

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number PA2026230
Assess No: A13627
PID No: 9172692

Applicant Name:	CSH Property Developments					
Applicant Contact Name						
Postal Address:						
Contact Phone:	Home		Work		Mobile	
Email Address:						

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☒
2. A completed application form including a detailed description of the proposal ☒
3. A complete plan set:
 - a) Floor plans ☒
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☒
 - c) Site Plan showing: ☒
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name:	Amanda Foster
------------------------	---------------

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name: (as per certificate of title)	VOS Nominees
---	--------------

Location / Address:	Lot 158 Montague Park, Legana
Title Reference:	300676/158
Zone(s):	General Residential

Existing Development/Use:	Vacant Land
----------------------------------	-------------

Existing Developed Area:	Vacant Land
---------------------------------	-------------

Are any of the components in this Application seeking retrospective approval? E.g. Use and/or development that has commenced without a Planning Permit.	YES ☐
	NO ☒

(If yes please specify the relevant components):
--

DEVELOPMENT APPLICATION DETAILS

Proposed Use:	Residential: ☒	Visitor Accommodation: ☐	Commercial: ☐	Other: ☐
	Description of Use: Construction of 4 single level dwellings			

Development Type:	Building work: ☒	Demolition: ☐	Subdivision: ☐	Other: ☐
	Description of development: Construction of 4 single level dwellings			

New or Additional Area:	635.40m2
Estimated construction cost of the proposed development:	\$1,200,000
Building Materials:	Wall Type: Brick Colour:
	Roof Type: Colourbond Colour:

Application Number: «Application_Number»

APPLICANT DECLARATION

Owner:

As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Owner_Name

Name (print)

Signed

Date

Applicant:
(if not the owner)

As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

CSH Property Develoments

Name (print)

Signed

07/08/2026

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**Chief
Executive
Officer**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

OWNER : VOS CONSTRUCTION & JOINERY PTY. LTD. FOLIO REFERENCE : F.R. 187077/185 GRANTEE : PART OF 2500 ACRES Gtd TO JOHN GRIFFITHS	PLAN OF SURVEY BY SURVEYOR: M.R. HEATLEY of OPDA SURVEYORS, ENGINEERS & PLANNERS 3/23 BRISBANE STREET, LAUNCESTON LOCATION: TOWN OF LEGANA SCALE 1:2500 LENGTHS IN METRES	REGISTERED NUMBER SP300676 APPROVED 30 JUL 2026 EFFECTIVE FROM <i>Ken</i> Recorder of Titles
PRIORITY FINAL PLAN SURVEYORS REF: 55171LK ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		

LOT 186 COMPILED FROM FR 187077/185 AND THIS SURVEY

1- DRAINAGE EASEMENT 3.00 WIDE & VARIABLE (SP 187077)

2- DRAINAGE EASEMENT 4.00 WIDE (SP 187077)

C- PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'C' (SP 187077)

E- PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'E' (SP 187077)

F- PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'F' (SP 187077)

G- PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'G' (SP 187077)

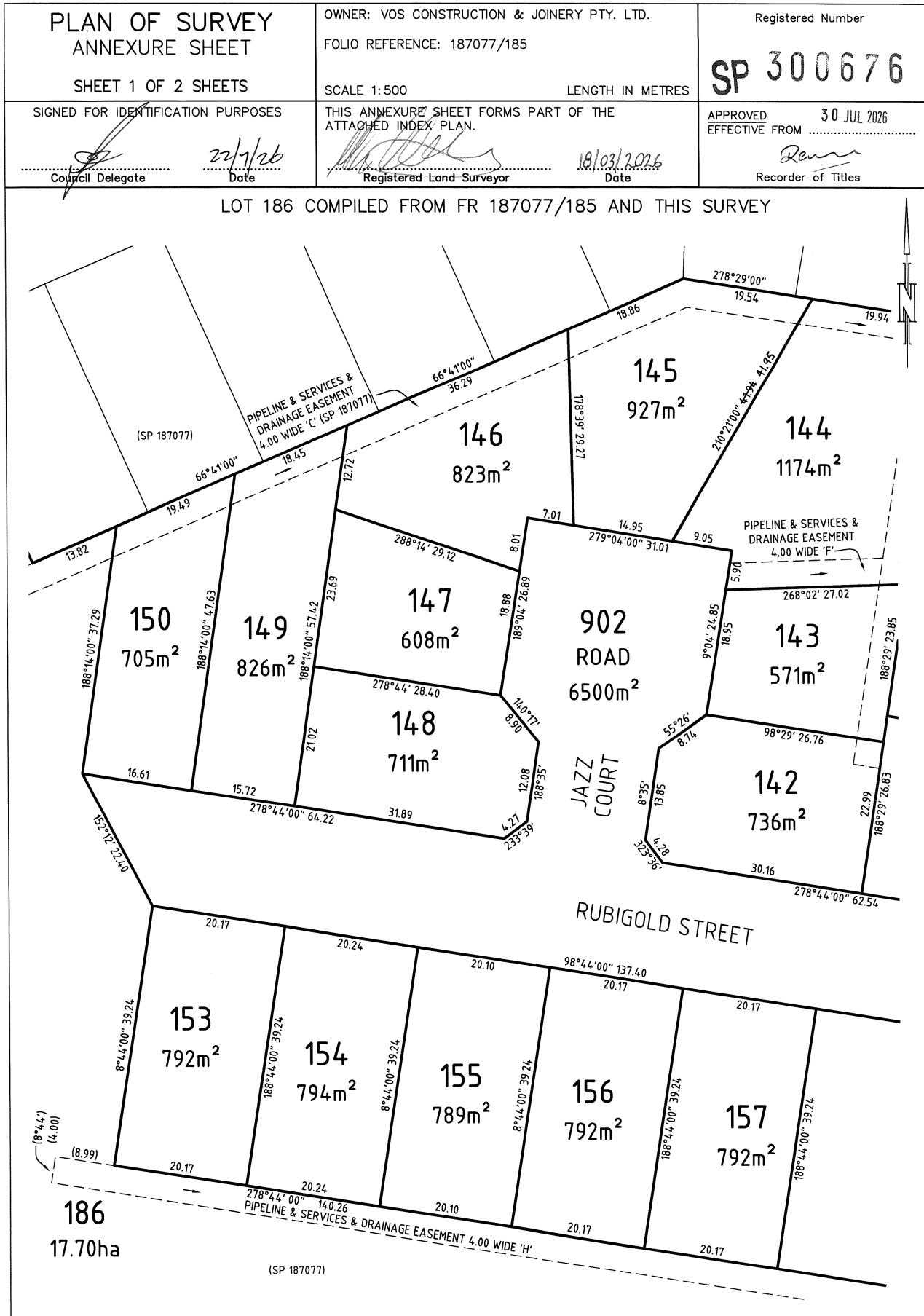
H- PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'H' (SP 187077)

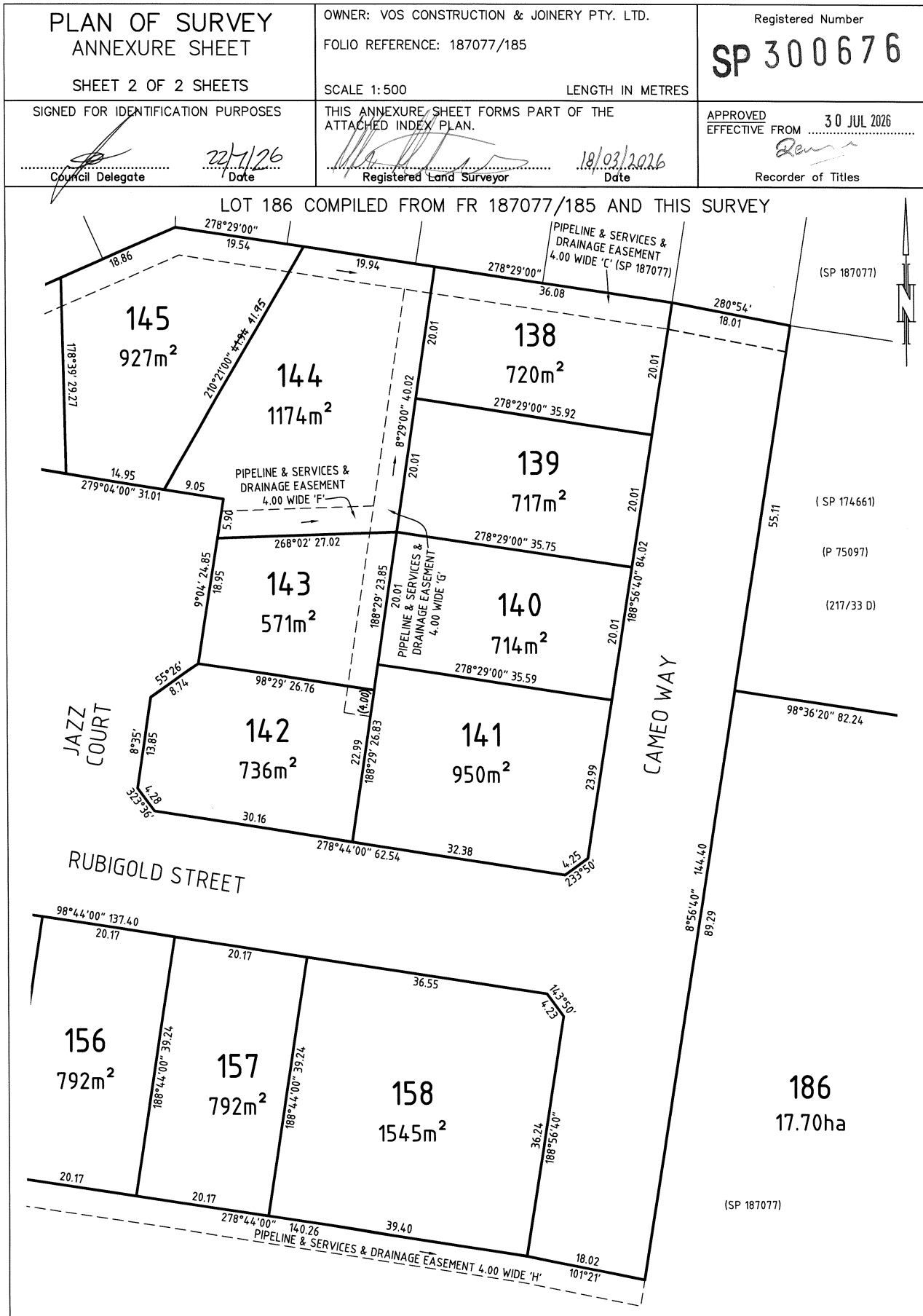
[Signature]
Registered Land Surveyor

18/03/2026
Date

[Signature]
Council Delegate

22/7/26
Date







Planning Compliance Report - Lot 158 Montague Park, Legana

Project Details

Client: CSH Enterprises P/L

Site Address: Lot 158 Montague Park, Legana TAS 7277

PID: 187077/185

Title Reference: Volume 300676 Folio 158

Planning Authority: West Tamar Council

Zone: 8.0 General Residential (Tasmanian Planning Scheme 2025)

Planning Overlay: Bushfire Prone Areas

Climate Zone: 7

Areas

Site area: 1541.18 m²

Unit 1: 162.82 m²

Unit 2: 141.90 m²

Unit 3: 162.82 m²

Unit 4: 167.85 m²

Total gross building area: 635.40 m²

Site and Proposal Summary

The proposal is for four single-storey units on a vacant corner lot within a new subdivision. The site has an approximately 5% fall from the rear south-west corner to the front north-east corner. All units are single storey with a maximum height of 3.8m from natural surface level to the ridge.

The proposed development is intended to be constructed in two stages, as identified on the staging plan included on page 2 of the submitted architectural drawing set. Stage 1 comprises the construction of Units 3 and 4, located toward the northern portion of the site adjacent to Rubigold Street. Units 3 and 4 have their own separate vehicle access arrangements and do not rely on or share the same driveway access as Units 1 and 2. This allows Stage 1 to function independently as a standalone stage once completed. Following completion of Stage 1, Stage 2 will comprise the construction of Units 1 and 2, located toward the southern portion of the site. The staged construction sequence provides a clear and practical progression of works across the site, while ensuring that all four units ultimately form part of the same integrated multiple-dwelling development.

Site Levels, Retaining Walls and Drainage

Retaining walls are proposed to create relatively level and functional sites for each unit. The maximum retaining wall height is 1,200 mm in the south-west corner of Unit 3. All other retaining walls are approximately 600 mm to 1,000 mm high.

The retaining walls along the western and southern boundaries are set back 300 mm from the relevant boundaries. A drainage layer is provided behind the retaining walls and is connected to the stormwater system via stormwater pits. This provides space for wall drainage and avoids directing runoff toward adjoining properties.

The properties adjoining the site to the south and west are currently vacant. This assists the amenity assessment, as there are presently no established habitable rooms or private open space areas immediately affected by the retaining wall works along those boundaries. The walls remain of modest height and are required to make the site functional given the approximate 5% fall from the rear south-west corner to the front north-east corner.

Access Arrangement

There are two existing concrete crossovers. One existing concrete crossover is located at the north-west corner and is retained as the single access for Unit 3. The second existing concrete crossover is located 3,200 mm from the south-east corner and is proposed to be widened on both sides as shown on the site plan to serve Units 1 and 2. One new crossover is proposed further north on the eastern boundary from Cameo Way, and this northernmost new crossover serves Unit 4.

Clause 8.4.2 - Setbacks and building envelope for all dwellings

Objective:

The siting and scale of dwellings:

- (a) provides reasonably consistent separation between dwellings and their frontage within a street;
- (b) provides consistency in the apparent scale, bulk, massing and proportion of dwellings;
- (c) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and
- (d) provides reasonable access to sunlight for existing solar energy installations.

Acceptable Solutions	Performance Criteria	Response
A1 Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is: (a) if the frontage is a primary frontage, not less than 4.5m, or if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site; (b) if the frontage is not a primary frontage, not less	P1 A dwelling must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.	Council has requested that the proposal be assessed against Clause 8.4.2 P1 on the basis that the proposal is within 1.3m of the primary frontage to Cameo Way and within 1.6m of the secondary frontage to Rubigold Street. These dimensions relate to private outdoor space areas, including decks or paved private open space areas, and not to the external walls of the dwellings. The dwellings themselves comply with the applicable Acceptable Solution frontage setbacks. The private open space areas are located behind privacy

than 3m, or if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; (c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or not less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or (d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level.		screens/fencing on the front boundaries. This is a considered response to the corner lot layout, the 5% fall across the site, and the need to provide functional private open space for each dwelling while maintaining a practical access arrangement. The southern and western adjoining lots are vacant, and the proposal does not create unreasonable amenity impacts to established residential properties. The development remains compatible with the emerging subdivision streetscape because all units are single storey with a maximum ridge height of 3.8m, the dwelling forms are modest in scale, the built form is articulated across the corner site, and frontage screening is supported by proposed vegetation. The privacy screens/fences provide a defined residential edge to the street while enabling the private open space areas to function for residents. Accordingly, even if the front private open space areas are considered under P1, the siting response is compatible with the streetscape and responds appropriately to the site topography and corner lot arrangement.
---	--	--

Clause 8.4.3 - Site coverage and private open space for all dwellings

Objective:

That dwellings are compatible with the amenity and character of the area and provide:

- (a) for outdoor recreation and the operational needs of the residents;
- (b) opportunities for the planting of gardens and landscaping; and
- (c) private open space that is conveniently located and has access to sunlight.

Acceptable Solutions	Performance Criteria	Response
A2 A dwelling must have private open space that: (a) is in one location and is not less than: (i) 24m²; or (ii) 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); (b) has a minimum horizontal dimension of not less than: (i) 4m; or (ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); (c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and (d) has a gradient not steeper than 1 in 10.	P2 A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and is: (a) conveniently located in relation to a living area of the dwelling; and (b) orientated to take advantage of sunlight.	Private open space for Units 2, 3 and 4 is located adjacent to the road frontages, including the Cameo Way frontage and the Montague Park frontage. This arrangement is a practical response to the corner allotment as it relates to the North point. The private open spaces are directly associated with the relevant units and are capable of functioning as extensions of the living areas for outdoor relaxation, dining and entertaining. The proposed retaining walls help create usable, level outdoor areas, with drainage layers connected to the stormwater system via stormwater pits. Privacy and residential amenity are addressed through 1.8 m high frontage / POS fencing with a 1.2 m solid lower section and an upper horizontal slatted section. The fencing provides practical privacy and security while the slatted upper section assists with visual permeability. Proposed vegetation will further assist with screening and sun management over time. Accordingly, the private open space arrangement satisfies P2.

		The retaining wall design assists in achieving functional private open space by forming level outdoor areas. Retaining walls along the western and southern boundaries are set back 300 mm from the boundaries, with drainage layers connected to the stormwater system via stormwater pits. The adjoining properties to the south and west are currently vacant, reducing potential impact on existing neighbouring residential amenity.
--	--	--

Clause 8.4.7 - Frontage fences for all dwellings

Objective:

The height and transparency of frontage fences:

- (a) provides adequate privacy and security for residents;
- (b) allows the potential for mutual passive surveillance between the road and the dwelling; and
- (c) is reasonably consistent with that on adjoining properties.

Acceptable Solutions	Performance Criteria	Response
A1 No Acceptable Solution.	P1 A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must: (a) provide for security and privacy while allowing for passive surveillance of the road; and (b) be compatible with the height and transparency of fences in the street, having regard to: (i) the topography of the site; and (ii) traffic volumes on the adjoining road.	Frontage fencing is required to provide usable and private open space for Units 2, 3 and 4 because the private open space areas are located adjacent to the road frontages. The fencing is necessary to provide adequate privacy and security for residents. The proposed fence treatment is 1.8 m high frontage / POS fencing with a 1.2 m solid lower section and an upper horizontal slatted section. This provides a solid privacy component at lower level while the upper slatted section allows a degree of visual permeability and

		passive surveillance between the dwellings and the street. The site has approximately 5% fall from the rear south-west corner to the front north-east corner. The fencing and retaining wall arrangement responds to the changing levels by creating functional, safer and more usable private open space areas. Traffic volumes are expected to be residential in character within the new subdivision, and the proposed fencing will not compromise vehicle sightlines at the crossovers. Accordingly, the frontage fencing satisfies P1.
--	--	---

Clause C2.5.1 - Car parking numbers

Objective:

That an appropriate level of car parking spaces are provided to meet the needs of the use.

Acceptable Solutions	Performance Criteria	Response
A1 The number of on-site car parking spaces must be no less than the number specified in Table C2.1, less the number of car parking spaces that cannot be provided due to the site including container refund scheme space, excluding if: (a) the site is subject to a parking plan for the area adopted by council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan; (b) the site is contained within a parking precinct plan and subject to Clause C2.7; (c) the site is subject to Clause C2.5.5; or (d) it relates to an intensification of an existing use or development or a change of use where: (i) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the	P1.2 The number of car parking spaces for dwellings must meet the reasonable needs of the use, having regard to: (a) the nature and intensity of the use and car parking required; (b) the size of the dwelling and the number of bedrooms; and (c) the pattern of parking in the surrounding area.	The proposal is for four multiple dwellings within the General Residential Zone. Table C2.1 requires one dedicated visitor parking space for every four dwellings, rounded up to the nearest whole number. As four units are proposed, one dedicated visitor parking space is required. A dedicated on-site visitor parking space is not provided; therefore, the proposal relies on P1.2. The proposal is unable to provide a dedicated on-site visitor parking space due to the site layout, driveway arrangement, private open space requirements and the need to provide functional access to each dwelling. The development is for four single-storey residential units within a new residential subdivision, with each unit provided with resident parking in accordance with the submitted architectural drawings.

proposed use or development, in which case no additional on-site car parking is required; or (ii) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows: $N = A + (C - B)$ N = Number of on-site car parking spaces required A = Number of existing on site car parking spaces B = Number of on-site car parking spaces required for the existing use or development specified in Table C2.1 C = Number of on-site car parking spaces required for the proposed use or development specified in Table C2.1. Relevant Table C2.1 requirement: Visitor parking for multiple dwellings in the General Residential Zone: 1 dedicated space per 4 dwellings (rounded up to the nearest whole number); or if on an internal lot or located at the head of a cul-de-sac, 1 dedicated space per 3 dwellings (rounded up to the nearest whole number).		The absence of a dedicated on-site visitor parking space is acceptable having regard to the low-intensity residential nature of the development and the pattern of parking in the surrounding area. There is an abundance of available on-street parking within the adjoining road network, including along the street frontages adjoining the site. The site is a conveniently laid out corner lot, which allows visitor parking to occur safely and conveniently on-street near the relevant unit without relying on long internal manoeuvring areas or a single shared access point. The access arrangement also reduces the practical demand for a dedicated on-site visitor space. Units 3 and 4 each have separate access arrangements, while Units 1 and 2 are served by the widened southern existing crossover and shared driveway. This distributes vehicle movements across the corner site and avoids concentrating all parking and access demand into one internal driveway. The layout therefore provides a practical and legible arrangement for residents and visitors. Providing an additional on-site visitor parking space would require additional hardstand and manoeuvring area and would likely reduce the quality and usability of private open space, landscaping and internal site planning. Given the availability of on-street parking, the low traffic generation associated with four dwellings, the corner lot configuration, and the distributed access arrangement, the proposal meets the reasonable parking needs of the development despite the absence of one dedicated on-site visitor parking space. The proposal therefore satisfies Clause C2.5.1 P1.2.
---	--	---

Clause C2.6.3 - Number of accesses for vehicles

Objective:

That:

(a) access to land is provided which is safe and efficient for users of the land and all road network users, including but not limited to drivers, passengers, pedestrians and cyclists by minimising the number of vehicle accesses;

(b) accesses do not cause an unreasonable loss of amenity of adjoining uses; and

(c) the number of accesses minimise impacts on the streetscape.

Acceptable Solutions	Performance Criteria	Response
A1 The number of accesses provided for each frontage must: (a) be no more than 1; or (b) no more than the existing number of accesses, whichever is the greater.	P1 The number of accesses for each frontage must be minimised, having regard to: (a) any loss of on-street parking; and (b) pedestrian safety and amenity; (c) traffic safety; (d) residential amenity on adjoining land; and (e) the impact on the streetscape.	There are two existing concrete crossovers on the site. One existing concrete crossover is located at the north-west corner and is retained as the single access for Unit 3. The second existing concrete crossover is located 3,200 mm from the south-east corner and is proposed to be widened on both sides as shown on the site plan to serve Units 1 and 2. One new crossover is proposed further north on the eastern boundary from Cameo Way to serve Unit 4. The access arrangement satisfies P1 because the number of accesses has been minimised having regard to the functional needs of four separate dwellings on a corner site. Re-using the two existing concrete crossovers avoids unnecessary additional access points and limits the extent of new crossover construction. The widening of the existing south-eastern crossover provides practical access to Units 1 and 2, while the northernmost new crossover provides direct access to Unit 4. The accesses are within a residential subdivision environment and are expected to have low traffic volumes. Pedestrian safety and traffic safety will be maintained through driveway construction to Council standards, clear sightlines, and appropriate crossover gradients. The proposal is not expected to cause unreasonable loss of on-street parking or residential amenity, and the access arrangement remains compatible with the streetscape.

Clause C3.5.1 - Traffic generation at a vehicle crossing, level crossing or new junction

Objective:

To minimise any adverse effects on the safety and efficiency of the road or rail network from vehicular traffic generated from the site at an existing or new vehicle crossing or level crossing or new junction.

Acceptable Solutions	Performance Criteria	Response
A1.2 For a road, excluding a category 1 road or a limited access road, written consent for a new junction, vehicle crossing, or level crossing to serve the use and development has been issued by the road authority.	P1 Vehicular traffic to and from the site must minimise any adverse effects on the safety of a junction, vehicle crossing or level crossing or safety or efficiency of the road or rail network, having regard to: (a) any increase in traffic caused by the use; (b) the nature of the traffic generated by the use; (c) the nature of the road; (d) the speed limit and traffic flow of the road; (e) any alternative access to a road; (f) the need for the use; (g) any traffic impact assessment; and (h) any advice received from the rail or road authority.	The proposal retains two existing concrete crossovers, widens the existing south-eastern crossover on both sides as shown on the site plan, and introduces one new northern crossover to serve Unit 4. The traffic generated by the development will be residential in nature and consistent with normal expectations for four single-storey dwellings within a new residential subdivision. The existing north-western crossover serves Unit 3. The existing crossover located 3,200 mm from the south-east corner is to be widened to serve Units 1 and 2. The northernmost new crossover from Cameo Way serves Unit 4. This arrangement avoids the need for one large internal shared driveway and provides direct, legible access to each dwelling group. Any required written consent or approval from the road authority will be obtained. Having regard to the low residential traffic generation, local road environment, reuse and widening of existing crossovers where practical, and Council-standard construction, the proposal minimises adverse effects on the safety and efficiency of the road network and satisfies P1.

Bushfire-Prone Areas Code

The land is affected by the Bushfire-Prone Areas Code Overlay. The nearest bushfire prone vegetation is more than 100m away from the subject site due to the surrounding area being cleared & developed for subdivision.

Architectural Drawing References

This planning report is to be read in conjunction with the submitted architectural drawing set. The drawings identify the site layout, retained and proposed crossovers, private open space areas, frontage fencing, retaining walls, boundary setbacks, drainage layers, stormwater pits and stormwater connections. These drawings are relied upon as the visual evidence for the planning responses in this report, rather than reproducing image placeholders within this document.

The submitted architectural drawings should be read as showing the retaining wall locations, 300 mm setbacks from the western and southern boundaries, drainage layers, stormwater pits and connection to the stormwater system. They should also be read as showing that the adjoining land to the south and west is vacant.

Conclusion

The proposed four-unit development is supported within the General Residential Zone. The triggered matters relate to private open space location, frontage fencing, visitor parking, the number of vehicle accesses, and new vehicle crossings. The proposal provides functional private open space, privacy fencing, appropriate resident parking, safe vehicle access, and retaining/drainage works that respond to the site gradient. The absence of a dedicated on-site visitor parking space is acceptable having regard to the availability of on-street parking, the corner lot configuration and the distributed access arrangement. Subject to the Bushfire-Prone Areas Code documentation and standard Council requirements for crossovers and stormwater, the proposal is considered suitable for approval.

Proposed Units at
Lot 158 Montague Park,
Legana, TAS. 7277

Client :
CSH Enterprises P/L

Project Details		
Council		West Tamar Council
Zone	8.0 General Residential	
Planning Overlay	Bushfire Prone Areas	
PID	187077	
Title Folio	158	
Title Volume	300676	
Climate Zone		7
WIND SPEED		TBC
SOIL CLASS		TBC
STAR RATING		TBC
BAL Rating		TBC
Corrosive Environment		N/A

Drawing List	
Sheet Number	Sheet Name
1	Cover Page
2	Staging Site Plan
3	Govt Infrastructure Details
4	Site Plan
5	Plant Schedule
6	Site/ Drainage Plan
7	Floor Plan (Unit 1 & 2)
8	Floor Plan (Unit 3 & 4)
9	Elevations (sheet 1)
10	Elevations (sheet 2)
11	Elevations (Sheet 3)
12	3D Views
13	Sun Shade Diagrams
14	3D Sun Shade Diagrams

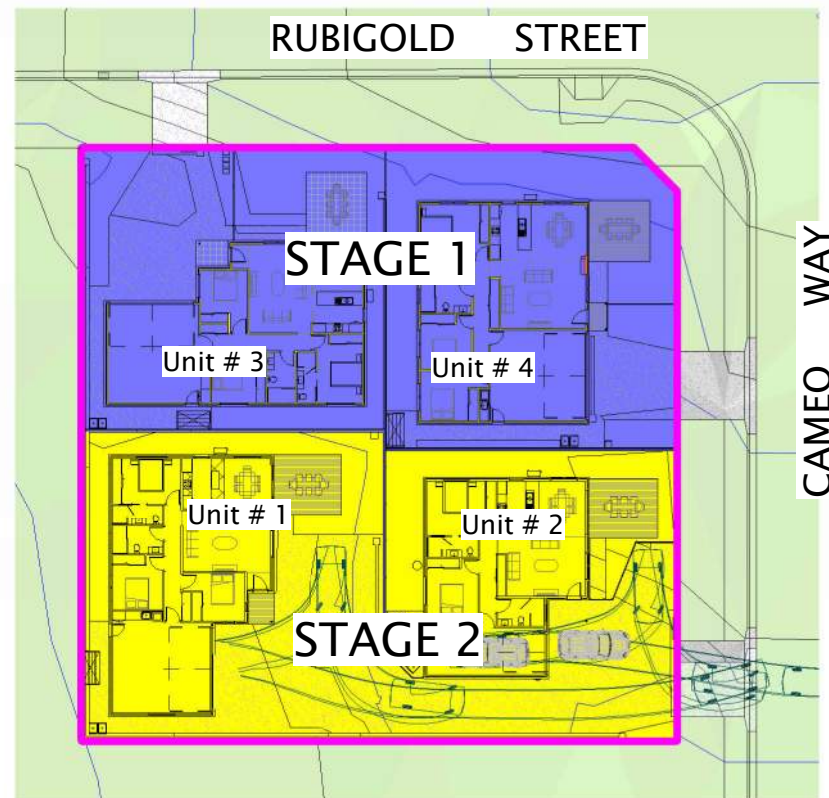
Area Schedule (Gross Building)		
Name	Area	Area (Squares)
Unit # 1	162.82 m²	17.51
Unit # 2	132.81 m²	14.28
Unit # 3	162.82 m²	17.51
Unit # 4	167.85 m²	18.05
626.31 m²		67.34

STAGE 2

STAGE 1

Site areas	
Name	Area
Site	1541.18 m²
	1541.18 m²

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.



Staging Site Plan

1:500



Planning Approval A3

170 Abbott Street
Launceston, Newstead,
TAS 7250.

M : 0411 294 351
E : leigh@abd.com.co
www.adamsbuildingdesign.com.au

ABN 71 048 418 121
acc. # CC886J

6	17.08.26	Planning Approval
5	05.06.26	Prelim
4	03.06.26	Concept # 4
3	19.05.26	Concept # 3
2	04.05.26	Concept # 2
1	29.04.26	Concept # 1

© 2022 ADAMS BUILDING DESIGN. THIS DOCUMENT IS & SHALL REMAIN THE PROPERTY OF ADAMS BUILDING DESIGN. THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED & IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.

Proposed Units at
Lot 158 Montague Park,
Legana, TAS. 7277

CSH Enterprises P/L

Staging Site Plan

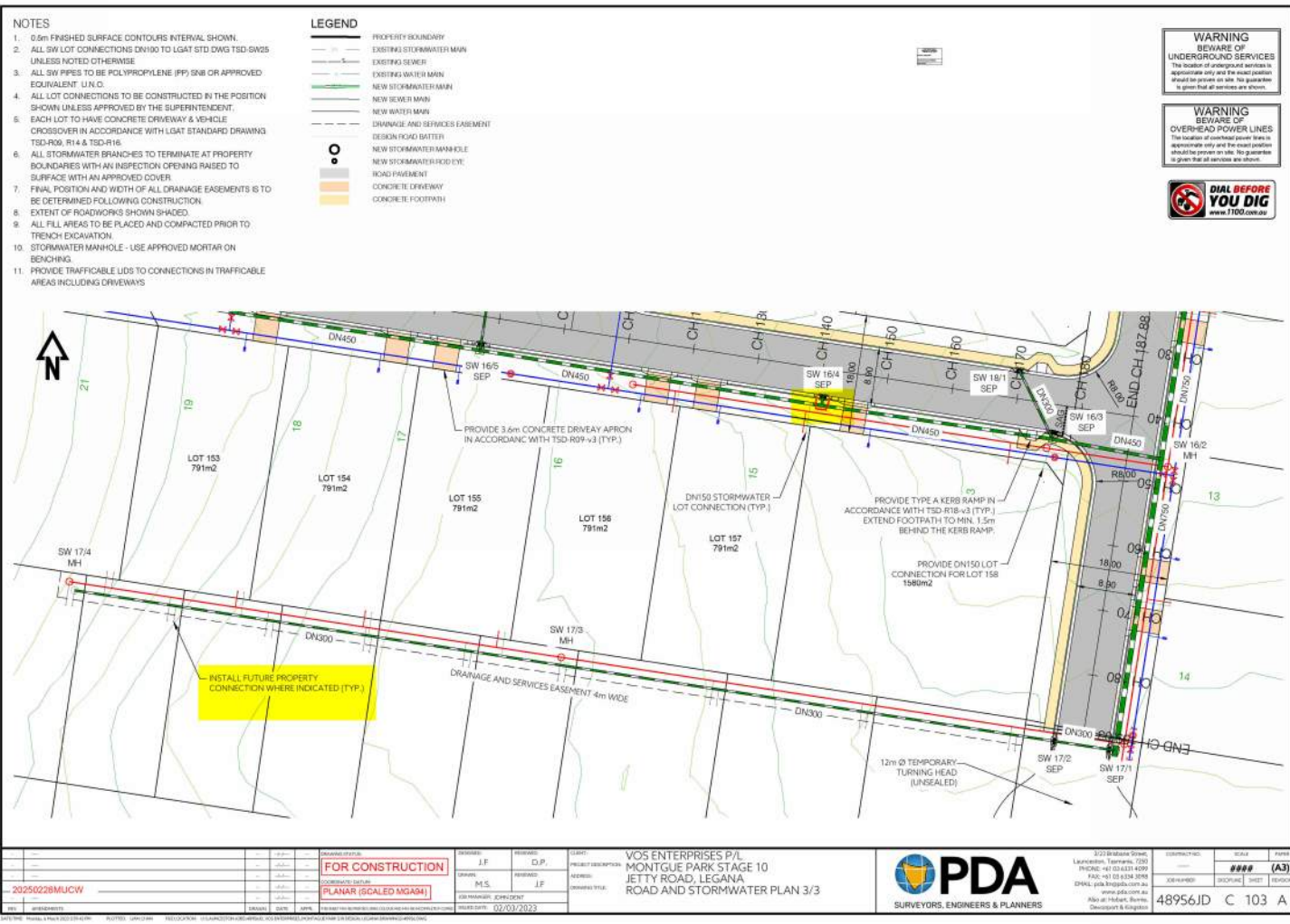
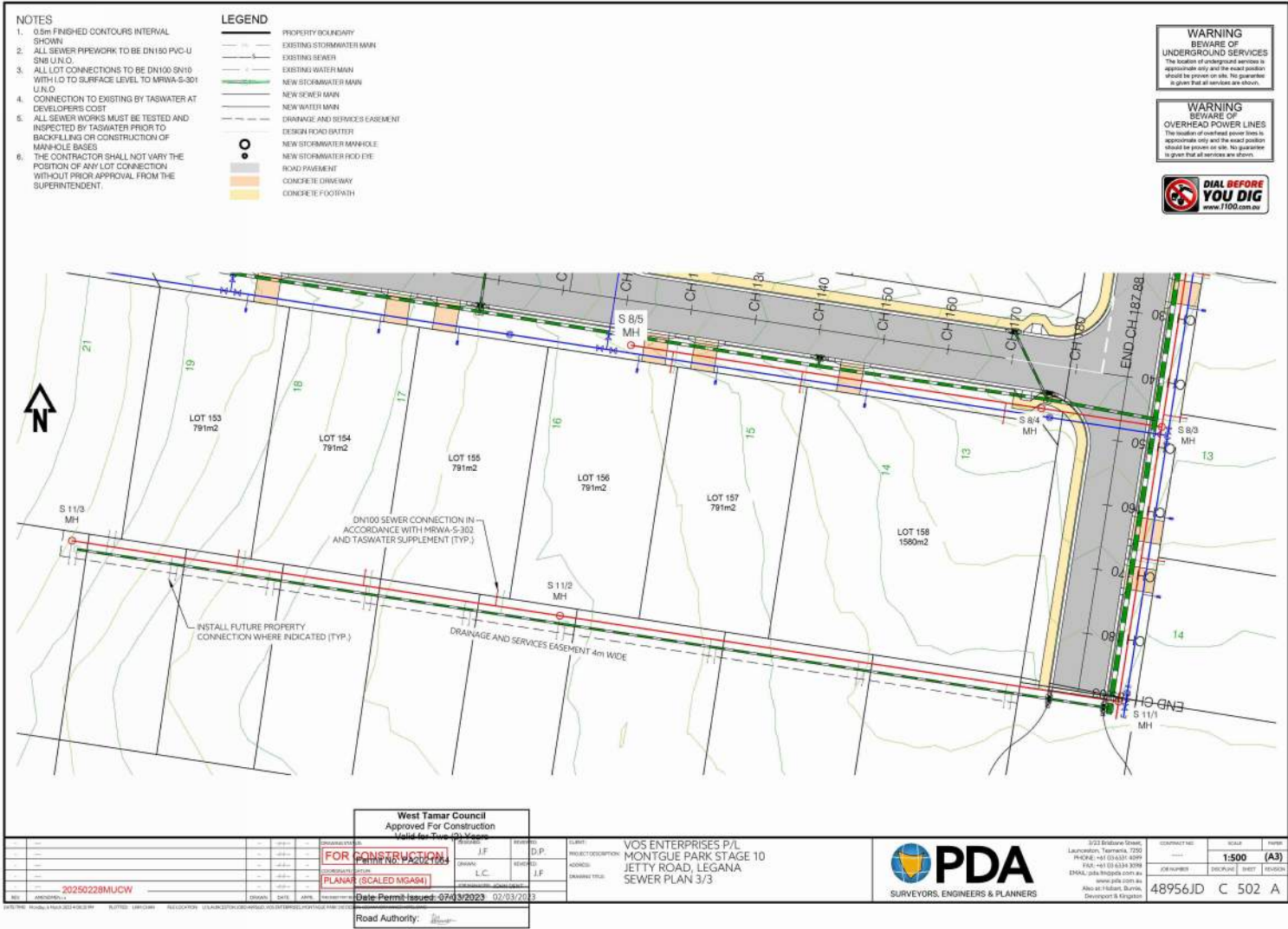
Scale : 1 : 500

Starting Date : 29.04.26

Plot Date : 18/08/2026
12:50:40 PM

050426

2 /14



NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.

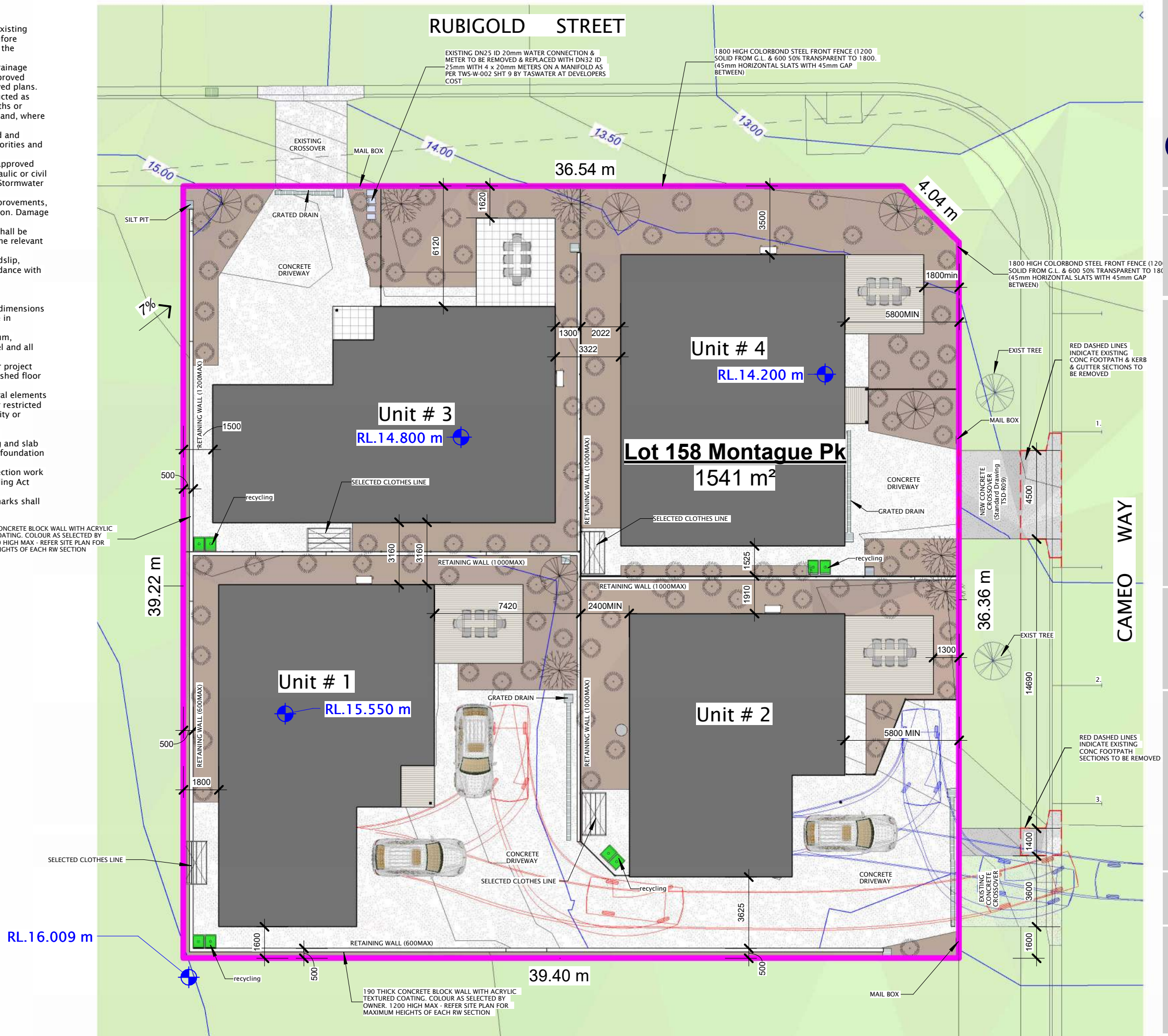
SITE PLAN NOTES

- The builder shall verify site boundaries, easements, levels, existing structures, vegetation, service locations and site conditions before commencement of work. Any discrepancy shall be reported to the designer before proceeding.
- Buildings, outbuildings, decks, driveways, retaining walls, drainage works and earthworks shall be constructed only within the approved location, setbacks and building envelope shown on the approved plans.
- Finished floor levels, surface levels and falls shall be constructed as shown. No change to finished floor levels, stormwater flow paths or earthworks shall be made without approval from the designer and, where required, the Building Surveyor or Permit Authority.
- Existing underground and overhead services shall be located and protected before excavation. Contact the relevant service authorities and obtain current service information before work commences.
- Stormwater runoff shall be collected and discharged to the approved legal point of discharge in accordance with the approved hydraulic or civil documentation and AS/NZS 3500.3 - Plumbing and drainage: Stormwater drainage.
- Protect vegetation, retaining walls, fences, neighbouring improvements, footpaths, kerbs and road infrastructure nominated for retention. Damage shall be made good at the builder's cost.
- Driveways, crossovers, parking areas and pedestrian paths shall be constructed to the approved details and the requirements of the relevant Council or road authority.
- Where the site is bushfire-prone, flood-prone, subject to landslip, coastal hazards or other planning overlays, construct in accordance with the approved specialist documentation and permit conditions.

SET-OUT PLAN NOTES

- Figure dimensions take precedence over scaling. Site plan dimensions are in metres unless noted otherwise; all other dimensions are in millimetres.
- Prior to excavation, the builder shall confirm the survey datum, boundary positions, building set-out points, finished floor level and all critical offsets shown on the plans.
- Where required by the Building Surveyor, Permit Authority or project documentation, building set-out, boundary clearances and finished floor levels shall be verified by a licensed surveyor.
- Footings, slabs, retaining walls, drainage works and structural elements shall not encroach across title boundaries, easements or other restricted areas without the documented approval of the affected authority or owner.
- Existing and proposed drainage, sewer, water, electrical and communications services shall be coordinated with the footing and slab layout. Services shall not compromise footing performance or foundation support.
- Where building work may affect an adjoining property, protection work shall be assessed and undertaken in accordance with the Building Act 2016 (Tas) and directions issued by the Building Surveyor.
- Temporary survey control points, benchmarks and set-out marks shall be maintained and protected until no longer required.

190 THICK CONCRETE BLOCK WALL WITH ACRYLIC TEXTURED COATING. COLOUR AS SELECTED BY OWNER. 1200 HIGH MAX - REFER SITE PLAN FOR MAXIMUM HEIGHTS OF EACH RW SECTION



Site Plan.

1 : 200

C:\Users\leigh\OneDrive\Desktop\Revit 2026\CSH lot 158 montage\CSH lot 158 montage 2.rvt



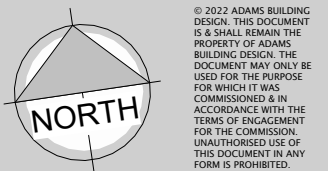
Planning Approval A3

170 Abbott Street
Launceston, Newstead,
TAS 7250.

M : 0411 294 351
E : leigh@abd.com.co
www.adamsbuildingdesign.com.au

ABN 71 048 418 121
acc. # CC886J

6	17.08.26	Planning Approval
5	05.06.26	Prelim
4	03.06.26	Concept # 4
3	19.05.26	Concept # 3
2	04.05.26	Concept # 2
1	29.04.26	Concept # 1



Proposed Units at
Lot 158 Montague Park,
Legana, TAS. 7277

CSH Enterprises P/L

Site Plan

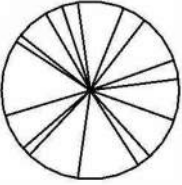
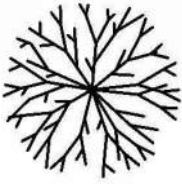
Scale : 1 : 200

Starting Date : 29.04.26

Plot Date : 18/08/2026
12:50:42 PM

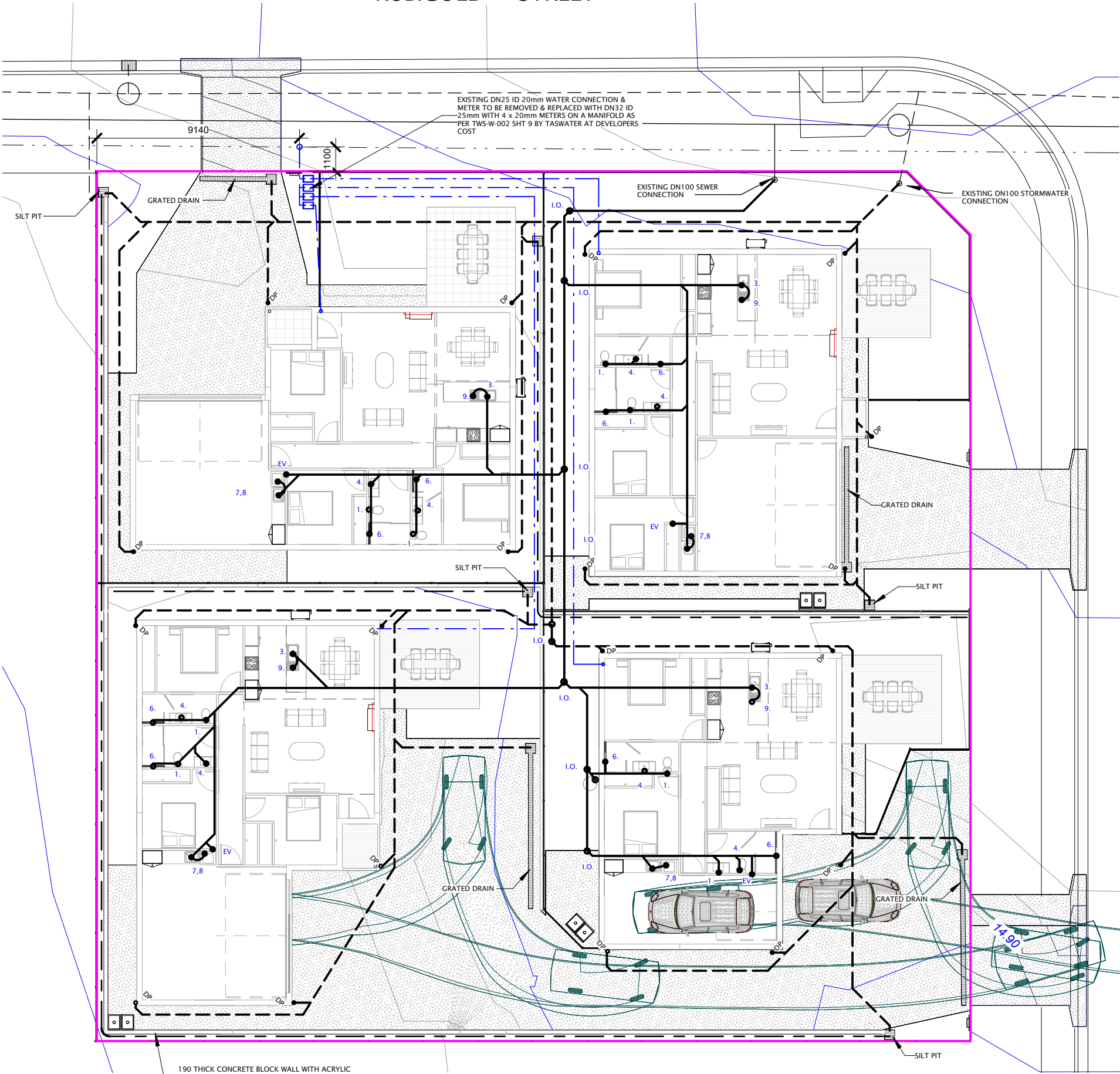
050426

4 / 14

PLANT SCHEDULE			
TREE	-SILVER BIRCH (betula pendula) - mature height approx 10m	-JAPANESE MAPLE (Acer Palmatum) - mature height approx 3-4 m	-ORNAMENTAL PEAR (pyrus calleryana) - mature height approx 7 m
			
SHRUB	-PITTOSPORUM (tenuifolium 'tom thumb') mature height approx 5m.	-MEXICAN ORANGE BLOSSOM (choisya ternata) - mature height approx 2.0m	-LIMELIGHT(Acacia Cognata) - mature height approx 1.0M
			
GROUND COVER	-LIMETUFF (Lomandra Confertifolia) mature height approx 0.9m	-SEDGE (carex species) mature height approx 1.0m	-LUTCHUENSIS JUNIPER(Juniperus Taxifloia) mature height approx 0.3m
			

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.

RUBIGOLD STREET



PLUMBING NOTES

1. All plumbing work to comply with AS 3500 parts 1,2,3 & 4, and the Local Council plumbing regulations.
2. Hot water from the HWC is to be tempered to 50°C.
3. Hot & cold reticulation lines to be DN20 with DN15 branches to individual fixtures.
4. Drain all surface water away from footings in accordance with NCC PART 3.3.3 Surface Drainage.
5. The building Contractor must locate the connection points to the mains to verify that their positions & depths are as shown on the endorsed plans. Such verification must be completed as the first task of the building works.
6. Installation of ORG is to comply with AS3500 part 2 clauses 4.6.6.6 (minimum height below lowest fixture = 150mm) & 4.6.6.7 (Minimum height above surrounding ground finished surface level = 75mm)
7. New Sewer = DN100 pvc @ 1:60 falls min.
8. New Stormwater = DN100 pvc @ 1:100 falls min.(UNLESS NOTED OTHERWISE)
9. Grated drains to be installed via a gas sealed pit.
10. STANDARD DRAIN SIZES
TROUGH: DN50
SINK: DN50
WC: DN100
STORMWATER: DN100
12. WATER PIPE SIZES
COLD WATER: DN 20 WITH DN16 BRANCHES
HOT WATER: DN 20 WITH DN 16 BRANCHES
13. HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES AT THE FOLLOWING TEMPERATURES:
BATH BASIN & SHOWER: 50deg C
KITCHEN SINK & LAUNDRY: 60deg C
14. ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03 -2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02—2014-3.1 MRWA VERSION AND TASWATER'S SUPPLEMENTS TO THESE CODES.

PLUMBING LEGEND

- EXISTING STORMWATER
- EXISTING SEWER
- EXISTING WATER
- NEW STORMWATER
- NEW SEWER
- NEW WATER
- NEW AG DRAIN

TASWATER NOTES:

All works are to be in accordance with the Water Supply Code of Australia WSA 03 -2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02—2014-3.1 MRWA Version 2 / WSA 02 -2002 Version 2.3 MRWA Edition 1.0 and TasWater's supplements to these codes

PLUMBING LEGEND

- 1. WC
- 2. URINAL
- 3. KITCHEN SINK
- 4. BASIN / VANITY
- 5. BATH
- 6. SHOWER
- 7. WASH TROUGH
- 8. WASHING MACHINE
- 9. DISHWASHER

I.O. - INSPECTION OUTLET
ORG - OVERFLOW RELEIF GULLY
DP - DOWNPIPE
EV - DN50 VENT TO AIR
M - WATER METER

PLUMBING NOTES

REACTIVE SITES - where they penetrate through external footings, stormwater, sewer, Drain waste, & vent pipes are to be lagged & flexible connections are to be provided adjacent to the footings prior to connection to the drainage to comply with AS2870-1996 Section 5.5. Additional requirements for class H & E sites.



Planning Approval A3

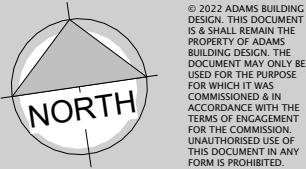
170 Abbott Street
Launceston, Newstead,
TAS 7250.

M : 0411 294 351
E : leigh@abd.com.au
www.adamsbuildingdesign.com.au

ABN 71 048 418 121
acc. # CC886J

6	17.08.26	Planning Approval
5	05.06.26	Prelim
4	03.06.26	Concept # 4
3	19.05.26	Concept # 3
2	04.05.26	Concept # 2
1	29.04.26	Concept # 1

No. Date Description



Project :

Proposed Units at
Lot 158 Montague Park,
Legana, TAS. 7277

Client :

CSH Enterprises P/L

Drawing Title :

Site/ Drainage Plan

Scale : 1 : 200

Starting Date : 29.04.26

Plot Date : 18/08/2026
12:50:44 PM

Project No.

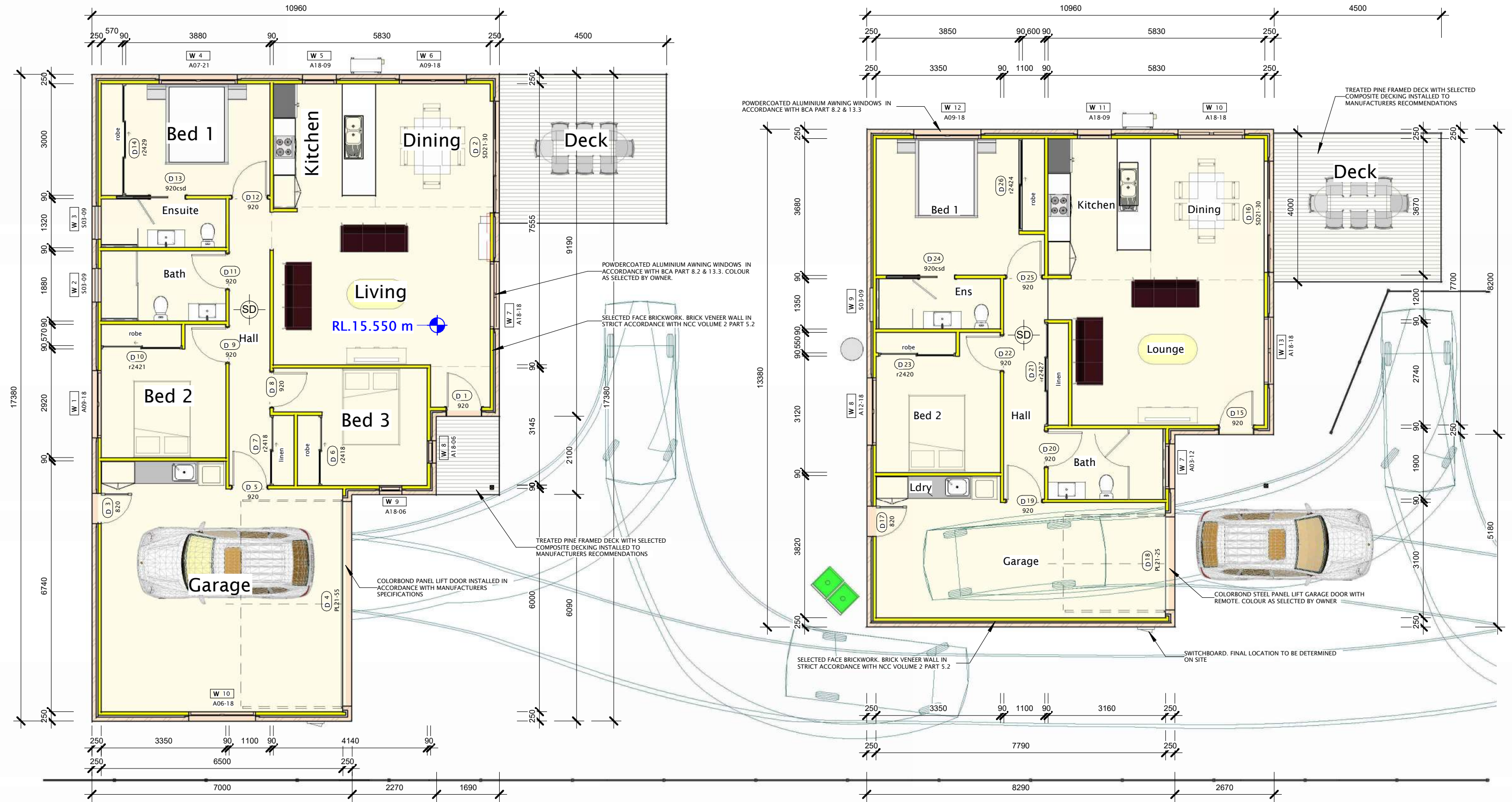
050426

Drawing No.

6 /14

Site/ Drainage Plan

1:200



Unit 1 & 2 Floor Plan

1:100

170 Abbott Street
Launceston, Newstead,
TAS 7250.

M : 0411 294 351
E : leigh@abd.com.au
www.adamsbuildingdesign.com.au

ABN 71 048 418 121
acc. # CC886J

Building Areas.	
Name	Area
Unit # 1	162.82 m ²
Unit # 2	132.81 m ²
Unit # 3	162.82 m ²
Unit # 4	167.85 m ²
	626.31 m ²

No.	Date	Description
6	17.08.26	Planning Approval Prelim
5	05.06.26	
4	03.06.26	Concept # 4
3	19.05.26	Concept # 3
2	04.05.26	Concept # 2
1	29.04.26	Concept # 1

Planning Approval A3

© 2022 ADAMS BUILDING DESIGN. THIS DOCUMENT IS & SHALL REMAIN THE PROPERTY OF ADAMS BUILDING DESIGN. THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED & IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.

Project :
Proposed Units at
Lot 158 Montague Park,
Legana, TAS. 7277

Drawing Title :
Floor Plan (Unit 1 & 2)

Client :
CSH Enterprises P/L

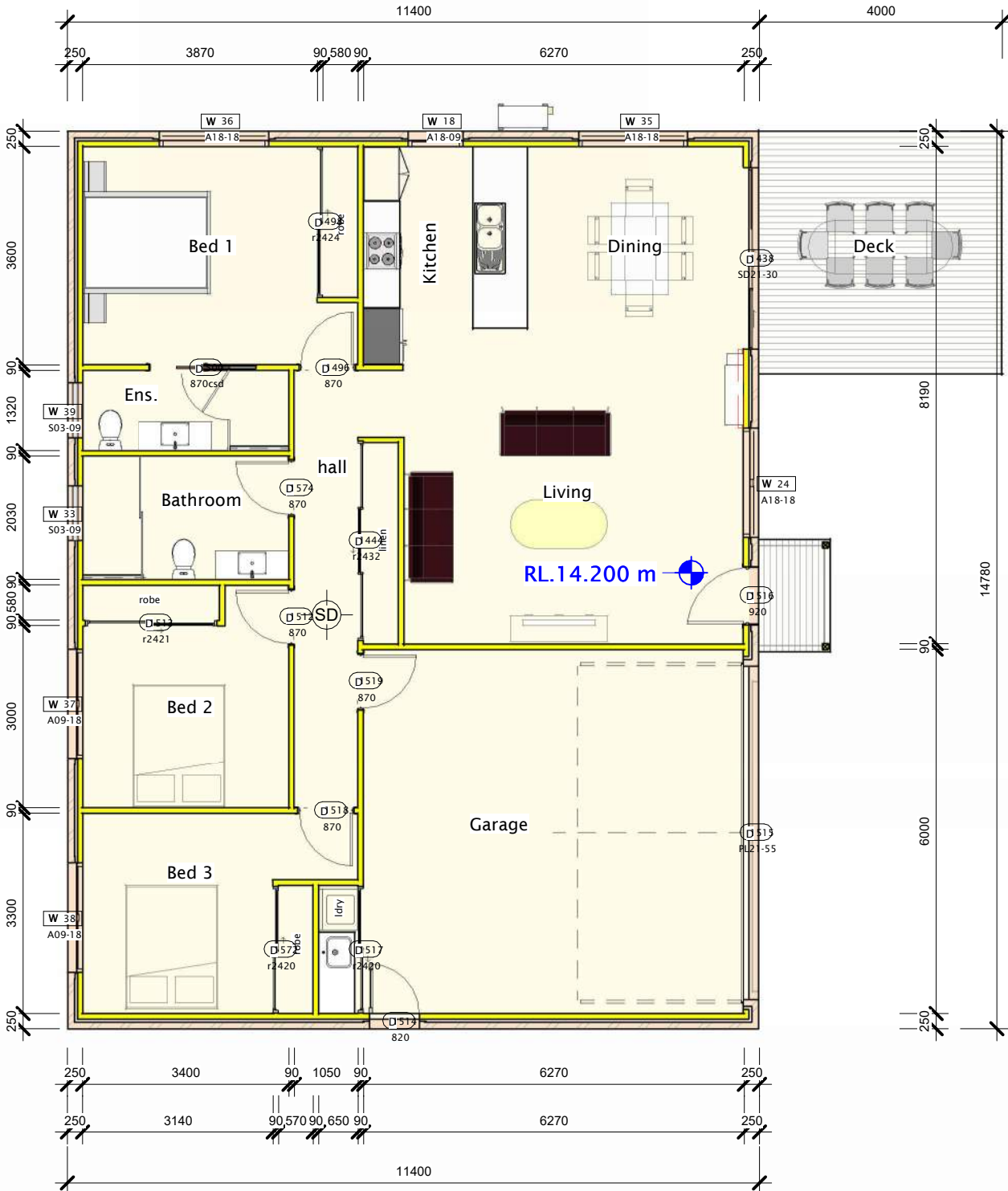
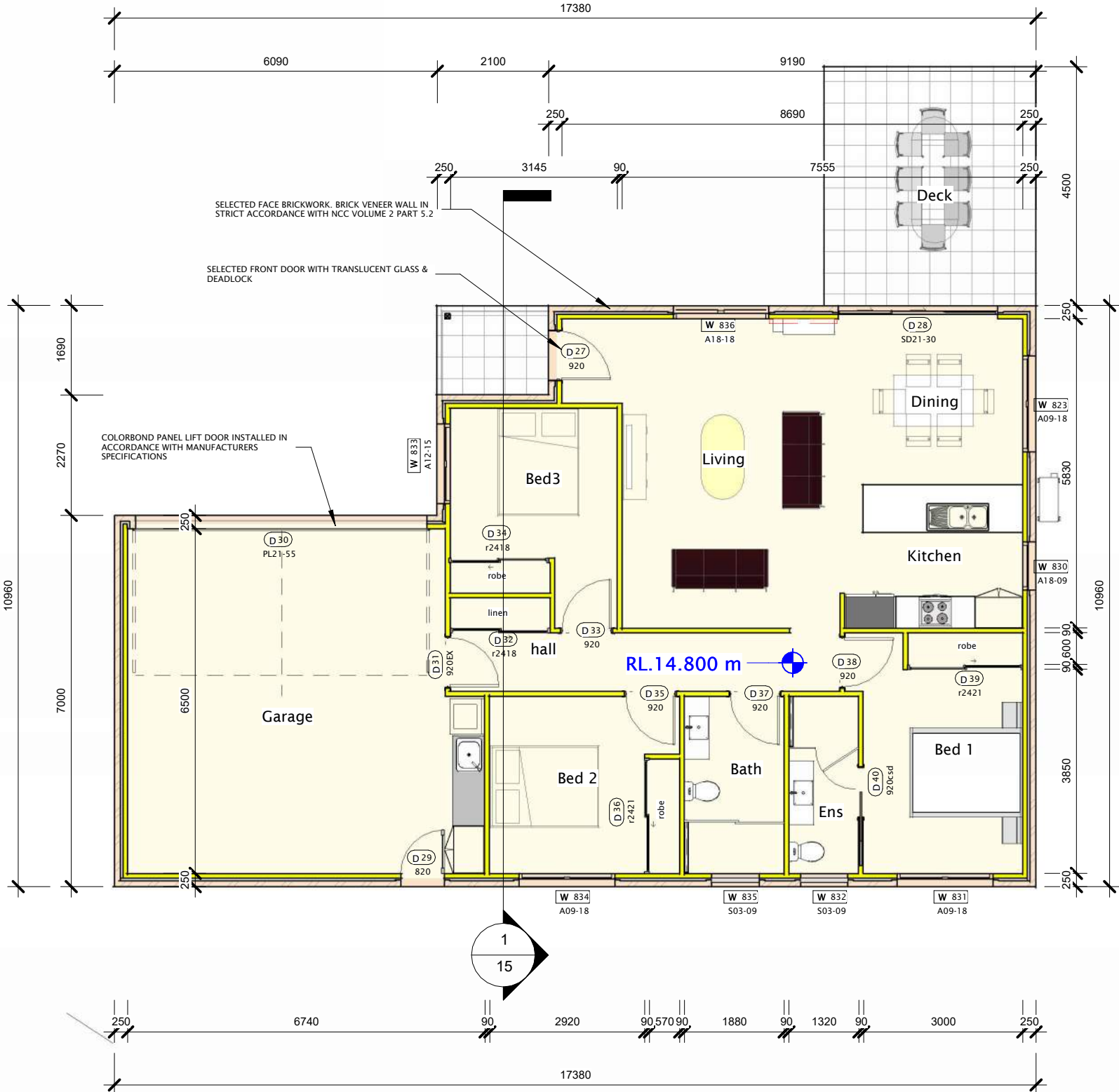
Scale : 1 : 100

Starting Date : 29.04.26

Plot Date : 18/08/2026
12:50:45 PM

Project No.
050426

Drawing No.
7 /14



Unit 3 & 4 Floor Plan

1 : 100

 - HARDWIRED SMOKE DETECTORS IN ACCORDANCE WITH BCA PART 3.7.2 & AS 3786 (LINKED)



170 Abbott Street
Launceston, Newstead,
TAS 7250.
M : 0411 294 351
E : leigh@abd.com.au
www.adamsbuildingdesign.com.au
ABN 71 048 418 121
acc. # CC886J

Building Areas.	
Name	Area
Unit # 1	162.82 m ²
Unit # 2	132.81 m ²
Unit # 3	162.82 m ²
Unit # 4	167.85 m ²
	626.31 m ²

No.	Date	Description
6	17.08.26	Planning Approval
5	05.06.26	Prelim
4	03.06.26	Concept # 4
3	19.05.26	Concept # 3
2	04.05.26	Concept # 2
1	29.04.26	Concept # 1

Planning Approval A3



© 2022 ADAMS BUILDING DESIGN. THIS DOCUMENT IS & SHALL REMAIN THE PROPERTY OF ADAMS BUILDING DESIGN. THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED & IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.

Project :

Proposed Units at
Lot 158 Montague Park,
Legana, TAS. 7277

Drawing Title :

Floor Plan (Unit 3 & 4)

Client :

CSH Enterprises P/L

Scale :

1 : 100

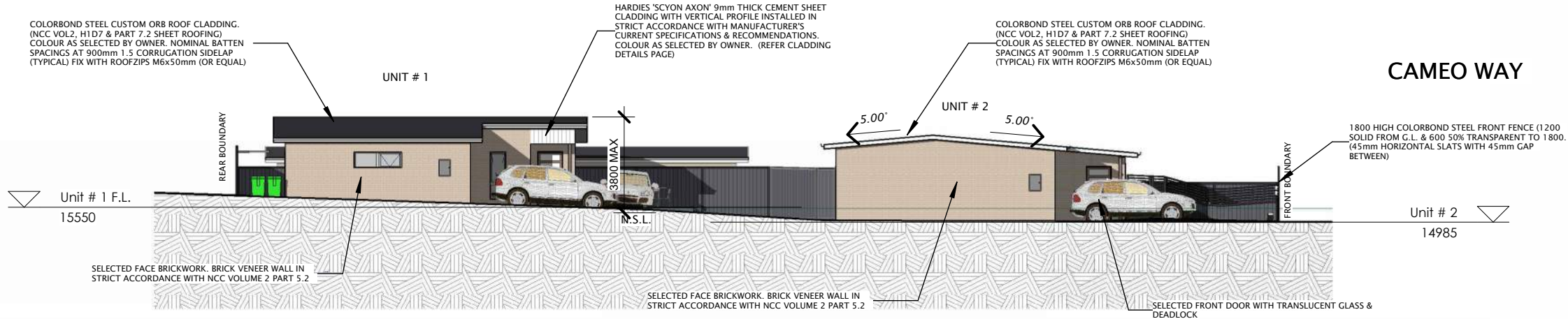
Starting Date :

29.04.26

Plot Date :

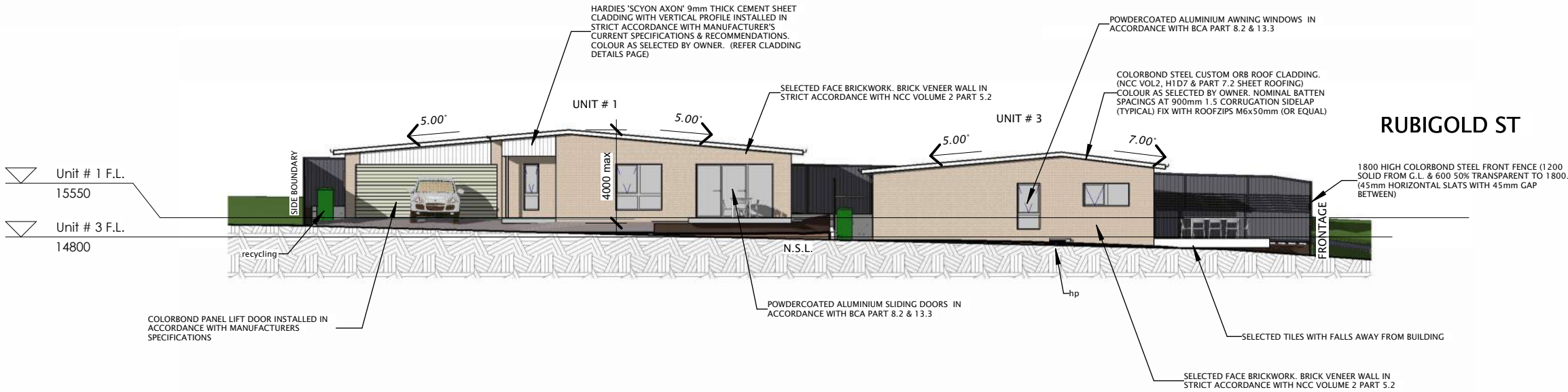
18/08/2026
12:50:46 PM

Project No.	Drawing No.
050426	8 /14



Southwest Elevation

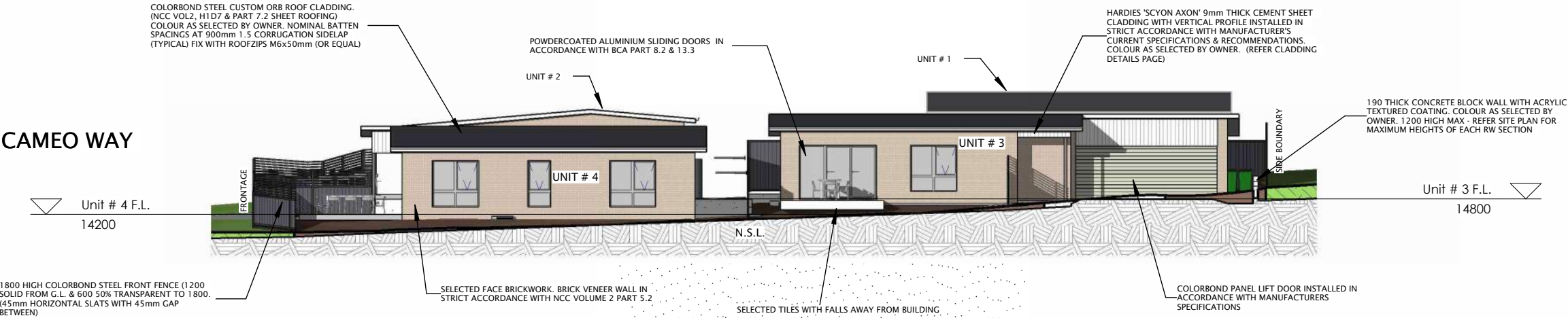
1:200



Southeast Elevation (Unit # 1 & 3)

1:200

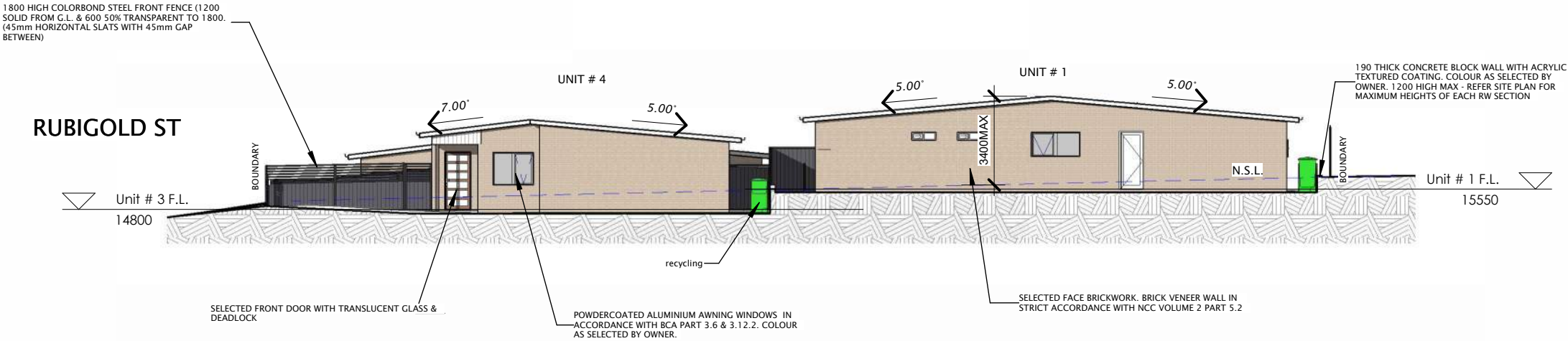
CAMEO WAY



Northeast Elevation

1:200

RUBIGOLD ST



Northwest Elevation

1:200

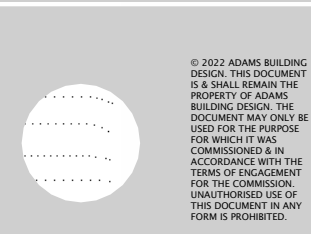


170 Abbott Street
Launceston, Newstead,
TAS 7250.
M : 0411 294 351
E : leigh@abd.com.au
www.adamsbuildingdesign.com.au
ABN 71 048 418 121
acc. # CC886J

6	17.08.26	Planning Approval
5	05.06.26	Prelim
4	03.06.26	Concept # 4
3	19.05.26	Concept # 3
2	04.05.26	Concept # 2
1	29.04.26	Concept # 1

No. Date Description

Planning Approval A3



Project :
Proposed Units at
Lot 158 Montague Park,
Legana, TAS. 7277

Drawing Title :
Elevations (sheet 2)

Client :
CSH Enterprises P/L

Scale : 1 : 200

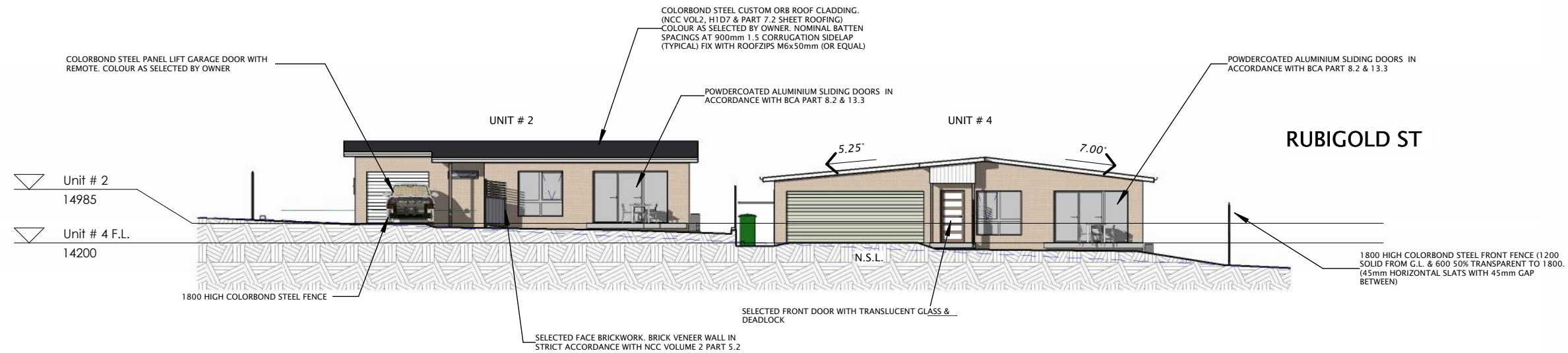
Starting Date : 29.04.26

Plot Date : 18/08/2026
12:50:50 PM

Project No.
050426

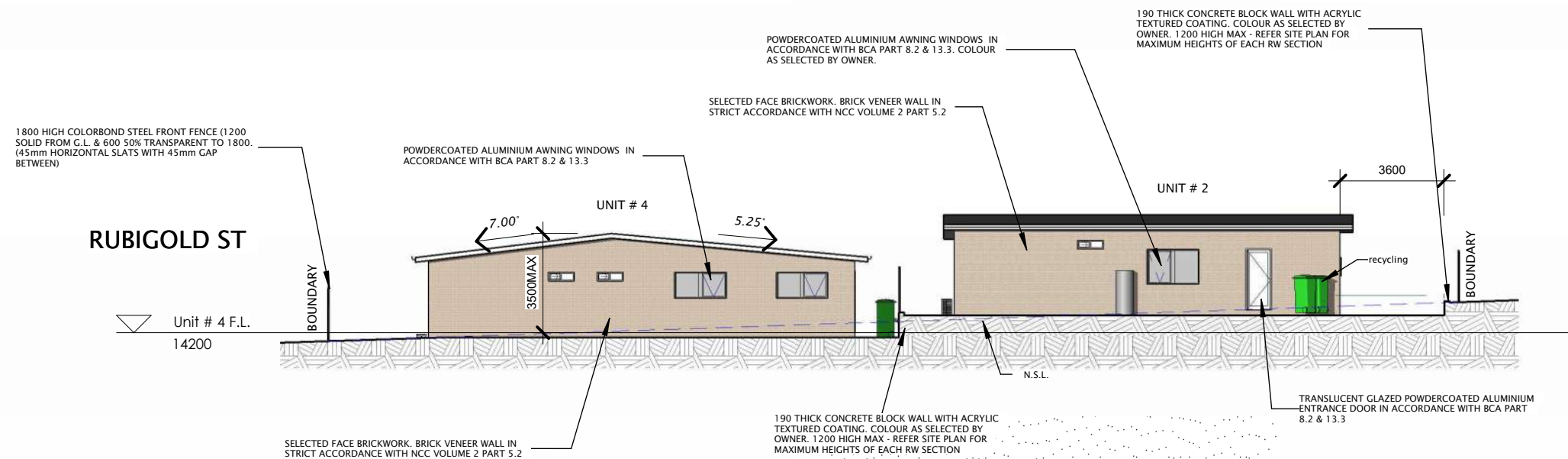
Drawing No.
10 / 14

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.



Southeast Elevation (Unit #2)

1:200



Northwest Elevation (Unit # 2)

1:200



Planning Approval A3

170 Abbott Street
Launceston, Newstead,
TAS 7250.

M : 0411 294 351
E : leigh@abd.com.co
www.adamsbuildingdesign.com.au

ABN 71 048 418 121
acc. # CC886J

6	17.08.26	Planning Approval
5	05.06.26	Prelim
4	03.06.26	Concept # 4
3	19.05.26	Concept # 3
2	04.05.26	Concept # 2
1	29.04.26	Concept # 1

2022 ADAMS BUILDING
DESIGN. THIS DOCUMENT
& SHALL REMAIN THE
PROPERTY OF ADAMS
BUILDING DESIGN. THE
DOCUMENT MAY ONLY BE
USED FOR THE PURPOSE
FOR WHICH IT WAS
COMMISSIONED & IN
ACCORDANCE WITH THE
TERMS OF ENGAGEMENT
OR THE COMMISSION.
UNAUTHORISED USE OF
THIS DOCUMENT IN ANY
FORM IS PROHIBITED.

Proposed Units at
Lot 158 Montague Park,
Legana, TAS. 7277

CSH Enterprises P/L

Elevations (Sheet 3)

Scale : 1 : 200

Starting Date : 29.04.26

Plot Date : 18/08/2026
12:50:51 PM

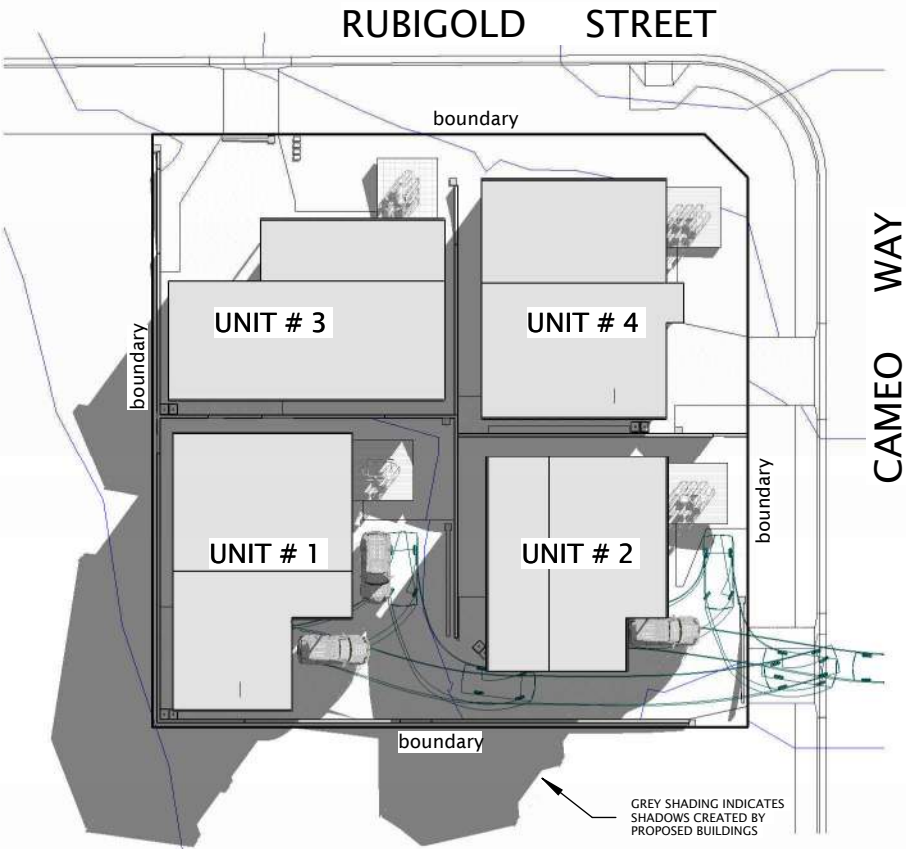
050426

11 / 14



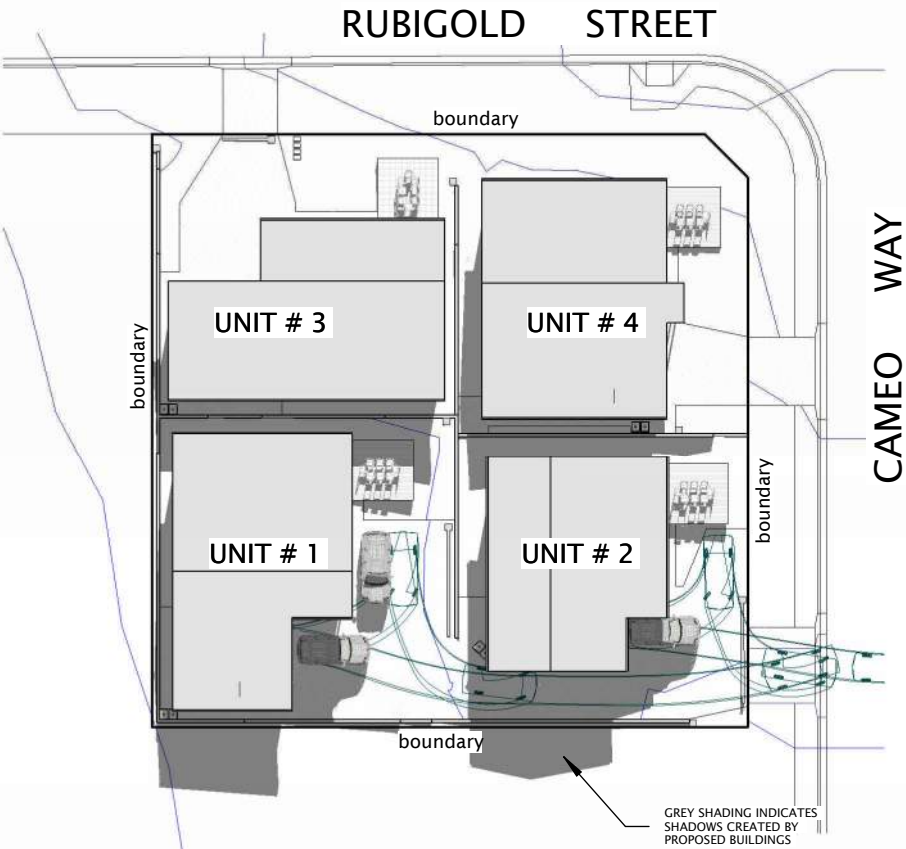
NOTE:
GROUND LEVELS INDICATED IN 3D IMAGES
ARE INDICATIVE ONLY & SHOULD NOT
BE RELIED UPON FOR CONSTRUCTION
PURPOSES. REFER SITE, CONTOUR PLAN
& ELEVATIONS FOR TRUE GROUND LEVELS.

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.



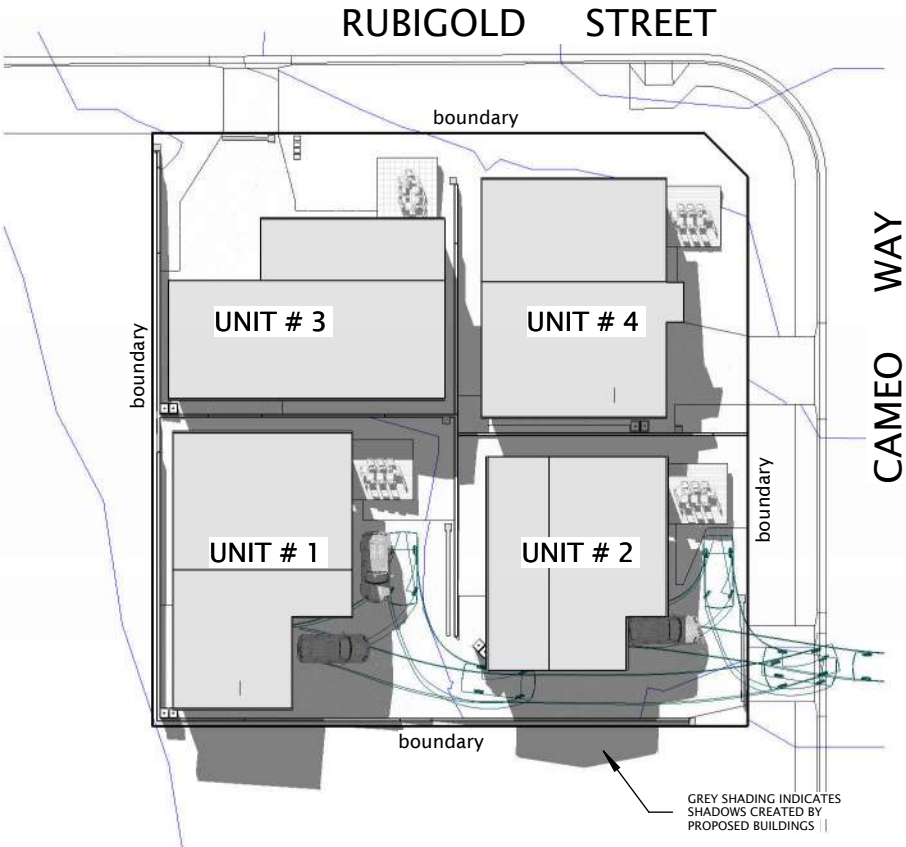
9am June 21

1:500



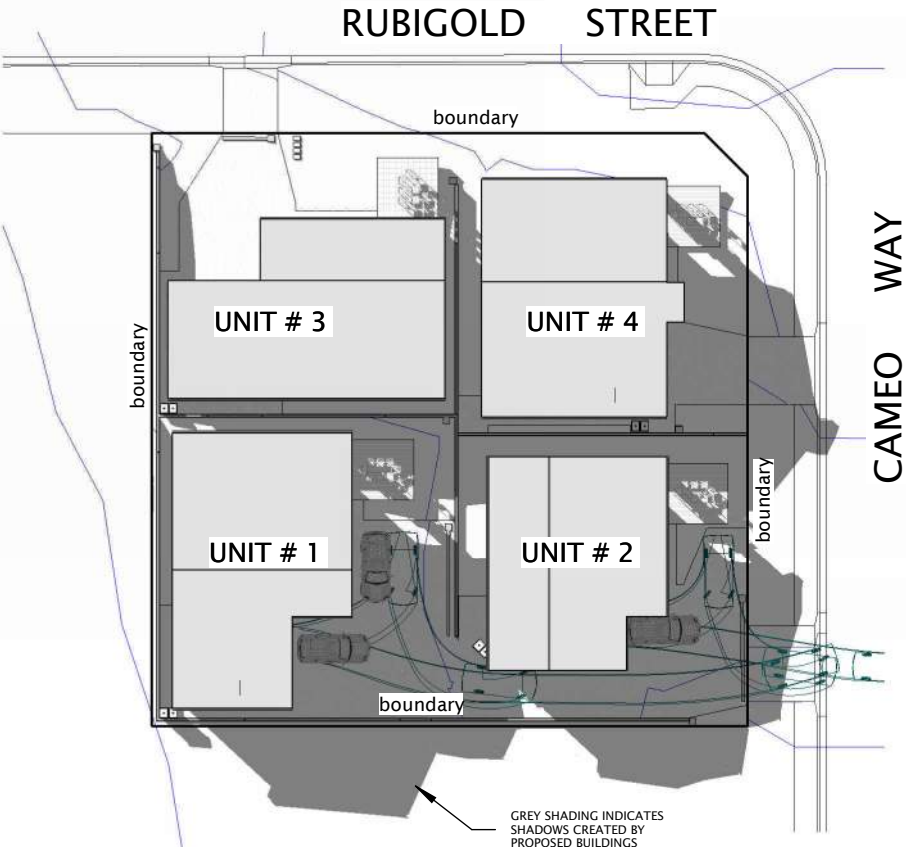
11am June 21

1:500



1PM June 21

1:500



3PM June 21

1:500

Planning Approval A3

170 Abbott Street
Launceston, Newstead,
TAS 7250.

M : 0411 294 351
E : leigh@abd.com.au
www.adamsbuildingdesign.com.au

ABN 71 048 418 121
acc. # CC886J

6	17.08.26	Planning Approval
5	05.06.26	Prelim
4	03.06.26	Concept # 4
3	19.05.26	Concept # 3
2	04.05.26	Concept # 2
1	29.04.26	Concept # 1

No. Date Description



© 2022 ADAMS BUILDING DESIGN. THIS DOCUMENT IS & SHALL REMAIN THE PROPERTY OF ADAMS BUILDING DESIGN. THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED & IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.

Project :

Proposed Units at
Lot 158 Montague Park,
Legana, TAS. 7277

Client :

CSH Enterprises P/L

Drawing Title :

Sun Shade Diagrams

Scale : 1 : 500

Starting Date : 29.04.26

Plot Date : 18/08/2026
12:50:58 PM

Project No.

050426

Drawing No.

13 / 14

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.



3D Sun Shade 9am



3D Sun Shade 11am



3D Sun Shade 1PM



3D Sun Shade 2PM

Planning Approval A3

170 Abbott Street
Launceston, Newstead,
TAS 7250.
M : 0411 294 351
E : leigh@abd.com.au
www.adamsbuildingdesign.com.au
ABN 71 048 418 121
acc. # CC886J

6	17.08.26	Planning Approval
5	05.06.26	Prelim
4	03.06.26	Concept # 4
3	19.05.26	Concept # 3
2	04.05.26	Concept # 2
1	29.04.26	Concept # 1

No.	Date	Description
-----	------	-------------



© 2022 ADAMS BUILDING DESIGN. THIS DOCUMENT IS & SHALL REMAIN THE PROPERTY OF ADAMS BUILDING DESIGN. THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED & IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.

Project :
Proposed Units at
Lot 158 Montague Park,
Legana, TAS. 7277

Client :
CSH Enterprises P/L

Drawing Title :
3D Sun Shade Diagrams

Scale :

Starting Date : 29.04.26

Plot Date : 18/08/2026
12:51:02 PM

Project No.

050426

Drawing No.

14 / 14