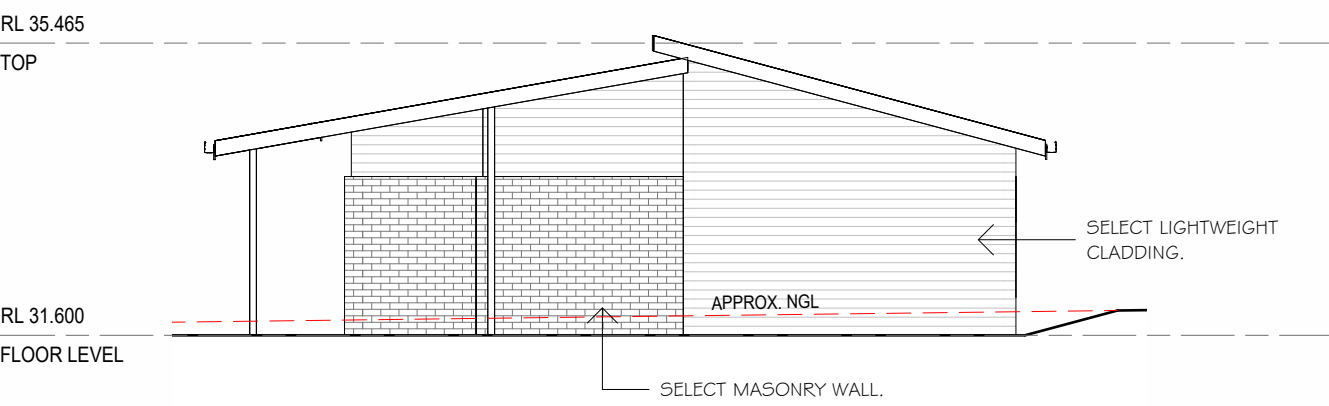
NORTH ELEVATION
SCALE 1 : 100



EAST ELEVATION
SCALE 1 : 100



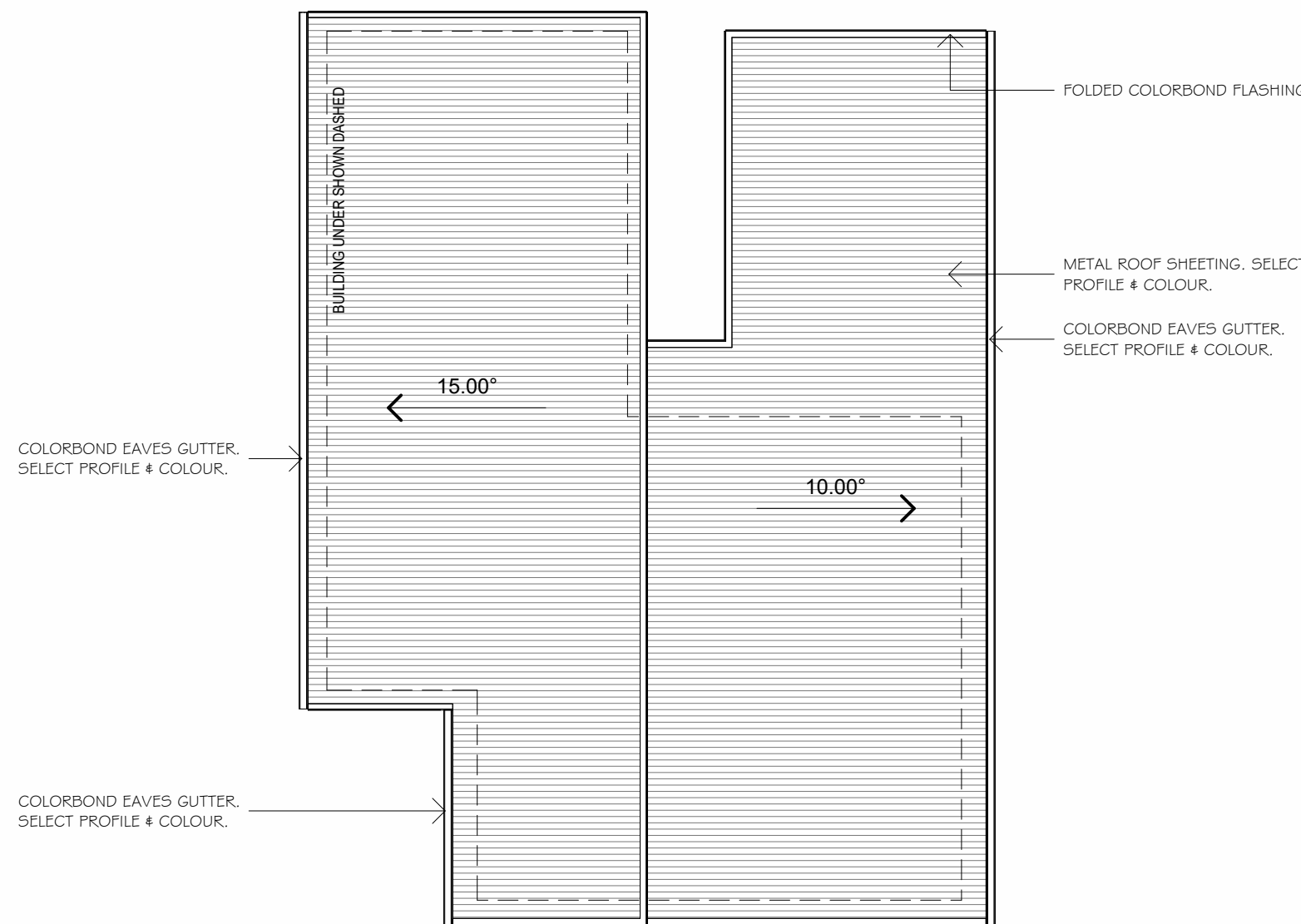
SOUTH ELEVATION
SCALE 1 : 100



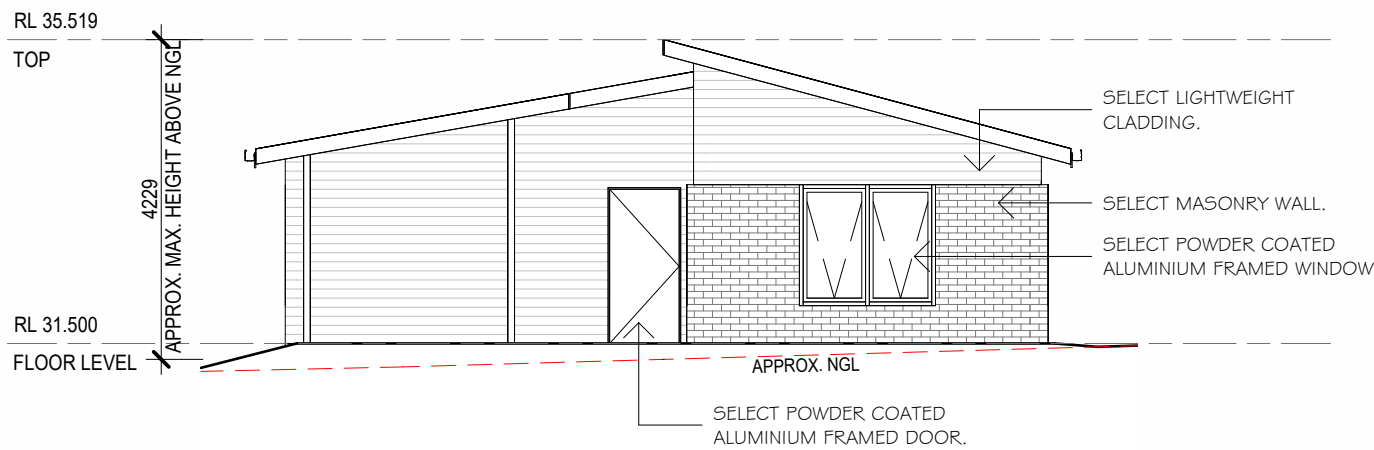
WEST ELEVATION
SCALE 1 : 100



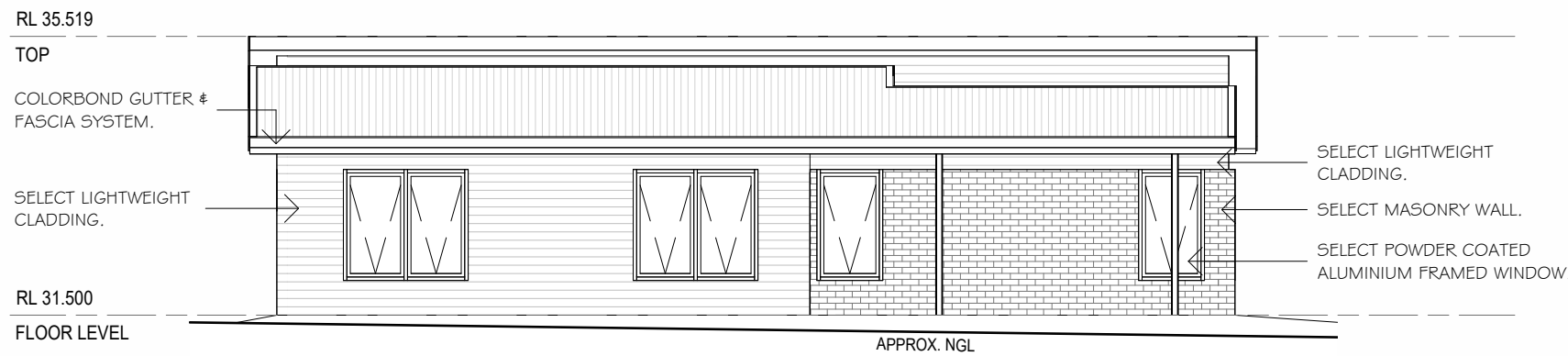
FLOOR PLAN
SCALE 1 : 100



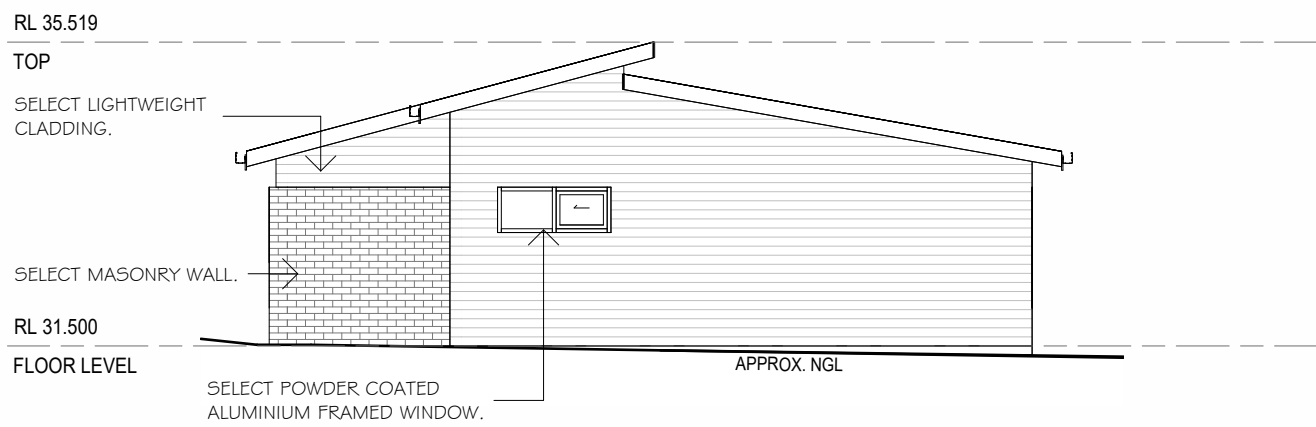
ROOF PLAN
SCALE 1 : 100



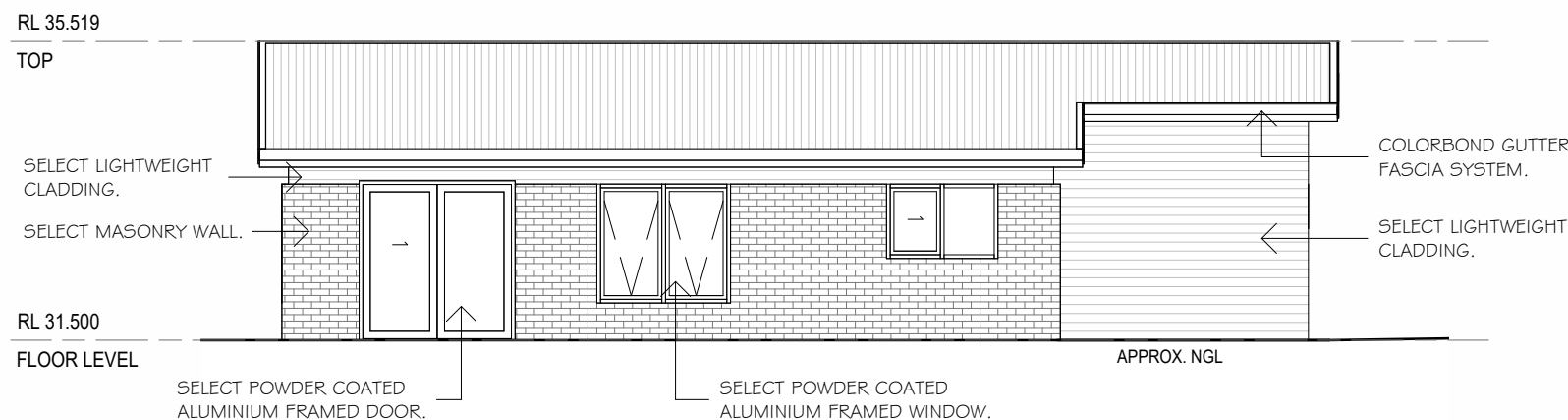
NORTH ELEVATION
SCALE 1 : 100



EAST ELEVATION
SCALE 1 : 100



SOUTH ELEVATION
SCALE 1 : 100



WEST ELEVATION
SCALE 1 : 100

ENGINEERING SCHEDULE

CERTIFIED STEEL PORTAL FRAME SHED DESIGN IN ACCORDANCE WITH NCC 2022 FOR SITE WIND SPEED "37.89m/s", WIND REGION "A4", TERRAIN CATEGORY "3", IMPORTANCE LEVEL "2"

Internal Pressure: 0.5
Design Snow Load: 0.00 KPa, Roof Snow Load: 0.00 KPa

Customer: J and W Sherriff Pty Ltd
Site Address: Lot 23, Seaberry Close, Greens Beach TAS 7270

Main Building: Span: 7, Length: 9, Height: 2.7, Roof Pitch: 11 degrees
The length being comprised of 3 bays, the largest bay is 3.3m bays.
Left LeanTo: NA
Right LeanTo: NA

Total Kit Weight: 1594.1kg

INTERNAL PORTALS	END PORTALS
Column: C15024 Rafter: C15024 Knee Brace: NA Knee Brace Length: NA Apex Brace: NA Apex Brace Length: NA	Column: C15024 Rafter: C15024 Knee Brace: NA Knee Brace Length: NA Apex Brace: NA Apex Brace Length: NA Endwall Mullion: C15024

LEFT LEAN TO PORTALS	RIGHT LEAN TO PORTALS
Internal Column: NA Internal Rafter: NA End Column: NA End Rafter: NA Knee Brace: NA Knee Brace Length: NA	Internal Column: NA Internal Rafter: NA End Column: NA End Rafter: NA Knee Brace: NA Knee Brace Length: NA

NOTE: All unclad intermediate columns are always back to back (refer to drawing: Floor Plan).

PURLINS AND GIRTS		
Eave Purlin: C10010 Side Wall Girts: TH64075 Front End Wall Girts: TH64075 Back End Wall Girts: TH64075 Roof Purlins: TH64075	Max Spacing: 1250 Max Spacing: 1250 Max Spacing: 1250 Max Spacing: 1000	Overlap: 10% Overlap: 10% Overlap: 10% Overlap: 10%

NOTE: Girt spacing will vary to a maximum 1.25m where window/s are located.

FASTENERS
Sleeve Anchor Bolts: M12x75 Sleeve Anchor Yellow Zinc Frame Bolts: M12x30 Purlin Assembly Zinc (Mild) Frame Screws: Frame Screw 14x14x22 Cross Bracing Strap: NA Open Bay Header Height: NA

COLOUR SCHEDULE
Roof Sheets: Monolith External Wall Sheets: Monolith Roller Doors: Monolith Flashings: Monolith PA Doors: Monolith Windows: NA

DOMESTIC & LIGHT INDUSTRIAL STEEL PORTAL FRAME SHED STRUCTURES

This structure is designed in compliance with AS4600, AS3600 and AS1170 1 to 4 as Importance Level 2 with a Live Load of 0.25kPa as "Air Leaky Structures" providing stability when openings are prevalent.

The structures are clad with corrugated pre-painted finish, 0.42mm walls and 0.42mm roof (compliant with AS1562.1 Metal) over cold formed 450 to 550mPa galvanized steel C sections primary frames.

Primary framing is fastened together with 4.6 Class galvanized bolts adequately tensioned on ground prior to erection.

Secondary framing steel bracing, with purlins and girts lapped, are all tek fastened to primary steel with a minimum of two (2) teks per connection as specified in details.

All rainwater products are compliant with AS2179.1 (Metal).

ENGINEERING

The undersigning engineer has checked that the design of the structure complies with relevant current Australian Standards as stated above and the following i.e AS4671- 2001 Steel Reinforcing materials, AS3600 - Concrete structures. However, he will not be present during construction, neither will he conduct inspections nor construction supervision.

The class 10a buildings are designed for erection on pad footings or slab based on soil of classification "A"-"P" with minimum bearing capacity 100kPa (i.e. organic soil is to be removed to a suitable material below natural surface).

Where (suitable) fill is required to level the site, it should be placed and compacted in layers of 150mm maximum.

Concrete pad footings and slab supply and placement is to be in compliance with AS2870-2011 Residential Slabs & Footings, AS3600-2018 Concrete Structures for A2 and B2 exposure (i.e. 25mPa strength @ 28 days strength) with recommended slump 75 to 80mm for light pneumatic tyred traffic all trafficable floors.

25mm deep concrete saw cut, to be made into the surface of the concrete slab every 6m in width or length as crack control joints.

For sites where these conditions are considered to be inadequate, a customized foundation design for the structure can be supplied to suit a specific purpose.

CONSTRUCTION

Erection of the structure is to be in compliance with local and state ordinances,

Occupational Health and Safety Regulations and with plans provided.

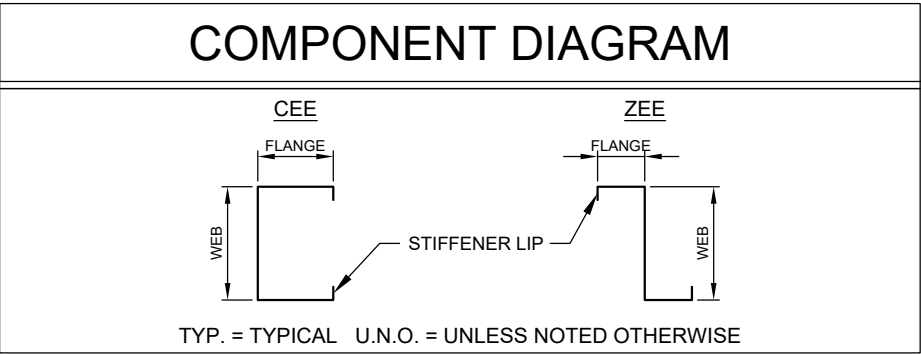
GENERAL

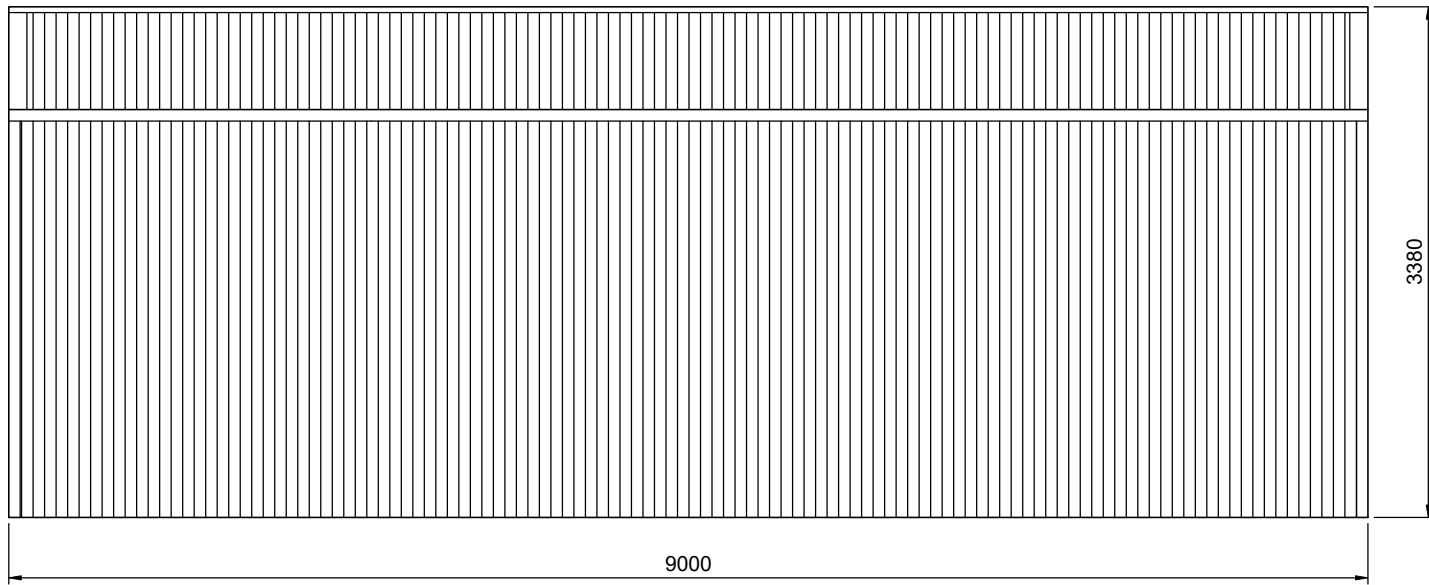
The designs as portrayed on the drawings remain the intellectual property of Best Sheds Pty Ltd and are provided for building approval and construction purposes only.

SNOW LOAD

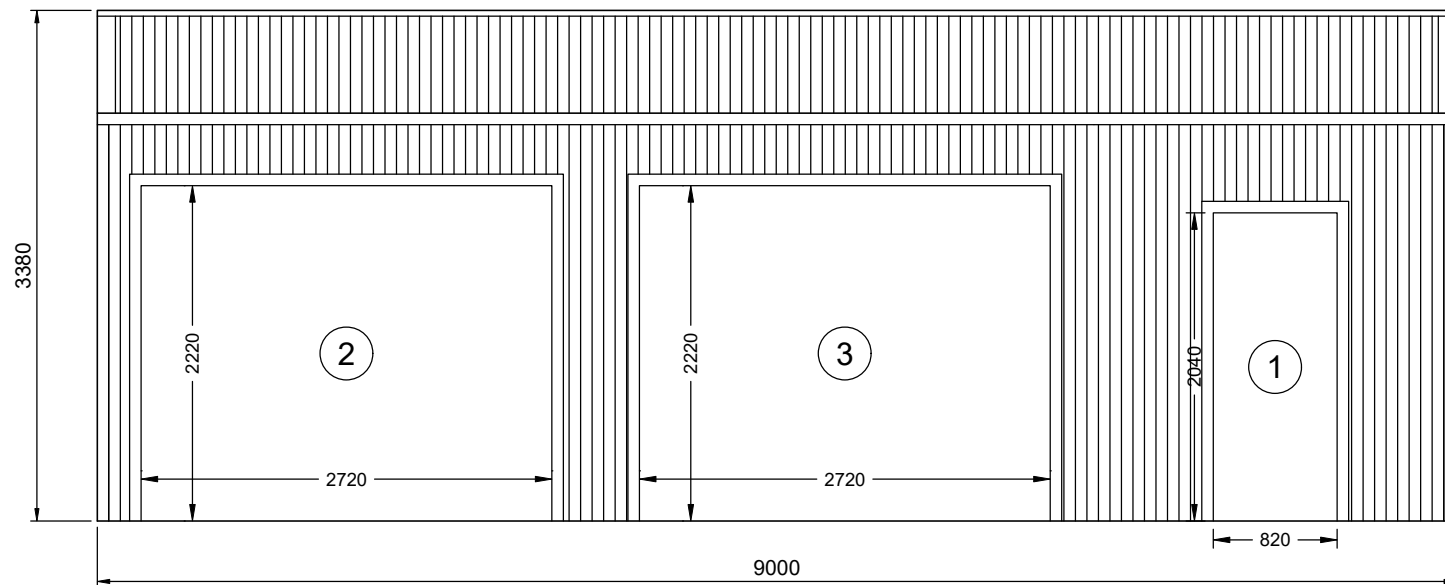
Following conditions only apply to buildings with snow loading:

- No maintenance or roof traffic permitted on the roof while there is snow present.
- No other structure to be erected within 500mm of the gutters of this building.

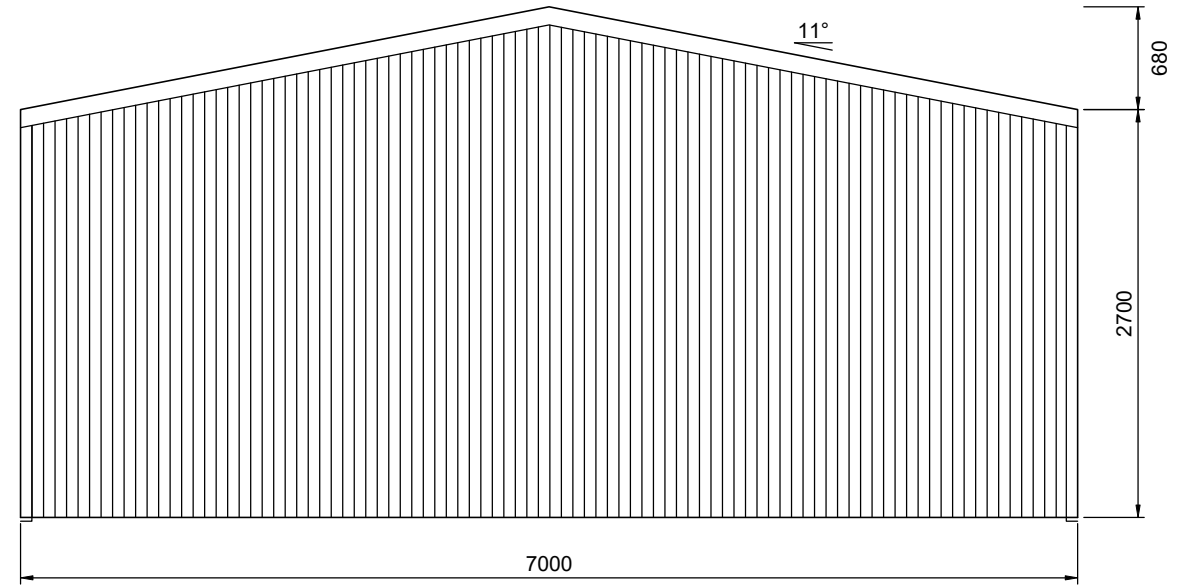




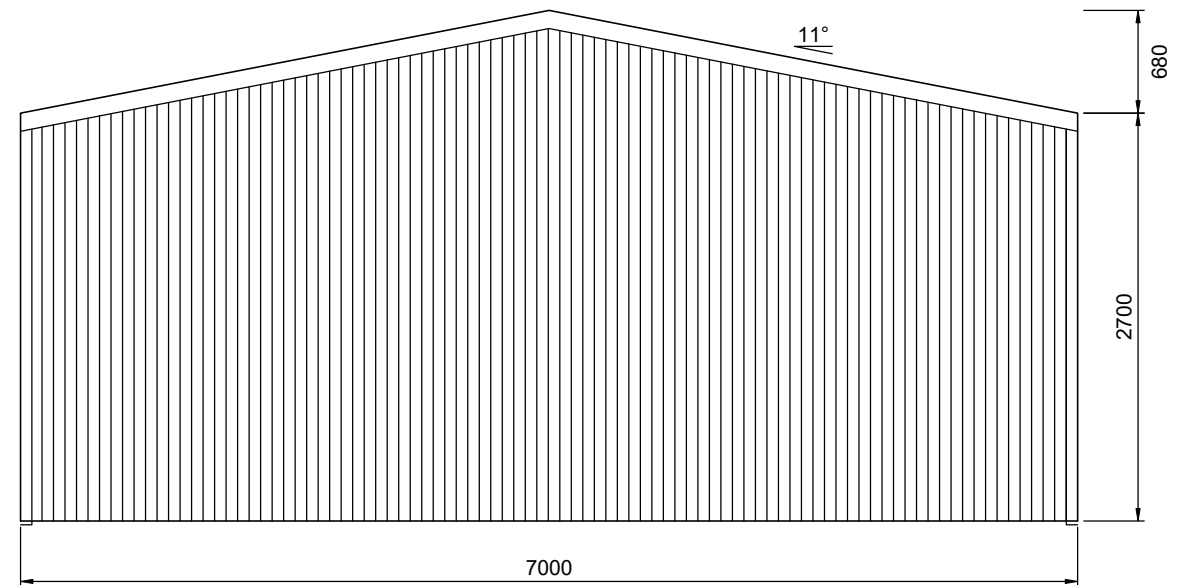
2 LEFT ELEVATION
2 SCALE: 1:50



1 RIGHT ELEVATION
2 SCALE: 1:50



3 REAR ELEVATION
2 SCALE: 1:50



4 FRONT ELEVATION
2 SCALE: 1:50



151 Smeaton Grange Road,
Smeaton Grange, NSW, 2567
Phone: 02 4648 7777
Fax: 02 4648 7700
Email: sales@bestsheds.com.au



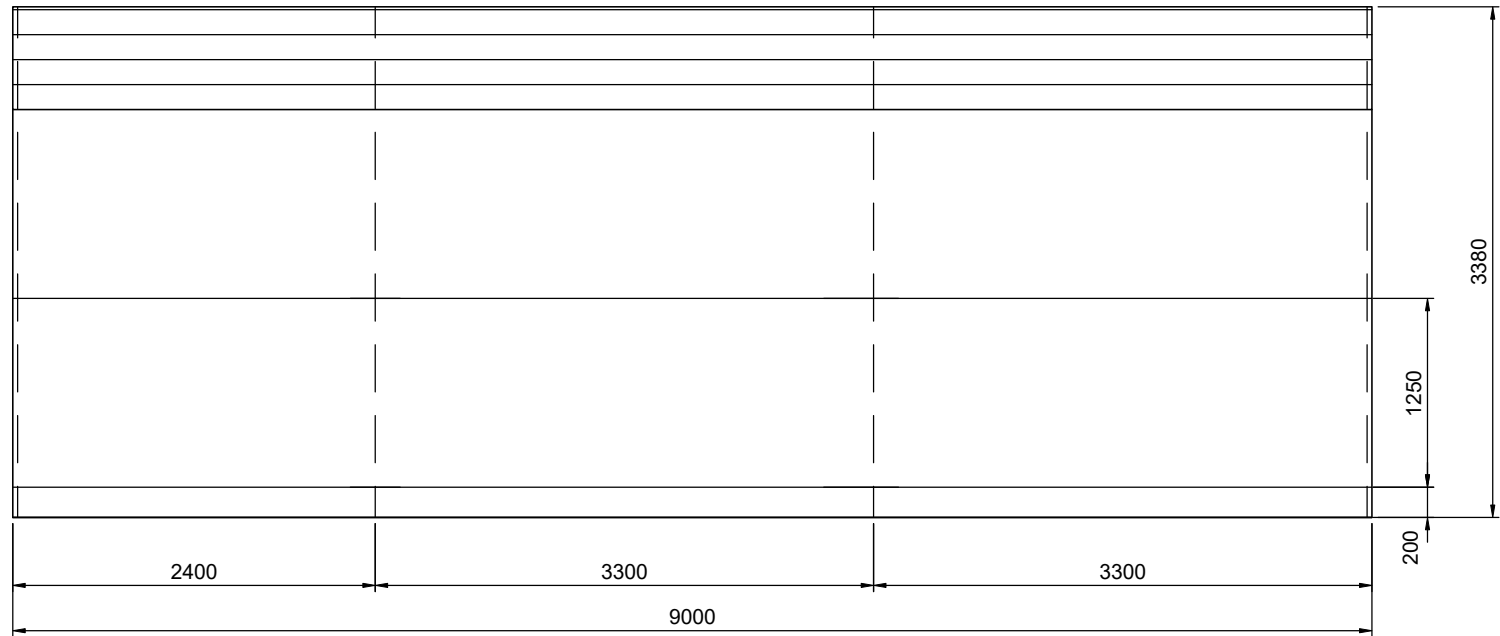
CIVIL & STRUCTURAL ENGINEERS
COMMERCIAL - INDUSTRIAL - RESIDENTIAL - FORENSIC - STEEL DETAILING
CAMILO PINEDA MORENO
Bend MIEAust RPEng
RPEQ 15562 TBP PE003976 (VIC)

Signature:

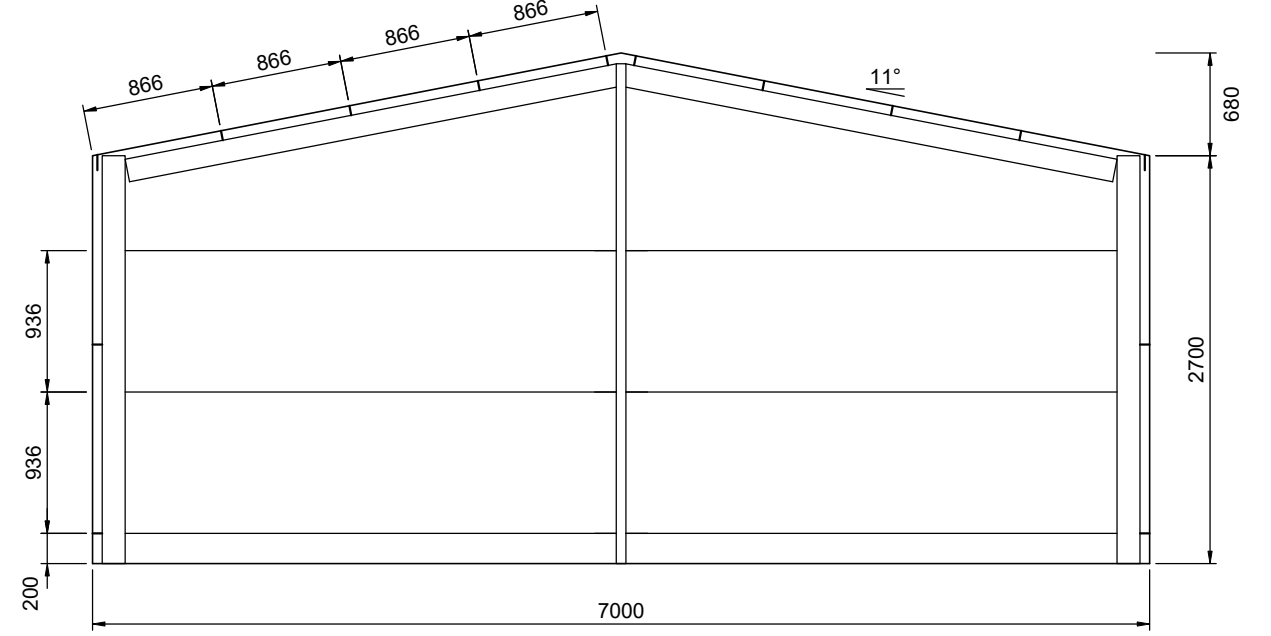
Date: 30.04.2026

Customer Name: J and W Sherriff Pty Ltd
Site Address: Lot 23, Seaberry Close
Greens Beach,
TAS, 7270

DATE 30-04-2026
JOB NO. 2832656058
SHEET 2 of 7

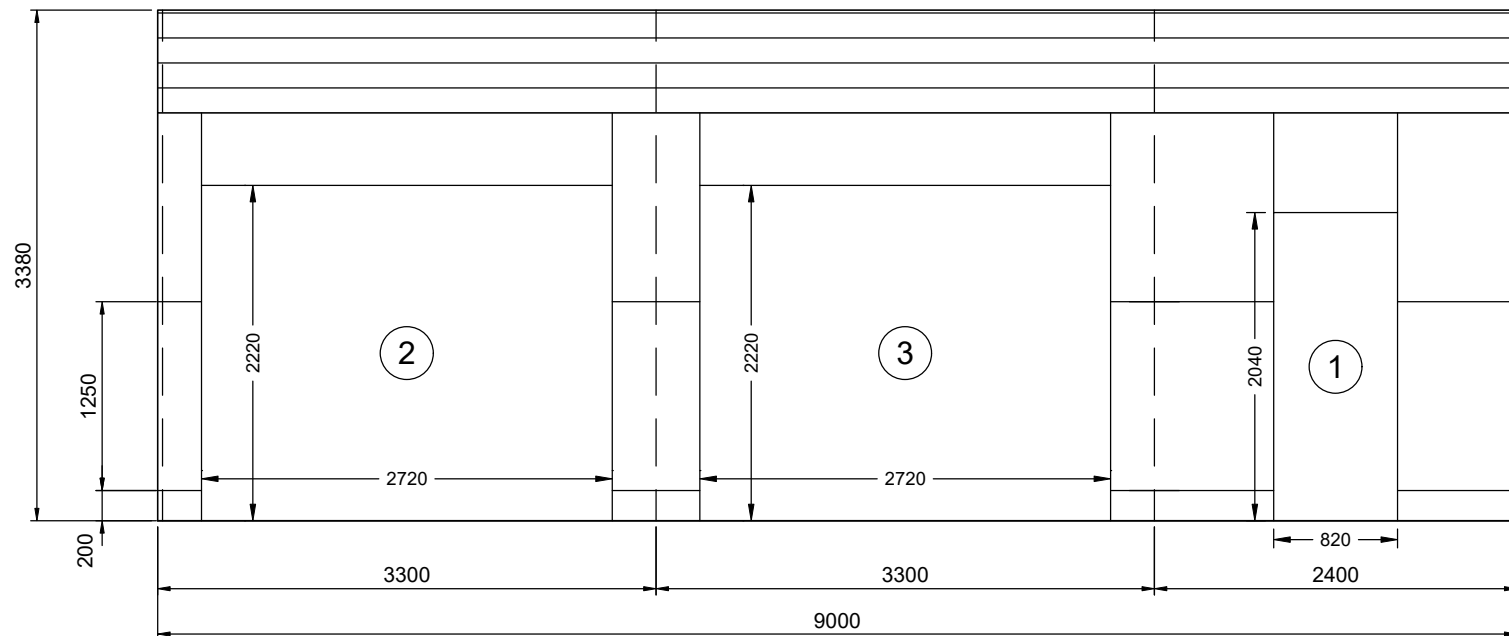


2 LEFT ELEVATION
3 SCALE: 1:50

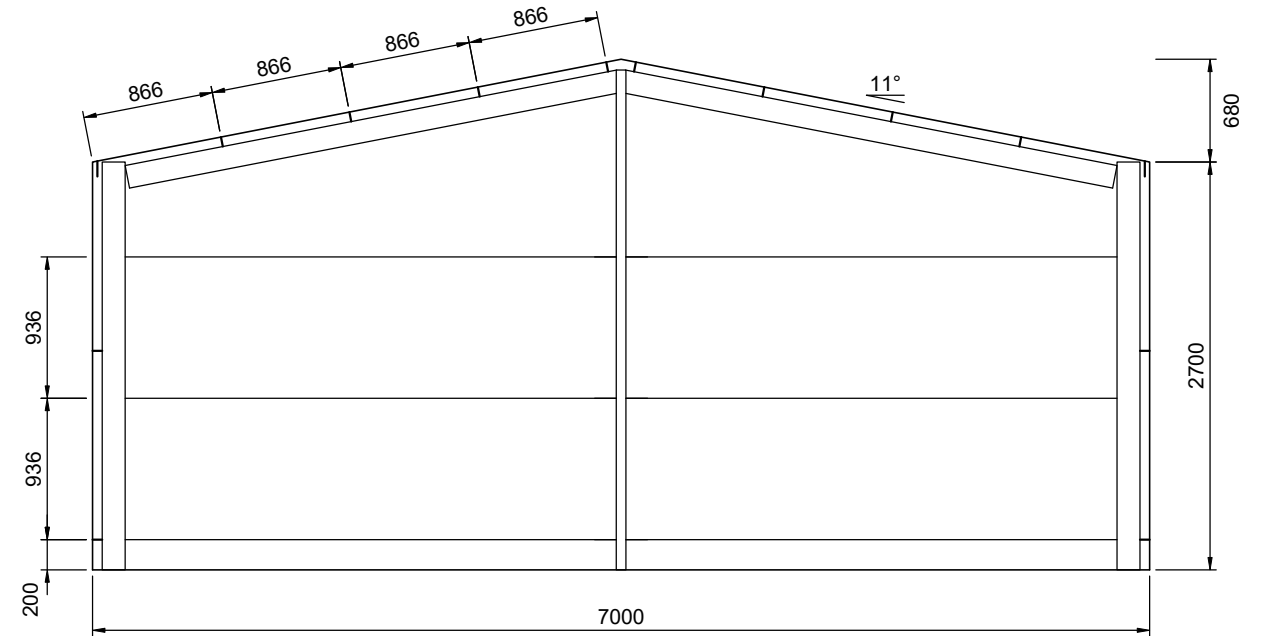


3 REAR ELEVATION
3 SCALE: 1:50

FRAME #4

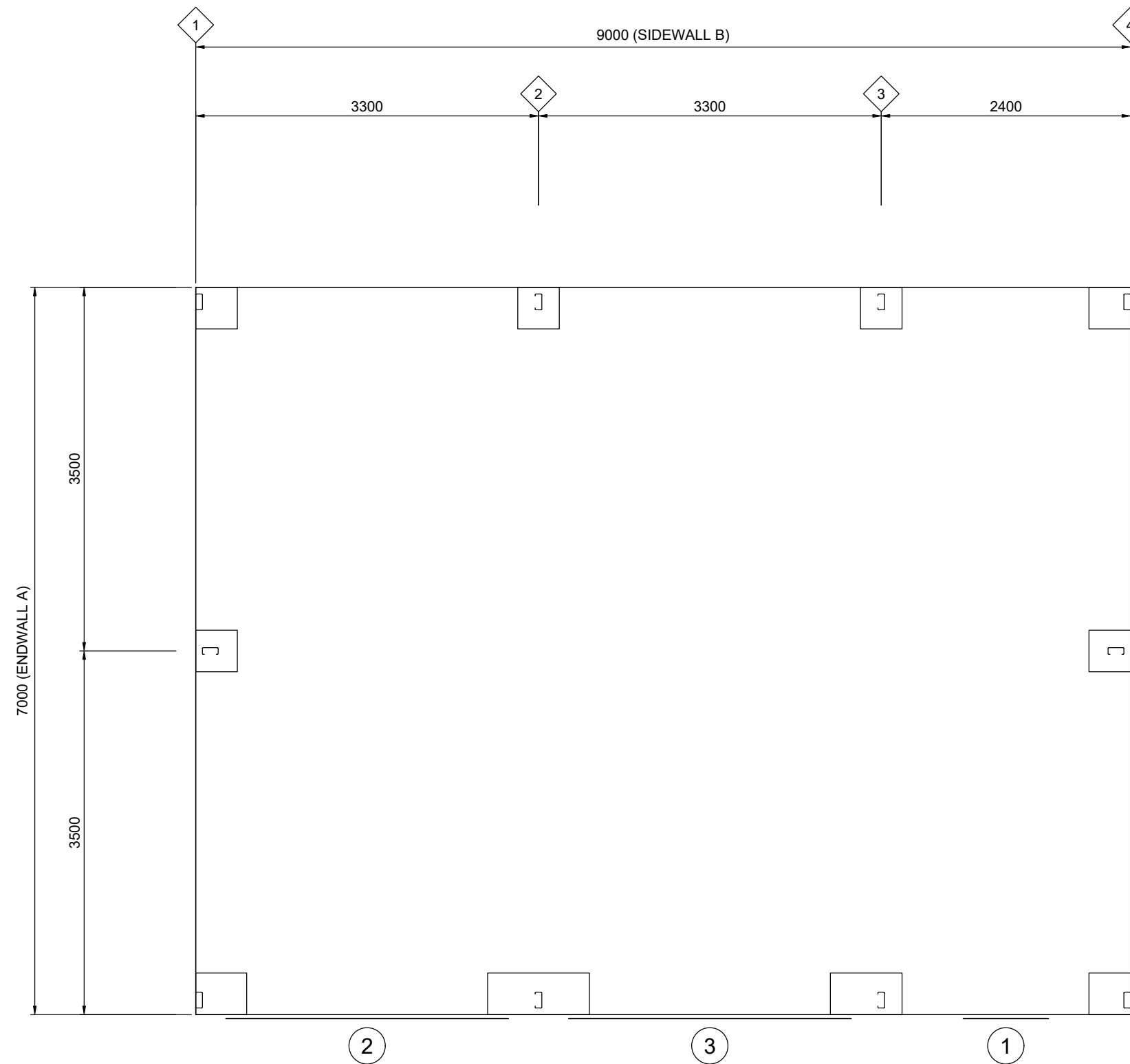


1 RIGHT ELEVATION
3 SCALE: 1:50

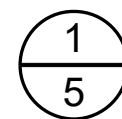
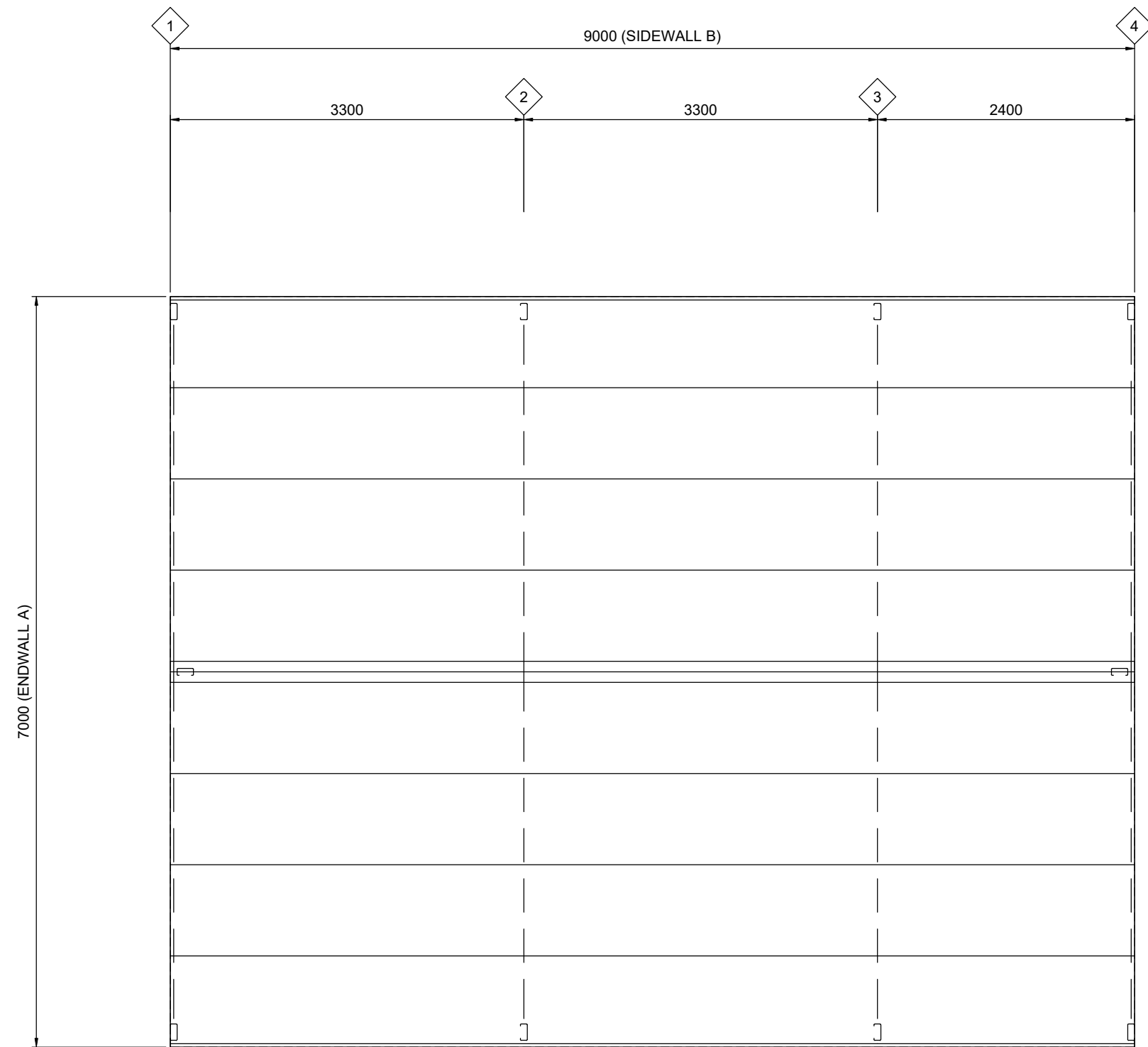


4 FRONT ELEVATION
3 SCALE: 1:50

FRAME #1



1 FLOOR PLAN
4 SCALE: 1:50



ROOF FRAMING PLAN

SCALE: 1:50

SLAB FOUNDATIONS DOMESTIC / LIGHT INDUSTRIAL
(100mm MINIMUM CONCRETE SLAB INCLUDED)

SOIL CLASSIFICATION (COMPACTED)	REINFORCING IN SLAB	EDGE BEAM	PIER	EDGE BEAM (slab thickness not included)	
	MESH REINFORCING	TRENCH MESH	ø x DEPTH	DEPTH	WIDTH
A, S, & M	SL72	---	450 x 400	---	---
M - D	SL82	L11TM3	---	300	300
H TO H - D	SL82	L11TM3	---	400	300
E TO E - D	SL82	L11TM4	---	400	400
P (DROP EDGE BEAM OR STANDARD EDGE BEAM WITH PIERS UNDER COLUMNS 300 INTO FIRM GROUND)	SL82	L11TM4	450ø	400	400

THICKNESS: 100MM WITH MINIMUM 30MM COVER. REFER TO SLAB FOUNDATION TABLE FOR REINFORCING SPECIFICATION

STRENGTH: 25mPa

2 x M12 BOLTS

2 X 12MM DIA SLEEVE ANCHORS,
10MM DIA INTERNAL ROD-MIN 75MM LONG

REFER TO SLAB TABLE FOR MESH TYPE - 30MM COVER

POLYTHENE WATERPROOF MEMBRANE ON CONSOLIDATED SUB-BASE SHOWN DASHED

DEPTH

WIDTH

100

10G X 16MM SHEETING SCREW, REFER TO SCREW SPACING DIAGRAM FOR FREQUENCY

TOPHAT 64 WALL GIRT WITH 10%MM MINIMUM OVERLAP

C15024 COLUMN

2 X 14G TEK SCREWS

12g x14 x 35mm LONG ROOF SCREWS

RIDGE PURLIN
(EVERY SECOND SCREW TO GO THROUGH THE RIDGE CAPPING AND ROOF SHEETING AND INTO THE RIDGE PURLIN)

INTERMEDIATE PURLIN

EAVE PURLIN

0.42 BMT CORRUGATED ROOF SHEETING

10g x 16mm LONG WALL SCREWS

WALL GIRT

EAVE PURLIN

0.42 BMT CORRUGATED WALL SHEETING

Y

SLAB DETAIL

INDICATES 12 mmø GRADE 4.6 BOLT

4 X 14G TEK SCREWS

SGL. 1.9mm 11" HAUNCH BRACKET (SAME DEPTH AS MEMBERS)

C15024 FRAME COLUMN

C15024 FRAME RAFTER

F

GIRT CONNECTION

C15024 FRAME RAFTER

SGL. 1.9mm 11" APEX BRACKET, WITH (8) 12 mmø GRADE 4.6 BOLTS PER BRACKET

4 X 14G TEK SCREWS

G

TOP HAT CONNECTION

ATTACH OUTSIDE FLANGE OF ENDWALL MULLION TO APEX BRACKET WITH 5 X 14G TEK SCREWS

C15024 (OPEN SIDE OF CEE MAY FACE EITHER DIRECTION, U.N.O.)

C15024 ENDWALL RAFTER

NOTE: SEE DETAIL M/7 FOR ENDWALL MULLION BASE CONNECTION

H

EAVE CONNECTION

TOPHAT 64 ROOF PURLIN WITH 10% MINIMUM OVERLAP

12G X 35MM SHEETING SCREW, REFER TO SCREW SPACING DIAGRAM FOR FREQUENCY

C15024 RAFTER

4 X 14G TEK SCREW

A

HAUNCH CONNECTION

B

APEX CONNECTION

C

ENDWALL MULLION TO RAFTER PEAK CONDITION

E

PURLIN CONNECTION

best sheds

Value & Quality Direct to You

151 Smeaton Grange Road,
Smeaton Grange, NSW, 2567
Phone: 02 4648 7777
Fax: 02 4648 7700
Email: sales@bestsheds.com.au

EMERALD

DESIGN & CONSTRUCTION

CIVIL & STRUCTURAL ENGINEERS

COMMERCIAL - INDUSTRIAL - RESIDENTIAL - FORENSIC - STEEL DETAILING

CAMILO PINEDA MORENO

Bend MIEAust RPEng
RPEQ 15562 TBP PE003976 (VIC)

Signature:

Date: 30.04.2026

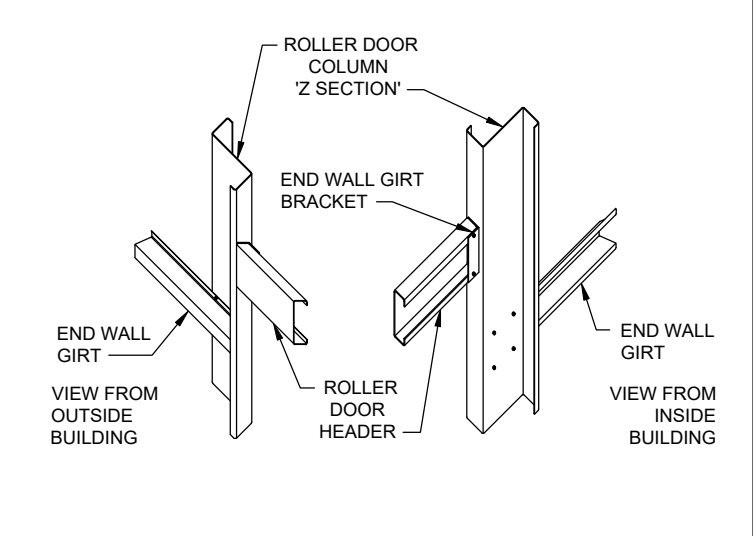
Customer Name: J and W Sherriff Pty Ltd

Site Address: Lot 23, Seaberry Close
Greens Beach,
TAS, 7270

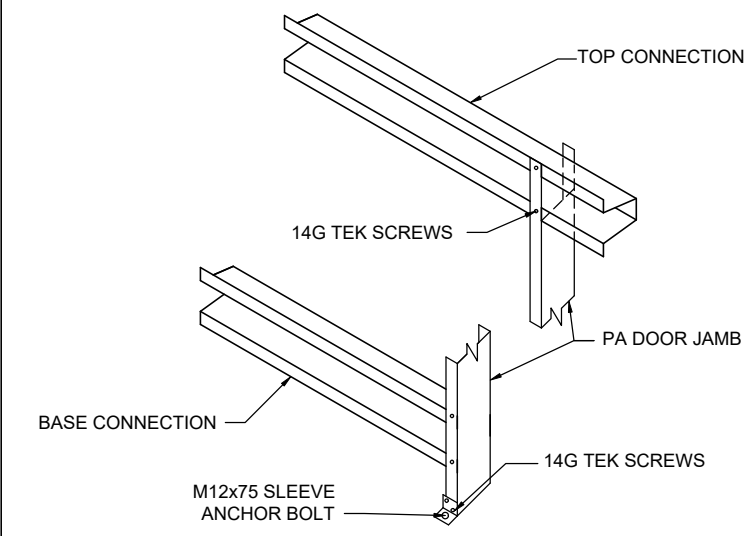
DATE 30-04-2026

JOB NO. 2832656058

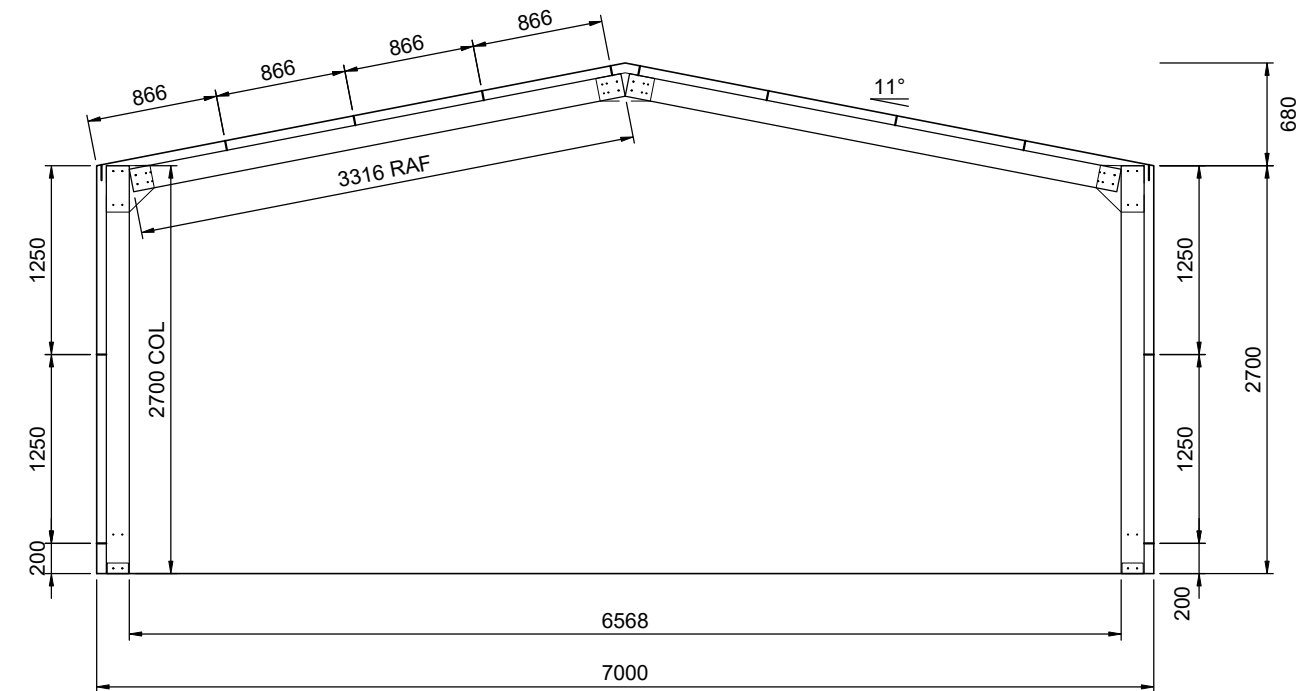
SHEET 6 of 7



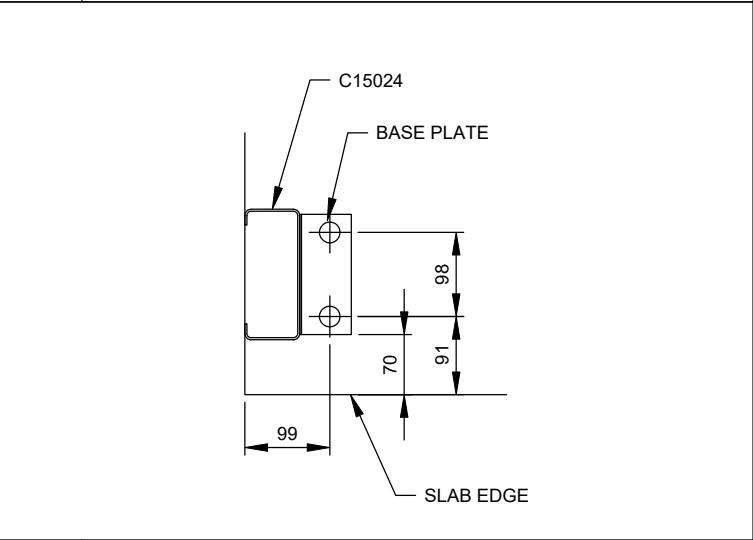
O SIDE DOOR HEADER AND JAMB



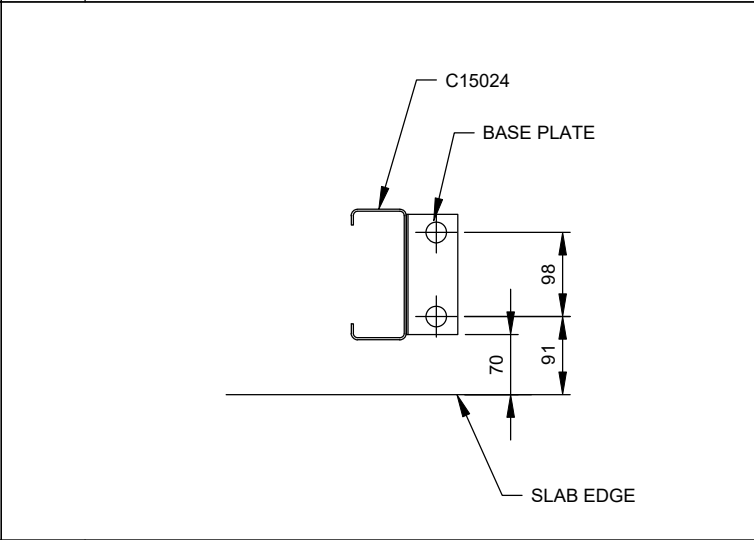
P PA DOOR STYLE CONNECTION



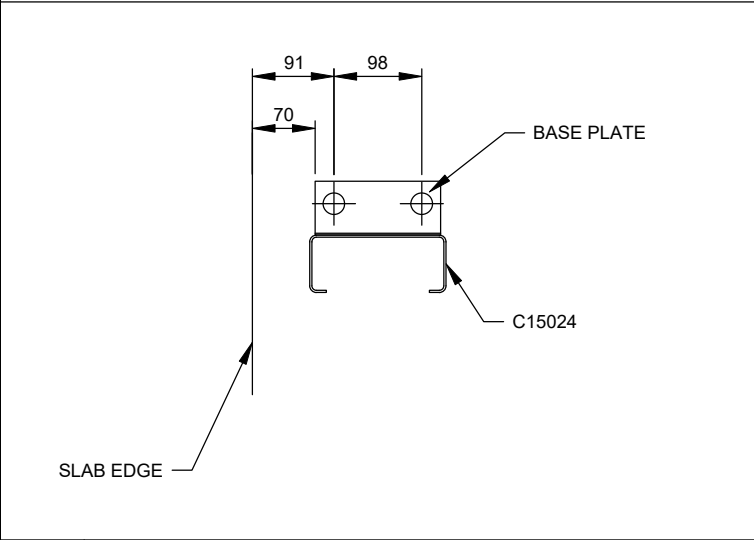
1 TYP. FRAME CROSS-SECTION
7 SCALE: 1:50 FRAMES 2, 3



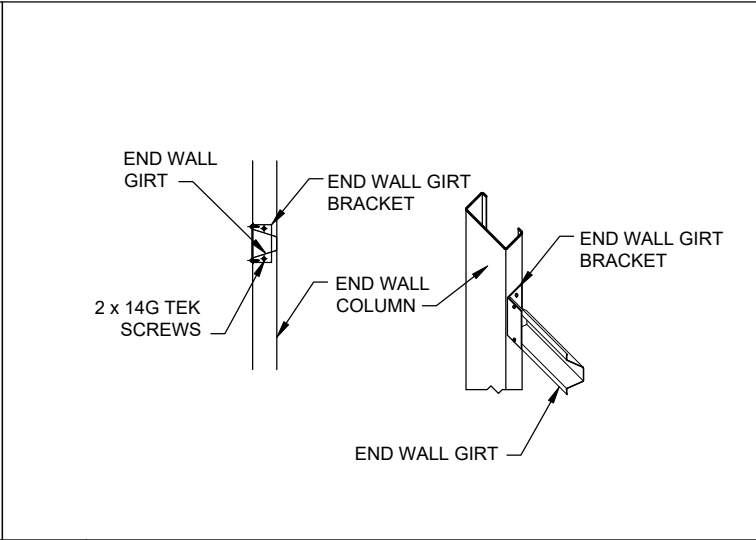
K CORNER COLUMN BASE



L INTERNAL COLUMN BASE



M ENDWALL MULLION BASE



N ENDWALL GIRT BRACKET

ENGINEERING SCHEDULE

CERTIFIED STEEL PORTAL FRAME SHED DESIGN IN ACCORDANCE WITH NCC 2022 FOR SITE WIND SPEED "40.42m/s", WIND REGION "A4", TERRAIN CATEGORY "3", IMPORTANCE LEVEL "2"

Internal Pressure: 0.5
Design Snow Load: 0.00 KPa, Roof Snow Load: 0.00 KPa

Customer: J and W Sherriff Pty Ltd
Site Address: Lot 25 Seaberry Close, Greens Beach TAS 7270

Main Building: Span: 9, Length: 18, Height: 3.6, Roof Pitch: 11 degrees
The length being comprised of 5 bays, the largest bay is 3.75m bays.
Left LeanTo: NA
Right LeanTo: NA

Total Kit Weight: 3951.88kg

INTERNAL PORTALS	END PORTALS
Column: 2C15024 Rafter: 2C15024 Knee Brace: 2C10010 Knee Brace Length: 1600 Apex Brace: 2C10010 Apex Brace Length: 4000	Column: C15024 Rafter: C15024 Knee Brace: NA Knee Brace Length: NA Apex Brace: NA Apex Brace Length: NA Endwall Mullion: C15024

LEFT LEAN TO PORTALS	RIGHT LEAN TO PORTALS
Internal Column: NA Internal Rafter: NA End Column: NA End Rafter: NA Knee Brace: NA Knee Brace Length: NA	Internal Column: NA Internal Rafter: NA End Column: NA End Rafter: NA Knee Brace: NA Knee Brace Length: NA

NOTE: All unclad intermediate columns are always back to back (refer to drawing: Floor Plan).

PURLINS AND GIRTS		
Eave Purlin: C10010 Side Wall Girts: TH64100 Front End Wall Girts: TH64100 Back End Wall Girts: TH64100 Roof Purlins: TH64100	Max Spacing: 1250 Max Spacing: 1250 Max Spacing: 1250 Max Spacing: 1000	Overlap: 10% Overlap: 10% Overlap: 10% Overlap: 10%

NOTE: Girt spacing will vary to a maximum 1.25m where window/s are located.

FASTENERS
Sleeve Anchor Bolts: M12x75 Sleeve Anchor Yellow Zinc Frame Bolts: M12x30 Purlin Assembly Zinc (Mild) Frame Screws: Frame Screw 14x14x22 Cross Bracing Strap: 32mm x 1.2 strap Open Bay Header Height: NA

COLOUR SCHEDULE
Roof Sheets: Monolith External Wall Sheets: Monolith Roller Doors: Monolith Flashings: Monolith PA Doors: Monolith Windows: NA

DOMESTIC & LIGHT INDUSTRIAL STEEL PORTAL FRAME SHED STRUCTURES

This structure is designed in compliance with AS4600, AS3600 and AS1170 1 to 4 as Importance Level 2 with a Live Load of 0.25kPa as "Air Leaky Structures" providing stability when openings are prevalent.

The structures are clad with corrugated pre-painted finish, 0.42mm walls and 0.42mm roof (compliant with AS1562.1 Metal) over cold formed 450 to 550mPa galvanized steel C sections primary frames.

Primary framing is fastened together with 4.6 Class galvanized bolts adequately tensioned on ground prior to erection.

Secondary framing steel bracing, with purlins and girts lapped, are all tek fastened to primary steel with a minimum of two (2) teks per connection as specified in details.

All rainwater products are compliant with AS2179.1 (Metal).

ENGINEERING

The undersigning engineer has checked that the design of the structure complies with relevant current Australian Standards as stated above and the following i.e AS4671- 2001 Steel Reinforcing materials, AS3600 - Concrete structures. However, he will not be present during construction, neither will he conduct inspections nor construction supervision.

The class 10a buildings are designed for erection on pad footings or slab based on soil of classification "A"-"P" with minimum bearing capacity 100kPa (i.e. organic soil is to be removed to a suitable material below natural surface).

Where (suitable) fill is required to level the site, it should be placed and compacted in layers of 150mm maximum.

Concrete pad footings and slab supply and placement is to be in compliance with AS2870-2011 Residential Slabs & Footings, AS3600-2018 Concrete Structures for A2 and B2 exposure (i.e. 25mPa strength @ 28 days strength) with recommended slump 75 to 80mm for light pneumatic tyred traffic all trafficable floors.

25mm deep concrete saw cut, to be made into the surface of the concrete slab every 6m in width or length as crack control joints.

For sites where these conditions are considered to be inadequate, a customized foundation design for the structure can be supplied to suit a specific purpose.

CONSTRUCTION

Erection of the structure is to be in compliance with local and state ordinances,

Occupational Health and Safety Regulations and with plans provided.

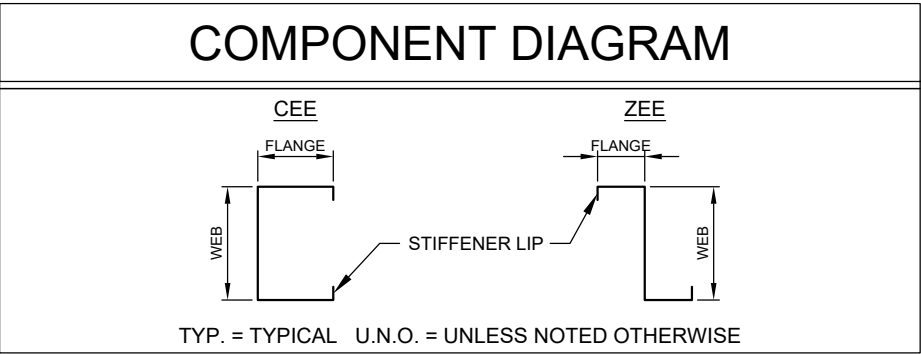
GENERAL

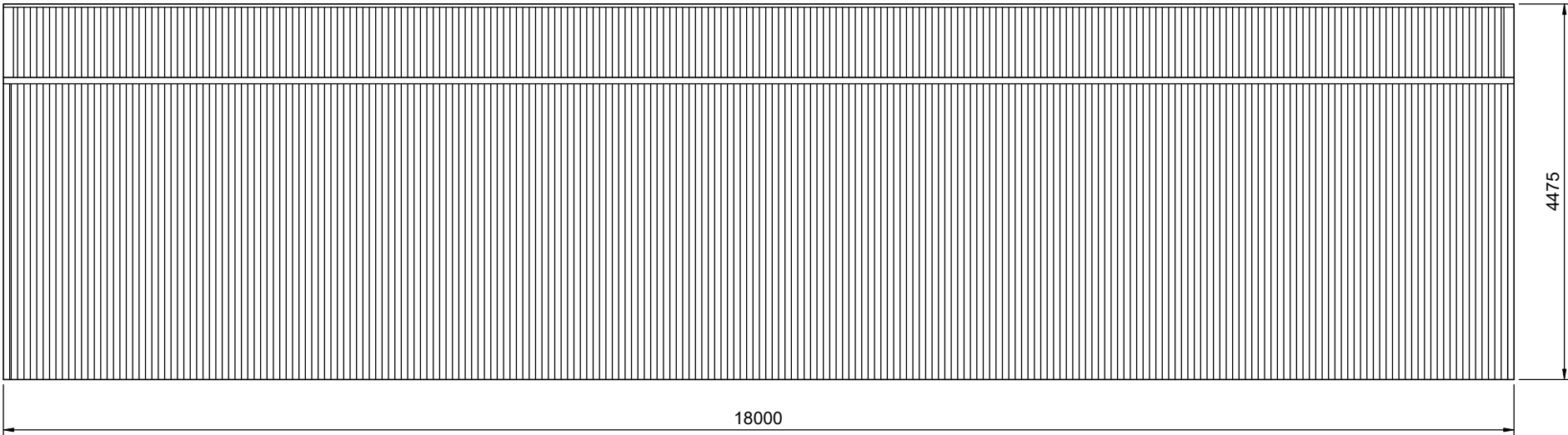
The designs as portrayed on the drawings remain the intellectual property of Best Sheds Pty Ltd and are provided for building approval and construction purposes only.

SNOW LOAD

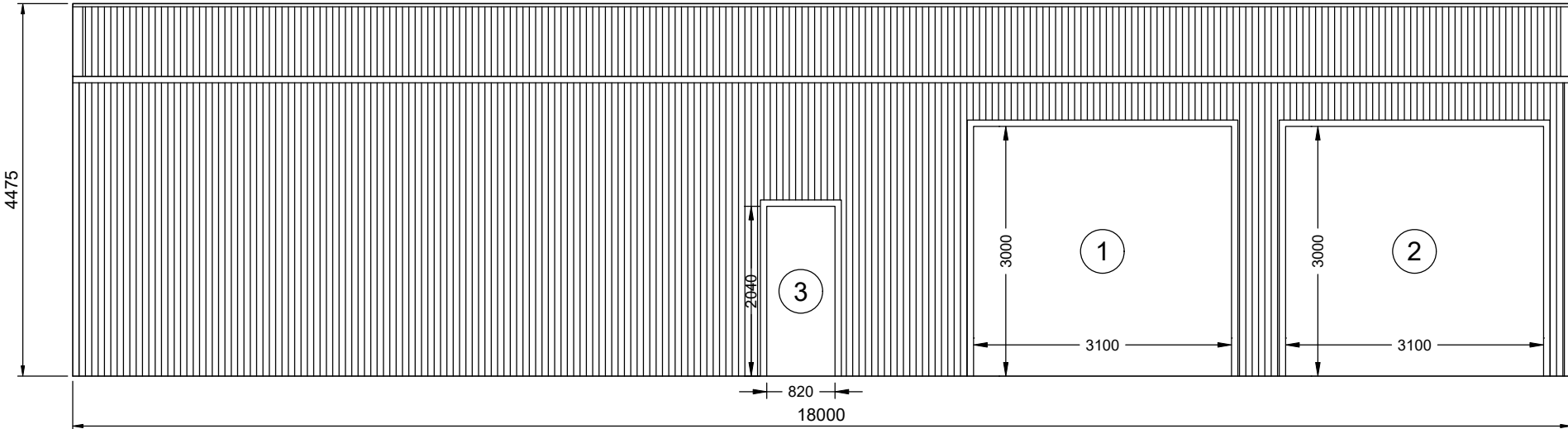
Following conditions only apply to buildings with snow loading:

- No maintenance or roof traffic permitted on the roof while there is snow present.
- No other structure to be erected within 500mm of the gutters of this building.

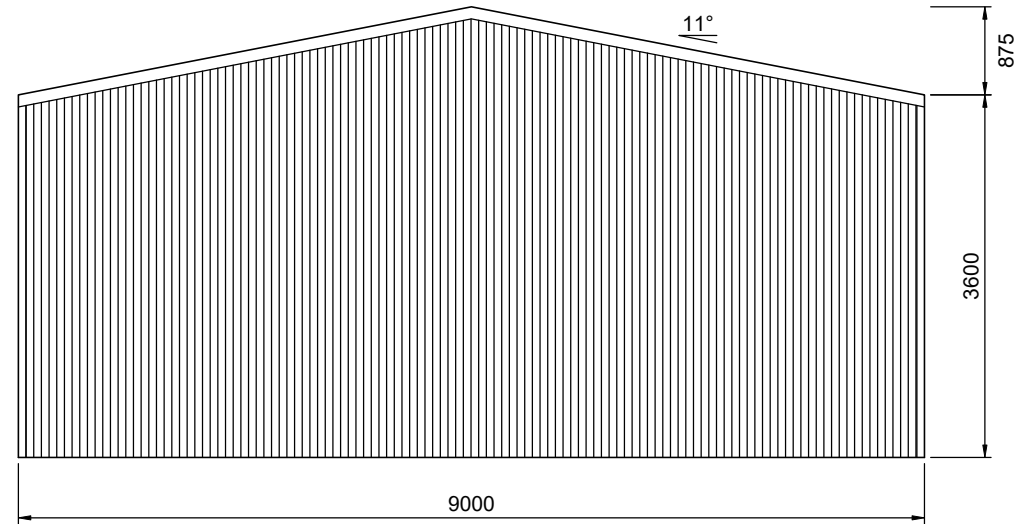




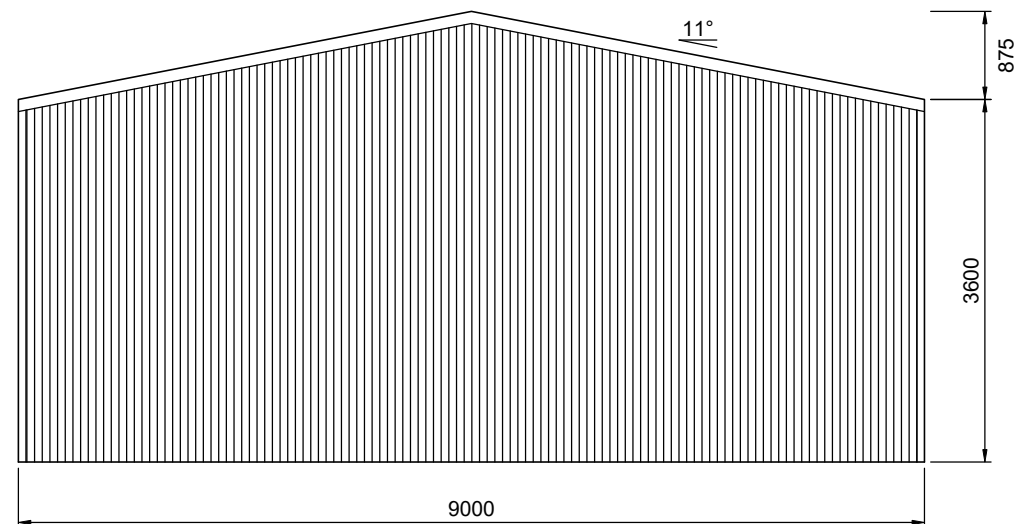
2 LEFT ELEVATION
2 SCALE: 1:75



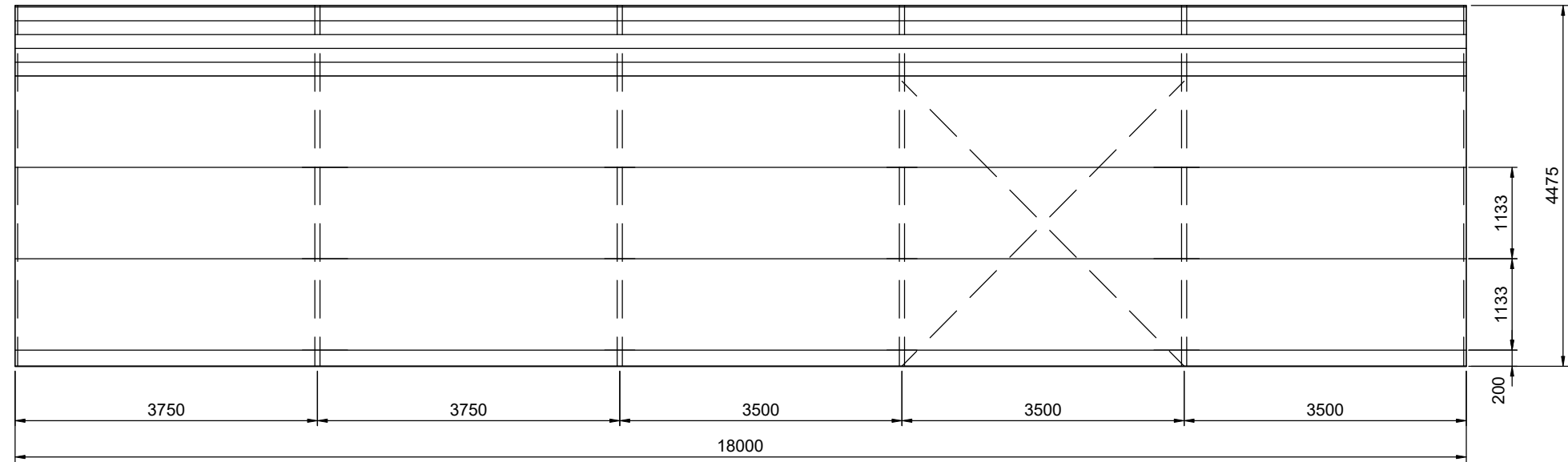
1 RIGHT ELEVATION
2 SCALE: 1:75



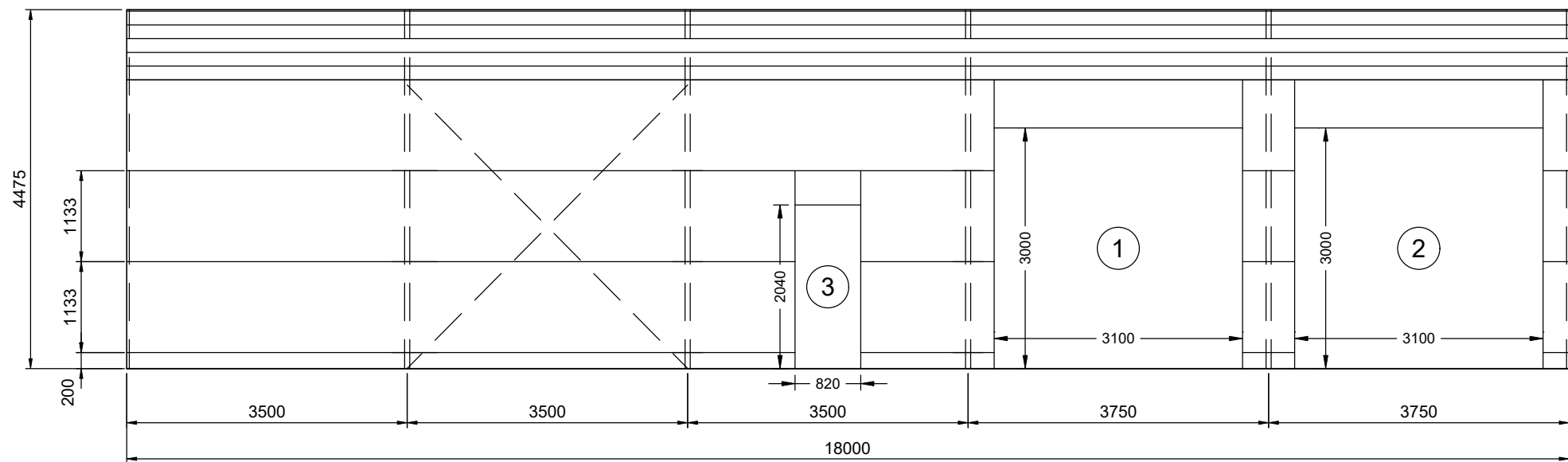
1 REAR ELEVATION
3 SCALE: 1:75



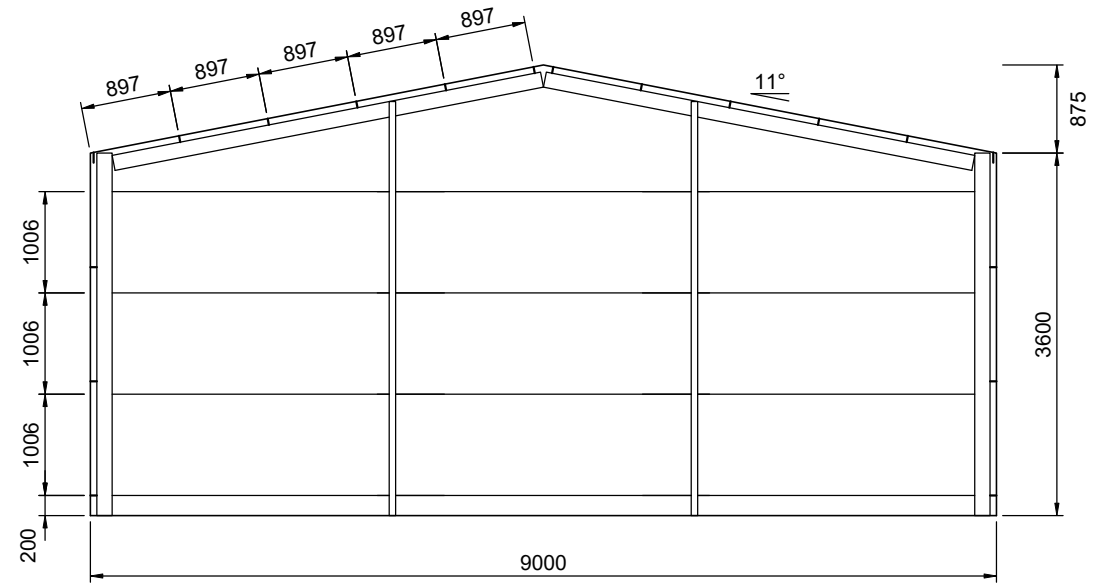
2 FRONT ELEVATION
3 SCALE: 1:75



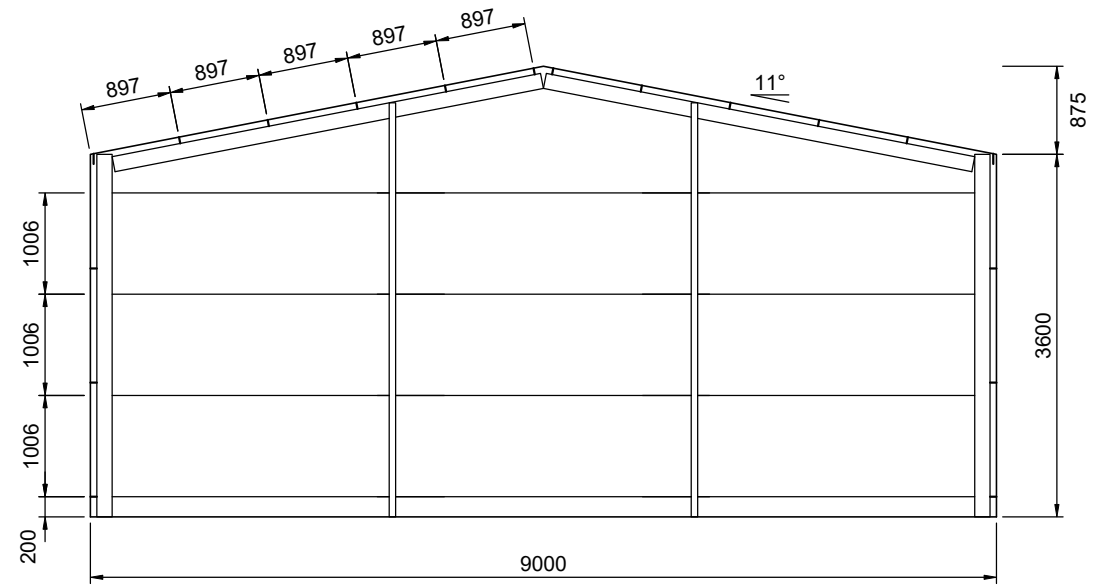
2 LEFT ELEVATION
4 SCALE: 1:75



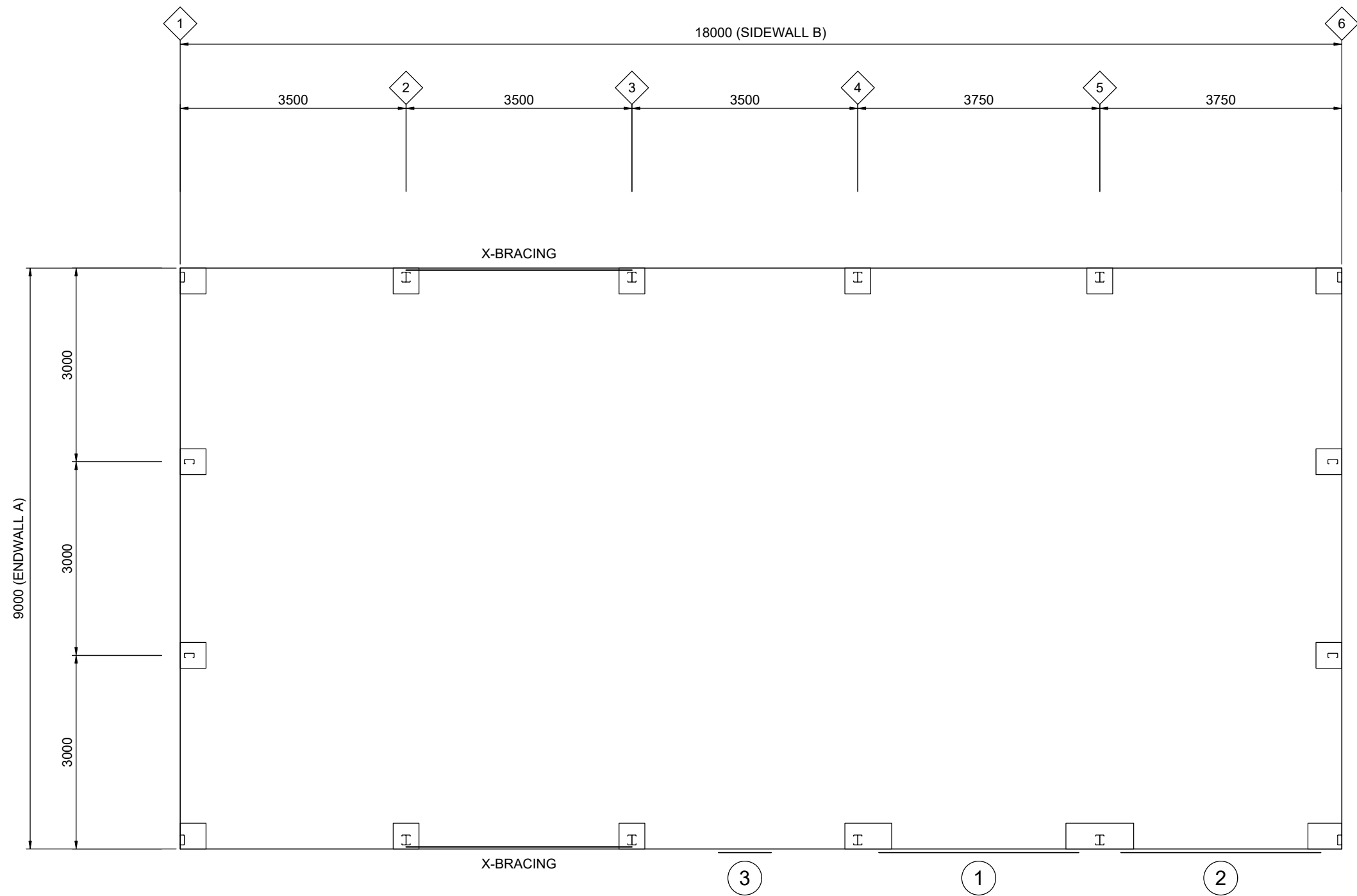
1 RIGHT ELEVATION
4 SCALE: 1:75



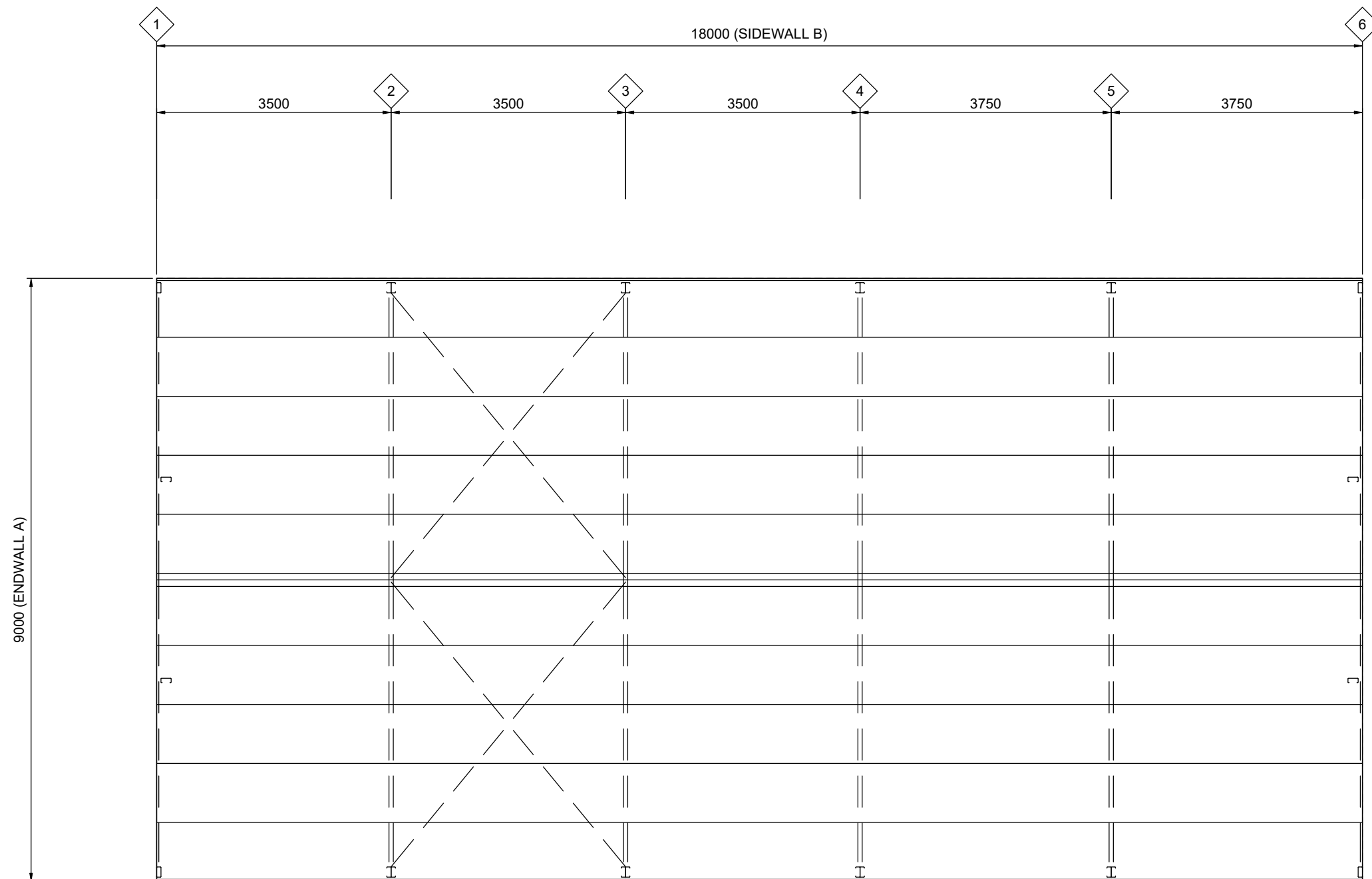
1 REAR ELEVATION
5 SCALE: 1:75 FRAME #6



2 FRONT ELEVATION
5 SCALE: 1:75 FRAME #1



1 FLOOR PLAN
6 SCALE: 1:75



1
7

ROOF FRAMING PLAN

SCALE: 1:75

SLAB FOUNDATIONS DOMESTIC / LIGHT INDUSTRIAL
(100mm MINIMUM CONCRETE SLAB INCLUDED)

SOIL CLASSIFICATION (COMPACTED)	REINFORCING IN SLAB	EDGE BEAM	PIER	EDGE BEAM (slab thickness not included)	
	MESH REINFORCING	TRENCH MESH	ø x DEPTH	DEPTH	WIDTH
A, S, & M	SL72	---	450 x 400	---	---
M - D	SL82	L11TM3	---	300	300
H TO H - D	SL82	L11TM3	---	400	300
E TO E - D	SL82	L11TM4	---	400	400
P (DROP EDGE BEAM OR STANDARD EDGE BEAM WITH PIERS UNDER COLUMNS 300 INTO FIRM GROUND)	SL82	L11TM4	450ø	400	400

THICKNESS: 100MM WITH MINIMUM 30MM COVER. REFER TO SLAB FOUNDATION TABLE FOR REINFORCING SPECIFICATION

STRENGTH: 25mPa

2 x M12 BOLTS

2 X 12MM DIA SLEEVE ANCHORS, 10MM DIA INTERNAL ROD-MIN 75MM LONG

REFER TO SLAB TABLE FOR MESH TYPE - 30MM COVER

POLYTHENE WATERPROOF MEMBRANE ON CONSOLIDATED SUB-BASE SHOWN DASHED

DEPTH

WIDTH

100

2C15024 COLUMN

NOTE: ENSURE EARTH/SOIL IS KEPT CLEAR OF WALL CLADDING AT ALL TIMES.

900

450

12g x14 x 35mm LONG ROOF SCREWS

RIDGE PURLIN
(EVERY SECOND SCREW TO GO THROUGH THE RIDGE CAPPING AND ROOF SHEETING AND INTO THE RIDGE PURLIN)

INTERMEDIATE PURLIN

EAVE PURLIN

0.42 BMT CORRUGATED ROOF SHEETING

10g x 16mm LONG WALL SCREWS

WALL GIRT

EAVE PURLIN

0.42 BMT CORRUGATED WALL SHEETING

Y

SLAB DETAIL

INDICATES 12 mmø GRADE 4.6 BOLT

2C15024 FRAME RAFTER

4 X 14G TEK SCREWS

2C15024 FRAME COLUMN

DBL. 1.9mm 11" HAUNCH BRACKET (SAME DEPTH AS MEMBERS)

2C10010 KNEE BRACE, 1600 mm LONG (OMIT AT ENDWALLS)

2939 mm TO TOP OF CONCRETE FOUNDATION

(2) 12 mmø GRADE 4.6 BOLTS AT EACH END OF KNEE BRACE

NOTE: ALL DOUBLE COMPONENTS SHALL BE SINGLE AT ENDWALLS.

F

GIRT CONNECTION

10G X 16MM SHEETING SCREW, REFER TO SCREW SPACING DIAGRAM FOR FREQUENCY

4 X 14G TEK SCREWS

TOPHAT 64 WALL GIRT WITH 10%MM MINIMUM OVERLAP

2C15024 COLUMN

G

TOP HAT CONNECTION

2 x 14G TEK SCREWS ABOVE & BELOW IN SIDE OF PURLIN - UNDERSIDE SCREW NOT VISIBLE IN DETAIL

2 x 14G TEK SCREWS PER COLUMN - UNDERSIDE SCREW NOT VISIBLE IN DETAIL

H

EAVE CONNECTION

12G X 35MM SHEETING SCREW, REFER TO SCREW SPACING DIAGRAM FOR FREQUENCY

2 x 14G TEK SCREWS

SHEETING

C10010

C15024 COLUMN

A

HAUNCH CONNECTION

2C15024 FRAME RAFTER

DBL. 1.9mm 11" APEX BRACKET, WITH (8) 12 mmø GRADE 4.6 BOLTS PER BRACKET

4 X 14G TEK SCREWS

1950 mm

(2) 12 mmø GRADE 4.6 BOLTS AT EACH END OF APEX BRACE

2C10010 APEX BRACE (OMIT AT ENDWALLS), 4000 mm LONG

NOTE: ALL DOUBLE COMPONENTS SHALL BE SINGLE AT ENDWALLS.

B

APEX CONNECTION

2C15024 FRAME RAFTER

DBL. 1.9mm 11" APEX BRACKET, WITH (8) 12 mmø GRADE 4.6 BOLTS PER BRACKET

4 X 14G TEK SCREWS

1950 mm

(2) 12 mmø GRADE 4.6 BOLTS AT EACH END OF APEX BRACE

2C10010 APEX BRACE (OMIT AT ENDWALLS), 4000 mm LONG

NOTE: ALL DOUBLE COMPONENTS SHALL BE SINGLE AT ENDWALLS.

C

ENDWALL MULLION TO RAFTER

C15024 ENDWALL RAFTER

6 X 14G TEK SCREWS INTO RAFTER WEB AND 0 X 14G TEK SCREWS INTO ENDWALL MULLION BRACKET

C15024 (OPEN SIDE OF CEE MAY FACE EITHER DIRECTION, U.N.O.)

E

PURLIN CONNECTION

TOPHAT 64 ROOF PURLIN WITH 10% MINIMUM OVERLAP

12G X 35MM SHEETING SCREW, REFER TO SCREW SPACING DIAGRAM FOR FREQUENCY

C15024 RAFTER

4 X 14G TEK SCREW

bestsheds

Value & Quality Direct to You

151 Smeaton Grange Road,
Smeaton Grange, NSW, 2567
Phone: 02 4648 7777
Fax: 02 4648 7700
Email: sales@bestsheds.com.au

EMERALD

DESIGN & CONSTRUCTION

CIVIL & STRUCTURAL ENGINEERS

COMMERCIAL - INDUSTRIAL - RESIDENTIAL - FORENSIC - STEEL DETAILING

CAMILO PINEDA MORENO

Bend MIEAust RPEng
RPEQ 15562 TBP PE003976 (VIC)

Signature:

Date: 30.04.2026

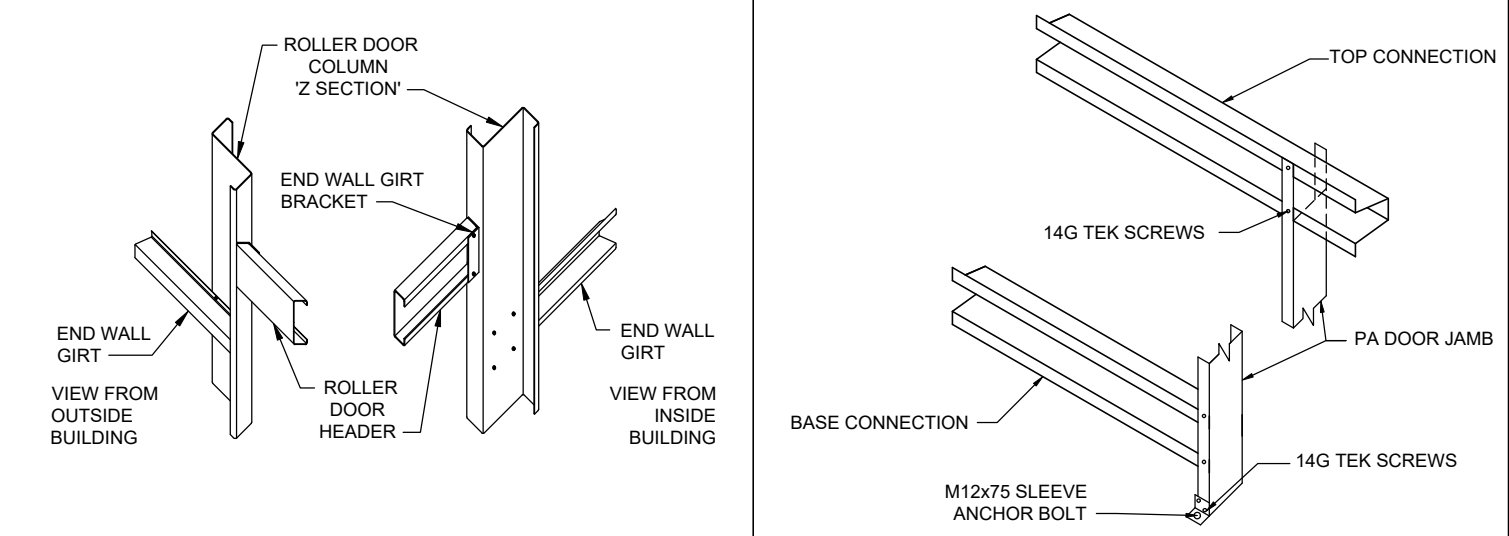
Customer Name: J and W Sherriff Pty Ltd

Site Address: Lot 25 Seaberry Close
Greens Beach,
TAS, 7270

DATE 30-04-2026

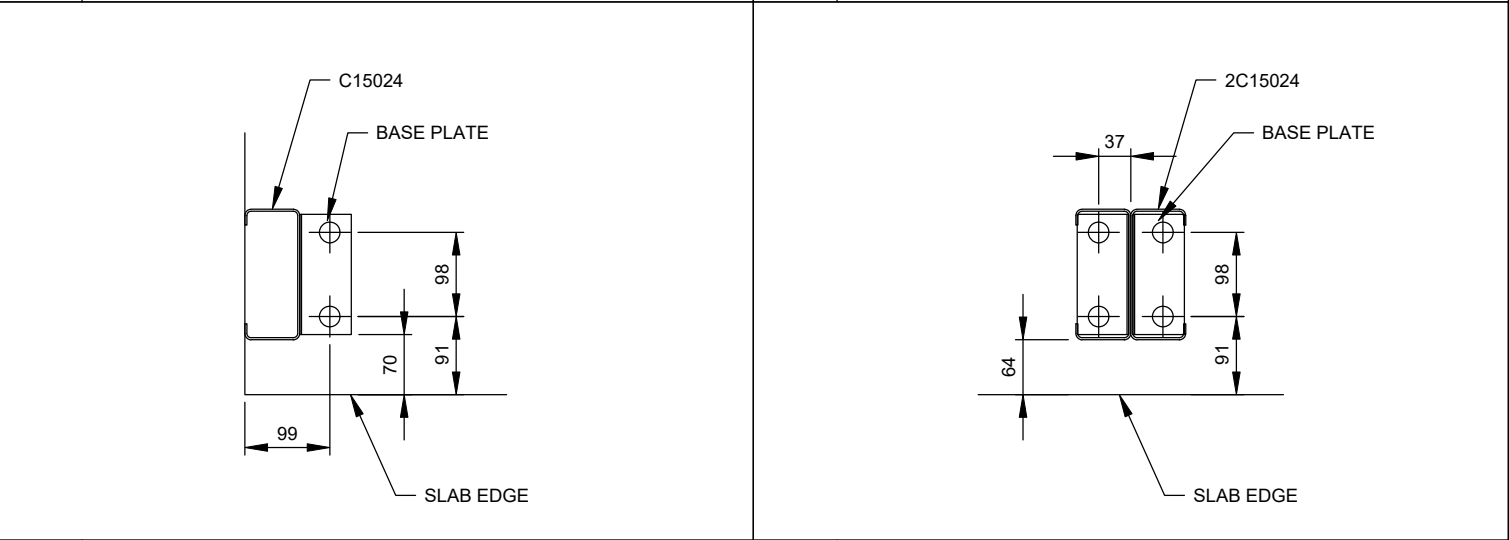
JOB NO. 2832643469

SHEET 8 of 9



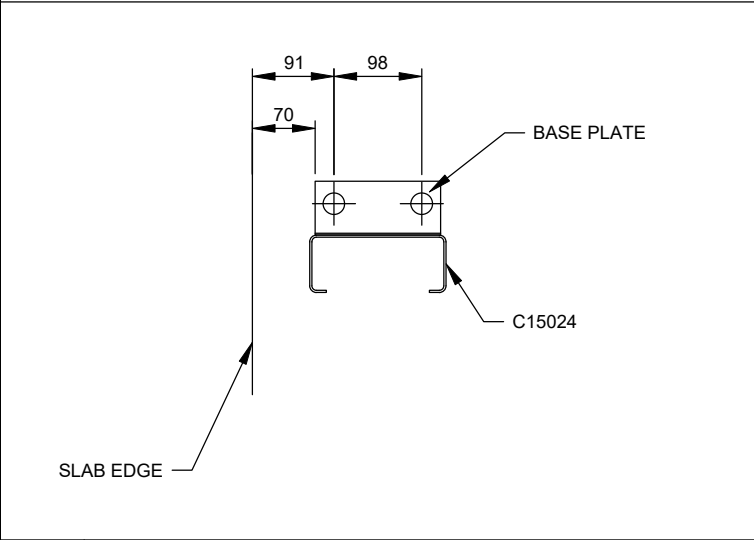
O SIDE DOOR HEADER AND JAMB

P PA DOOR STYLE CONNECTION

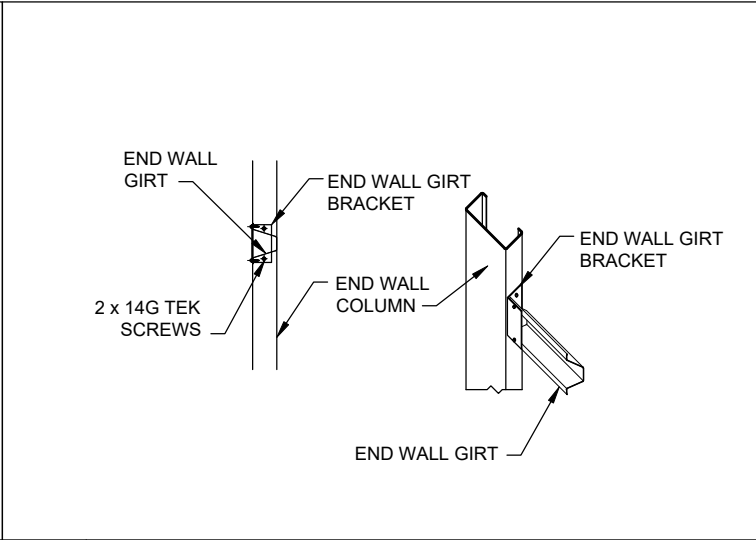


K CORNER COLUMN BASE

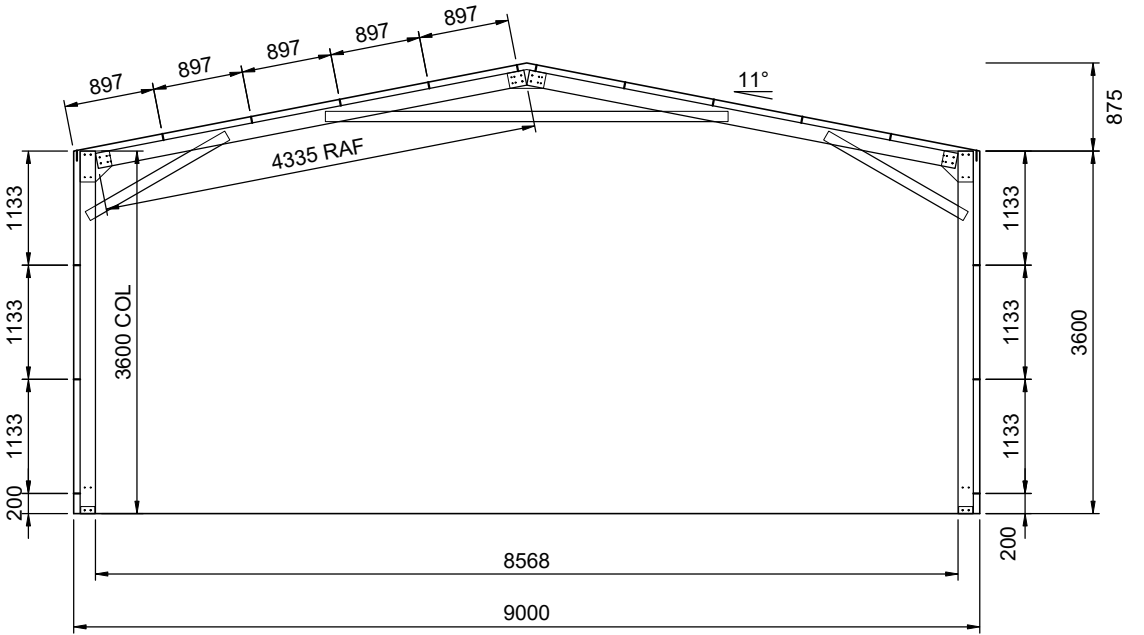
L INTERNAL COLUMN BASE



M ENDWALL MULLION BASE



N ENDWALL GIRT BRACKET



1 TYP. FRAME CROSS-SECTION

9 SCALE: 1:75 FRAMES 2-5

ENGINEERING SCHEDULE

CERTIFIED STEEL PORTAL FRAME SHED DESIGN IN ACCORDANCE WITH NCC 2022 FOR SITE WIND SPEED "39.77m/s", WIND REGION "A4", TERRAIN CATEGORY "3", IMPORTANCE LEVEL "2"

Internal Pressure: 0.5
Design Snow Load: 0.00 KPa, Roof Snow Load: 0.00 KPa

Customer: J and W Sherriff Pty Ltd
Site Address: Lot 27, Seaberry Close, Greens Beach TAS 7270

Main Building: Span: 7, Length: 9, Height: 2.7, Roof Pitch: 11 degrees
The length being comprised of 3 bays, the largest bay is 3.3m bays.
Left LeanTo: NA
Right LeanTo: NA

Total Kit Weight: 1653.6kg

INTERNAL PORTALS	END PORTALS
Column: C15024 Rafter: C15024 Knee Brace: NA Knee Brace Length: NA Apex Brace: NA Apex Brace Length: NA	Column: C15024 Rafter: C15024 Knee Brace: NA Knee Brace Length: NA Apex Brace: NA Apex Brace Length: NA Endwall Mullion: C15024
LEFT LEAN TO PORTALS	RIGHT LEAN TO PORTALS
Internal Column: NA Internal Rafter: NA End Column: NA End Rafter: NA Knee Brace: NA Knee Brace Length: NA	Internal Column: NA Internal Rafter: NA End Column: NA End Rafter: NA Knee Brace: NA Knee Brace Length: NA

NOTE: All unclad intermediate columns are always back to back (refer to drawing: Floor Plan).

PURLINS AND GIRTS		
Eave Purlin: C10010		
Side Wall Girts: TH64075	Max Spacing: 1250	Overlap: 10%
Front End Wall Girts: TH64075	Max Spacing: 1250	Overlap: 10%
Back End Wall Girts: TH64075	Max Spacing: 1250	Overlap: 10%
Roof Purlins: TH64075	Max Spacing: 1000	Overlap: 10%

NOTE: Girt spacing will vary to a maximum 1.25m where window/s are located.

FASTENERS
Sleeve Anchor Bolts: M12x75 Sleeve Anchor Yellow Zinc Frame Bolts: M12x30 Purlin Assembly Zinc (Mild) Frame Screws: Frame Screw 14x14x22 Cross Bracing Strap: NA Open Bay Header Height: NA

COLOUR SCHEDULE
Roof Sheets: Monolith External Wall Sheets: Monolith Roller Doors: Monolith Flashings: Monolith PA Doors: Monolith Windows: NA

DOMESTIC & LIGHT INDUSTRIAL STEEL PORTAL FRAME SHED STRUCTURES

This structure is designed in compliance with AS4600, AS3600 and AS1170 1 to 4 as Importance Level 2 with a Live Load of 0.25kPa as "Air Leaky Structures" providing stability when openings are prevalent.

The structures are clad with corrugated pre-painted finish, 0.42mm walls and 0.42mm roof (compliant with AS1562.1 Metal) over cold formed 450 to 550mPa galvanized steel C sections primary frames.

Primary framing is fastened together with 4.6 Class galvanized bolts adequately tensioned on ground prior to erection.

Secondary framing steel bracing, with purlins and girts lapped, are all tek fastened to primary steel with a minimum of two (2) teks per connection as specified in details.

All rainwater products are compliant with AS2179.1 (Metal).

ENGINEERING

The undersigning engineer has checked that the design of the structure complies with relevant current Australian Standards as stated above and the following i.e AS4671- 2001 Steel Reinforcing materials, AS3600 - Concrete structures. However, he will not be present during construction, neither will he conduct inspections nor construction supervision.

The class 10a buildings are designed for erection on pad footings or slab based on soil of classification "A"- "P" with minimum bearing capacity 100kPa (i.e. organic soil is to be removed to a suitable material below natural surface).

Where (suitable) fill is required to level the site, it should be placed and compacted in layers of 150mm maximum.

Concrete pad footings and slab supply and placement is to be in compliance with AS2870-2011 Residential Slabs & Footings, AS3600-2018 Concrete Structures for A2 and B2 exposure (i.e. 25mPa strength @ 28 days strength) with recommended slump 75 to 80mm for light pneumatic tyred traffic all trafficable floors.

25mm deep concrete saw cut, to be made into the surface of the concrete slab every 6m in width or length as crack control joints.

For sites where these conditions are considered to be inadequate, a customized foundation design for the structure can be supplied to suit a specific purpose.

CONSTRUCTION

Erection of the structure is to be in compliance with local and state ordinances,

Occupational Health and Safety Regulations and with plans provided.

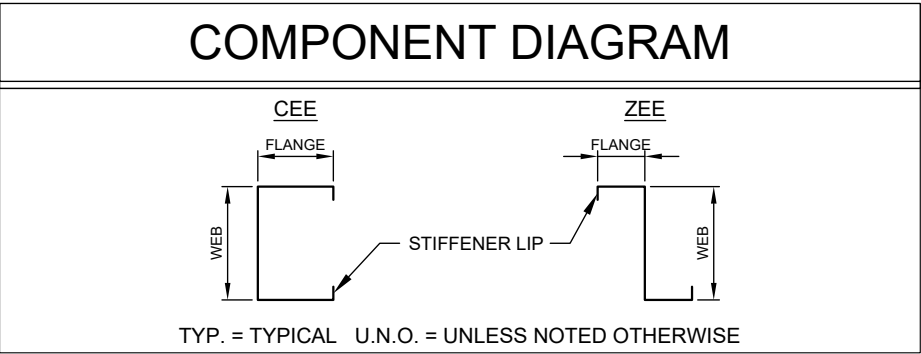
GENERAL

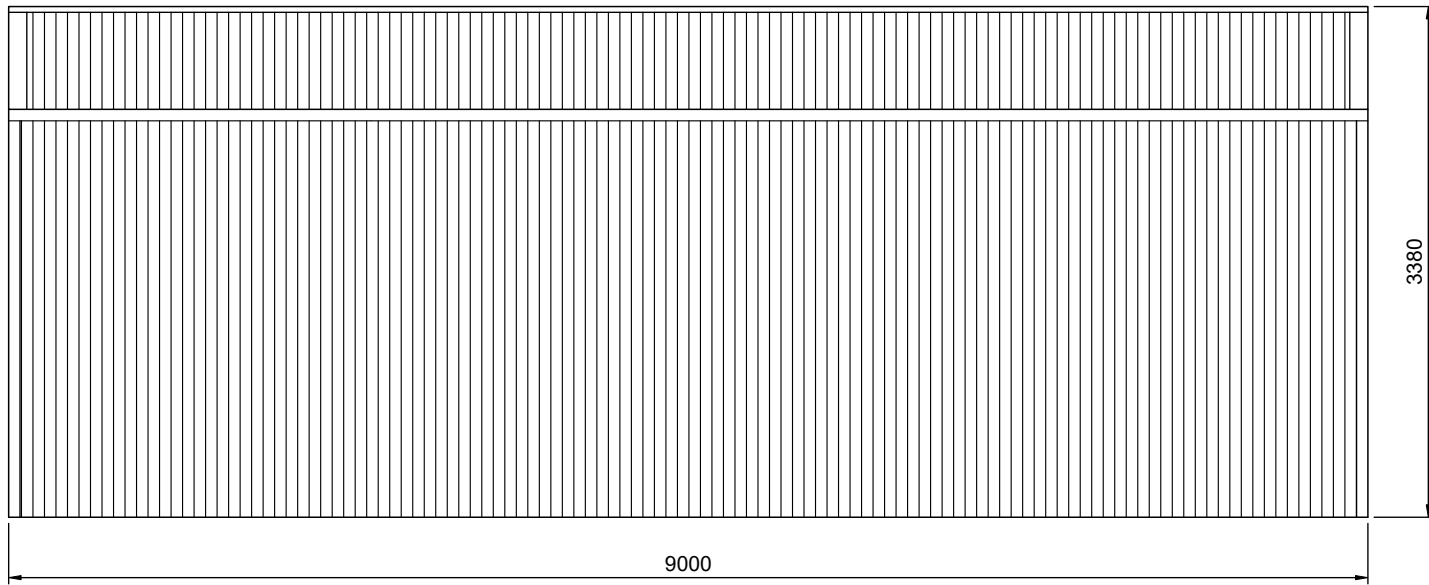
The designs as portrayed on the drawings remain the intellectual property of Best Sheds Pty Ltd and are provided for building approval and construction purposes only.

SNOW LOAD

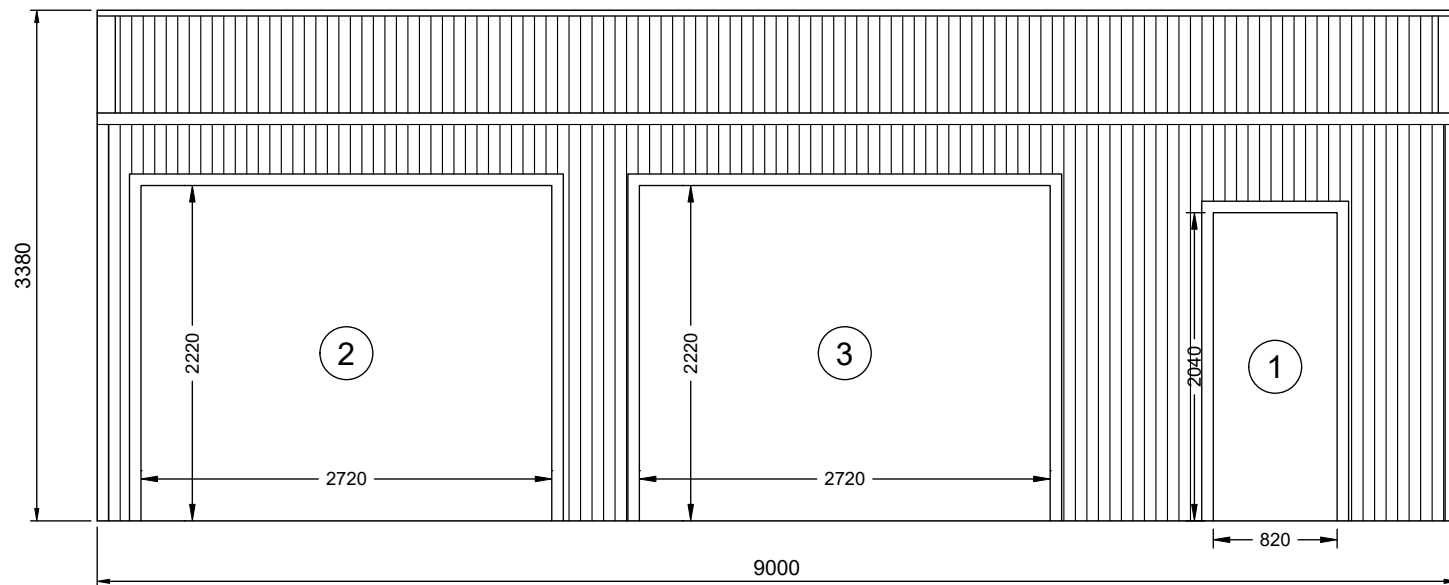
Following conditions only apply to buildings with snow loading:

- No maintenance or roof traffic permitted on the roof while there is snow present.
- No other structure to be erected within 500mm of the gutters of this building.

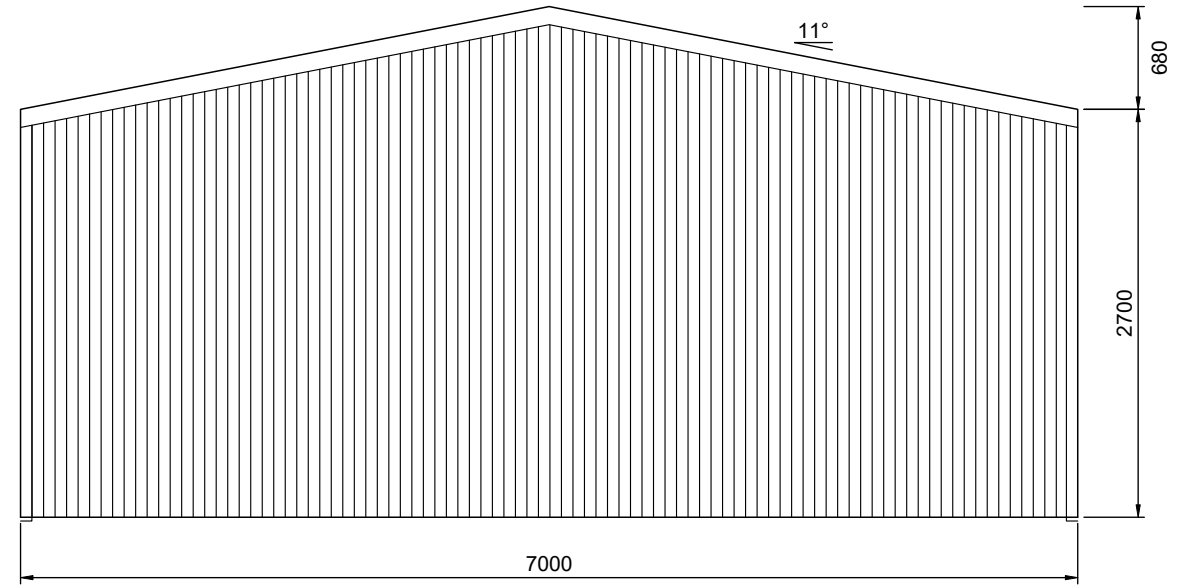




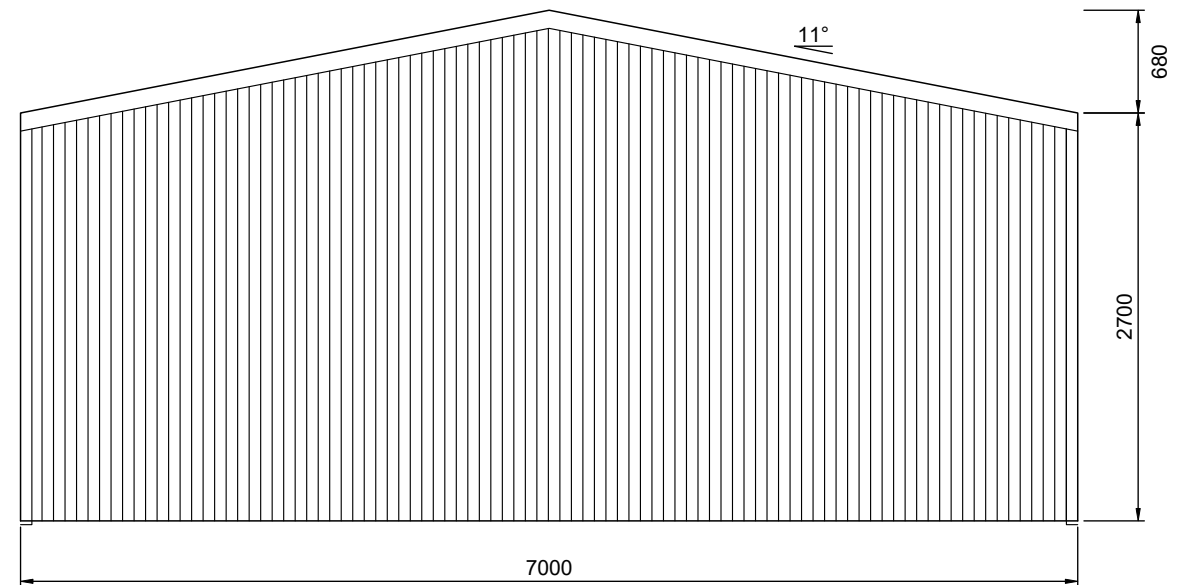
2 LEFT ELEVATION
2 SCALE: 1:50



1 RIGHT ELEVATION
2 SCALE: 1:50



3 REAR ELEVATION
2 SCALE: 1:50



4 FRONT ELEVATION
2 SCALE: 1:50



151 Smeaton Grange Road,
Smeaton Grange, NSW, 2567
Phone: 02 4648 7777
Fax: 02 4648 7700
Email: sales@bestsheds.com.au



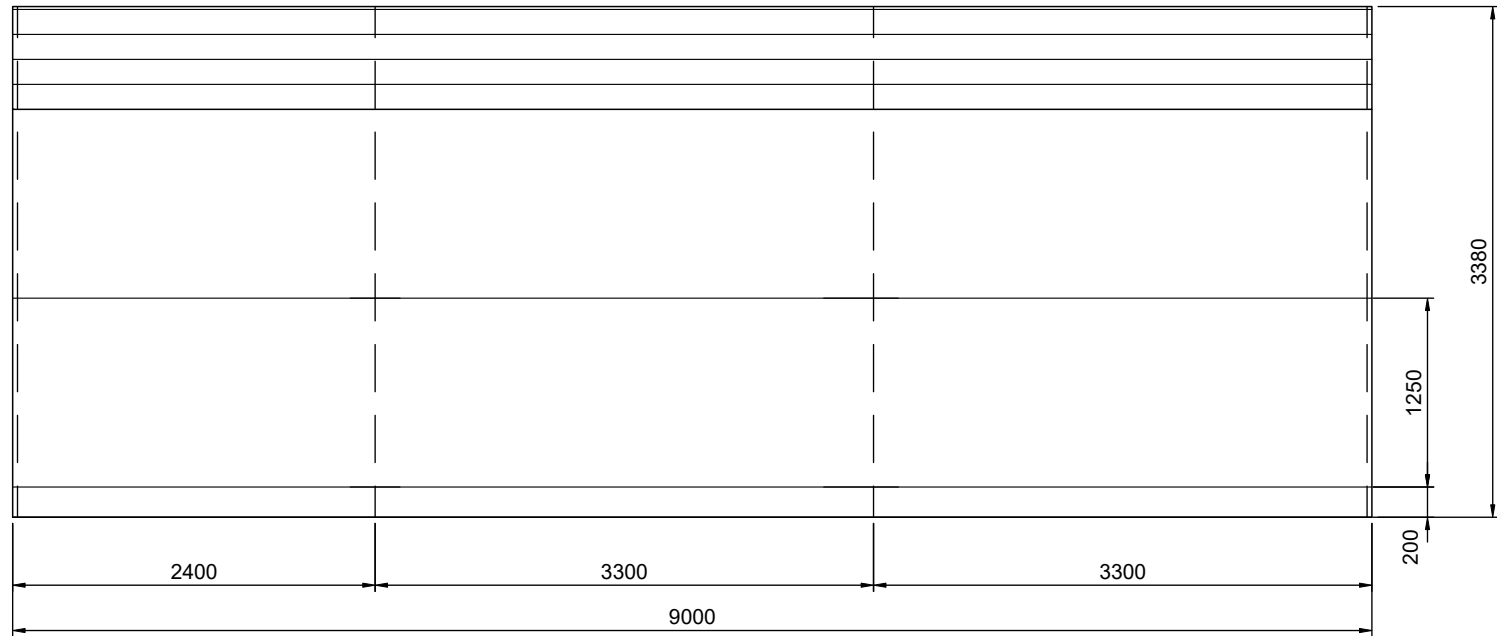
CIVIL & STRUCTURAL ENGINEERS
COMMERCIAL - INDUSTRIAL - RESIDENTIAL - FORENSIC - STEEL DETAILING
CAMILO PINEDA MORENO
Bend MIEAust RPEng
RPEQ 15562 TBP PE003976 (VIC)

Signature:

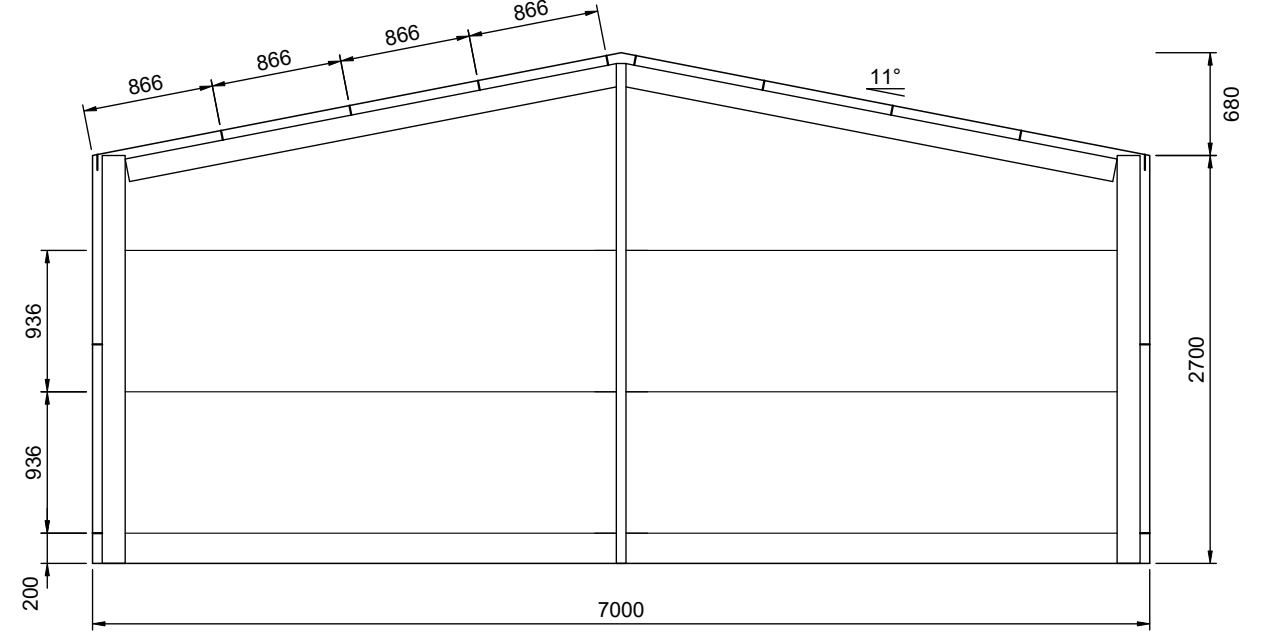
Date: 30.04.2026

Customer Name: J and W Sherriff Pty Ltd
Site Address: Lot 27, Seaberry Close
Greens Beach,
TAS, 7270

DATE 30-04-2026
JOB NO. 2832644076
SHEET 2 of 7

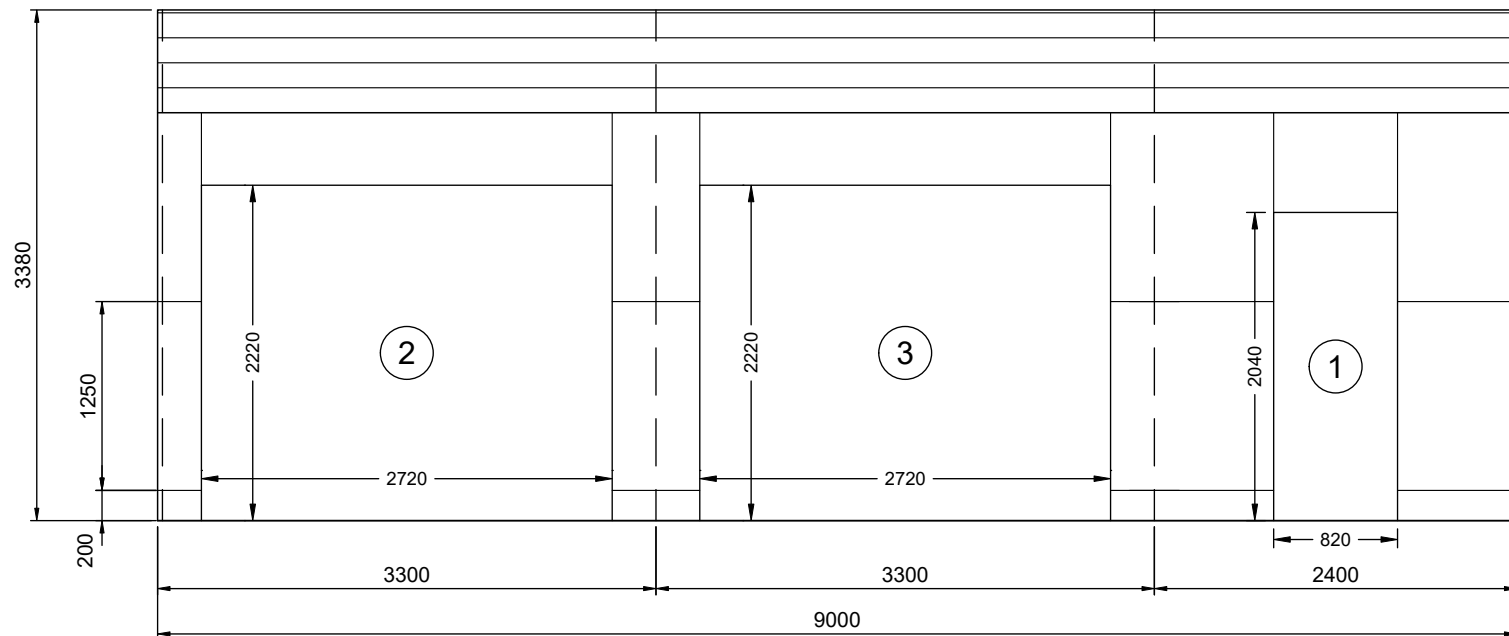


2 LEFT ELEVATION
3 SCALE: 1:50

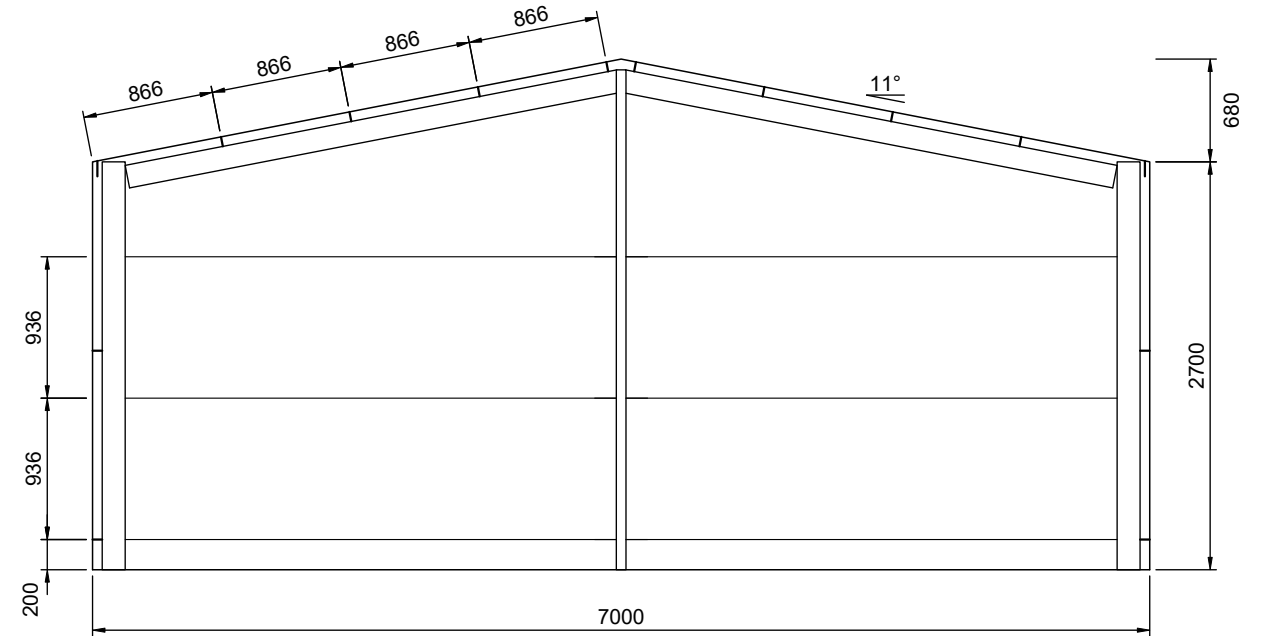


3 REAR ELEVATION
3 SCALE: 1:50

FRAME #4

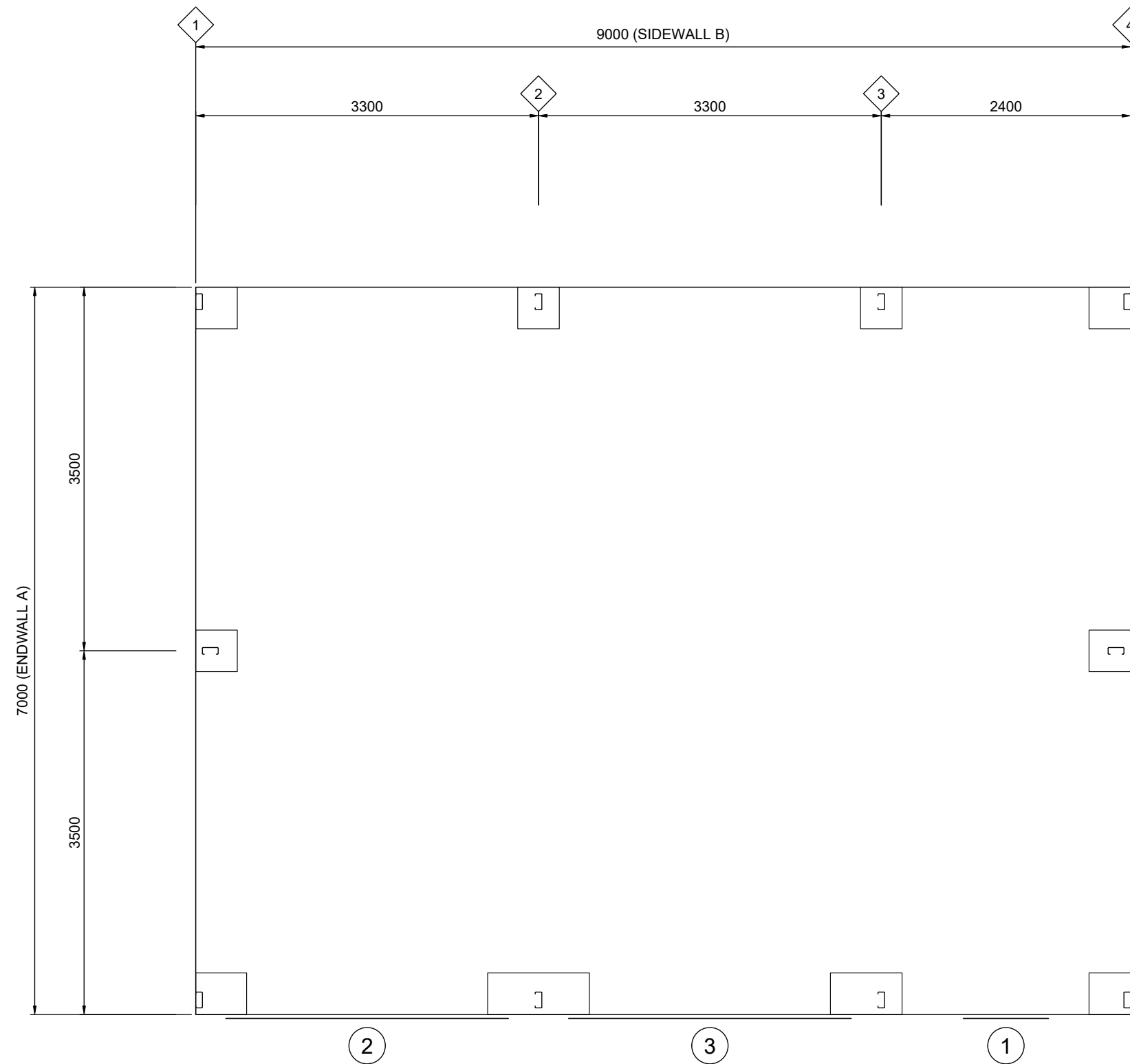


1 RIGHT ELEVATION
3 SCALE: 1:50

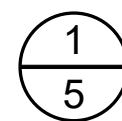
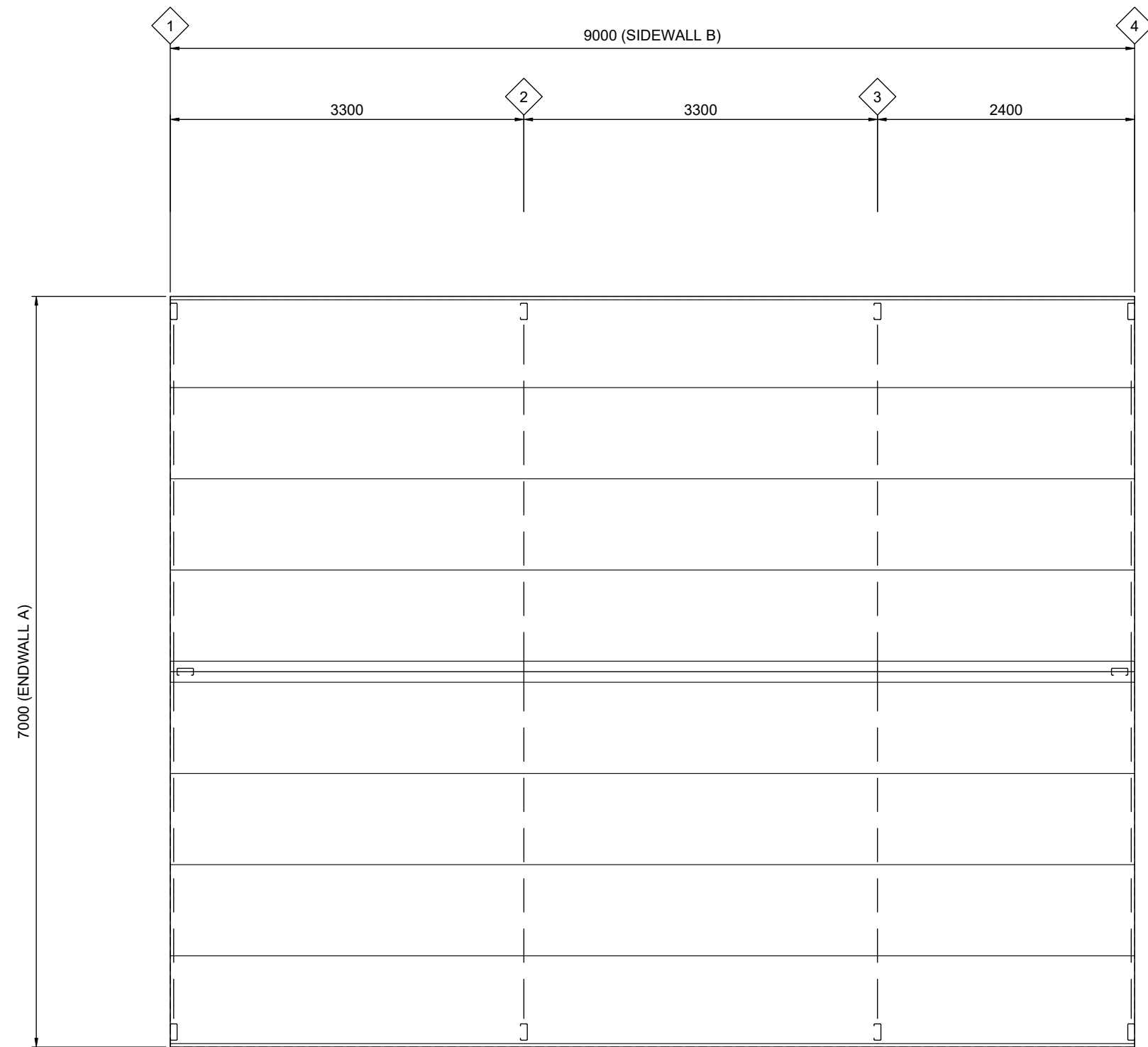


4 FRONT ELEVATION
3 SCALE: 1:50

FRAME #1



1 FLOOR PLAN 4 SCALE: 1:50



ROOF FRAMING PLAN

SCALE: 1:50

SLAB FOUNDATIONS DOMESTIC / LIGHT INDUSTRIAL
(100mm MINIMUM CONCRETE SLAB INCLUDED)

SOIL CLASSIFICATION (COMPACTED)	REINFORCING IN SLAB	EDGE BEAM	PIER	EDGE BEAM (slab thickness not included)	
	MESH REINFORCING	TRENCH MESH	ø x DEPTH	DEPTH	WIDTH
A, S, & M	SL72	---	450 x 400	---	---
M - D	SL82	L11TM3	---	300	300
H TO H - D	SL82	L11TM3	---	400	300
E TO E - D	SL82	L11TM4	---	400	400
P (DROP EDGE BEAM OR STANDARD EDGE BEAM WITH PIERS UNDER COLUMNS 300 INTO FIRM GROUND)	SL82	L11TM4	450ø	400	400

THICKNESS: 100MM WITH MINIMUM 30MM COVER. REFER TO SLAB FOUNDATION TABLE FOR REINFORCING SPECIFICATION

STRENGTH: 25mPa

2 x M12 BOLTS

2 X 12MM DIA SLEEVE ANCHORS, 10MM DIA INTERNAL ROD-MIN 75MM LONG

REFER TO SLAB TABLE FOR MESH TYPE - 30MM COVER

POLYTHENE WATERPROOF MEMBRANE ON CONSOLIDATED SUB-BASE SHOWN DASHED

DEPTH

WIDTH

100

10G X 16MM SHEETING SCREW, REFER TO SCREW SPACING DIAGRAM FOR FREQUENCY

TOPHAT 64 WALL GIRT WITH 10%MM MINIMUM OVERLAP

C15024 COLUMN

2 X 14G TEK SCREWS

12g x14 x 35mm LONG ROOF SCREWS

RIDGE PURLIN
(EVERY SECOND SCREW TO GO THROUGH THE RIDGE CAPPING AND ROOF SHEETING AND INTO THE RIDGE PURLIN)

INTERMEDIATE PURLIN

EAVE PURLIN

0.42 BMT CORRUGATED ROOF SHEETING

10g x 16mm LONG WALL SCREWS

WALL GIRT

EAVE PURLIN

0.42 BMT CORRUGATED WALL SHEETING

Y

SLAB DETAIL

INDICATES 12 mmø GRADE 4.6 BOLT

4 X 14G TEK SCREWS

SGL. 1.9mm 11" HAUNCH BRACKET (SAME DEPTH AS MEMBERS)

C15024 FRAME COLUMN

C15024 FRAME RAFTER

F

GIRT CONNECTION

C15024 FRAME RAFTER

SGL. 1.9mm 11" APEX BRACKET, WITH (8) 12 mmø GRADE 4.6 BOLTS PER BRACKET

4 X 14G TEK SCREWS

G

TOP HAT CONNECTION

ATTACH OUTSIDE FLANGE OF ENDWALL MULLION TO APEX BRACKET WITH 5 X 14G TEK SCREWS

C15024 (OPEN SIDE OF CEE MAY FACE EITHER DIRECTION, U.N.O.)

C15024 ENDWALL RAFTER

NOTE: SEE DETAIL M/7 FOR ENDWALL MULLION BASE CONNECTION

H

EAVE CONNECTION

TOPHAT 64 ROOF PURLIN WITH 10% MINIMUM OVERLAP

12G X 35MM SHEETING SCREW, REFER TO SCREW SPACING DIAGRAM FOR FREQUENCY

C15024 RAFTER

4 X 14G TEK SCREW

A

HAUNCH CONNECTION

B

APEX CONNECTION

C

ENDWALL MULLION TO RAFTER PEAK CONDITION

E

PURLIN CONNECTION

bestsheds

Value & Quality Direct to You

151 Smeaton Grange Road,
Smeaton Grange, NSW, 2567
Phone: 02 4648 7777
Fax: 02 4648 7700
Email: sales@bestsheds.com.au

EMERALD

DESIGN & CONSTRUCTION

CIVIL & STRUCTURAL ENGINEERS

COMMERCIAL - INDUSTRIAL - RESIDENTIAL - FORENSIC - STEEL DETAILING

CAMILO PINEDA MORENO

Bend MIEAust RPEng
RPEQ 15562 TBP PE003976 (VIC)

Signature:

Date: 30.04.2026

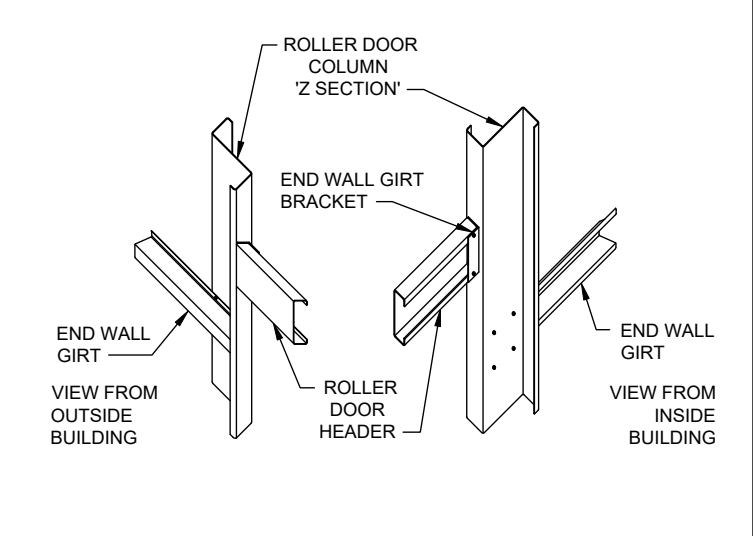
Customer Name: J and W Sherriff Pty Ltd

Site Address: Lot 27, Seaberry Close
Greens Beach,
TAS, 7270

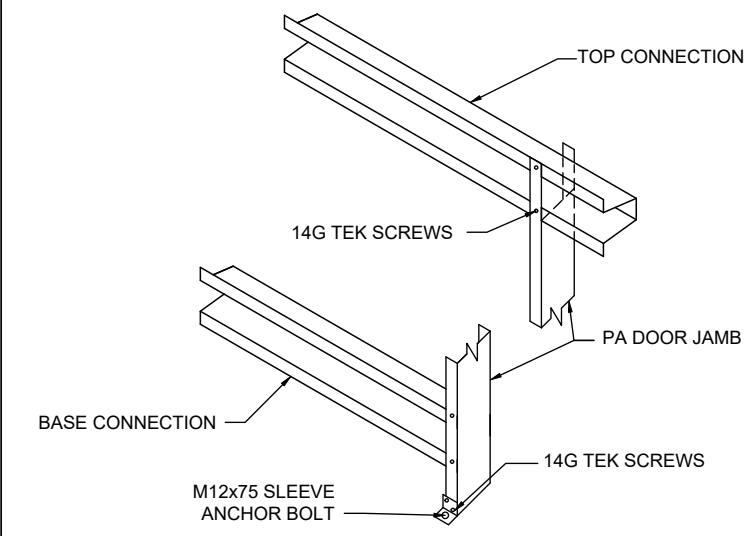
DATE 30-04-2026

JOB NO. 2832644076

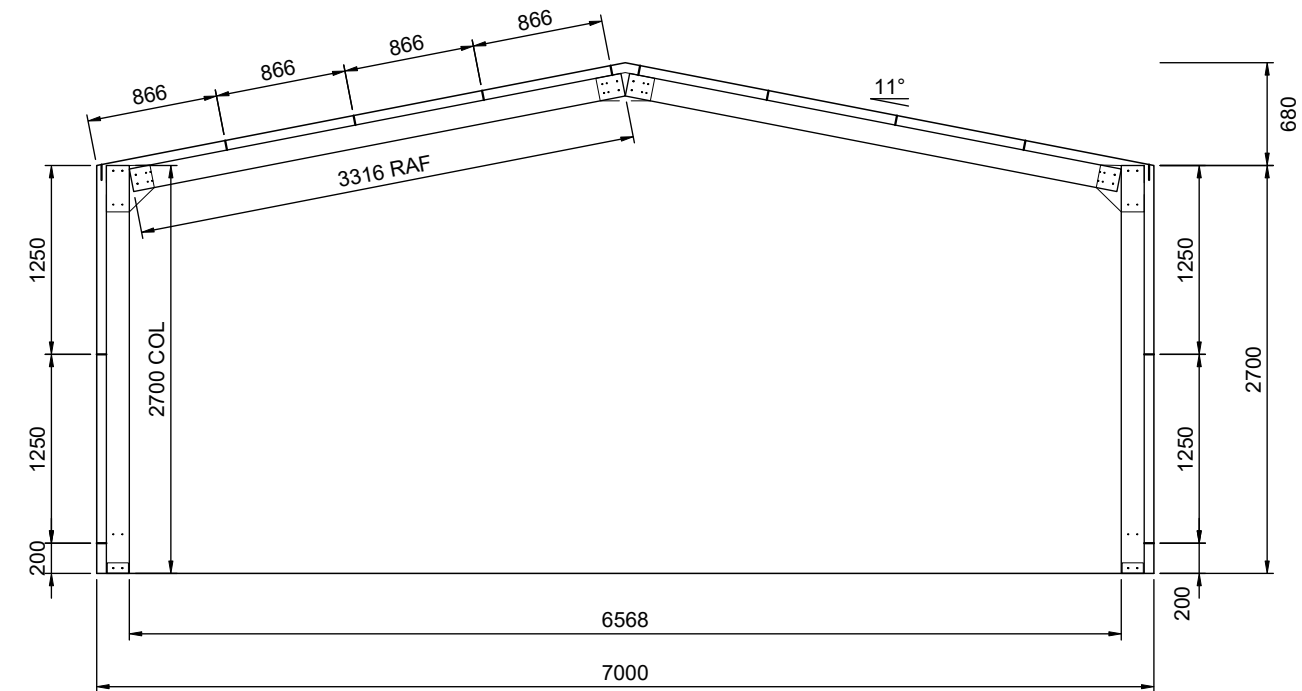
SHEET 6 of 7



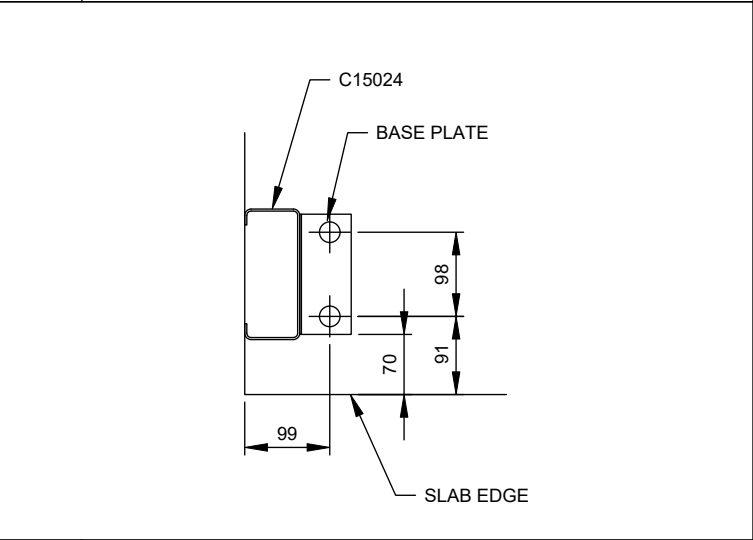
O SIDE DOOR HEADER AND JAMB



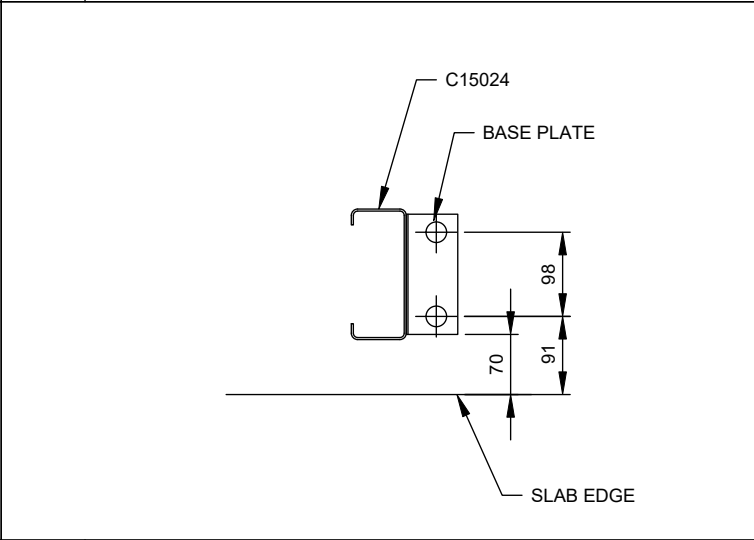
P PA DOOR STYLE CONNECTION



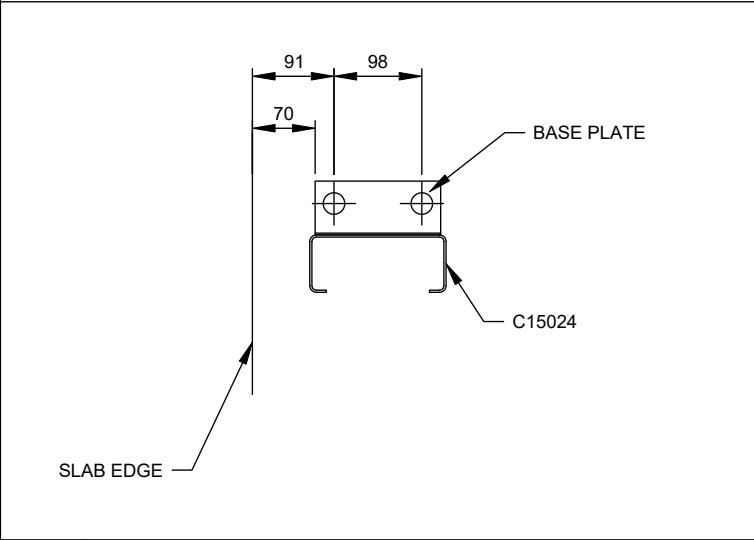
1 TYP. FRAME CROSS-SECTION
7 SCALE: 1:50 FRAMES 2, 3



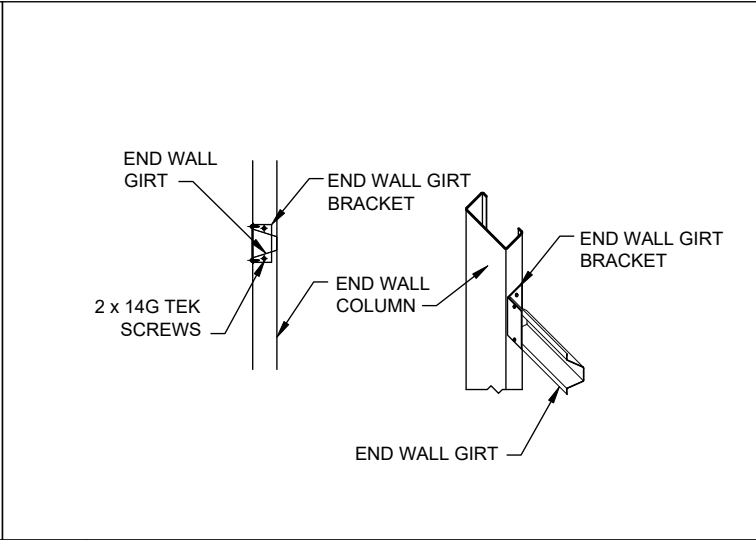
K CORNER COLUMN BASE



L INTERNAL COLUMN BASE



M ENDWALL MULLION BASE



N ENDWALL GIRT BRACKET