

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number: PA2026218
Assess No: A13627
PID No: 9172692

Applicant Name:	BVZ Designs				
Postal Address:					
Contact Phone:	Home		Work		Mobile
Email Address:					

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☐
2. A completed application form including a detailed description of the proposal ☐
3. A complete plan set: ☐
 - a) Floor plans ☐
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☐
 - c) Site Plan showing: ☐
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other: ☐

If submitting plans in over the counter please ensure they are A3.

All plans must be to scale.

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: Bradley van Zetten

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) VOS CONSTRUCTION & JOINERY PTX LTD

Location / Address: LOT 153 RUBIGOLD STREET LEHANA 7277

Title Reference: 300676/153

Zone(s): GEN RE

Existing Development/Use: VACANT LAND

Existing Developed Area: Area N/A

DEVELOPMENT APPLICATION DETAILS

Proposed Use: Residential: ☒ Visitor Accommodation: ☐ Commercial: ☐ Other: ☐
Description of Use: RESIDENTIAL UNIT DEVELOPMENT

Development Type: Building work: ☒ Demolition: ☐ Subdivision: ☐ Other: ☐
Description of development: 11

New or Additional Area: Area V1 - 180 V2 - 169

Estimated construction cost of the proposed development: \$ 750,000

Building Materials: Wall Type: BRICK Colour: Neutrals/ grays
Roof Type: COLORBOND Colour: Neutrals/ grays

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

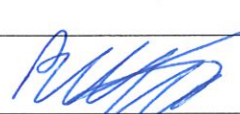
Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,
(if not the owner)

Bradley van Zetten

Name (print)



Signed

1/8/26

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**General
Manager**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

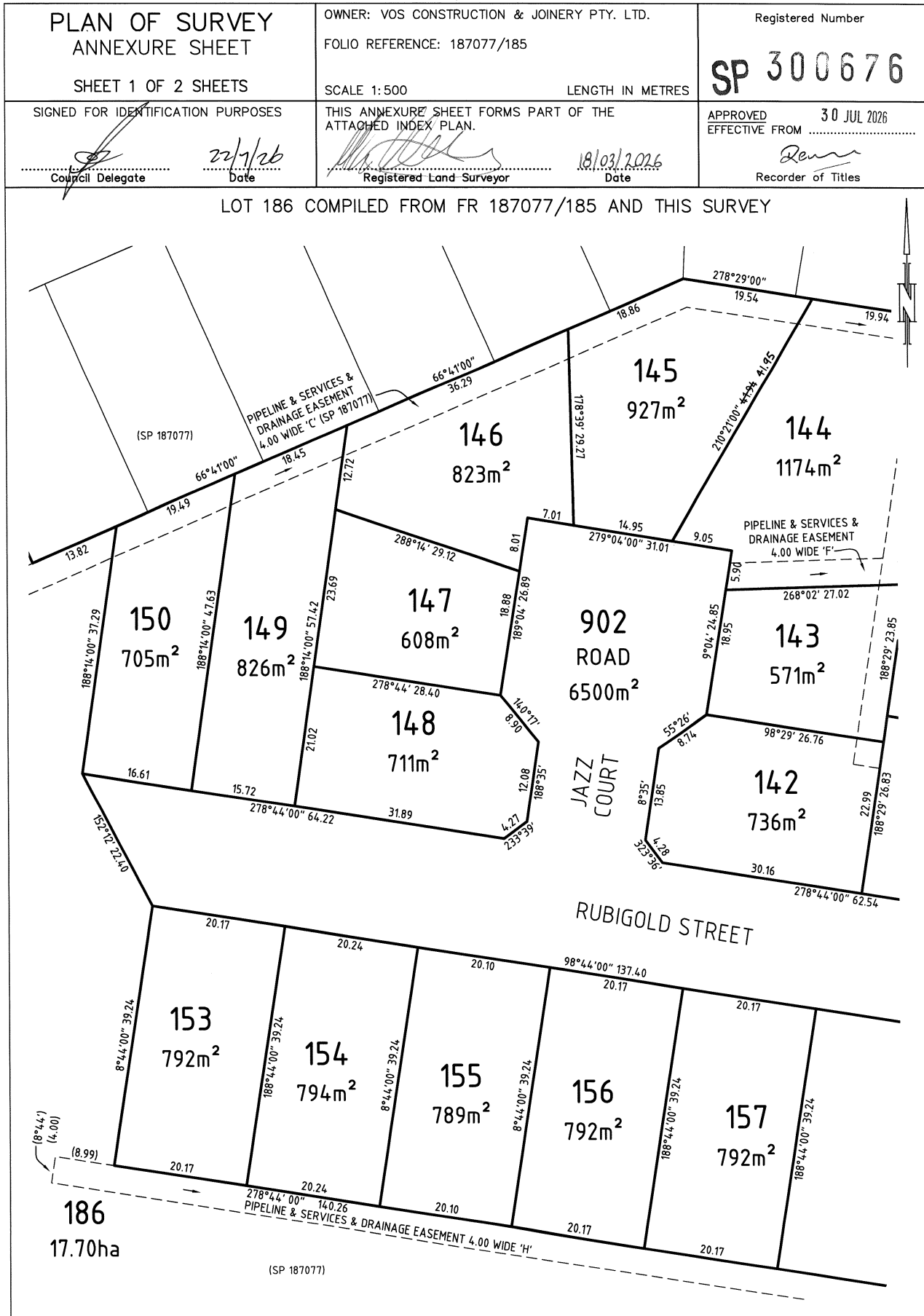
As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

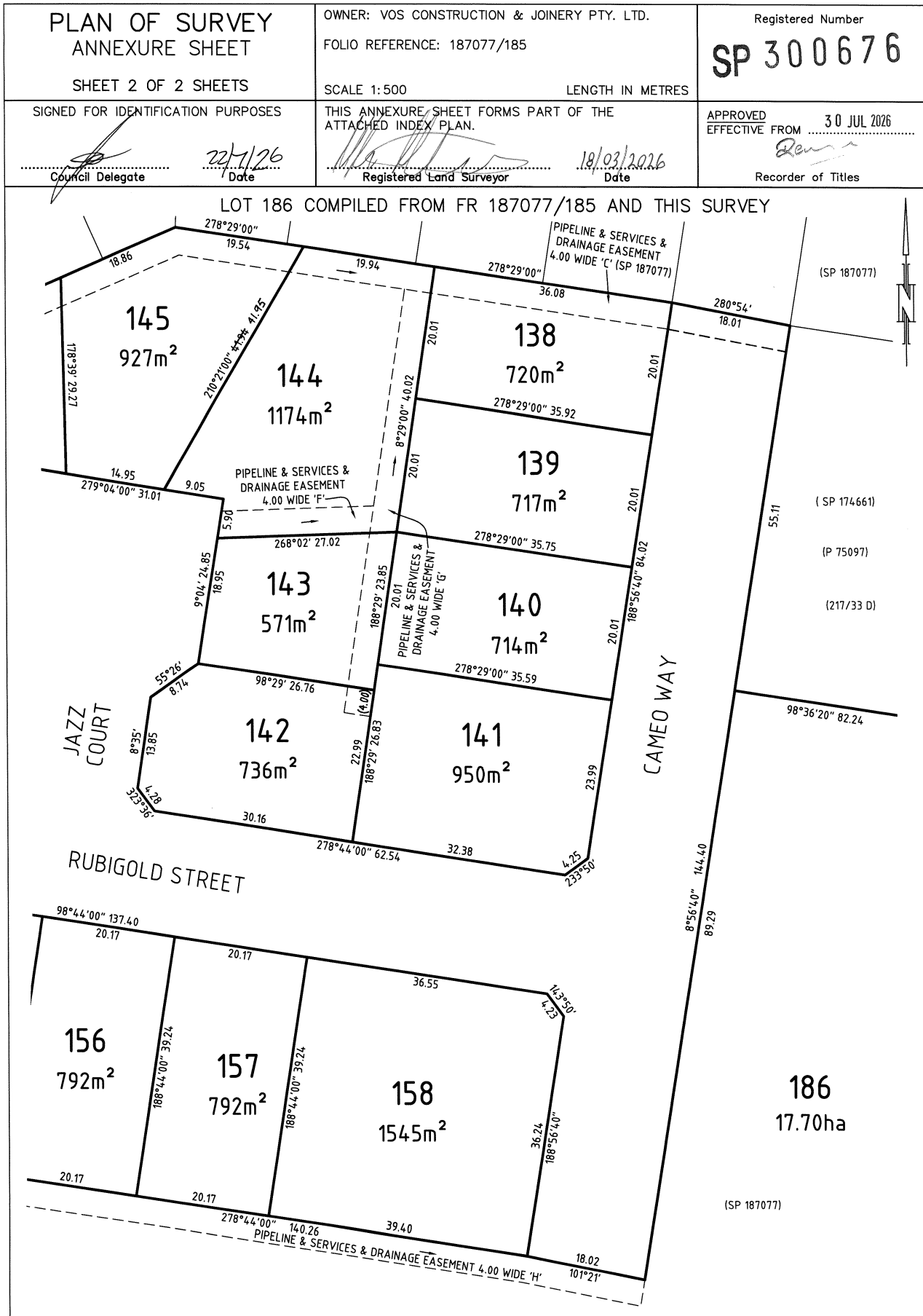
Name (print)

Signed

Date

OWNER : VOS CONSTRUCTION & JOINERY PTY. LTD. FOLIO REFERENCE : F.R. 187077/185 GRANTEE : PART OF 2500 ACRES Gtd TO JOHN GRIFFITHS	PLAN OF SURVEY BY SURVEYOR: M.R. HEATLEY of OPDA SURVEYORS, ENGINEERS & PLANNERS 3/23 BRISBANE STREET, LAUNCESTON LOCATION: TOWN OF LEGANA SCALE 1:2500 LENGTHS IN METRES	REGISTERED NUMBER SP300676 APPROVED 30 JUL 2026 EFFECTIVE FROM <i>Ken</i> Recorder of Titles
PRIORITY FINAL PLAN SURVEYORS REF: 55171LK ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		
LOT 186 COMPILED FROM FR 187077/185 AND THIS SURVEY (P 97282) (P 591) (P 250020) (SP 5381) (P 174706) 186 17.70ha 290.13 RIDGE ROAD COLES MONTAGUE PARK AVENUE GARDEN RUBIGOLD STREET JAZZ COURT THORNE AVENUE CAMEO WAY JETTY ROAD 1- DRAINAGE EASEMENT 3.00 WIDE & VARIABLE (SP 187077) 2- DRAINAGE EASEMENT 4.00 WIDE (SP 187077) C- PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'C' (SP 187077) E- PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'E' (SP 187077) F- PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'F' G- PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'G' H- PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'H'		
<i>[Signature]</i> Registered Land Surveyor 18/03/2026 Date	<i>[Signature]</i> Council Delegate 22/7/26 Date	





SCHEDULE OF EASEMENTS	Registered Number SP 300676
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 4 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 138, 144, 145, 146, 149, 150, ⁹⁰²and 186 on the plan ("the Lot") are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'C' (SP 187077)" shown on the plan ("the Easement Land").

Lots 138, 144, 145, 146, 149, 150, ⁹⁰²and 186 on the plan are subject to a Right of Drainage in favour of the West Tamar Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'C' (SP 187077)" shown passing through those lots on the plan.

Lots 142, 143 and 144 on the plan ("the Lot") are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'G'" shown on the plan ("the Easement Land").

Lots 142, 143 and 144 on the plan are subject to a Right of Drainage in favour of the West Tamar Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'G'" shown passing through those lots on the plan.

Lot 144 on the plan ("the Lot") is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'F'" shown on the plan ("the Easement Land").

Lot 144 on the plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'F'" shown passing through lot 144 on the plan.

Lot 186 on the plan ("the Lot") is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'E' (SP 187077)" shown on the plan ("the Easement Land").

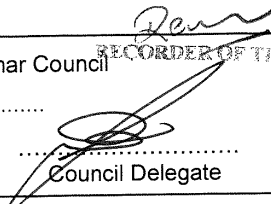
Lot 186 on the plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'E' (SP 187077)" shown passing through lot 186 on the plan.


Darren Roelf Vos


Adrian Donald Bott

Amendment made with
Consent from Penny
Sproal 30/7/2026

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Vos Construction & Joinery Pty Ltd FOLIO REF: Volume 187077 Folio 185 SOLICITOR & REFERENCE: Penny Sproal - PS:269981	PLAN SEALED BY: West Tamar Council DATE:  PA2021064 REF NO.
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES	Registered Number SP 300676
SUBDIVIDER: Vos Construction & Joinery Pty Ltd FOLIO REFERENCE: Volume 187077 Folio 185	

Lot 186 on the plan ("the Lot") is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'H'" shown on the plan ("the Easement Land").

Lot 186 on the plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'H'" shown passing through lot 186 on the plan.

Lot 186 on the plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE & VARIABLE (SP 187077)" shown passing through lot 186 on the plan.

Lot 186 on the plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 4.00 WIDE (SP 187077)" shown passing through lot 186 on the plan.

That part of each lot on the plan formerly comprised in Lot 1 on Plan 174662 is together with a right of carriage way over all the Roadways shown on Plan No. 610 other than the Roadway marked thereon as "Track from West Tamar Road to Homestead".

INTERPRETATION

In this Schedule of Easements:

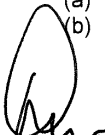
"Pipeline Easement" means:

The full and free right and liberty to draw water through pipes now or to be installed as hereinafter appears within that portion of each lot subject thereto marked pipeline easement on the plan and for that purpose to enter thereon and to lay in, under and upon the pipeline easement such pipe or pipes as shall from time to time be necessary for the purposes aforesaid and to draw water through such pipes and at all times to enter into and upon the pipeline easement for the purpose of maintaining any pumping system and inspecting, cleaning, maintaining, removing and renewing such pipes and to carry out all necessary work thereon causing as little damage as possible and making reasonable compensation for all damage done or caused thereby.

"Pipeline & Services Easement" means:

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorized by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment,
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorized to do or undertake,
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure,
- (4) run and pass sewerage, water and electricity through and along the Infrastructure,
- (5) do all works reasonably required in connection with such activities or as may be authorized or required by any law:
 - (a) without doing unnecessary damage to the Easement Land, and
 - (b) leaving the Easement Land in a clean and tidy condition.



 Darren Roelf Vos



 Adrian Donald Bott

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 4 PAGES	Registered Number SP 300676
SUBDIVIDER: Vos Construction & Joinery Pty Ltd FOLIO REFERENCE: Volume 187077 Folio 185	

- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorized by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land, and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

"Infrastructure" means infrastructure owned on for which TasWater is responsible and includes but is not limited to:

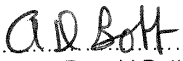
- (a) Sewer pipes and water pipes and associated valves,
- (b) Telemetry and monitoring devices,
- (c) Inspection and access pits,
- (d) Electricity assets and other conducting media (excluding telemetry and monitoring devices),
- (e) Markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure,
- (f) Anything reasonably require to support, protect or cover any other Infrastructure,
- (g) Any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewerage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity, and
- (h) Where the context permits, any part of the Infrastructure.

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

FENCING COVENANT

The Owner of each lot on the plan covenants with the Vendor (Vos Construction & Joinery Pty Ltd) that the Vendor shall not be required to fence.


.....
Darren Roelf Vos


.....
Adrian Donald Bott

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 4 PAGES	Registered Number SP 300676
SUBDIVIDER: Vos Construction & Joinery Pty Ltd FOLIO REFERENCE: Volume 187077 Folio 185	

EXECUTED by **VOS CONSTRUCTION & JOINERY PTY LTD** (ACN 009 558 258) being the registered proprietor of the land comprised in Folio of the Register Volume 187077 Folio 185 in accordance with Section 127 of the Corporations Act 2001:

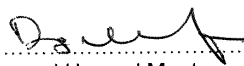


.....
Darren Roelf Vos - Director

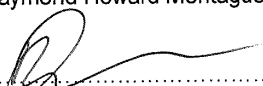


.....
Adrian Donald Bott - Secretary

LEGANA ORCHARDS PTY LTD (ACN 009 520 852) as mortgagee under Mortgage No. E308992 hereby consents to this Schedule of Easements:



.....
Raymond Howard Montague - Director



.....
Darren Paul Gardner Barber - Director

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



BRADLEY VAN ZETTEN

4 EDEN HILLS DRIVE

RIVERSIDE 7250

P. 0407 272 381

E. BVZDESIGNS@GMAIL.COM

LICENCE NUMBER 957699796

Reply to the planning scheme for
Lot 153 Rubigold Street Legana 7277 300676/153

8.4 Development Standards for Dwellings

8.4.1 Residential density for multiple dwellings

A1 – Acceptable solution compliant

8.4.2 Setbacks and building envelope for all dwellings

A1 – Acceptable solution compliant

A2 – Acceptable solution compliant

P3

The siting and scale of a dwelling must:

(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;

(ii) overshadowing the private open space of a dwelling on an adjoining property;

(iii) overshadowing of an adjoining vacant property; and

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;

(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and

(c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:

(i) an adjoining property; or

(ii) another dwelling on the same site.

P3 –

(a) Not cause an unreasonable loss of amenity to adjoining properties, having regard to: (i) Reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property

The proposed unit development, with compliant setbacks, ensures no unreasonable sunlight loss to habitable rooms on adjoining properties. The steep grade necessitates retaining walls, mostly cut, which do not increase overshadowing. The low-side fill wall, under 1m, aligns with the acceptable solution, preserving neighbouring amenity.

(ii) Overshadowing the private open space of a dwelling on an adjoining property

The development's compliant setbacks and cut retaining walls minimise overshadowing of neighbouring private open spaces. The steep grade is managed with low-impact design, and the fill retaining wall, under 1m, ensures minimal shadow impact, maintaining consistency with the area's established properties and preserving neighbour amenity.

(iii) Overshadowing of an adjoining vacant property

The unit development's siting, with compliant setbacks, avoids overshadowing vacant adjoining properties. The steep grade is addressed with cut retaining walls, and the low-side fill wall, under 1m, ensures negligible shadow impact, aligning with the subdivision's character and protecting future development potential on neighbouring lots.

(iv) Visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property

The units' compliant setbacks and low-profile design respect the area's scale. Retaining walls, mostly cut,



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enhance privacy, while the fill wall, under 1m, minimises visual bulk. This ensures the development blends with neighbouring properties, maintaining a cohesive streetscape without imposing on adjoining views.

(b) Provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area

The development's compliant setbacks align with neighbouring properties' separation distances. The steep grade is managed with cut retaining walls, preserving privacy and space. The fill wall, under 1m, ensures minimal visual impact, maintaining consistency with the established separation patterns in the subdivision.

(i) An adjoining property

The unit development's compliant setbacks and low-profile retaining walls ensure no unreasonable sunlight reduction to solar installations on adjoining properties. The steep grade is managed with cut walls, and the fill wall, under 1m, minimises shadowing, preserving solar access for neighbouring properties.

(ii) Another dwelling on the same site

As a standalone unit development, no other dwellings exist on the site to impact. The compliant setbacks and low-height retaining walls, primarily cut, ensure the design respects the steep grade without affecting potential future solar installations, maintaining site-specific amenity.

8.4.3 Site coverage and private open space for all dwellings

A1 – Acceptable solution compliant

P2

A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and is:

- (a) conveniently located in relation to a living area of the dwelling; and
- (b) orientated to take advantage of sunlight.

Proposed Compliance with P2(a):

For Unit 1, the private open space has a minimum width of 3.5 metres

For Unit 2, the private open space has a minimum width of 3.4 (usable) metres.

Which is slightly below the 4-metre Acceptable Solution. The private open space for both units are over 7m in the long direction to make up for the reduced width.

Proposed Compliance with P2(b):

The private open space for Unit 1 is located on the northern side of the dwelling. Unit 2 is located on the eastern side of the dwelling. This orientation ensures it receives full sunlight from pre noon throughout the day, taking maximum advantage of available sunlight.

8.4.4 Sunlight to private open space of multiple dwellings

A1 – Acceptable solution compliant

8.4.5 Width of openings for garages and carports for all dwellings

A1 – Acceptable solution compliant

8.4.6 Privacy for all dwellings

A1 – Acceptable solution compliant

A2 – Acceptable solution compliant

A3 – Acceptable solution compliant



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8.4.7 Frontage fences for all dwellings
A1 – Acceptable solution compliant

8.4.8 Waste storage for multiple dwellings
A1 – Acceptable solution compliant

C2.5.1 Car parking numbers

P1.2

The number of car parking spaces for dwellings must meet the reasonable needs of the use, having regard to:

- (a) the nature and intensity of the use and car parking required;
- (b) the size of the dwelling and the number of bedrooms; and
- (c) the pattern of parking in the surrounding area.

P1.2

(a) Each unit has two spots dedicated to itself. This is compliant with the acceptable solution with the development just having the omission of the visitor spots so the residents themselves all have onsite parking, so the average two-car household.

The site is a “typical” rectangle lot square to the street, so there will be an additional 2 parking spaces along the front boundary of on street parking.

(b) The proposed units are at the smaller end of units/houses, so it would not be expected that the average occupancy would have more than 2 vehicles, and with the above point, there is ample on-street parking for visitors parking, which is the spot that omitted from the acceptable solution.

(c) Similar unit developments in the same subdivision have also varied the visitor parking space requirement.

Kind Regards

A handwritten signature in blue ink, appearing to read 'BVZ', with a stylized flourish extending to the right.

Bradley Van Zetten

LEGEND
PAGE 1# COVER PAGE
PAGE 2# EXISTING SITE SURVEY PLAN
PAGE 3# SITE PLAN
PAGE 4# LANDSCAPING PLAN
PAGE 5# STRATA PLAN
PAGE 6# SITE PLUMBING PLAN
PAGE 7# CAR PARKING PLAN
PAGE 8# SOIL AND WATER MANAGEMENT PLAN
PAGE 9# UNIT 1 - FLOOR PLAN
PAGE 10# UNIT 1 - FLOOR PLAN WITH DIMENSIONS
PAGE 11# UNIT 1 - ROOF PLAN
PAGE 12# UNIT 2 - FLOOR PLAN
PAGE 13# UNIT 2 - FLOOR PLAN WITH DIMENSIONS
PAGE 14# UNIT 2 - ROOF PLAN
PAGE 15# ELEVATIONS
PAGE 16# ELEVATIONS

COUNCIL - WEST TAMAR COUNCIL
ZONE - GENERAL RESIDENTIAL
CODE - BUSHFIRE PRONE AREA
LANDSLIDE BAND - NIL

TITLE REFERENCE - 300676/153
PROPERTY ID - TBA

BUSHFIRE-PRONE AREA BAL RATING LOW
AS PER SUBDIVISION BUSHFIRE REPORT

CORROSION ENVIRONMENT - MEDIUM

CLIMATE ZONE FOR THERMAL DESIGN = 7
REFER TO ENERGY REPORT BY 2DR

ALPINE AREA - N/A LESS THAN 900m AHD

OTHER HAZARDS - N/A

ALL DIMENSIONS SHOWN ARE TO OUTSIDE OF
BRICKWORK CLADDING OR TIMBER FRAMING ON
CLAD HOUSES UNLESS NOTED OTHERWISE

CONFIRM ALL DIMENSIONS AND SERVICES ON SITE
PRIOR TO COMMENCEMENT OF WORKS

IF IN ANY DOUBT ABOUT BEARING AND BOUNDARIES
THEN THESE MUST BE CONFIRMED ONSITE BY A
SURVEYOR PRIOR TO SETOUT

ENSURE DRAWINGS USED ONSITE ARE STAMPED
'APPROVED' PLANS BY BUILDING SURVEYOR AND
PERMIT AUTHORITY

H4D9 CONDENSATION MANAGEMENT TO BE
COMPLIANT WITH NCC PART 10.8 CONDENSATION
MANAGEMENT.

NOTES
(1)REFER TO THE GUIDANCE IN THE "CONDENSATION
IN BUILDINGS TASMANIAN DESIGNERS' GUIDE" -
CURRENT VERSION AVAILABLE AT
WWW.CBOS.TAS.GOV.AU. THIS GUIDE MUST BE READ
IN CONJUNCTION WITH THE NCC.

IF ANY DISCREPANCIES, APPARENT ERROR,
ANOMALY OR AMBIGUITY WITHIN THE
DOCUMENTATION IS FOUND. THE DESIGNER IS TO BE
CONTACTED PRIOR TO ANY MORE CONSTRUCTION
CONTINUING.

ENSURE THAT DRAWINGS ARE NOT SCALED AND
THAT THE NOTED DIMENSIONS ARE USED FOR
ACCURACY. IF IN ANY DOUBT CONTACT DESIGNER

PROPOSED UNIT
DEVELOPMENT
FOR P AND L STAGG
AT LOT 153
RUBIGOLD STREET
LEGANA 7277

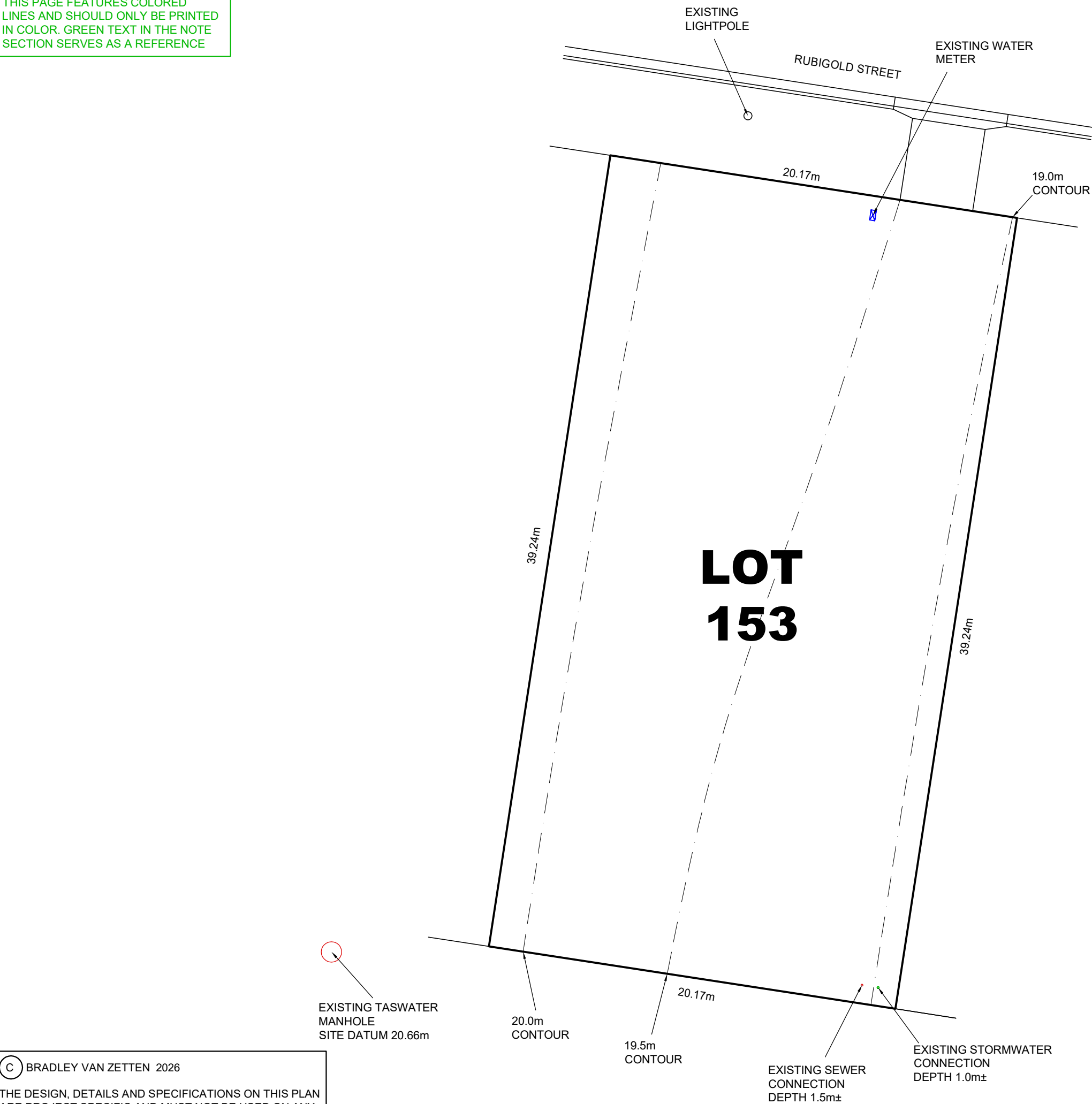
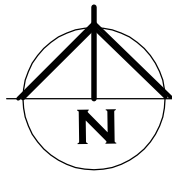
REVISION NUMBER	DATE
REVISION 1	16 / 06 / 2026
REVISION 2	02 / 07 / 2026
REVISION 3	01 / 08 / 2026



BRADLEY
VAN ZETTEN

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LICENCE NUMBER 957699796

THIS PAGE FEATURES COLORED LINES AND SHOULD ONLY BE PRINTED IN COLOR. GREEN TEXT IN THE NOTE SECTION SERVES AS A REFERENCE



EXISTING SITE SURVEY PLAN



DESIGNS

**BRADLEY
VAN ZETTEN**

4 EDEN HILLS DRIVE
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E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796

PROJECT: PROPOSED UNIT DEVELOPMENT
FOR P AND L STAGG
AT LOT 153 RUBIGOLD STREET
LEGANA 7277

DRAWING: EXISTING SITE SURVEY PLAN

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

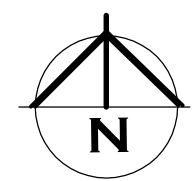
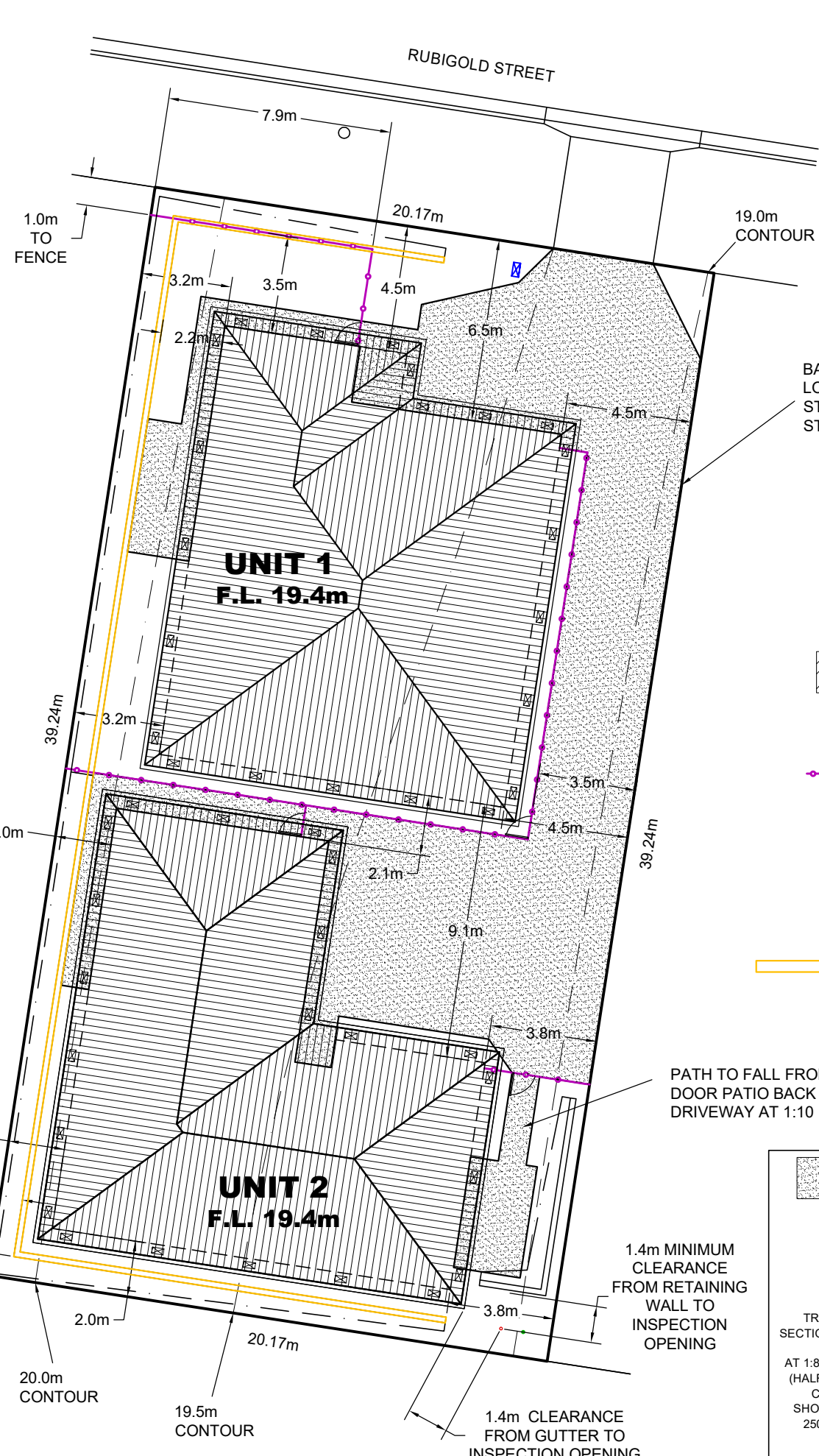
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BARRIER KERB 100mm HIGH (150mm MAX) ON LOW SIDE OF DRIVEWAY TO DIRECT STORMWATER TO GRATED PITS AND TO STORMWATER LINE

SITE PLAN

BOTH UNITS SETOUT IS PARALLEL TO EAST SIDE BOUNDARY

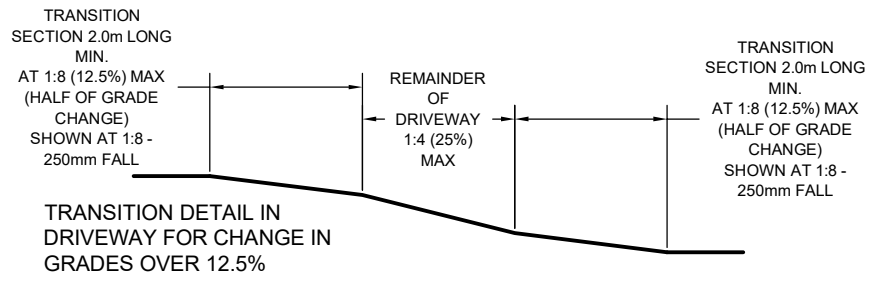
 CUT/FILL BATTER MAX GRADE OF 1:10 IN PRIVATE OPEN SPACE
1:10 DRIVEWAY TURNING AREA
1:4 DRIVEWAY NON-TURNING AREA

 "MAGENTA" 1800mm HIGH LAPPED PAILING FENCE OR SOLID COLORBOND FENCE.
ALL BOUNDARY FENCES TO TITLE BOUNDARY THAT ARE PART OF THE PRIVATE YARD OF THE UNITS TO BE SOLID 1800mm HIGH MINIMUM. EXISTING FENCES UPGRADED AS REQUIRED.

 "ORANGE" COLORED LINES FOR ISLAND BLOCK AND PAVING RETAINING WALL UP TO 1.2m HIGH

PATH TO FALL FROM SLIDING DOOR PATIO BACK DOWN TO DRIVEWAY AT 1:10 MAX FALL.

 SEALED DRIVEWAY TO FALL TO PITS. ASPHALT OR CONCRETE.
5% (1:20) MAX GRADE FOR PARKING AREA
5% (1:20) MAX GRADE FOR DRIVEWAY TURNING AREA - WHERE PRACTICAL IN TURNING AREA, WHERE OVER 5% VARIATION TO PLANNING SCHEME REQUIRED
25% (1:4) MAX GRADE FOR DRIVEWAY NON-TURNING AREA
TRANSITION - CHANGE IN GRADES IN EXCESS OF 12.5% (1:8). GRADE TRANSITION OF 2.0m IN LENGTH TO BE PROVIDED AT GRADE CHANGES. TRANSITION GRADE TO BE HALF THE SUM OF THE TWO ADJACENT GRADES, MAX 12.5% (1:8).



UN-RETAINED BULK EARTHWORKS - SITE CUT AND FILL PART 3.2.1

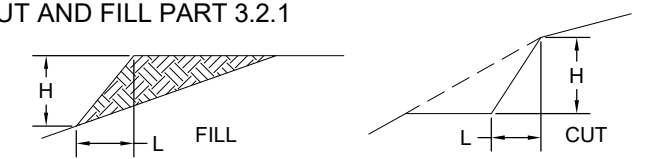


TABLE 3.2.1: SOIL TYPE		EMBANKMENT SLOPES H:L	
		COMPACTED FILL	CUT
STABLE ROCK		3:3	8:1
SAND		1:2	1:2
CLAY	FIRM CLAY	1:2	1:1
	SOFT CLAY	NOT SUITABLE	2:3
SOFT SOILS		NOT SUITABLE	NOT SUITABLE

EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT THE END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR TO PREVENT SOIL EROSION

- (1) A SITE CUT USING AN UN-RETAINED EMBANKMENT MUST BE--
(A) WITHIN THE ALLOTMENT; AND
(B) NOT WITHIN THE ZONE OF INFLUENCE OF ANY EXISTING STRUCTURE ON THE PROPERTY, OR THE ALLOTMENT BOUNDARY AS DEFINED IN TABLE 3.2.1 AND FIGURE 3.2.1A; AND
(C) NOT DEEPER THAN 2 M FROM THE NATURAL GROUND LEVEL AT ANY POINT.
- (2) FILL, USING AN UN-RETAINED EMBANKMENT MUST--
(A) BE PLACED WITHIN THE ALLOTMENT; AND
(B) BE PLACED AT A GRADIENT WHICH COMPLIES WITH TABLE 3.2.1 AND FIGURE 3.2.1B; AND
(C) BE PLACED AND MECHANICALLY COMPACTED IN LAYERS NOT MORE THAN 150 MM; AND
(D) BE NOT MORE THAN 2 M IN HEIGHT FROM THE NATURAL GROUND LEVEL AT ANY POINT; AND
(E) WHERE USED TO SUPPORT FOOTINGS OR SLABS, BE PLACED AND COMPACTED IN ACCORDANCE WITH PART 4.2; AND
(F) HAVE SURFACE WATER DIVERTED AWAY FROM ANY EXISTING STRUCTURE ON THE PROPERTY OR ADJOINING ALLOTMENT IN ACCORDANCE WITH 3.3.3.

SITE AREA TABLE

	SQUARE METER	PERCENTAGE OF LOT
SITE AREA	792	
BUILDING AREA EXCLUDING EAVES UP TO 0.6m WIDE (AS PER PLANNING SCHEME)	350	44.2
SEALED GROUND AREA (INCLUDING UNDER EAVES, EXCLUDING AREA INCLUDED IN CELL ABOVE)	235	29.7
AREA FREE FROM BUILDING AND DRIVEWAY AREA	207	26.1

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PROJECT: PROPOSED UNIT DEVELOPMENT FOR P AND L STAGG AT LOT 153 RUBIGOLD STREET LEGANA 7277

DRAWING: SITE PLAN

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BORONIA ANEMONIFOLIA
STICKY BORONIA
MATURE HEIGHT APPROX. 1.5m

LEUCOPYHTA BROWNII
CUSHION BUSH
MATURE HEIGHT APPROX. 1.0m

SEDUM SPECTABILE
ICE PLANT
MATURE HEIGHT APPROX. 0.7m

DIANELLA TASMANICA
(TASMANIAN FLAX LILY)
MATURE HEIGHT APPROX. 1.0m

PLANS SHOWN INDICATE TYPE AND HEIGHT
TO BE PLANTED SIMILAR VARIATIONS MAY
BE INSTALLED AT TIME OF PLANING

SIR WALTER BUFFALO OR
SIMILAR GRASS

15mm-20mm 'NO FINES'
DECORATIVE STONE OR MULCH
TO ALL GARDEN BEDS.

SEALED DRIVEWAY TO FALL
TO PITS

PRIVATE OPEN SPACE
6x4m OR 5x5m
MAX GRADE 1:10

CLOTHES LINE
CRUSHED GRAVEL PATH OR
STEPPING STONE PAVERS TO
CLOTHES LINE

1.7x0.9m
WHEELIE BIN STORAGE
MINIMUM 1.5m²

L LETTERBOX

P MAIN POWER BOARD
LOCATED WITHIN
COMMON GROUND

"MAGENTA" 1800mm HIGH LAPPED
PAILING FENCE OR SOLID COLORBOND
FENCE.
ALL BOUNDARY FENCES TO TITLE
BOUNDARY THAT ARE PART OF THE
PRIVATE YARD OF THE UNITS TO BE
SOLID 1800mm HIGH MINIMUM. EXISTING
FENCES UPGRADED AS REQUIRED.

LEVEL (LESS THAN 1:10 FALL) PRIVATE
OPEN SPACE AREA OF 24sq/m.
ADDITIONAL PRIVATE OPEN SPACE ON
WESTERN SIDE 16x2.2m

3.4m WIDE
POS AREA

7.0m WIDE POS
AREA

PLANTING UP TO 1.2m MIN HIGH TO PROVIDE
VISUAL BREAK TO FENCE WHILE NOT BLOCKING
LINE OF SIGHT FOR ROAD RESERVE

RUBIGOLD STREET

LANDSCAPING PAVING SLAB OR
PAVERS. AND PATH AROUND
BUILDING INSTALLED SEPARATE TO
FOOTINGS WITH 1:100 FALL AWAY
FROM DWELLING TO PERVIOUS
AREA. NOT CONNECTED DIRECTLY
INTO STORMWATER SYSTEM.
PITS IN YARD TO CAPTURE WATER
RUN OFF IN HIGH RAIN EVENTS
MINIMUM 50mm BELOW FLOOR LEVEL

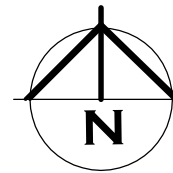
UNIT 1
F.L. 19.4m

UNIT 2
F.L. 19.4m

3.4m WIDE LEVEL
POS AREA

7.6m WIDE
LEVEL POS
AREA

LEVEL (LESS THAN 1:10 FALL) PRIVATE
OPEN SPACE AREA OF 25sq/m.
ADDITIONAL PRIVATE OPEN SPACE
WITH STEP DOWN FROM RETAINING
WALL



LANDSCAPING PLAN

PRIVATE YARD AREA UNIT 1 = 102 sq/m
PRIVATE YARD AREA UNIT 2 = 108 sq/m

NOT INCLUDING BUILDING AREA
PLANTING INSIDE PRIVATE YARD BY OWNER



DESIGNS

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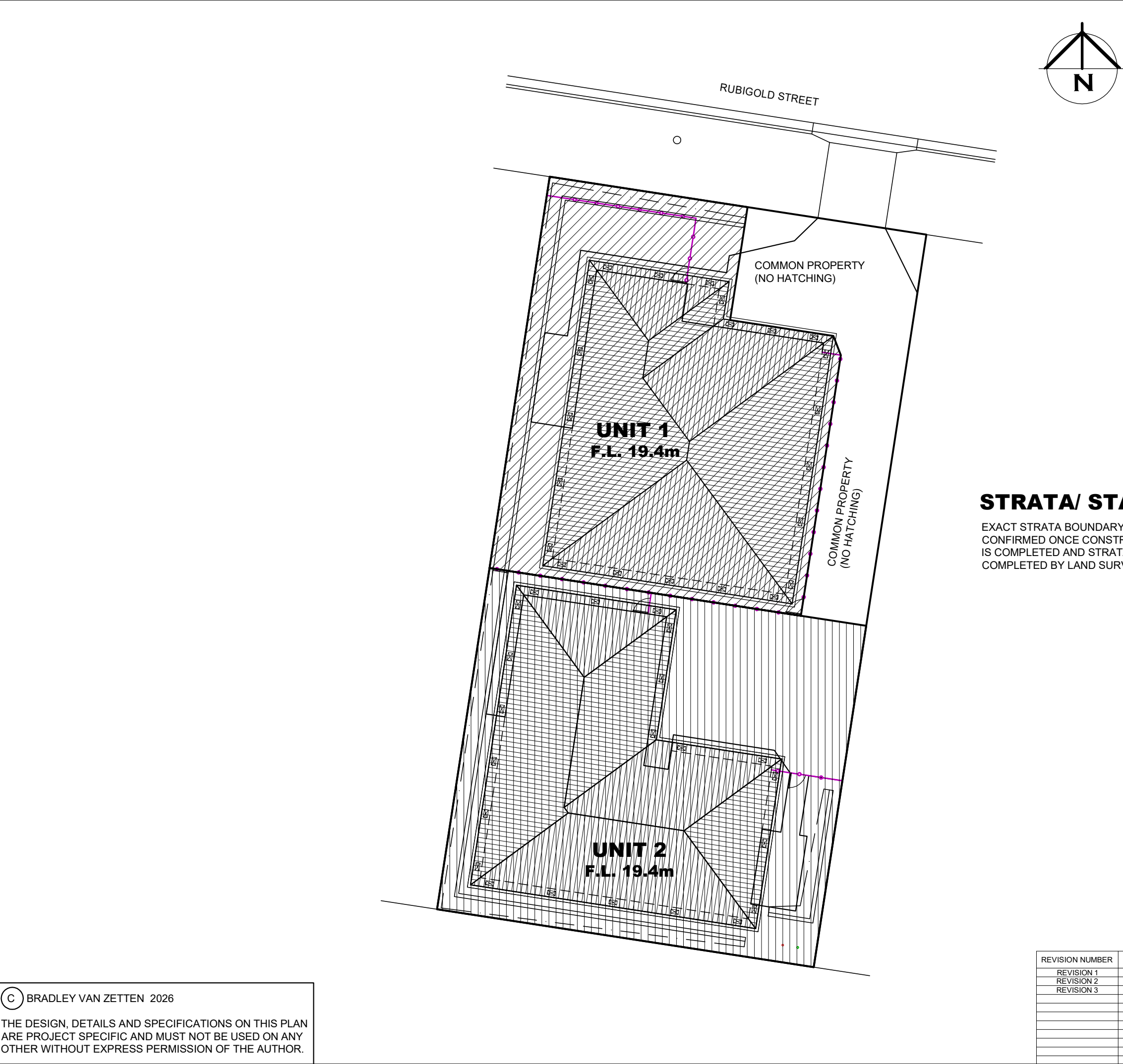
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SITE AREA TABLE		
ALL AREAS ARE APPROXIMATE ONLY AND TO BE CONFIRMED BY LAND SURVEYOR POST CONSTRUCTION AT TIME THAT STRATA PLAN IS CREATED		
	SQUARE METER	PERCENTAGE OF LOT
SITE AREA	792	
STRATA AREA U1	312	39.4
STRATA AREA U2	368	46.5
COMMON AREA	112	14.1

-  COMMON PROPERTY (NO HATCHING)
-  UNIT 1 STRATA TITLE
-  UNIT 2 STRATA TITLE

STRATA/ STAGE PLAN

EXACT STRATA BOUNDARY TO BE CONFIRMED ONCE CONSTRUCTION IS COMPLETED AND STRATA PLAN IS COMPLETED BY LAND SURVEYOR

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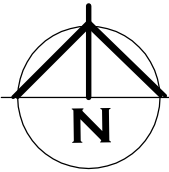
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INTERNAL PLUMBING DETAIL WILL BE INCLUDED IN PLANS FOR PLUMBING PERMIT. DETAILS INCLUDED FOR PLANNING STAGE FOR TASWATER SPAN APPROVAL ONLY



UPGRADE EXISTING DN25(ID20MM) PROPERTY WATER CONNECTION TO DN32(ID25MM) HDPE PN16 SDR11 PROPERTY WATER CONNECTION WITH

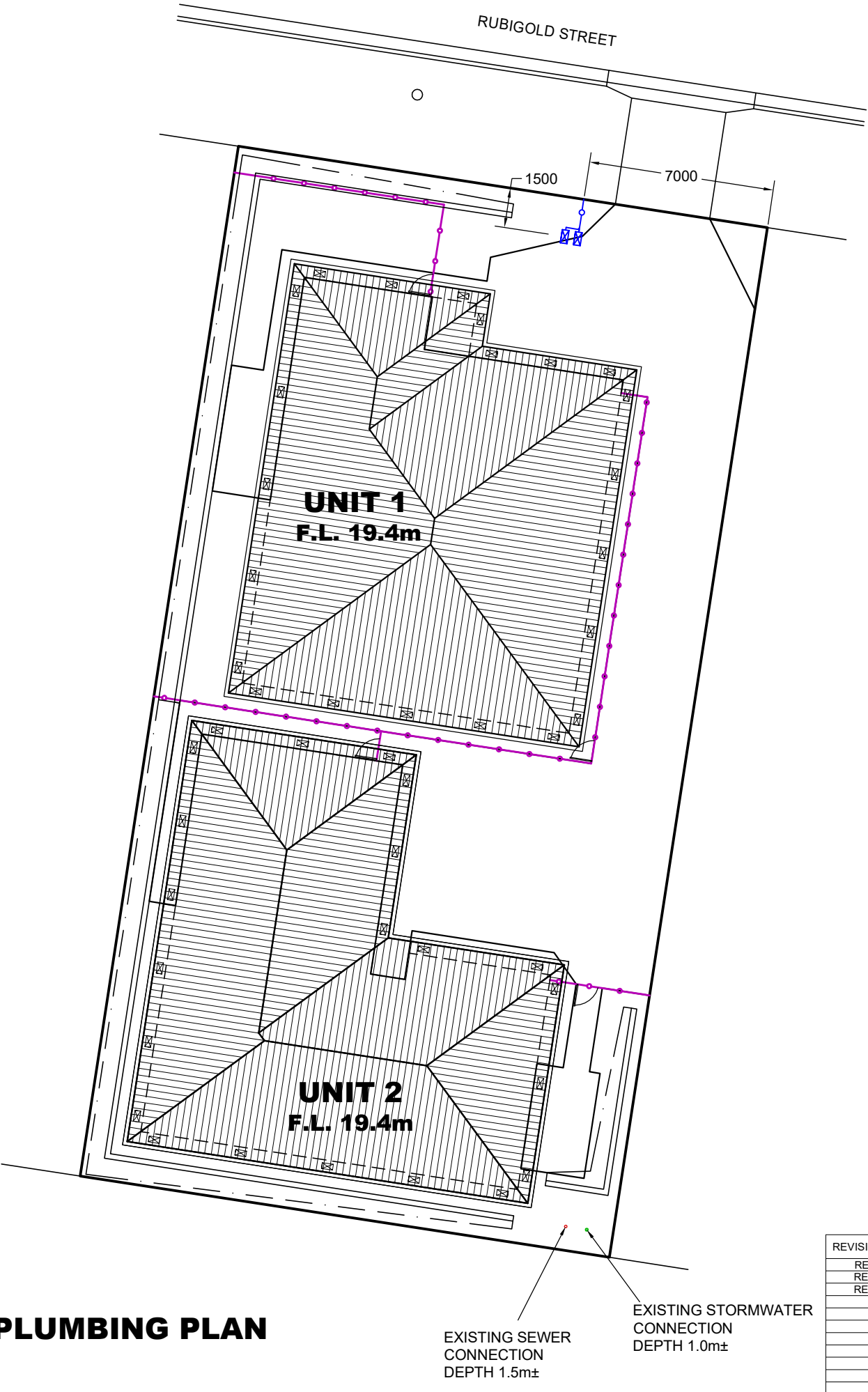
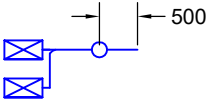
2/TRAFFICABLE WATER METER BOXES AS PER TASWATER TWS-W-0002 SHEET 5

EXISTING WATER METER TO BE REUSED ON NEW MANIFOLD

2/ID20MM SENSUS IPERL WATER METERS ON A MANIFOLD PER TASWATER ENDORSED STANDARD PLANS, BELOW GROUND LOW HAZARD IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA WSA 03 -2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02--2014-3.1 MRWA VERSION 2 AND TASWATER'S SUPPLEMENTS TO THESE CODES

INSTALLED AS PER TWS-W-0002 SHEET 9

ALL WORKS BY TAS WATER AT DEVELOPERS COST.



SITE PLUMBING PLAN

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DRAWING: SITE PLUMBING PLAN

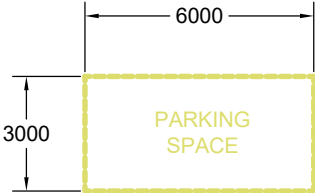
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EXISTING SEWER CONNECTION DEPTH 1.5m±
EXISTING STORMWATER CONNECTION DEPTH 1.0m±



PARKING SPACE FOR UNIT 1 TO REVERSE OUT TO STREET. AS PER C2.6.2. A1.1 (a)(ii) PROVIDE FOR VEHICLES TO ENTER AND EXIT THE SITE IN A FORWARD DIRECTION WHERE PROVIDING FOR MORE THAN 4 PARKING SPACES
-LESS THAN 4 SPACES PROVIDED SO TURNING ONSITE NOT REQUIRED.

CARPARKING PLAN



EXTERNAL PARKING SPACES TO BE CLEARLY DELINEATED.

INDIVIDUAL UNITS, EXTERNAL PARKING TO HAVE SIGNAGE OF WHICH UNIT IT IS ASSOCIATED WITH.

VISITOR PARKING, TO HAVE SIGNAGE TO INDICATE IT IS A COMMUNAL VISITOR PARKING SPACE.

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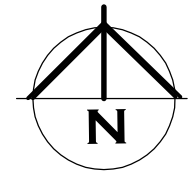
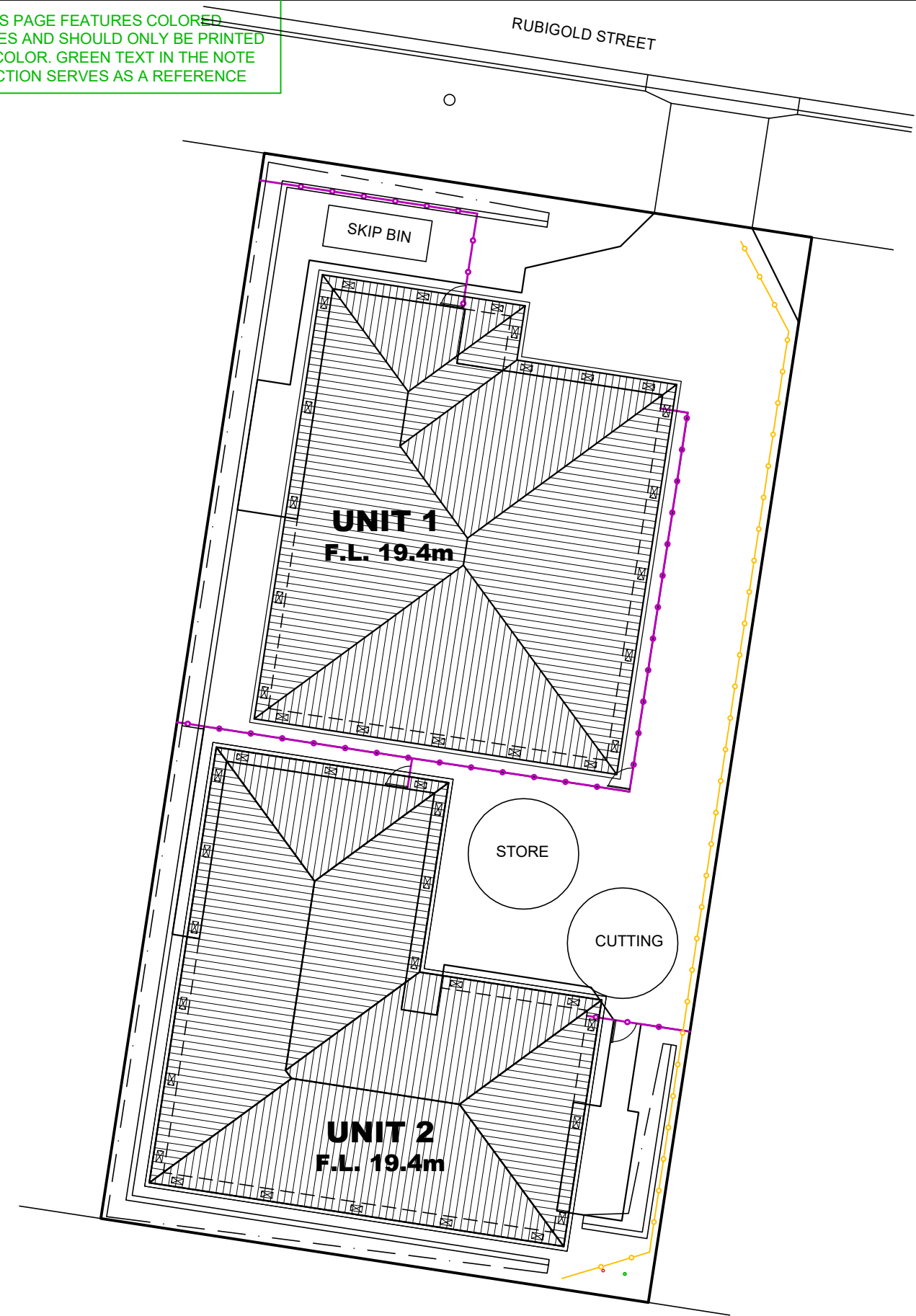
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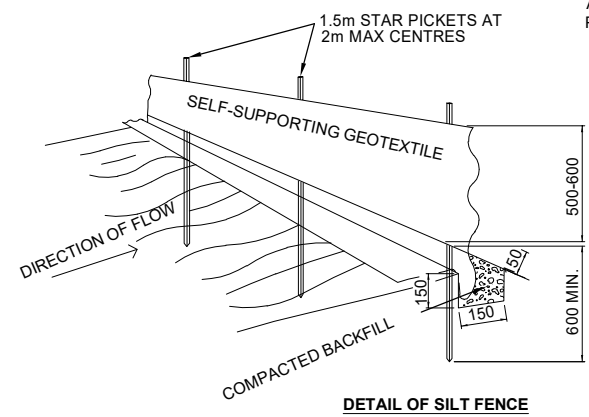
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SOIL AND WATER MANAGEMENT PLAN

- SILT FENCE AS PER DETAIL
- SKIP BIN
- MATERIAL STORAGE
- CONCRETE, BRICK AND TILE CUTTING AREA



SEDIMENT FENCE NOTES:
1. SURVEY AND MARK OUT LOCATION OF SEDIMENT FENCE, ENSURE IT IS PARALLEL TO THE CONTOURS OF THE SITE AND TO DRAIN IN THE CORRECT DIRECTION
2. DIG A 150 MM TRENCH IMMEDIATELY ABOVE THE PROPOSED FENCE LINE.
3. PLACE THE BOTTOM OF THE FABRIC TO THE BASE OF THE TRENCH AND RUN FABRIC UP THE DOWN-SLOPE SIDE OF THE TRENCH.
4. BACKFILL THE TRENCH AND COMPACT TO SECURE ANCHORAGE OF THE FABRIC.
5. DRIVE 1.5 M STAR PICKETS INTO GROUND, 2 M APART TO SUPPORT THE SEDIMENT FENCE FABRIC. TENSION AND FASTEN FABRIC TO PICKETS USING UV STABILISED ZIP TIES OR WIRE TIES.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 2 M OVERLAP.
7. ANGLE THE ENDS OF THE SEDIMENT FENCE UPSLOPE TO REDUCE SCOURING

BUILDING SITE DURING CONSTRUCTION TO COMPLY WITH EPA TASMANIA, SOIL AND WATER MANAGEMENT ON BUILDING SITES WHERE POSSIBLE. REFER TO FACT SHEETS 1-19
EPA.TAS.GOV.AU/ENVIRONMENT/WATER/STORMWATER/SOIL-AND-WATER-MANAGEMENT-ON-BUILDING-SITES

FACT SHEET 3 - SOIL AND WATER MANAGEMENT.
PLAN TO BE KEPT ONSITE AND ALL TIMES AND ALL WORKERS UNDERSTAND THE SWMP

FACT SHEET 4 - DISPERSIVE SOILS, NOT APPLICABLE.

FACT SHEET 5 - MINIMISE SOIL DISTURBANCE.
DO TRACK MACHINERY UP AND DOWN THE SLOPE TO CREATE GROOVES FROM THE WHEELS/ OR TRACKS THAT WILL CATCH RAINFALL. THE GROOVES WILL ROUGHEN THE SURFACE IN A WAY THAT WILL SLOW RUNOFF. AS PER FACT SHEET CLEARING FOR WORKS TO BE LIMITED TO WITHIN 5 METRES FROM THE EDGE OF ANY ESSENTIAL CONSTRUCTION ACTIVITY. NO TOPSOIL SHALL BE REMOVED FROM LAND OUTSIDE THE AREAS OF GROUND DISTURBANCE SHOWN. ALL AREAS OF GROUND DISTURBANCE MUST BE DRESSED WITH TOP SOIL AND WHERE APPROPRIATE REVEGETATED AND STABILISED TO PREVENT FUTURE EROSION OR SILTATION.

FACT SHEET 6 - PRESERVE VEGETATION.
WHERE EXISTING TREES ARE TO REMAIN ON THE SITE, ESTABLISH NO GO AREA AROUND TREES OF BRIGHT TAPE ON STAR PICKETS MINIMUM 1m AWAY FROM BASE OF TREE
EXISTING GROUND VEGETATION TO BE RETAINED WHEN EVER POSSIBLE. MINIMUM 400mm WIDE GRASS STRIPS TO BE RETAINED ON BACK OF KERB FOR FILTERING RUNOFF. INSTALLED AS PER FACT SHEET

FACT SHEET 7 - DIVERT UP-SLOPE WATER
DIVERSION CHANNEL TO BE CONSTRUCTED ON HIGHSIDE OF SITE MINIMUM 150MM DEEP WITH 10% MAX FALL WITH A CURVED SHAPE. WITH EXCAVATED SOIL FROM THE CHANNEL ON THE DOWN-SLOPE SIDE TO INCREASE DIVERSION CHANNEL CAPACITY. LEVEL SPREADER TO END OF DIVERSION CHANNEL TO ENSURE WATER DISCHARGE IS SLOW MOVING MINIMUM 4M WIDE. INSTALLED AS PER FACT SHEET

FACT SHEET 8 - EROSION CONTROL MATS AND BLANKETS
WHERE FINISHED BATTERS ARE PROPOSED TO BE STEEPER THAN 1:3 EROSION CONTROL BLANKETS TO BE INSTALLED ON BATTER FOR SITE REHABILITATION. INSTALLED AS PER FACT SHEET

FACT SHEET 9 - PROTECT SERVICES TRENCHES AND STOCKPILES
ALL STOCKPILES TO BE POSITIONED CLEAR OF WATER COURSES AND TO ENSURE THAT NO SILT RUNOFF CAN ENTER A WATER COURSE.
TOP SOIL TO BE STOCKPILED SEPARATELY AND SPREAD OVER BACKFILLED AREAS. SPOIL TO BE STOCKPILED IN A NARROW CORRIDOR ON THE UPSTREAM SIDE OF ALL EXCAVATION. TEMPORARY CATCH DRAINS TO BE CONSTRUCTED ON THE UPSTREAM SIDE OF STOCKPILES AND EXCAVATED AREAS, DIRECTING RUNOFF TO EXISTING STORMWATER SYSTEM.
SERVICE TRENCHES TO HAVE SOIL PLACED ON TOPSIDE OF TRENCH TO DIVERT WATER FLOW AWAY FROM THE TRENCH LINE.

FACT SHEET 10 - EARLY ROOF DRAINAGE CONNECTION
DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED.
TEMPORARY DOWNPIPES TO DIRECT WATER TO TUFTED AREAS.

FACT SHEET 11 - SCOUR PROTECTION
NOT APPLICABLE AS NO NEW DAMS/ CULVERTS

FACT SHEET 12 - STABILISED SITE ACCESS
DIVERSION HUMPS INSTALLED ON ROAD ACCESS WITH WATER DIRECTED TO SEPARATE SILT FENCE.
INSTALLED AS PER FACT SHEET

FACT SHEET 13 - WHEEL WASH
EVERY EFFORT TO BE MADE TO MINIMISE SPREADING SEDIMENT ON TO SEALED AREAS WHEN VEHICLES LEAVE THE SITE, INCLUDING THE WASHING DOWN OF TYRES.

FACT SHEET 14 - SEDIMENT FENCES
SEDIMENT FENCE INSTALLED AS PER DETAIL AND FACT SHEET

FACT SHEET 15 - PROTECTION OF STORMWATER PITS
PITS INSTALLED ONSITE TO BE CONSTRUCTED WITH DRIVEWAY AT END OF JOB AFTER FINISHED CONSTRUCTION OF BUILDING. THEREFORE NO REQUIREMENTS FOR PITS.

FACT SHEET 16 - PROTECTED CONCRETE, BRICK AND TILE CUTTING
ALL CUTTING TO BE INSIDE NOMINATED AREA AS PER SWMP WITH FILTER SOCKS INSTALLED ON LOW SIDE. SLURRY TO BE DISPOSED OFF IN GEOTEXTILE LINED DITCH OR DRUMS

FACT SHEET 17 - SEDIMENT BASINS
NOT REQUIRED DUE TO SCALE OF WORKS.

FACT SHEET 18 - DUST CONTROL
DURING EXTENDED PERIODS OF DRY WEATHER, DAMPEN THE SITE SLIGHTLY WITH A LIGHT APPLICATION OF WATER DURING EXCAVATION OR WHEN DUST IS BEING RAISED

FACT SHEET 19 - SITE REVEGETATION
ALL OF SITE THAT IS NOT FINISHED IN HARD SURFACES TO BE REVEGETATION WITH GRASS OR MULCH AS PER LANDSCAPING PLAN OR TO OWNERS DETAILS

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DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED

INSTALL AG DRAIN (IF SHOWN) PRIOR TO FOOTING EXCAVATION

EXCAVATED MATERIAL PLACED UP SLOPE OF CUT OFF DRAIN. TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE AND USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL

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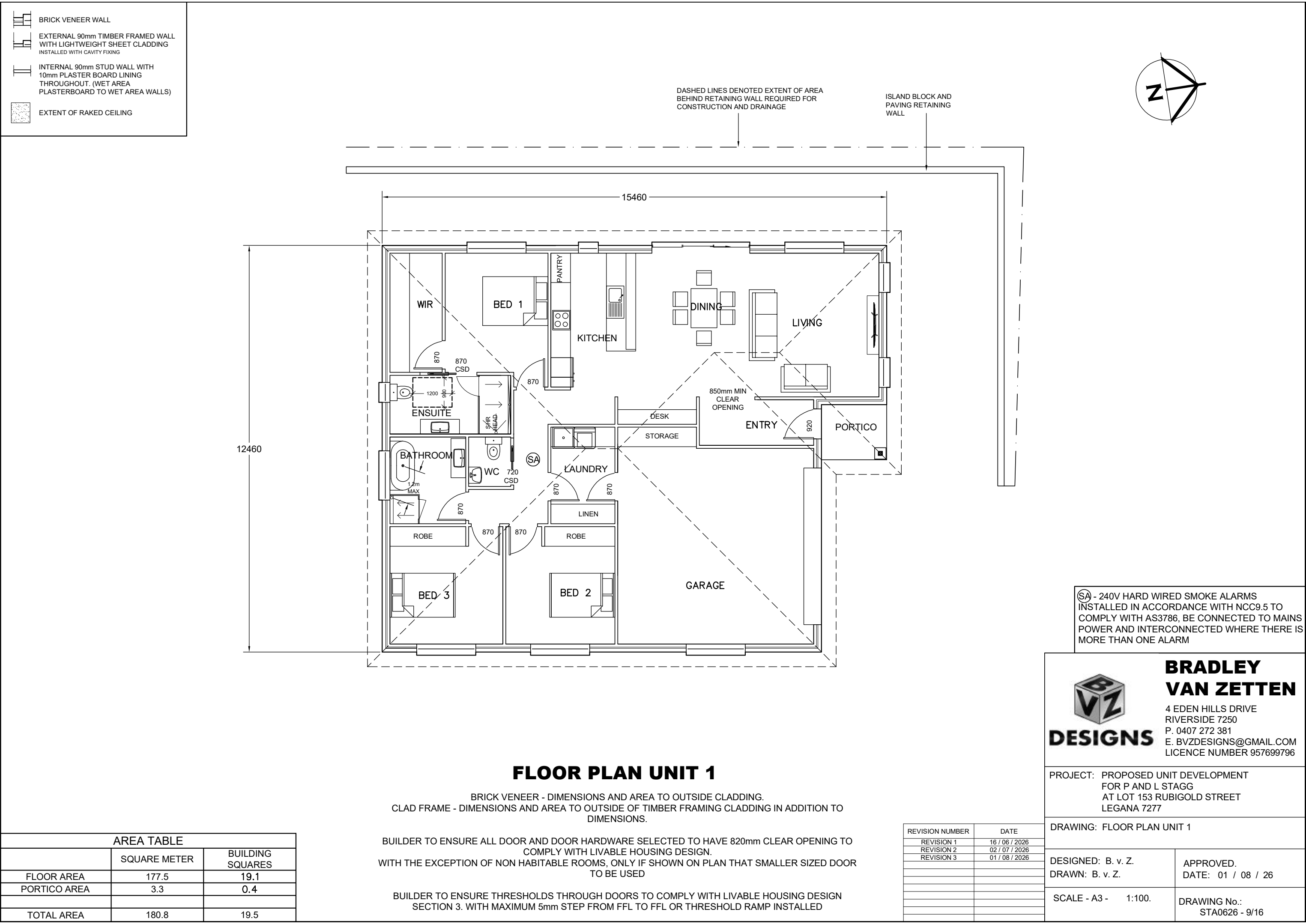
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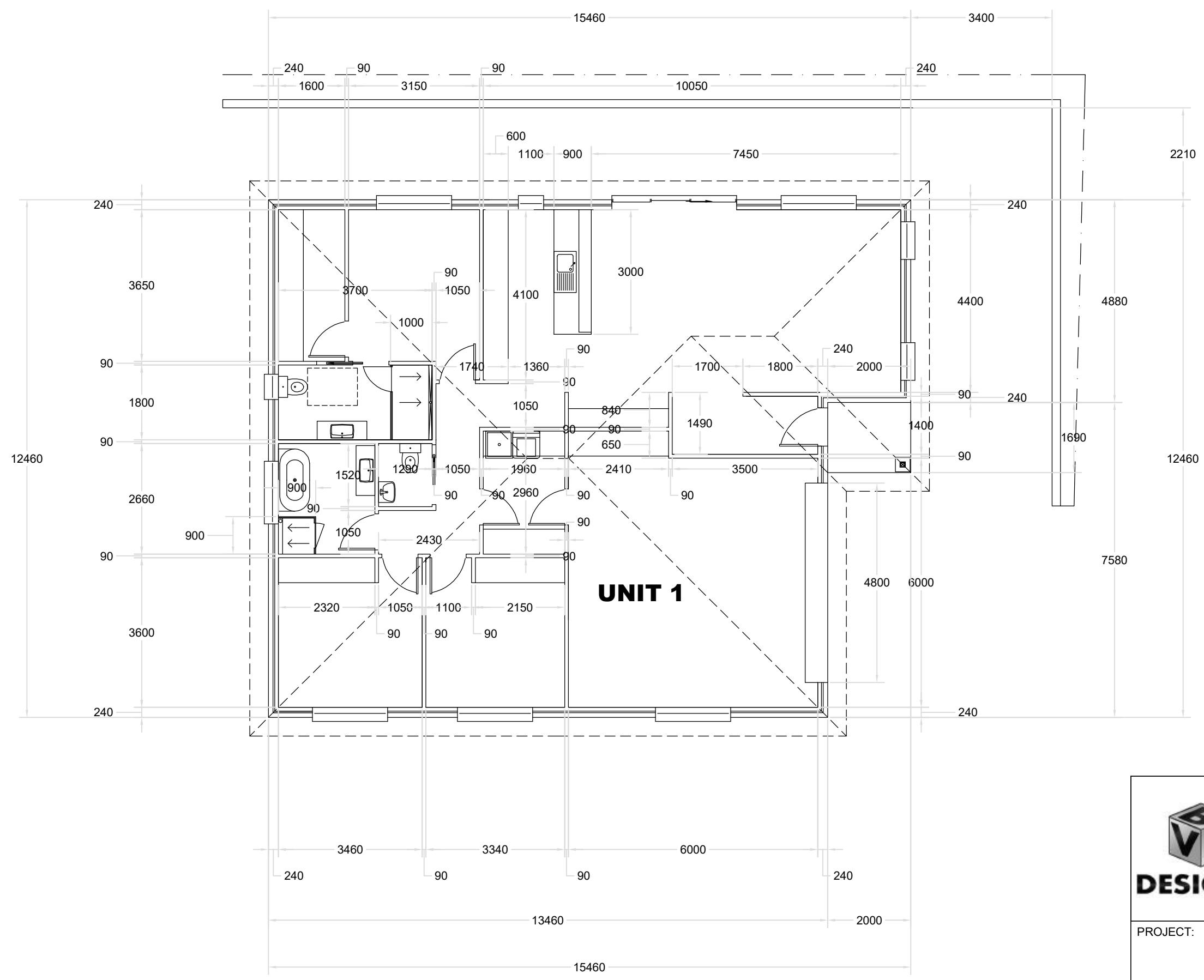
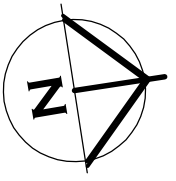
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FLOOR PLAN WITH DIMENSIONS UNIT 1

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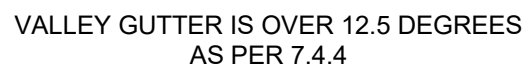


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AT LOT 153 RUBIGOLD STREET
LEGANA 7277

DRAWING: FLOOR PLAN WITH DIMENSIONS UNIT 1

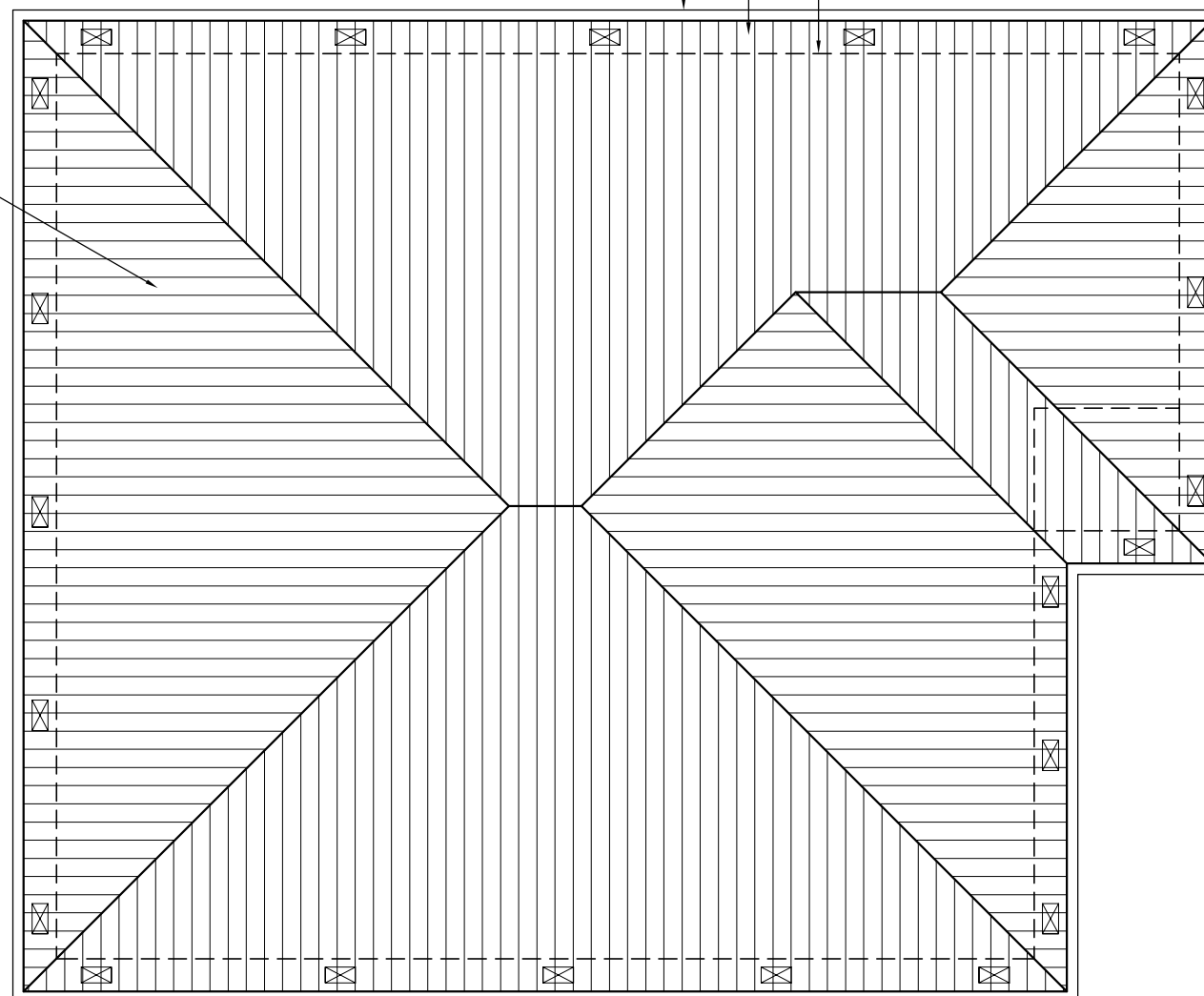
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450mm EAVE (TYPICAL)

EXTERNAL WALLS DASHED

COLORBOND CUSTOM ORB ROOF SHEETING AT 22.5". ONE AND A HALF CORRUGATION SIDE LAP (TYPICAL). FIXED AT SIDE LAPS. 3 FIXINGS FOR INTERNAL SPANS AND 5 FOR END SPANS. FIXED WITH ROOFZIPS M6-11x50mm FOR SOFTWOOD AND STEEL 0.55-1.0mm BMT BATTENS 12-14x35 METAL TEK 1.0-3.0mm BMT STEEL BATTENS 12-11x50mm FOR HARDWOOD ROOFING INSTALLED TO MANUFACTURES DESIGN AND INSTALLATION GUIDE



ROOF OVER 15 DEGREES

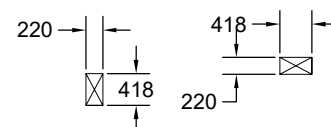
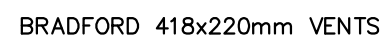
NON BAL ZONE - BRADFORD 418x220mm POLY VENT WITH 0.0237sq/m OPENING PER VENT- THEREFORE ONE VENT INSTALLED PER 3.2m LINEAR METER OF WALL

HIP/RIDGE VENTILATION

NON BAL ZONE - CONTINUOUS GAP AT RIDGE IN ROOF WRAP WITH AT MINIMUM 5mm GAP AND/OR 5000mm²/m GABLE VENT IN GABLE ROOF
BAL ZONE - AS ABOVE BUT WITH EMBER RESISTANT STEEL MESH AS PER DETAIL

ONE VENT INSTALLED WITHIN 1m OF EACH INTERNAL AND EXTERNAL CORNER IN EAVE
AND SPACED EQUALLY ALONG LENGTH OF EAVE WITH SPACING AS PER DETAILS ABOVE

EAVE VENTS MAY BE OMITTED IF CONTINUOUS VENT STRIP IS INSTALLED AS PER DETAIL. REFER TO CONDENSATION MANAGEMENT PAGE FOR DETAILS



ROOF PLAN UNIT 1

SHEET ROOF
75x38mm HARD WOOD OR 70x35mm MGP12
BATTENS AT 900mm MAX 900mm CRS AND SPAN.

RANGEHOOD AND BATHROOM EXTRACTION FANS DUCTED TO EAVE/WALL VENT

ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4
GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN

- 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS

WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW MEASURERS OR THE LIKE

DOWNPIPES MUST--

(A)NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH
DOWNPIPE: AND

(B)BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS;
AND

(C) BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B AND TABLE 7.4.3C.

FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPIPE MEDIUM
RECTANGULAR GUTTERS OR 115MM 'D' GUTTERS MAY BE USED
WITH 90ØMM DOWNPIPES

EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR
1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

(1) FOR A FRONT FACE SLOTTED GUTTER WITH—
A MINIMUM SLOT OPENING AREA OF 1200 MM² (A) PER METRE OF
GUTTER: AND

(a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25 MM BELOW THE TOP OF THE FASCIA,
THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M,
CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.

(2) FOR A CONTROLLED BACK GAP WITH—

(a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE GUTTER BACK AND THE FASCIA; AND

(b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN 50 MM WIDE: AND

(c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM BELOW THE TOP OF THE FASCIA,
THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M,
CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.

(3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED OFFSET OF THE GUTTER FROM THE FASCIA.



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PROJECT: PROPOSED UNIT DEVELOPMENT
FOR P AND L STAGG
AT LOT 153 RUBIGOLD STREET
LEGANA 7277

DRAWING: ROOF PLAN UNIT 1

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DESIGNED: B. v. Z.
DRAWN: B. v. Z.

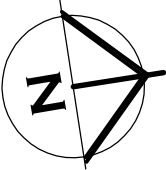
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Architectural floor plan of a residential unit. The overall dimensions are 15150 (width) by 4370 (depth). The plan includes the following rooms and features:

- Garage:** Located on the right side of the plan.
- Laundry:** Located adjacent to the garage.
- Bedrooms:**
 - Bed 1:** Located in the top left corner.
 - Bed 2:** Located in the middle left section.
 - Bed 3:** Located in the top right section, adjacent to the laundry.
- Bathroom:** Located in the center-right, containing a bathtub, toilet, and vanity. A dimension of 1.2m is indicated for the tub area.
- WC (Toilet):** Located adjacent to the bathroom.
- Ensuite:** Located adjacent to Bed 3.
- Living:** Located in the bottom center, featuring a sofa and a coffee table.
- Dining:** Located in the bottom left, featuring a dining table and chairs.
- Kitchen:** Located in the middle left, featuring a sink, stove, and refrigerator.
- Entry:** Located in the center, featuring a bench and a coat closet.
- Storage:** Includes a linen closet, a wardrobe (ROBE) for Bed 2, and a closet (CLO) for Bed 1.
- Other Features:**
 - 850mm MIN CLEAR OPENING:** Indicated near the kitchen area.
 - SA (Smoke Alarm):** Located in the central hallway area.
 - SHR HEAD:** Located near the linen closet.
 - ISLAND BLOCK AND PAVING RETAINING WALL:** Located at the bottom of the plan.
 - DASHED LINES:** Denote the extent of area behind retaining wall required for construction and drainage.



SA) - 240V HARD WIRED SMOKE ALARMS
INSTALLED IN ACCORDANCE WITH NCC9.5 TO
COMPLY WITH AS3786, BE CONNECTED TO MAINS
POWER AND INTERCONNECTED WHERE THERE IS
MORE THAN ONE ALARM



DESIGNS

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PROJECT: PROPOSED UNIT DEVELOPMENT
FOR P AND L STAGG
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DRAWING: FLOOR PLAN UNIT 2

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 01 / 08 / 26

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DRAWING No.:
STA0626 - 12/16

FLOOR PLAN UNIT 2

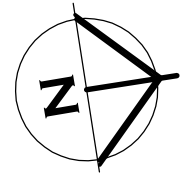
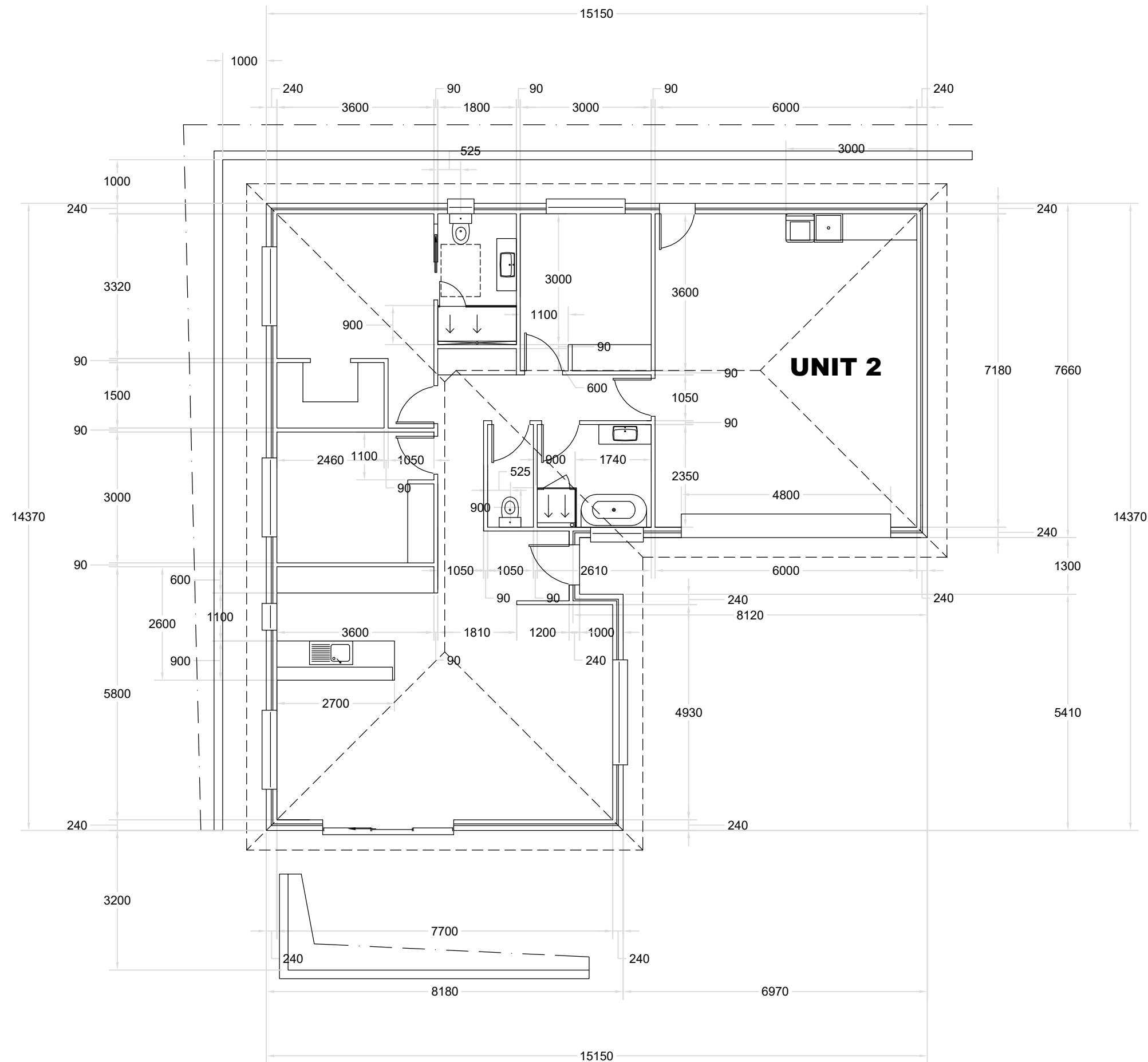
BRICK VENEER - DIMENSIONS AND AREA TO OUTSIDE CLADDING.
CLAD FRAME - DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING CLADDING IN ADDITION TO
DIMENSIONS.

BUILDER TO ENSURE ALL DOOR AND DOOR HARDWARE SELECTED TO HAVE 820mm CLEAR OPENING TO COMPLY WITH LIVABLE HOUSING DESIGN.
WITH THE EXCEPTION OF NON HABITABLE ROOMS, ONLY IF SHOWN ON PLAN THAT SMALLER SIZED DOOR TO BE USED

BUILDER TO ENSURE THRESHOLDS THROUGH DOORS TO COMPLY WITH LIVABLE HOUSING DESIGN
SECTION 3. WITH MAXIMUM 5mm STEP FROM FFL TO FFL OR THRESHOLD RAMP INSTALLED

AREA TABLE		
	SQUARE METER	BUILDING SQUARES
FLOOR AREA	169.6	18.3
TOTAL AREA	169.6	18.3

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REVISION 1	16 / 06 / 2026
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REVISION 3	01 / 08 / 2026



FLOOR PLAN WITH DIMENSIONS UNIT 2

REVISION NUMBER	DATE
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REVISION 2	02 / 07 / 2026
REVISION 3	01 / 08 / 2026

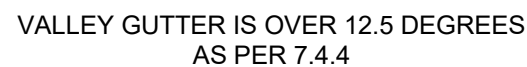


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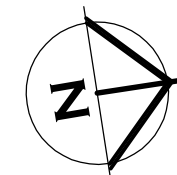
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COLORBOND CUSTOM ORB ROOF SHEETING AT 22.5". ONE AND A HALF
CORRUGATION SIDE LAP (TYPICAL). FIXED AT SIDE LAPS. 3 FIXINGS FOR
INTERNAL SPANS AND
5 FOR END SPANS. FIXED WITH ROOFZIPS M6-11x50mm FOR SOFTWOOD AND
STEEL 0.55-1.0mm BMT BATTENS
12-14x35 METAL TEK 1.0-3.0mm BMT STEEL BATTENS
12-11x50mm FOR HARDWOOD
ROOFING INSTALLED TO MANUFACTURES DESIGN AND INSTALLATION GUIDE



ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

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DRAWING: ROOF PLAN UNIT 2

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ROOF OVER 15 DEGREES

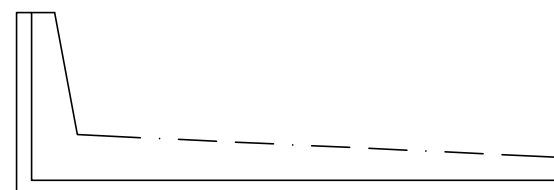
NON BAL ZONE - BRADFORD 418x220mm POLY VENT WITH 0.0237sq/m
OPENING PER VENT- THEREFORE ONE VENT INSTALLED PER 3.2m LINEAR
METER OF WALL

HIP/RIDGE VENTILATION

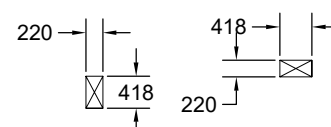
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BRADFORD 418x220mm VENTS

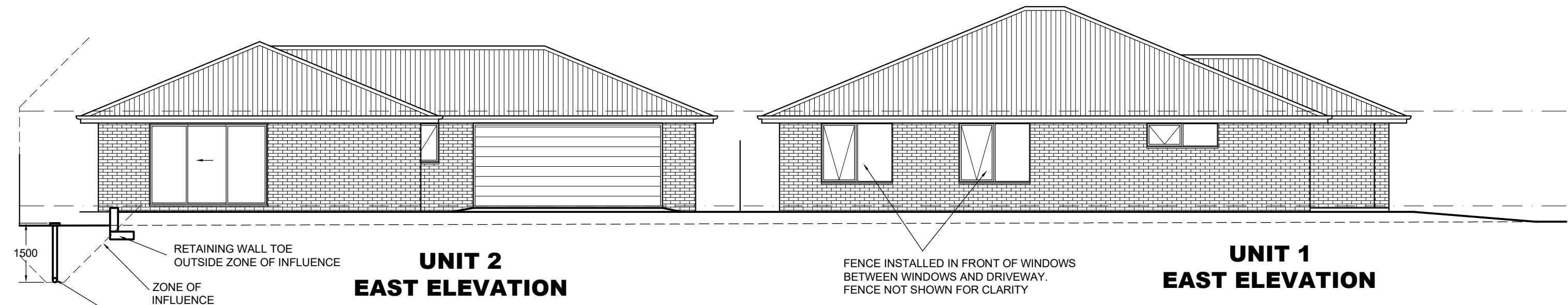


ROOF PLAN UNIT 2

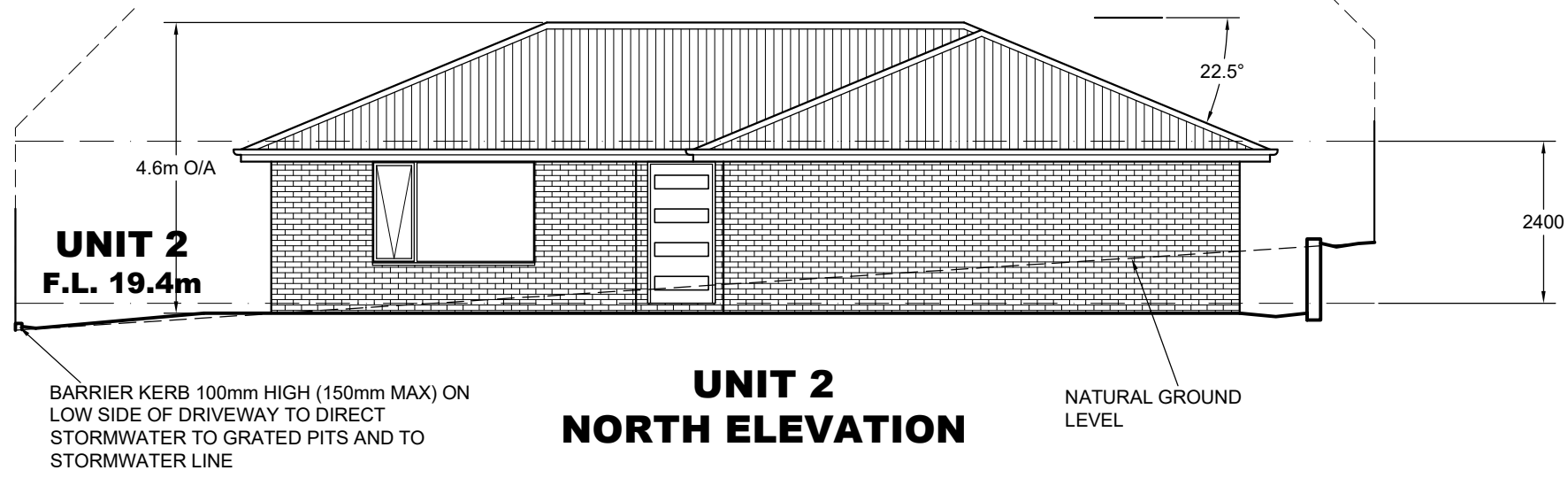
SHEET ROOF
75x38mm HARD WOOD OR 70x35mm MGP12
BATTENS AT 900mm MAX 900mm CRS AND SPAN.

RANGEHOOD AND BATHROOM EXTRACTION FANS DUCTED TO EAVE/WALL VENT

[illegible]



- BRICK VENEER CLADDING
- COLORBOND CUSTOM ORB SHEET ROOFING



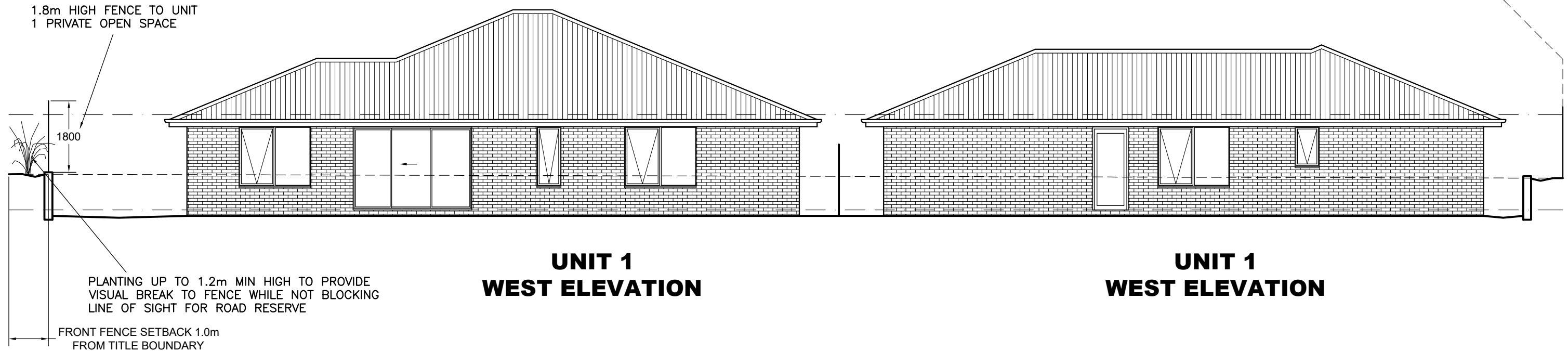
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PROJECT: PROPOSED UNIT DEVELOPMENT FOR P AND L STAGG AT LOT 153 RUBIGOLD STREET LEGANA 7277

DRAWING: ELEVATIONS

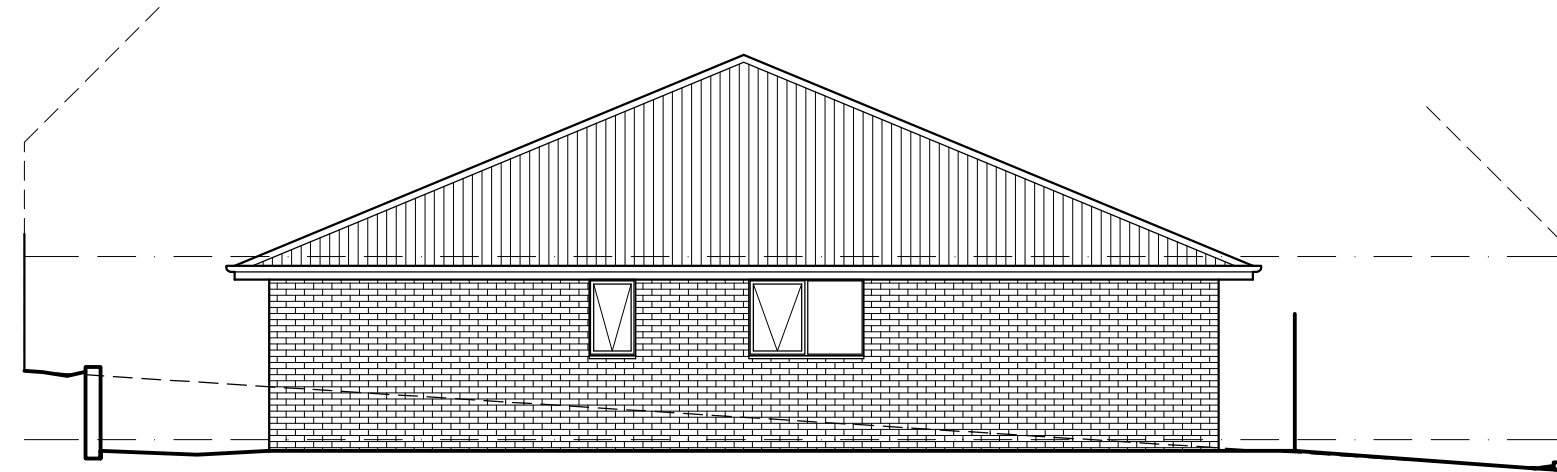
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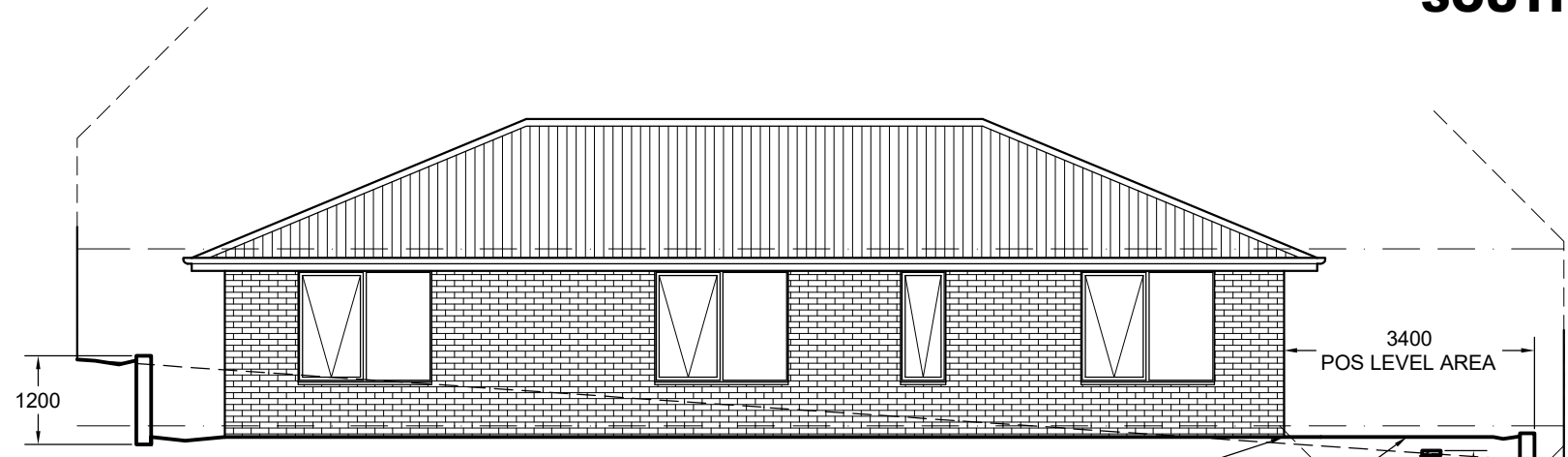


**UNIT 1
WEST ELEVATION**

**UNIT 1
WEST ELEVATION**



**UNIT 1
SOUTH ELEVATION**



**UNIT 2
SOUTH ELEVATION**

DWELLING FOOTING OUTSIDE ZONE OF INFLUENCE

ELEVATION GROUND LEVEL SHOWN INSIDE PRIVATE OPEN SPACE LEVEL AREA. INSPECTION OPENING SHOWN IN FOREGROUND OF RETAINING WALL WHERE GROUND LEVEL IS TO REMAIN UNCHANGED.

RETAINING WALL NOT ACTUALLY INSIDE ZONE OF INFLUENCE AS RETAINING WALL IS IN BACKGROUND. REFER TO EAST ELEVATION FOR RETAINING WALL TO INSPECTION OPENING DETAIL

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