

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number PA2026150

Assess No: A9247

PID No: 6102972

Applicant Name:	ENGINEERING PLUS				
Applicant Contact Name					
Postal Address:					
Contact Phone:	Home		Work		Mobile
Email Address:					

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☒
2. A completed application form including a detailed description of the proposal ☒
3. A complete plan set: ☒
 - a) Floor plans ☒
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☒
 - c) Site Plan showing: ☒
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: Engineering plus

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) **DAMON SINCLAIR FROST and MARIANNA KATHERINE LEBIEDZINSKA-HEDGES**

Location / Address: 185 ROWELLA RD SIDMOUTH TAS 7270

Title Reference: 16696/1

Zone(s): RURAL LIVING

Existing Development/Use: RESIDENTIAL

Existing Developed Area: 320m2

Are any of the components in this Application seeking retrospective approval?
E.g. Use and/or development that has commenced without a Planning Permit.

YES ☐
NO ☒

(If yes please specify the relevant components):

DEVELOPMENT APPLICATION DETAILS

Proposed Use:

Residential: ☒ Visitor Accommodation: ☐ Commercial: ☐ Other: ☐

Description of Use:
RESIDENTIAL – ADDITION OF UPPER FLOOR

Development Type:

Building work: ☒ Demolition: ☒ Subdivision: ☐ Other: ☐

Description of development:
BUILDING WORK

New or Additional Area: 89m2

Estimated construction cost of the proposed development: 500,000

Building Materials:

Wall Type: TIMBER, AXON CLADDING	Colour: SHALE GREY/ MONUMENT
Roof Type: COLORBOND TRIMDEK	Colour: SHALE GREY/ MONUMENT

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,
(if not the owner)

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**Chief
Executive
Officer**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

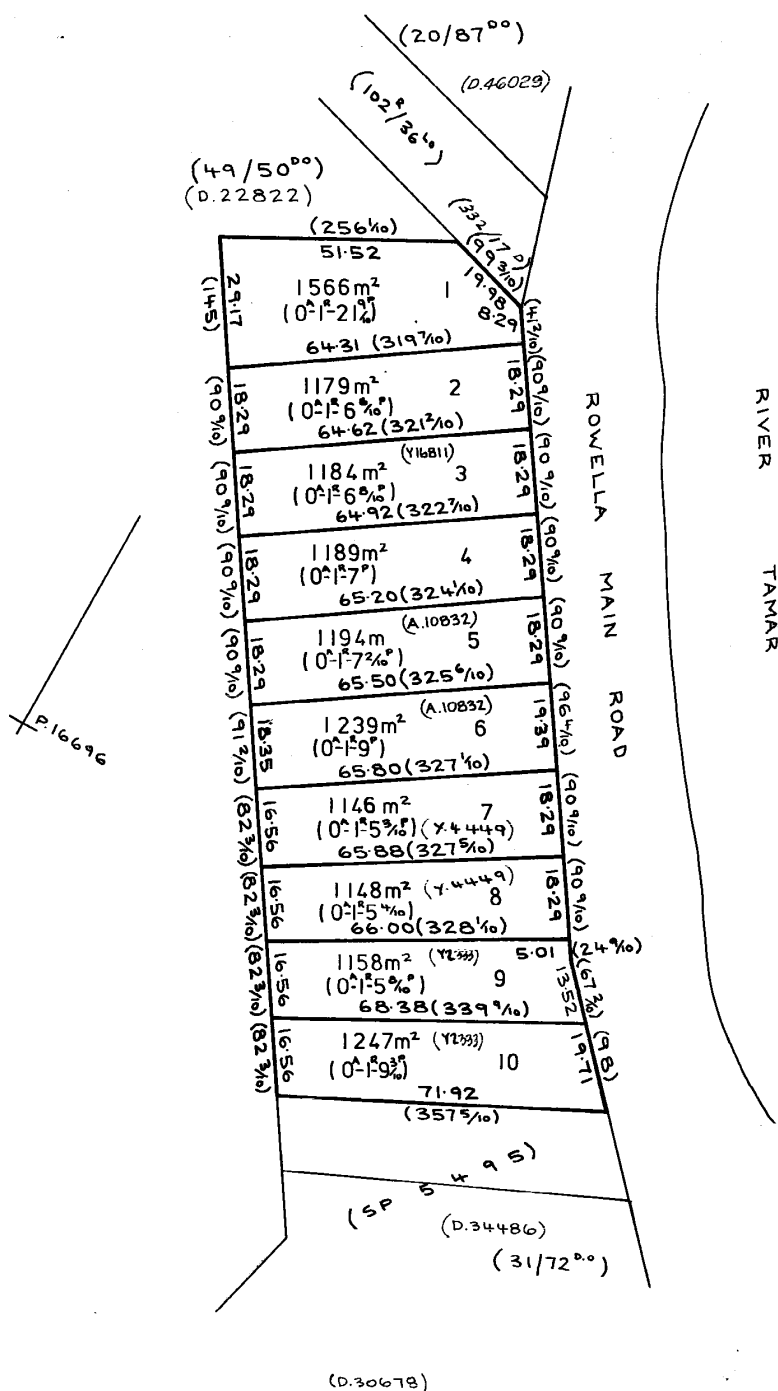
Signed

Date

APPROVED FROM <u>24 SEP 1981</u>		REGISTERED NUMBER
ACTING <u>J. Brander</u> DEPUTY RECORDER OF TITLES	CONVERSION PLAN	P. 16696
FILE NUMBER <u>Z 1393. LOT 4.</u>	GRANTEE: PART OF 1272-1-22 GTD. TO JOSEPH HUDSON <i>M.S. 14-9-81</i>	

SKETCH BY WAY OF ILLUSTRATION ONLY

~~CITY/TOWN OF~~
LAND DISTRICT OF DEVON
PARISH OF WELLS
LENGTHS ARE IN METRES. NOT TO SCALE.
LENGTHS IN BRACKETS IN LINKS/~~FEET & INCHES.~~



SEARCH OF TORRENS TITLE

VOLUME 16696	FOLIO 2
EDITION 5	DATE OF ISSUE 17-Dec-2020

SEARCH DATE : 27-Aug-2026

SEARCH TIME : 12.54 pm

DESCRIPTION OF LAND

Parish of WELLS, Land District of DEVON

Lot 2 on Plan [16696](#)

Being the land described in Conveyance No. 40/0335

Derivation : Part of 1272A-1R-22Ps Gtd to Joseph Hudson

Derived from W4728

SCHEDULE 1

[M855582](#) TRANSFER to DAMON SINCLAIR FROST and MARIANNA
KATHERINE LEBIEDZINSKA-HEDGES Registered
17-Dec-2020 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[E243213](#) MORTGAGE to Commonwealth Bank of Australia
Registered 17-Dec-2020 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

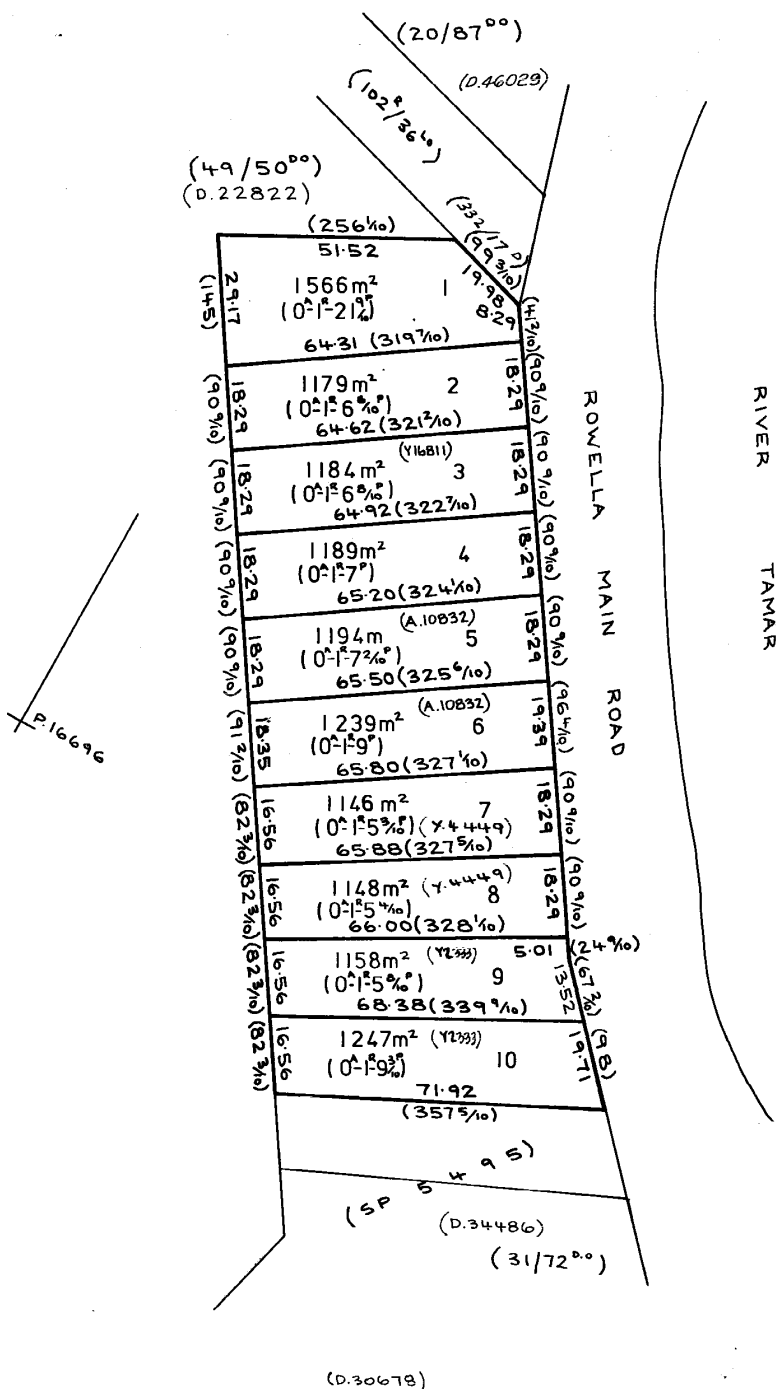
No unregistered dealings or other notations

APPROVED FROM 24 SEP 1981	CONVERSION PLAN	REGISTERED NUMBER P. 16696
ACTING DEPUTY RECORDER OF TITLES <i>J. Brander</i>		
FILE NUMBER 21393. LOT 4.	GRANTEE: PART OF 1272-1-22 GTD. TO JOSEPH HUDSON	

97.1.14.9.81
05-4 2081

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF
LAND DISTRICT OF DEVON
PARISH OF WELLS
LENGTHS ARE IN METRES. NOT TO SCALE.
LENGTHS IN BRACKETS IN LINKS/FEET & INCHES.



ISSUED FOR APPROVAL

PROPOSED EXTENSION, AS CONSTRUCTED

DECK, DECK ROOF & RETAINING WALL



DRAWING SCHEDULE

A000	COVER PAGE
A101	SITE PLAN
A201	DEMOLITION PLAN
A202	GROUND FLOOR PLAN
A203	UPPER FLOOR PLAN
A301	ELEVATIONS #1
A302	ELEVATIONS #2
A401	ROOF PLAN
A501	AS CONSTRUCTED - SECTIONS
A502	SCHEMATIC SECTIONS
A601	3D PERSPECTIVE #1
A602	3D PERSPECTIVE #2
A603	3D PERSPECTIVE #3

PROJECT NO: EP2025-268

D. S. FROST & M.K. L-HEDGES

185 ROWELLA RD
SIDMOUTH TAS 7270

BUILDING DESIGNER:	GRANT JAMES PFEIFFER
ACCREDITATION No:	CC2211T
ZONE:	RURAL LIVING
BUILDING CLASS:	CLASS 1A
LAND TITLE REFERENCE NUMBER:	16696/1, 16696/2
DESIGN WIND SPEED:	N2
SOIL CLASSIFICATION:	TBA
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	N/A
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	HIGH
FLOODING:	NO
LANDSLIP:	LOW
GROUND LEVELS:	REFER PLAN
ORG LEVEL:	75mm ABOVE GROUND LEVEL

REVISION SCHEDULE			
REVISION NO	DESCRIPTION	DATE	ISSUED BY
A	FOR APPROVAL	03/06/26	R.A.
B	RFI - 1	27/08/26	R.A.
C	FOR APPROVAL	03/09/26	R.A.



TOTAL SITE AREA - 2733m²

Area Schedule	
Name	Area
CARPORT 1	24.13 m ²
CARPORT 2	18.07 m ²
EXISTING BUILDING	137.13 m ²
PATIO/ DECK	119.14 m ²
SHED 1	20.34 m ²
SHED 2	9.00 m ²
UPPER LEVEL	89.38 m ²
	417.19 m ²

DRAINAGE
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

NOTE
STORMWATER FROM PROPOSED ADDITION TO BE DIRECTED INTO EXISTING STORMWATER SYSTEM TO LOCAL COUNCIL REQUIREMENTS & AS3500

NOTE:
THE ENTIRETY OF THE PROPERTY LOT SITS WITHIN MEDIUM LANDSLIP HAZARD BAND, BUSHFIRE PRONE AREAS, SCENIC ROAD CORRIDOR

LEGEND	
	SEWER
	EXISTING SEWER
	WATER
	EXISTING WATER
	STORMWATER
	EXISTING STORMWATER
	MEDIUM LANDSLIP ZONE
	WATERWAY AND COASTAL PROTECTION ZONE
	SCENIC ROAD CORRIDOR
	BUSHFIRE MANAGEMENT ZONE
	PRIORITY VEGETATION

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NOTE:
ALL WORKS ARE TO COMPLY WITH BUT NOT LIMITED TO THE LATEST NATIONAL CONSTRUCTION CODE (NCC) OF AUSTRALIA AND RELEVANT LOCAL AUTHORITIES, UNLESS SPECIFIED. IN SUCH CASES, A RELEVANT REPORT WILL BE PRESENTED. MEASUREMENTS INDICATED ON DRAWINGS ARE CLEAR DIMENSIONS TO STRUCTURAL FRAMELINE AND DO NOT INCLUDE PLASTERBOARD LININGS OR INTERNAL FINISHES. UNLESS OTHERWISE STATED, ALL PROPOSED INTERNAL WALLS ARE SHOWN AS STRUCTURAL STUDS ONLY. BUILDER IS TO VERIFY ALL INTERNAL WIDTHS AND CLEARANCES PRIOR TO CONSTRUCTION TO ENSURE STRICT COMPLIANCE WITH CURRENT NCC STANDARDS. SPECIAL ATTENTION MUST BE GIVEN TO MINIMUM CLEAR WIDTHS FOR ACCESSIBLE CORRIDORS, DOORWAYS, AND SANITARY COMPARTMENT REQUIREMENTS. BUILDERS MUST VERIFY ALL MEASUREMENTS, SERVICES, MATERIALS, AND LEVELS ON-SITE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEERING PLUS OF ANY ERRORS OR DISCREPANCIES FOUND. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERING DRAWINGS. DO NOT PROCEED WHERE DISCREPANCIES EXIST BETWEEN ENGINEERING AND ARCHITECTURAL DRAWINGS. ENGINEERING PLUS DOES NOT ACCEPT ANY RESPONSIBILITY FOR MISCONSTRUCTION RESULTING FROM A FAILURE TO VERIFY SITE CONDITIONS OR ADHERE TO THE NCC STANDARDS MENTIONED ABOVE.

SITE PLAN
SCALE 1 : 300

Accredited Building Designer
Designer Name : G. Pfeiffer
Accreditation No : CC2211T
Revision Number : C
Revision Description : FOR APPROVAL
Revision Date : 03/09/26
Revision Issued By : R.A.

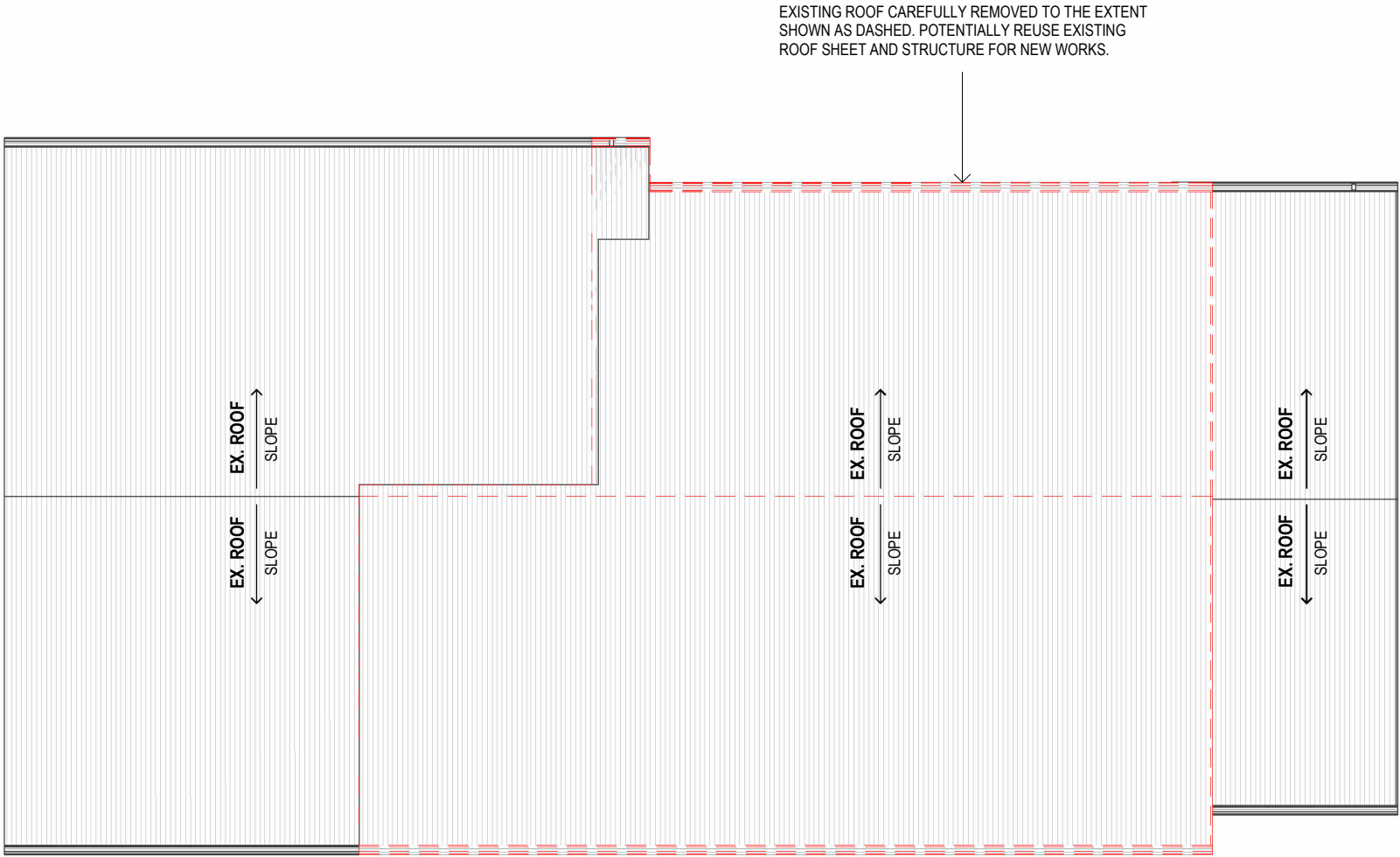
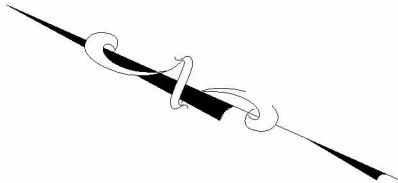
Date Drawn: ISSUE DATE
Drawn: R.A.
Checked: R. HALL
Approved: J. Pfeiffer
Scale: As Shown @ A3

Client: D. S. FROST & M.K. L-HEDGES
Project: PROPOSED EXTENSION, AS SHOWN
Page: 5 OF 5
Address: 185 ROWELLA RD
SIDMOUTH TAS 7270

APPROVAL

EP2025-268

A101



EX. ROOF DEMOLITION PLAN
SCALE 1 : 100

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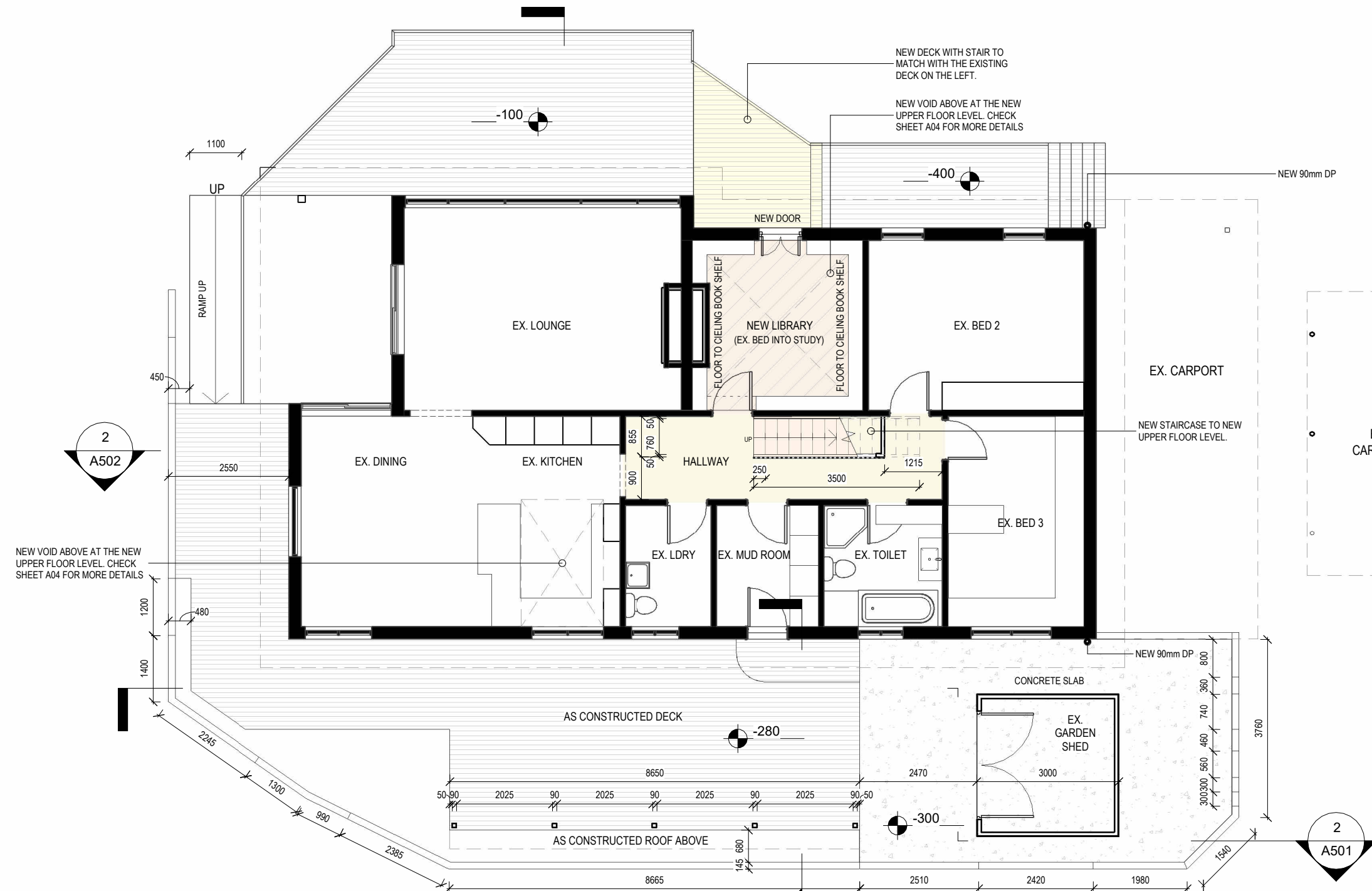
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Scale: As Shown @ A3

Client: D. S. FROST & M.K. L-HEDGES
Project: PROPOSED EXTENSION, AS
Page: DEMOLITION OF DECK, DECK ROOF &
Address: RESTORATION WARD
SIDMOUTH TAS 7270

APPROVAL

EP2025-268

A201



FLOOR PLAN
SCALE 1 : 100

FLOOR COVERINGS

	CARPET
	CONCRETE
	TIMBER DECKING
	TILE
	OVERBOARD TIMBER FLOORING

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Client: D. S. FROST & M.K. L-HEDGES
Project: PROPOSED EXTENSION, AS
Page: CONSTRUCTION DECK ROOF &
Address: RESTON ROAD
 SIDMOUTH TAS 7270

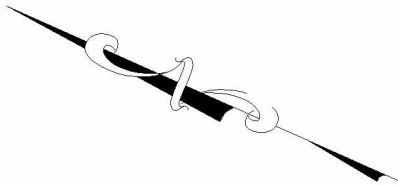
APPROVAL

EP2025-268

A202

DISCLAIMER
 ALL WINDOWS SHOWN ON PLAN ARE APPROX.
 BASED OFF STANDARD MANUFACTURING SIZES.
 ALL WINDOW DIMENSIONS TO BE CONFIRMED
 ON SITE BY BUILDER PRIOR TO ORDERING AND
 MANUFACTURING.

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UPPER LVL
SCALE 1 : 100

SMOKE ALARMS

PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786. CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH NCC STANDARDS

Ⓢ - DENOTES INTERCONNECTED SMOKE DETECTORS

FLOOR COVERINGS	
	CARPET
	CONCRETE
	TIMBER DECKING
	TILE
	OVERBOARD TIMBER FLOORING

Accredited Building Designer

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Project: PROPOSED EXTENSION, AS
Page: 03/09/26
Address: 155 RIVERVIEW RD
SIDMOUTH TAS 7270

APPROVAL

EP2025-268

A203

DISCLAIMER

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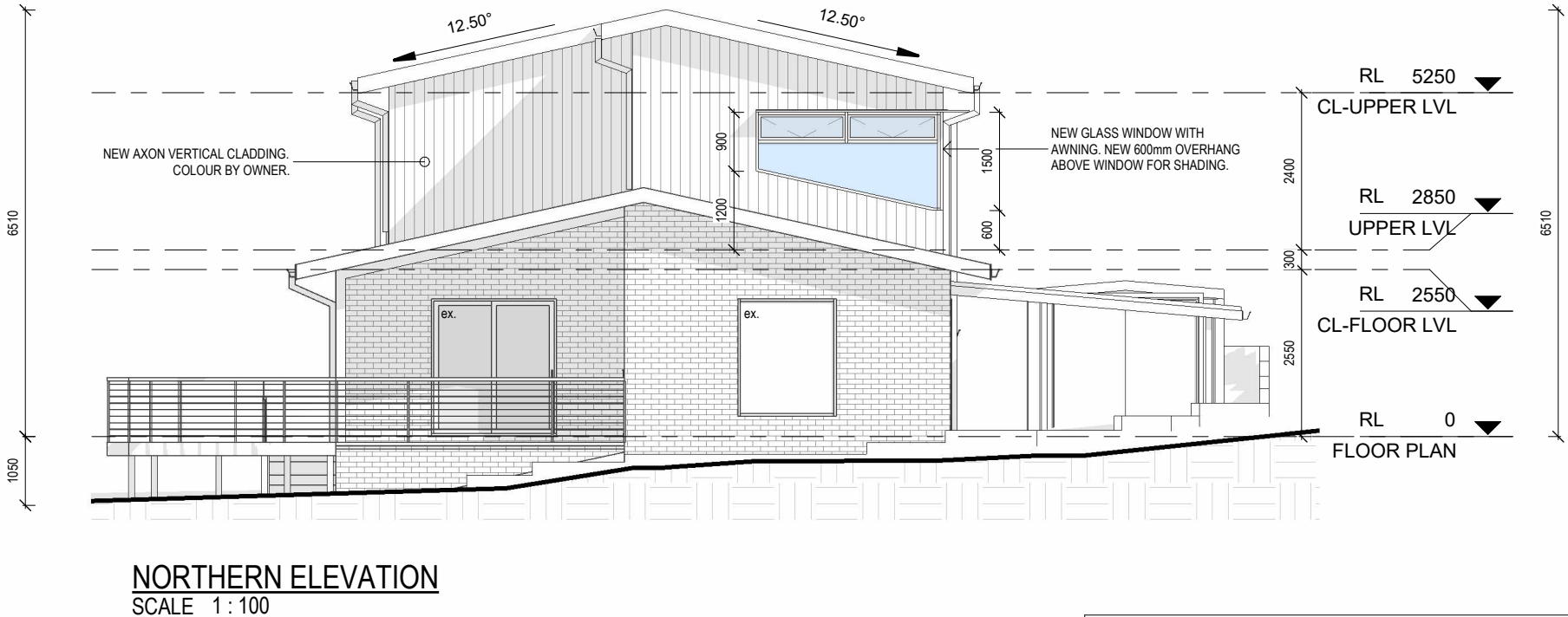
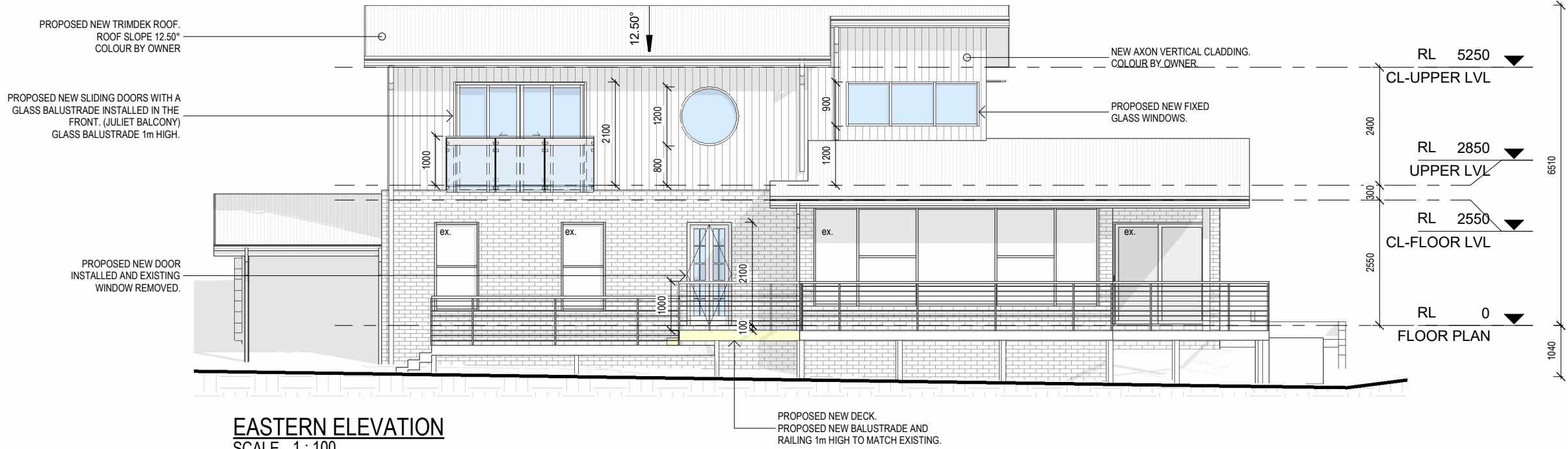
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EAVE & SOFFIT CONSTRUCTION IN ACCORDANCE WITH NCC 2022

- EAVE WIDTH - 600MM
SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING
- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
 - FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS

STAIR CONSTRUCTION IN ACCORDANCE WITH NCC 2022

- TREADS: 250 MM
- RISERS: 180 MM
- TREATED PINE TIMBER STAIR MATERIAL TO AS1684
- TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
- ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
- STRINGER: 300X50 F5 TREATED PINE
- TREADS: 250X45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000



SELECTED ALUMINIUM FRAMED WINDOWS IN ACCORDANCE WITH NCC 2022

- POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.
- TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURER SPECIFICATIONS.
- GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288.
- ALL FIXINGS AND FLASHING TO MANUFACTURERS REQUIREMENTS.

Accredited Building Designer

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Client: D. S. FROST & M.K. L-HEDGES
Project: PROPOSED EXTENSION, AS
Page: 1 OF 1
Address: PROPOSED DECK, DECK ROOF &
RESTROOMS
SIDMOUTH TAS 7270

APPROVAL

EP2025-268

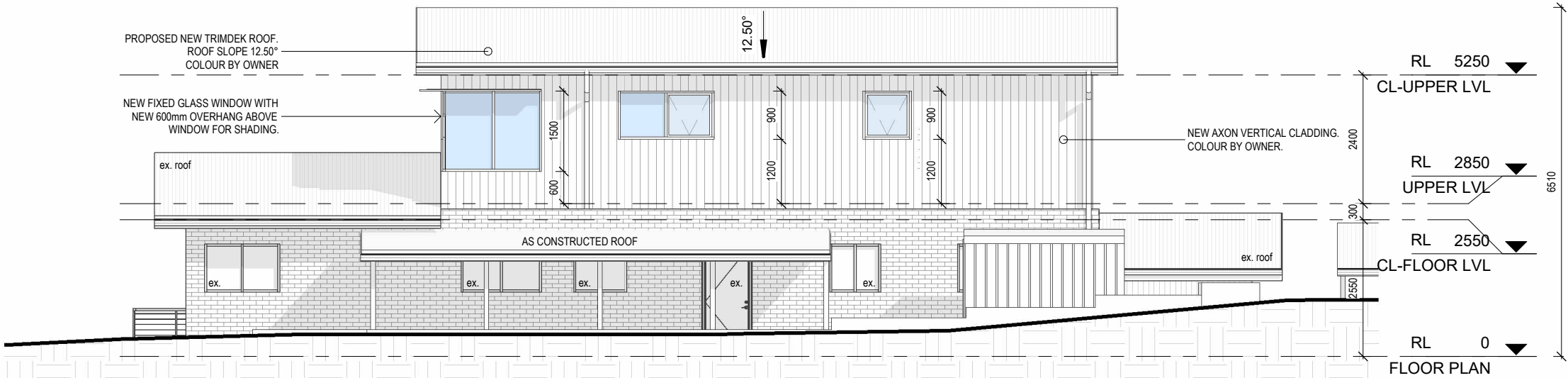
A301

EAVE & SOFFIT CONSTRUCTION IN ACCORDANCE WITH NCC 2022

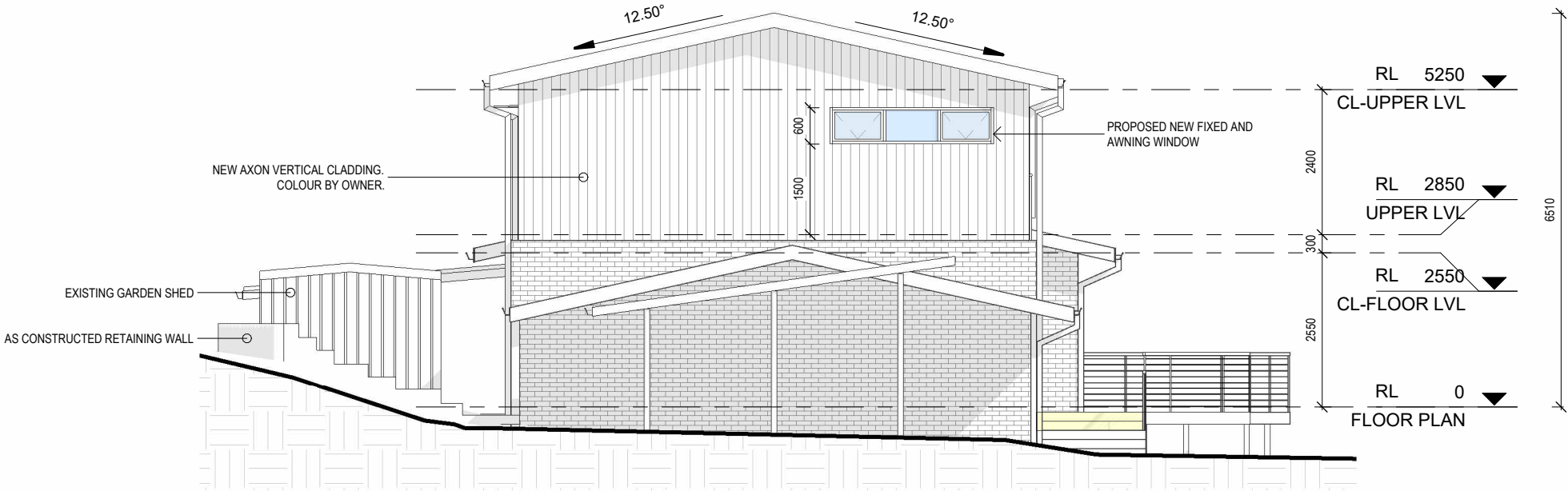
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SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING
- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
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WESTERN ELEVATION
SCALE 1 : 100



SOUTHERN ELEVATION
SCALE 1 : 100

SELECTED ALUMINIUM FRAMED WINDOWSIN ACCORDANCE WITH NCC 2022

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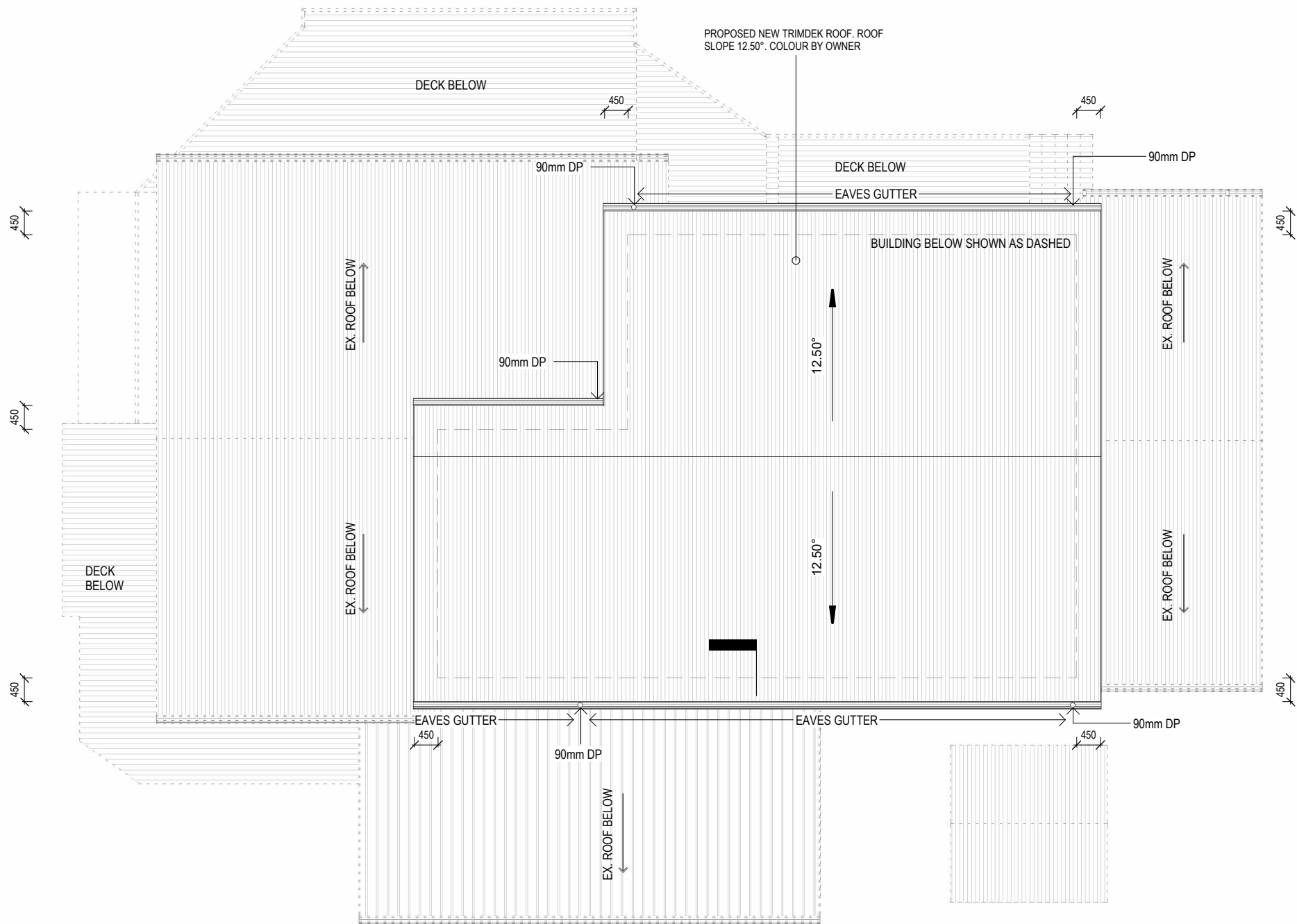
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Client: D. S. FROST & M.K. L-HEDGES
Project: PROPOSED EXTENSION, AS
Page: CONSTRUCTION DECK, DECK ROOF &
Address: RESTORATION WARD
SIDMOUTH TAS 7270

APPROVAL

EP2025-268

A302



ROOF PLAN
SCALE 1 : 100

DOWNPIPES - NCC PART 7.4

MAX. 12M GUTTER LENGTH PER DOWNPIPE
LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS
SELECTED IN ACCORDANCE WITH TABLES 7.4.3a TO 7.4.3c

OVERFLOW MEASURES
IN ACCORDANCE WITH 7.4.7 AND TABLE 7.4.4a & 7.4.4b AND FIG. 7.4.7a TO 7.4.7d

END STOP WEIR
100mm MIN CLEAR WIDTH. INSTALLED 25mm BELOW FASCIA TOP
NOT SUITABLE WHEN END-STOP ABUTS WALL

INVERTED NOZZLE
INSTALLED WITHIN 500mm OF GUTTER HIGH POINT
100x50mm MIN. NOZZLE SIZE - MIN. 25mm BELOW FASCIA TOP

FRONT FACE WEIR
200mm CLEAR WIDTH - 20mm CLEAR HEIGHT
INSTALLED MIN. 25mm BELOW FASCIA TOP

RAINHEAD
75mm DIA HOLE IN OUTWARD FACE - CENTERLINE 100mm BELOW FASCIA TOP

GUTTERS - NCC PART 7.4

FALL NOT LESS THAN 1:500
SUPPORT BRACKETS FIXED AT STOP ENDS, CORNERS AND MAX. 1.2m CENTRES
VALLEY GUTTERS TO BE DIMENSIONED IN ACCORDANCE WITH TABLE 7.4.4c
HAVE A ROOF PITCH AND SIDE ANGLE OF NOT LESS THAN 12.5deg
HAVE A MIN. FREEBOARD OF NOT LESS THAN 15mm

OVERFLOW MEASURES
IN ACCORDANCE WITH 7.4.6 AND TABLE 7.4.4a & 7.4.4b AND FIGURE 7.4.6a & 7.4.6b

FRONT FACE SLOTTED GUTTER
MIN SLOT OPENING 1200mm/ GUTTER m
LOWER EDGE OF SLOT INSTALLED 25mm BELOW FASCIA TOP

CONTROLLED BACK GAP
PERMANENT MIN. 10mm SPACER BETWEEN GUTTER & FASCIA
ONE PER BRACKET - MIN. 50mm WIDE
GUTTER INSTALLED MIN. 10mm BELOW FASCIA TOP

ROOF CLADDING

'TRIMDEK' METAL SHEETING INSTALLED IN ACCORDANCE WITH, AS1562.1 AND MANUFACTURERS RECOMMENDATIONS.

COLORBOND 'CUSTOM ORB' METAL SHEETING INSTALLED IN ACCORDANCE WITH AS1562.1 AND MANUFACTURERS RECOMMENDATIONS.

REFER TO 'LYSAGHT' ROOFING & WALLING MANUAL FOR FULL DETAILS ON SHEET INSTALLATION, FIXINGS AND FLASHING.

'TRIMDEK' 2-5 DEGREES - MINIMUM 250MM.

- MINIMUM PITCH 2 DEGREES.
- CORROSION PROTECTION IN ACCORDANCE WITH NCC STANDARDS.
- END LAP OF SHEETS

'CUSTOM ORB' 5-15 DEGREES - MINIMUM 200MM.

- MINIMUM PITCH 5 DEGREES.
- CORROSION PROTECTION IN ACCORDANCE WITH NCC STANDARDS.
- END LAP OF SHEETS

ABOVE 15 DEGREES - MINIMUM 150 MM.

- RIDGE LINE VALLEY TO BE TURNED UP (STOP ENDED).
- FASTENERS TO BE MADE OF COMPATIBLE MATERIAL WITH ROOFING MATERIAL.

- CREST FIXINGS OF END SPANS @ EVERY SECOND RIB AND INTERNAL SPANS @ EVERY THIRD RIB.
- WHERE POSSIBLE SHEETS TO BE LAID WITH SIDE LAPS FACING AWAY FROM PREVAILING WEATHER.
- REFLECTIVE FOIL INSULATION TO BE FITTED TO UNDERSIDE OF SHEETS.

R4.0 INSULATION BATTS TO ROOF SPACE ABOVE CEILING LINING.

RECOMMENDED FIXINGS FOR SEVERE EXPOSURE CONDITIONS TO AS3566.

USE CLASS 4 MATERIALS FOR SEVERE EXPOSURE & STAINLESS STEEL FOR VERY SEVERE COASTAL ENVIRONMENTS.

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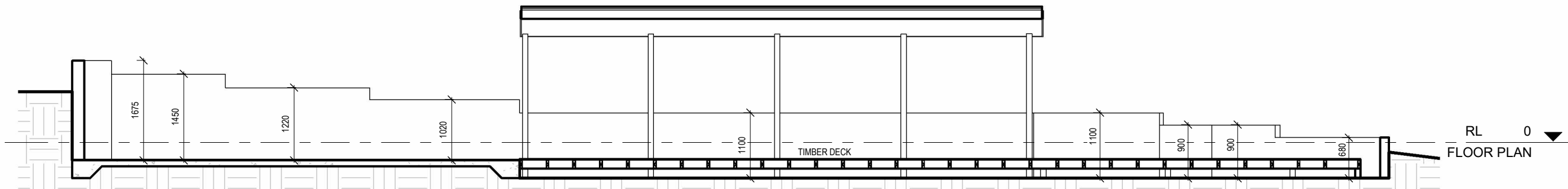
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Drawn: R.A.
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Approved: J. Pfeiffer
Scale: As Shown @ A3

Client: D. S. FROST & M.K. L-HEDGES
Project: PROPOSED EXTENSION, AS
Page: 1
Address: 808 STRAIGHT DECK, DECK ROOF & RESTROOM BUILDING
125 RIVERVIEW ROAD
SIDMOUTH TAS 7270

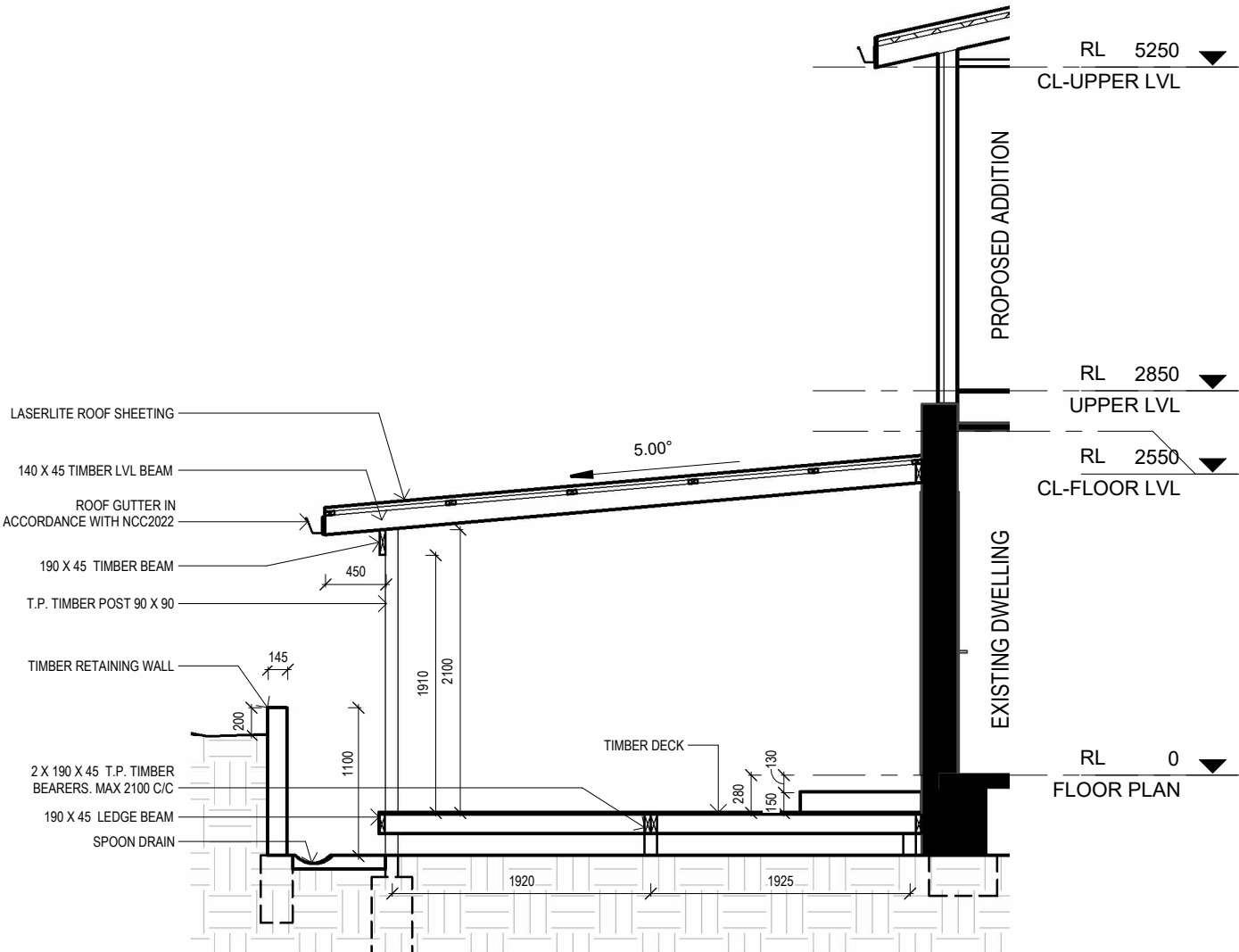
APPROVAL

EP2025-268

A401



SECTION 1
SCALE 1 : 75



SECTION 2
SCALE 1 : 50

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Revision Date : 03/09/26
Revision Issued By : R.A.

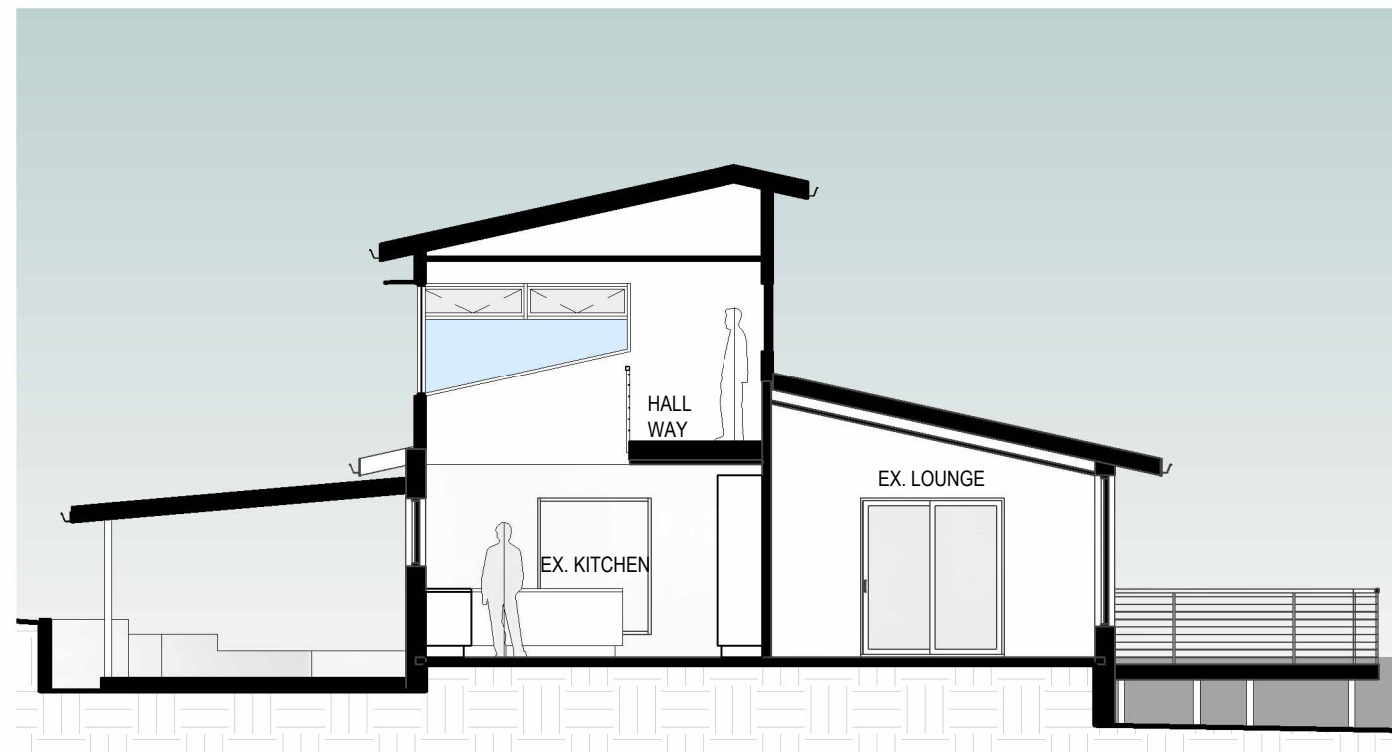
Date Drawn: ISSUE DATE
Drawn: R.A.
Checked: R. HALL
Approved: J. Pfeiffer
Scale: As Shown @ A3

Client: D. S. FROST & M.K. L-HEDGES
Project: PROPOSED EXTENSION, AS
Page: 60 CONSISTED DECS FOR ROOF &
Address: RESTORATION WARD
SIDMOUTH TAS 7270

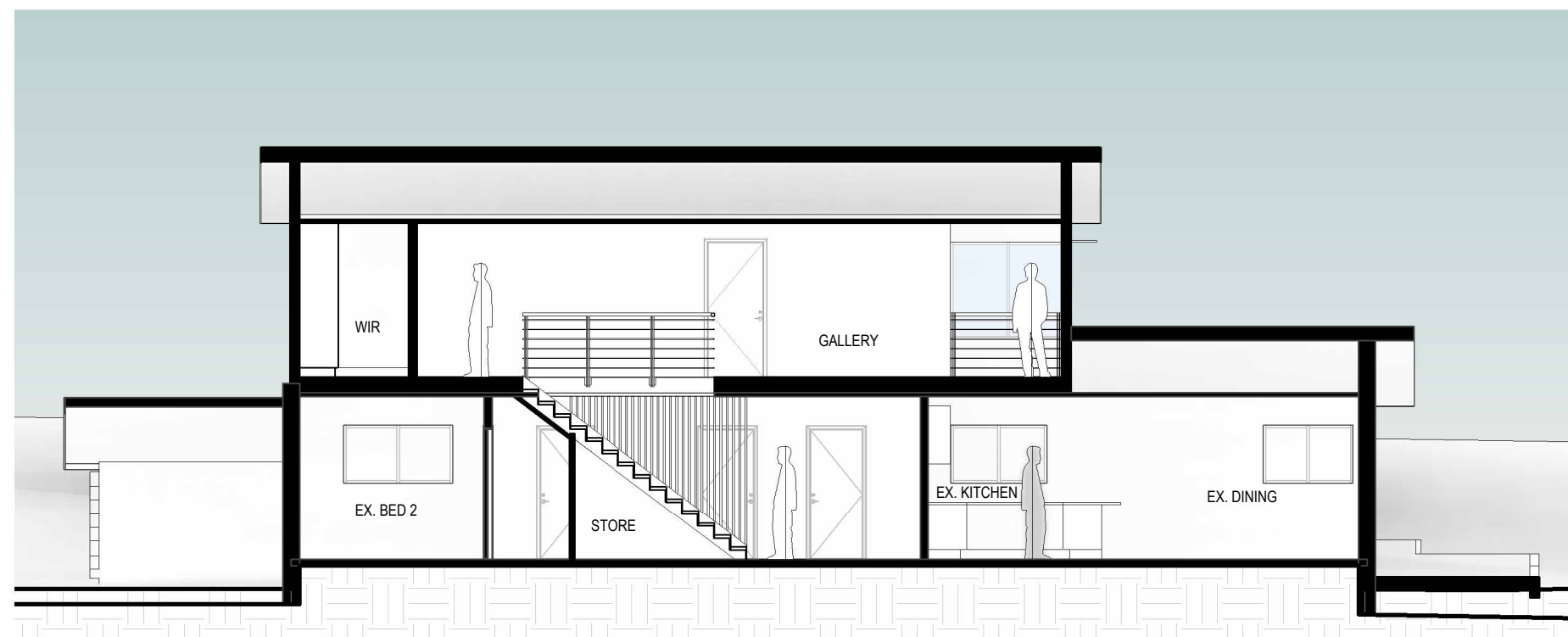
APPROVAL

EP2025-268

A501



SCHEMATIC SECTION 1
SCALE 1 : 100



SCHEMATIC SECTION 2
SCALE 1 : 100

Accredited Building Designer
Designer Name : G. Pfeiffer
Accreditation No : CC2211T
Revision Number : C
Revision Description : FOR APPROVAL
Revision Date : 03/09/26
Revision Issued By : R.A.

Date Drawn: ISSUE DATE
Drawn: R.A.
Checked: R. HALL
Approved: J. Pfeiffer
Scale: As Shown @ A3

Client: D. S. FROST & M.K. L-HEDGES
Project: PROPOSED EXTENSION, AS
Page: CONSTRUCTED SECTION
Address: RESTORATION WARD
SIDMOUTH TAS 7270

APPROVAL

EP2025-268

A502



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Accredited Building Designer
Designer Name : G. Pfeiffer
Accreditation No : CC2211T
Revision Number : C
Revision Description :FOR APPROVAL
Revision Date :03/09/26
Revision Issued By :R.A.

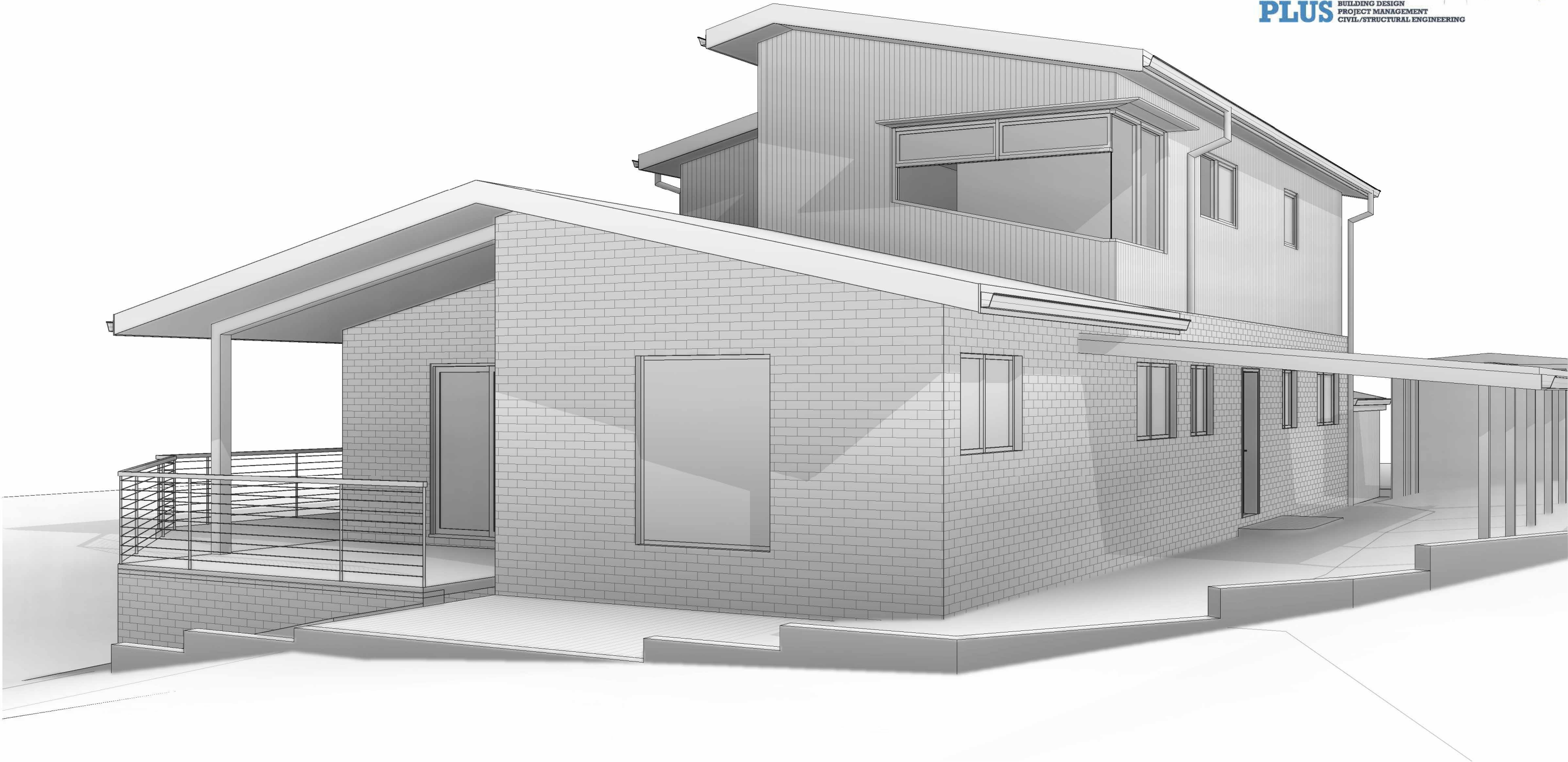
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Drawn: R.A.
Checked: R. HALL
Approved: J. Pfeiffer
Scale: As Shown @ A3

Client: D. S. FROST & M.K. L-HEDGES
Project: PROPOSED EXTENSION, AS
Page: 001 OF 001
Address: 105 ROSS STREET, DECK, DECK ROOF & RESTROOMS
ASTORVE ROAD
SIDMOUTH TAS 7270

APPROVAL

EP2025-268

A601



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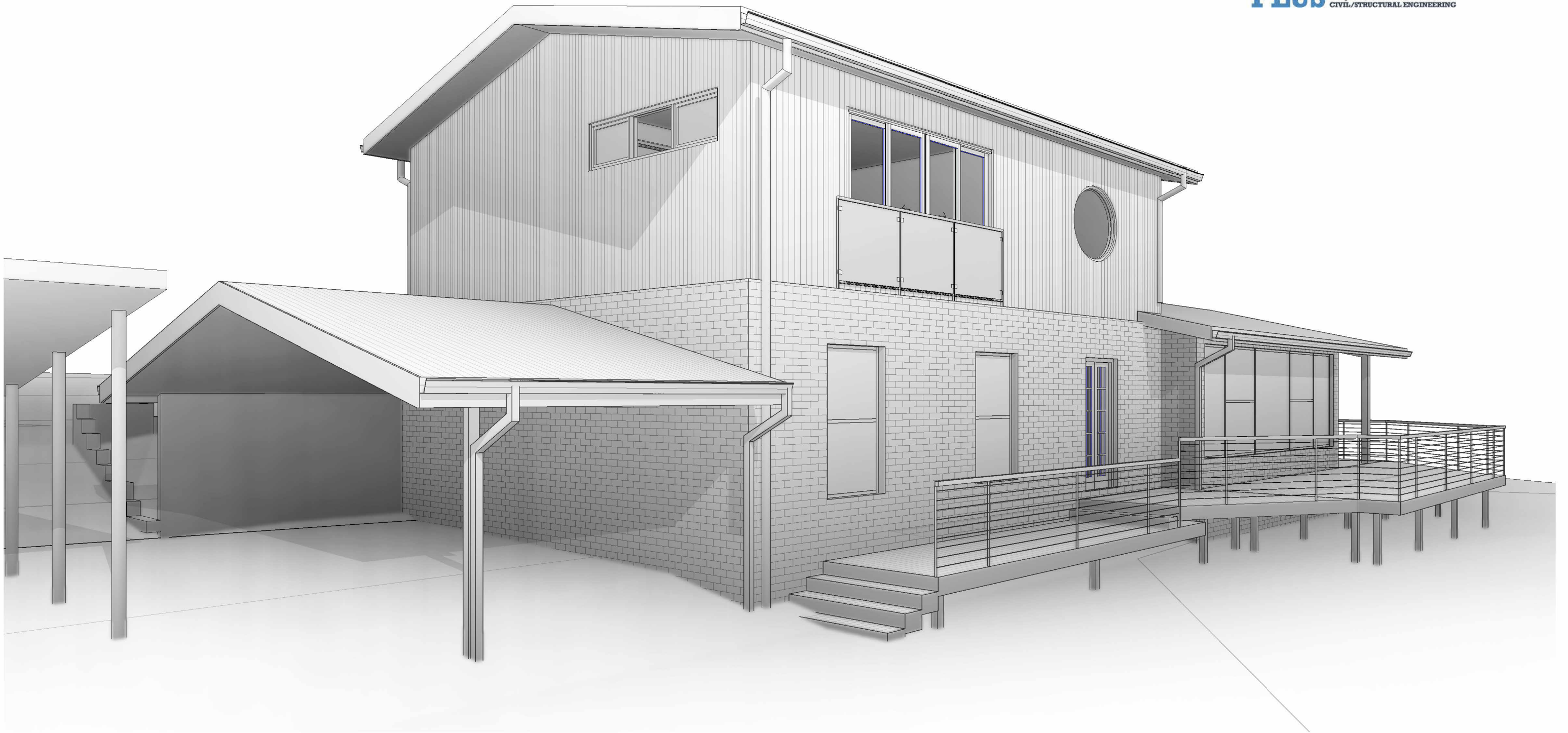
Accredited Building Designer
Designer Name : G. Pfeiffer
Accreditation No : CC2211T
Revision Number : C
Revision Description : FOR APPROVAL
Revision Date : 03/09/26
Revision Issued By : R.A.

Date Drawn: ISSUE DATE
Drawn: R.A.
Checked: R. HALL
Approved: J. Pfeiffer
Scale: As Shown @ A3

Client: D. S. FROST & M.K. L-HEDGES
Project: PROPOSED EXTENSION, AS
Page: CONSISTED OF 2K, DECK ROOF &
Address: RESTORATION
SIDMOUTH TAS 7270

APPROVAL

EP2025-268 A602



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Accredited Building Designer
Designer Name : G. Pfeiffer
Accreditation No : CC2211T
Revision Number : C
Revision Description :FOR APPROVAL
Revision Date :03/09/26
Revision Issued By :R.A.

Date Drawn: ISSUE DATE
Drawn: R.A.
Checked: R. HALL
Approved: J. Pfeiffer
Scale: As Shown @ A3

Client: D. S. FROST & M.K. L-HEDGES
Project: PROPOSED EXTENSION, AS
Page: CONSPECTIVE#3, DECK ROOF &
Address: RESTORATION
SIDMOUTH TAS 7270

APPROVAL

EP2025-268 A603