

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number PA2026240
Assess No: A6896
PID No: 6081649

Applicant Name:	Engineering Plus					
Applicant Contact Name						
Postal Address:						
Contact Phone:	Home		Work		Mobile	
Email Address:						

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☐
2. A completed application form including a detailed description of the proposal ☐
3. A complete plan set: ☐
 - a) Floor plans ☐
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☐
 - c) Site Plan showing: ☐
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other: ☐

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

Application Number: «Application_Number»

APPLICANT DETAILS

Applicant Name:	Engineering Plus
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Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name: (as per certificate of title)	T. Chartres & L. Cheetham
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Location / Address:	35-37 Margaret Street, Beaconsfield TAS 7270
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Title Reference:	79378/36 & 37
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Zone(s):	8.0 – General Residential
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Existing Development/Use:	Residential
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Existing Developed Area:	91 m ²
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Are any of the components in this Application seeking retrospective approval? E.g. Use and/or development that has commenced without a Planning Permit.	YES ☐
	NO ☒

(If yes please specify the relevant components):

DEVELOPMENT APPLICATION DETAILS

Proposed Use:	Residential: ☒	Visitor Accommodation: ☐	Commercial: ☐	Other: ☐
	Description of Use: As Constructed Shed			

Development Type:	Building work: ☒	Demolition: ☐	Subdivision: ☐	Other: ☐
	Description of development: Residential shed			

New or Additional Area:	68.9 m ²
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Estimated construction cost of the proposed development:	\$35,000
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Building Materials:	Wall Type: Colorbond	Colour:
	Roof Type: Colorbond	Colour:

Application Number: «Application_Number»

VISITOR ACCOMMODATION

☐ N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION

☐ N/ASubdivision creating additional lots ☐Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

☐ N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	
Existing Car Parking:				
Proposed Car Parking:				
Number of Employees: (Existing)				
Number of Employees: (Proposed)				
Type of Machinery installed:				
Details of trade waste and method of disposal:				

Application Number: «Application_Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,
(if not the owner)

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**Chief
Executive
Officer**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

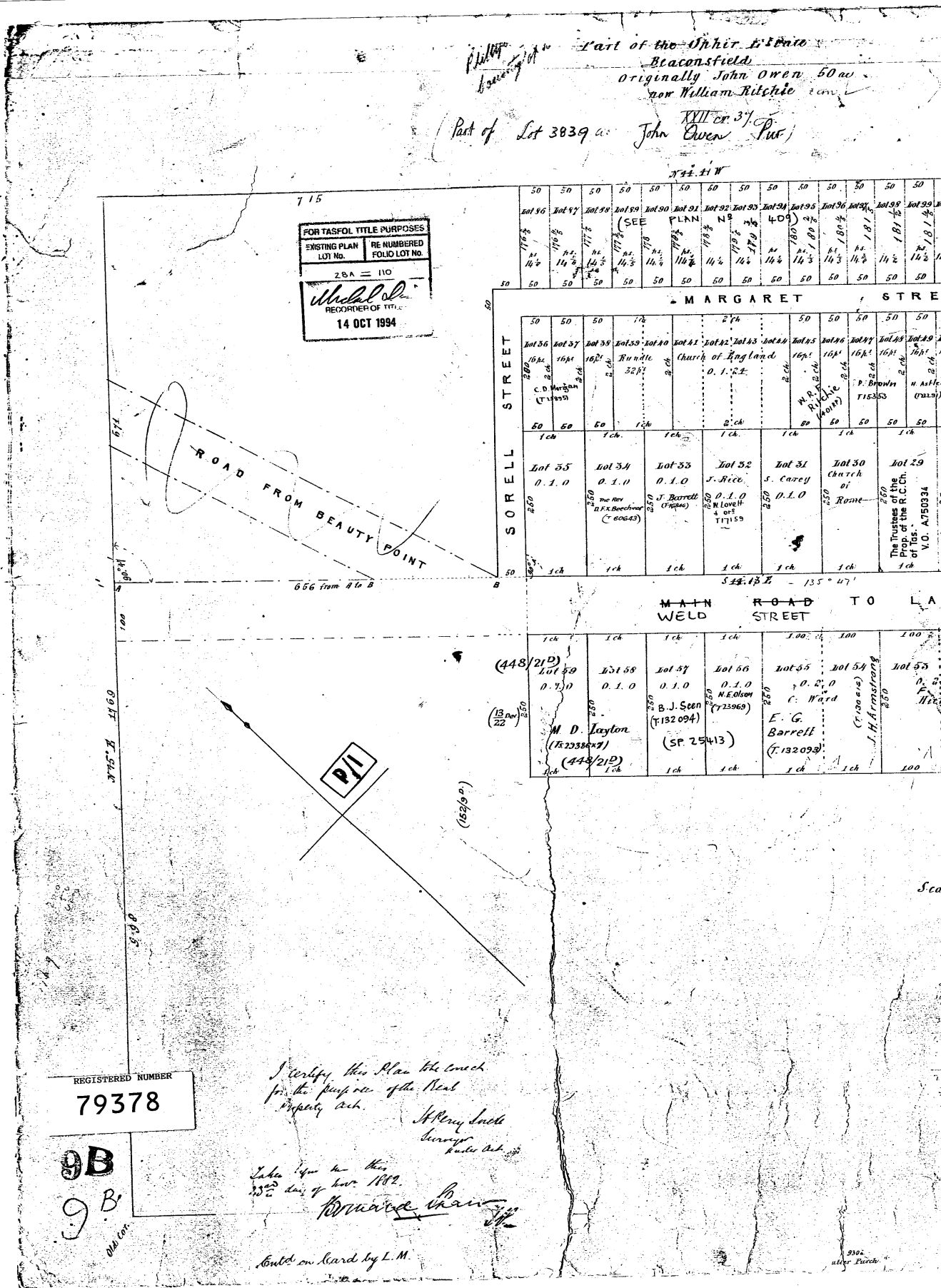
Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date





SEARCH OF TORRENS TITLE

VOLUME 79378	FOLIO 37
EDITION 9	DATE OF ISSUE 14-Mar-2026

SEARCH DATE : 13-Aug-2026

SEARCH TIME : 09.42 am

DESCRIPTION OF LAND

Town of BEACONSFIELD

Lot 37 on Plan [79378](#) (formerly being Plan No. 9B)

Derivation : Part of Lot 3839 Gtd to J Owen

Prior CT [3410/41](#)SCHEDULE 1

[N291182](#) TRANSFER to TENILLE ROSE CHARTRES and LUKE ANTHONY
CHEETHAM Registered 14-Mar-2026 at 12.01 pm

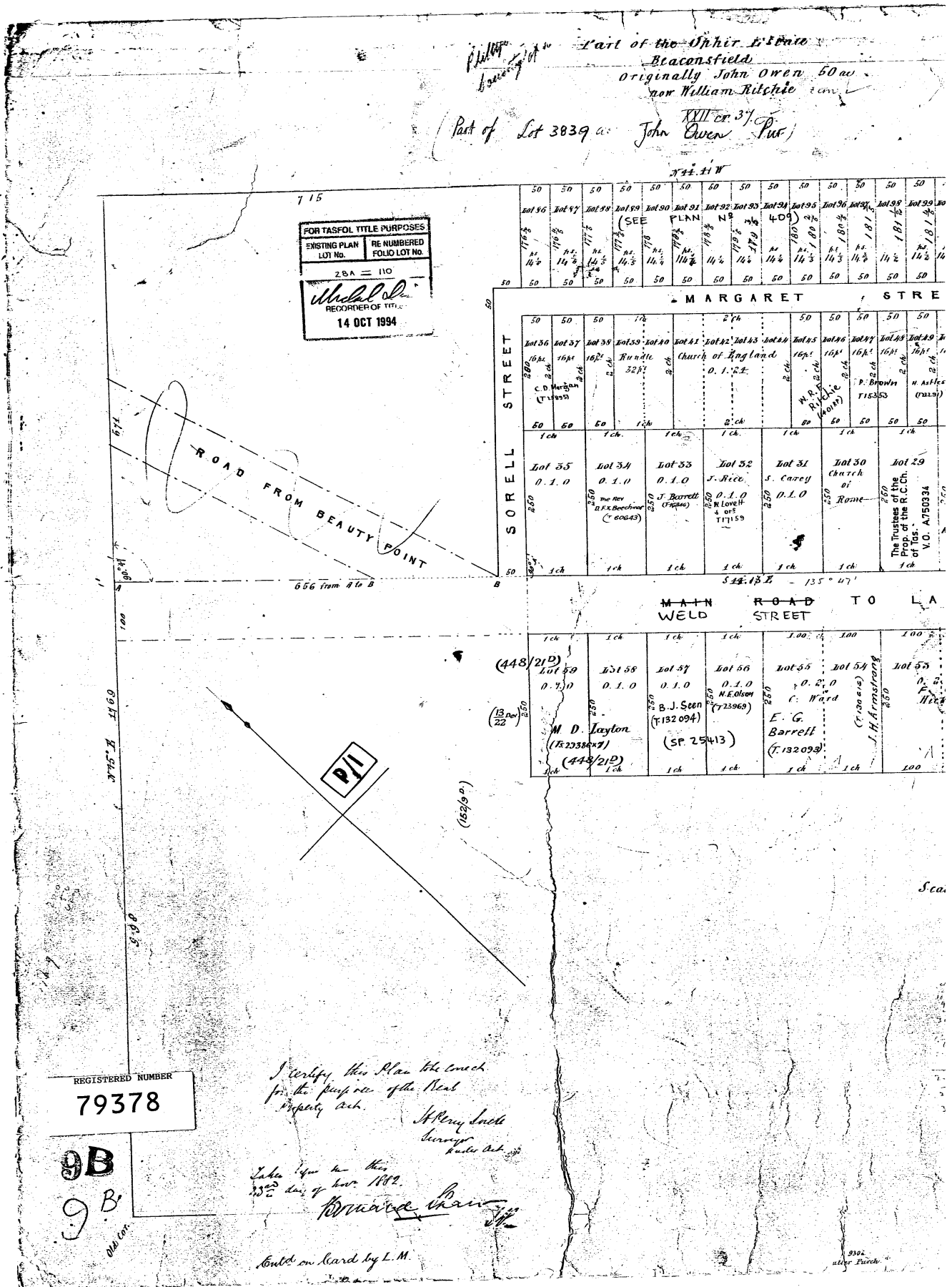
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SAVING AND EXCEPTING: thereout all mines and minerals lying
and being at a depth of more than 50 feet below the
natural surface of the land with free liberty for
William Russell Fawns Ritchie and John Sydney Ritchie
or those claiming under them to take al usual and
necessary means for working getting and taking away
the said mines and minerals

[E443291](#) MORTGAGE to Commonwealth Bank of Australia
Registered 14-Mar-2026 at 12.02 pm

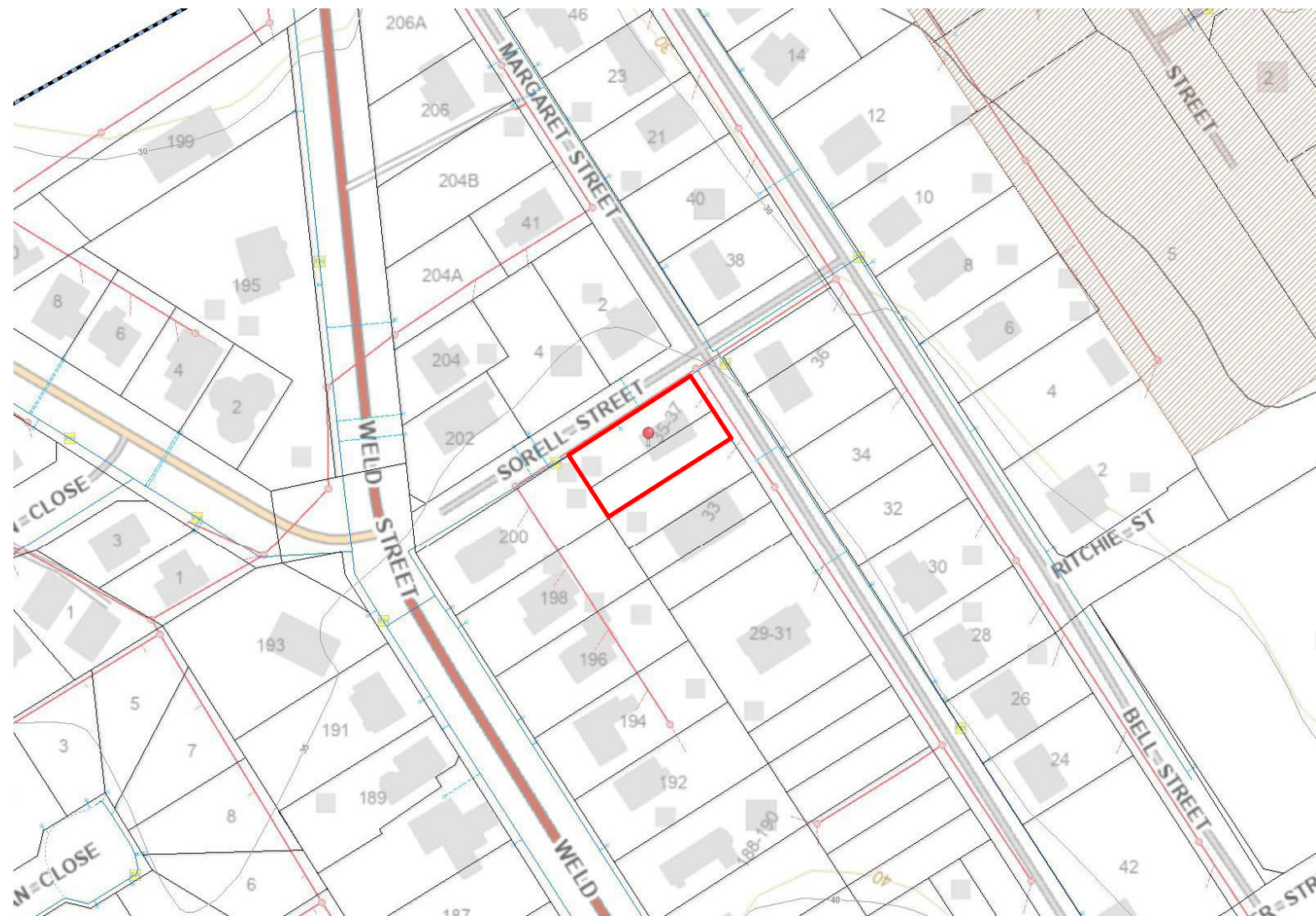
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations





ISSUED FOR DEVELOPMENT APPROVAL
AS CONSTRUCTED SHED



DRAWING SCHEDULE

A000	COVER PAGE
A101	SITE PLAN
A202	FLOOR PLAN
A301	ELEVATIONS
A401	ROOF PLAN
A601	PERSPECTIVE VIEW #1

PROJECT NO: EP2026-162

T. CHARTRES & L. CHEETHAM

35-37 MARGARET
BEACONSFIELD. TAS.

WEST TAMAR COUNCIL

BUILDING DESIGNER:	GRANT JAMES PFEIFFER
ACCREDITATION No:	CC2211T
ZONE:	8.0 GENERAL RESIDENTIAL
BUILDING CLASS:	CLASS 10a
LAND TITLE REFERENCE NUMBER:	79378/36 & 37
DESIGN WIND SPEED:	ASSUME "N2"
SOIL CLASSIFICATION:	ASSUME "H1"
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	N/A
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	LOW
FLOODING:	NO
LANDSLIP:	NO
GROUND LEVELS:	REFER PLAN
ORG LEVEL:	75mm ABOVE GROUND LEVEL

REVISION SCHEDULE			
REVISION NO	DESCRIPTION	DATE	ISSUED BY
A	Revision 2	18.08.26	C.R



SITE PLAN
SCALE 1 : 200

NOTE:
ALL WORKS ARE TO COMPLY WITH BUT NOT LIMITED TO THE LATEST NATIONAL CONSTRUCTION CODE (NCC) OF AUSTRALIA AND RELEVANT LOCAL AUTHORITIES, UNLESS SPECIFIED. IN SUCH CASES, A RELEVANT REPORT WILL BE PRESENTED. MEASUREMENTS INDICATED ON DRAWINGS ARE CLEAR DIMENSIONS TO STRUCTURAL FRAMELINE AND DO NOT INCLUDE PLASTERBOARD LININGS OR INTERNAL FINISHES. UNLESS OTHERWISE STATED, ALL PROPOSED INTERNAL WALLS ARE SHOWN AS STRUCTURAL STUDS ONLY. BUILDER IS TO VERIFY ALL INTERNAL WIDTHS AND CLEARANCES PRIOR TO CONSTRUCTION TO ENSURE STRICT COMPLIANCE WITH CURRENT NCC STANDARDS. SPECIAL ATTENTION MUST BE GIVEN TO MINIMUM CLEAR WIDTHS FOR ACCESSIBLE CORRIDORS, DOORWAYS, AND SANITARY COMPARTMENT REQUIREMENTS. BUILDERS MUST VERIFY ALL MEASUREMENTS, SERVICES, MATERIALS, AND LEVELS ON-SITE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEERING PLUS OF ANY ERRORS OR DISCREPANCIES FOUND. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERING DRAWINGS. DO NOT PROCEED WHERE DISCREPANCIES EXIST BETWEEN ENGINEERING AND ARCHITECTURAL DRAWINGS. ENGINEERING PLUS DOES NOT ACCEPT ANY RESPONSIBILITY FOR MISCONSTRUCTION RESULTING FROM A FAILURE TO VERIFY SITE CONDITIONS OR ADHERE TO THE NCC STANDARDS MENTIONED ABOVE.

Accredited Building Designer
Designer Name : G. Pfeiffer
Accreditation No : CC2211T
Revision Number : A
Revision Description : Revision 2
Revision Date : 18.08.26
Revision Issued By : C.R

Date Drawn: Issued Date
Drawn: R. Hall
Checked: R. Hall
Approved: J. Pfeiffer
Scale: As Shown @ A3

Client: T. CHARTRES & L. CHEETHAM
Project: AS CONSTRUCTED SHED
Page: SITE PLAN
Address: 35-37 MARGARET BEACONSFIELD. TAS.

DEVELOPMENT APPROVAL

EP2026-162

A101



TOTAL SITE AREA - 808.7m²

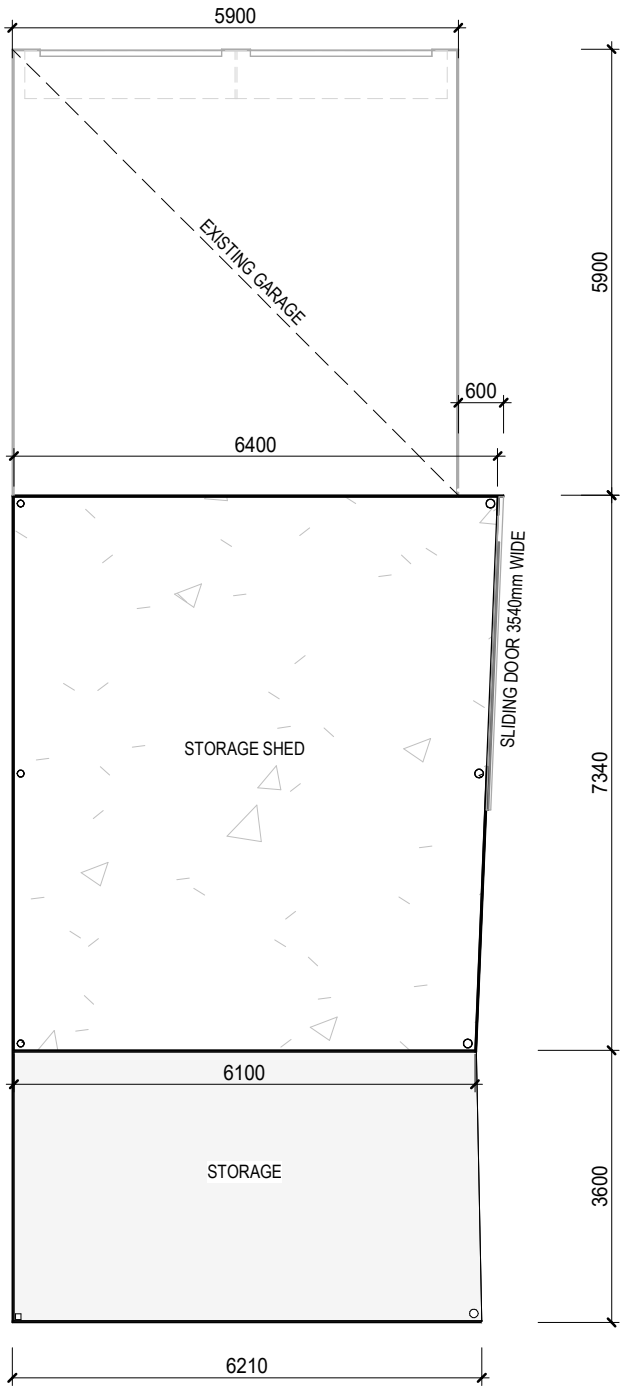
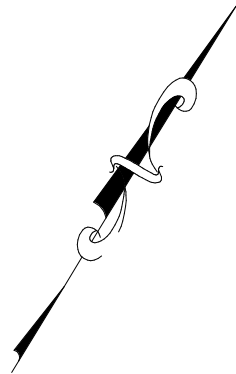
AREA SCHEDULE	
Name	Area
AS CONSTRUCTED SHED	68.9 SQM.

LEGEND	
	SEWER
	EXISTING SEWER
	WATER
	EXISTING WATER
	STORMWATER
	EXISTING STORMWATER
	LOW LANDSLIP ZONE
	MEDIUM LANDSLIP ZONE
	HIGH LANDSLIP ZONE
	WATERWAY AND COASTAL PROTECTION ZONE
	BUSHFIRE MANAGEMENT ZONE
	FILLED AND BATTER BACK REGION
	CUT AND BATTER BACK REGION

DRAINAGE
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENSED TRADESMAN ONLY.
NOTE
STORMWATER FROM AS CONSTRUCTED SHED TO DIRECTED INTO EXISTING STORMWATER SYSTEM TO LOCAL COUNCIL REQUIREMENTS & AS3500

NOTE:
ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03-2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WAS 02-2014-3.1 MRWA V.2 AND TASWATER'S SUPPLEMENTS TO THESE CODES.





FLOOR PLAN
SCALE 1 : 100

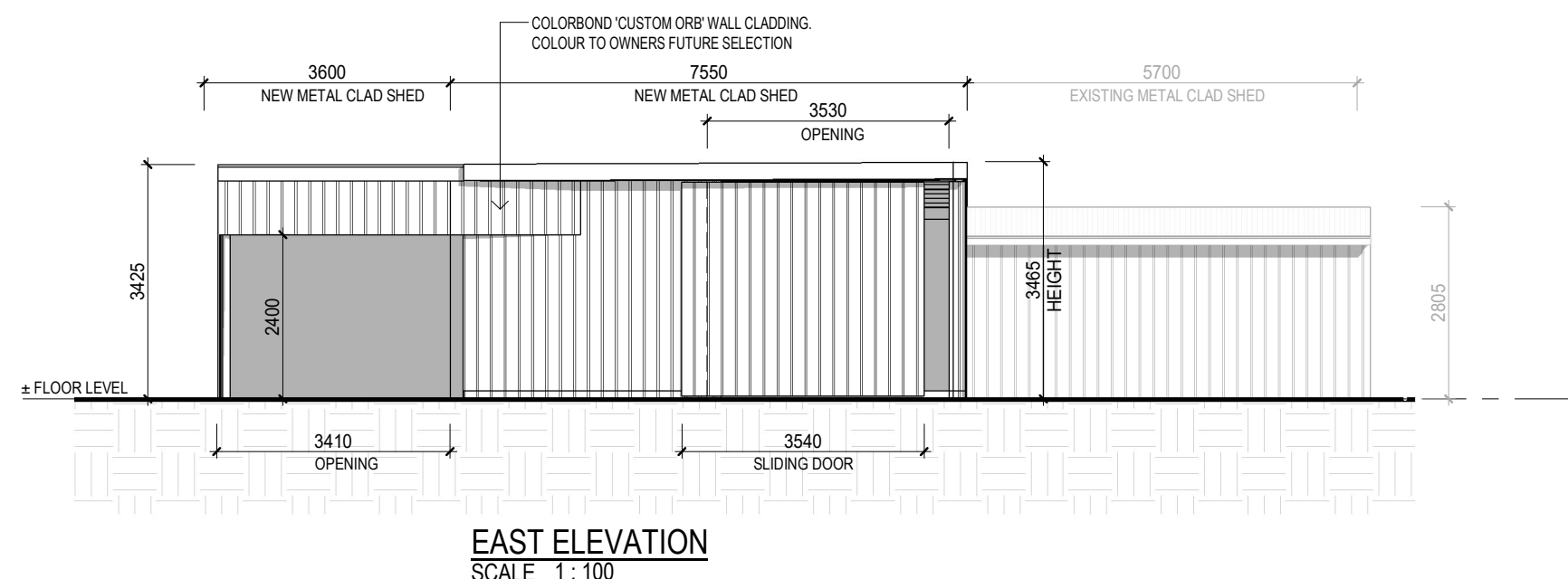
FLOOR COVERINGS	
	CARPET
	CONCRETE
	TIMBER DECKING
	TILE
	VINYL TIMBER FLOORING

info@engineeringplus.com.au
Ph 03 6337 7021

Accredited Building Designer
Designer Name : G. Pfeiffer
Accreditation No : CC2211T
Revision Number :A
Revision Description :Revision 2
Revision Date :18.08.26
Revision Issued By :C.R

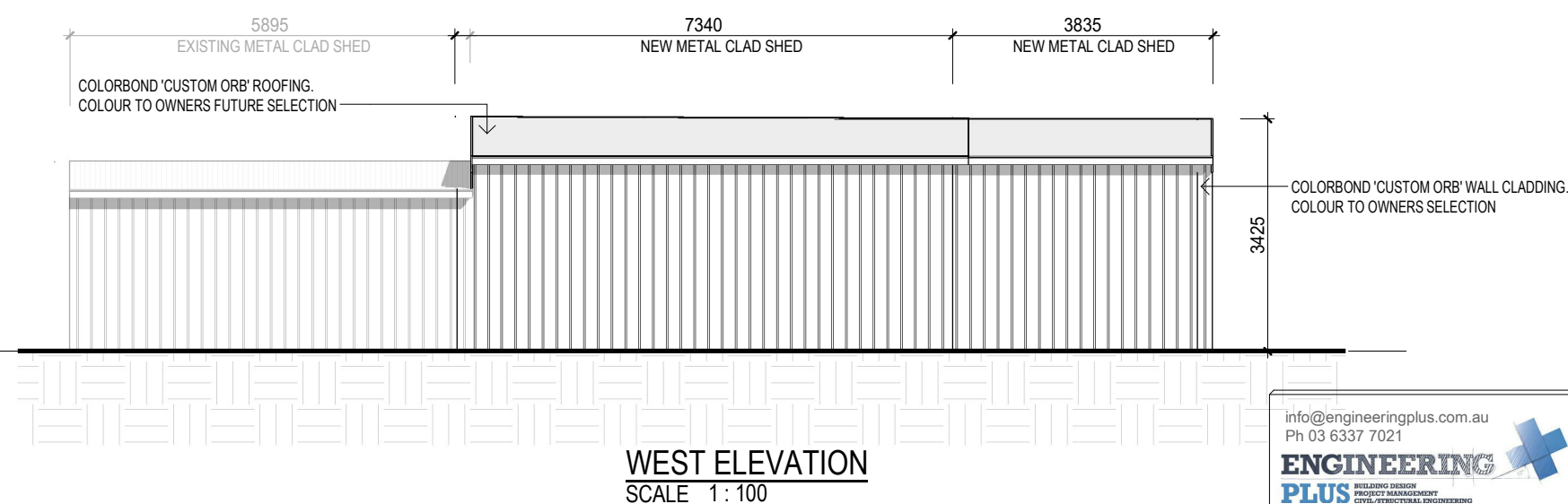
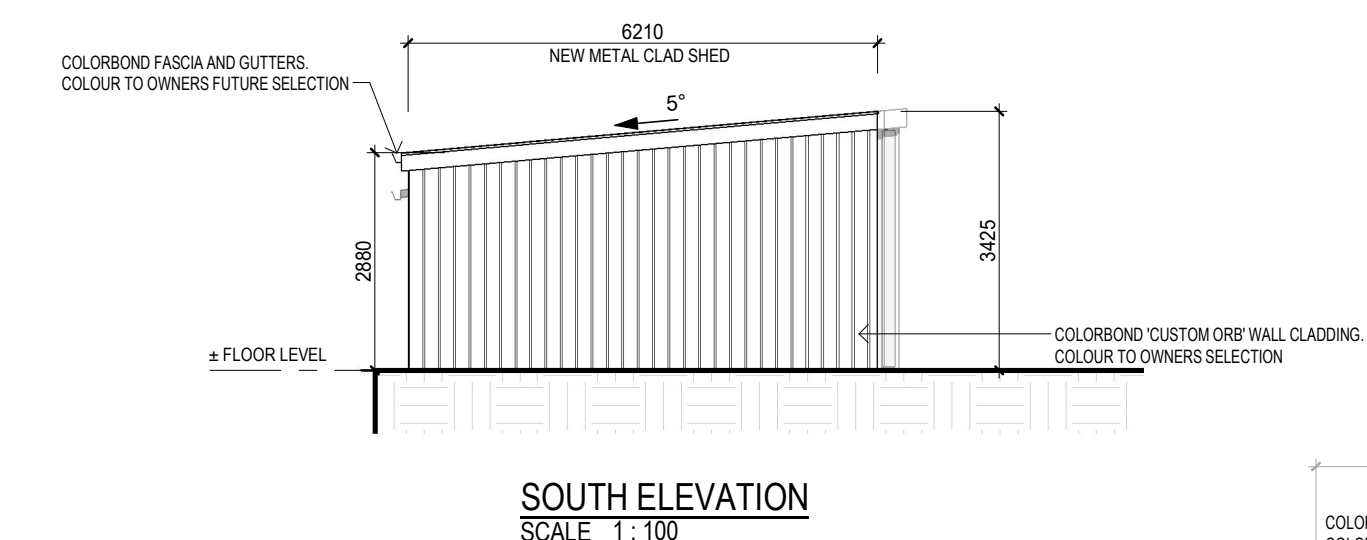
Date Drawn: Issued Date
Drawn: Designer
Checked: Checker
Approved: J. Pfeiffer
Scale: As Shown @ A3

Client: T. CHARTRES & L. CHEETHAM
Project: AS CONSTRUCTED SHED
Page: FLOOR PLAN
Address: 35-37 MARGARET
BEACONSFIELD. TAS.



- STAIR CONSTRUCTION IN ACCORDANCE WITH NCC 2022**
- TREADS: 250 MM
 - RISERS: 180 MM
 - TREATED PINE TIMBER STAIR MATERIAL TO AS1684
 - TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
 - ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
 - STRINGER: 300X50 F5 TREATED PINE
 - TREADS: 250X45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

- SELECTED ALUMINIUM FRAMED WINDOWS IN ACCORDANCE WITH NCC 2022**
- POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.
 - TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURER SPECIFICATIONS.
 - GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288.
 - ALL FIXINGS AND FLASHING TO MANUFACTURERS REQUIREMENTS.



EAVE & SOFFIT CONSTRUCTION IN ACCORDANCE WITH NCC 2022

- EAVE WIDTH - 600MM
- SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING
- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
 - FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS

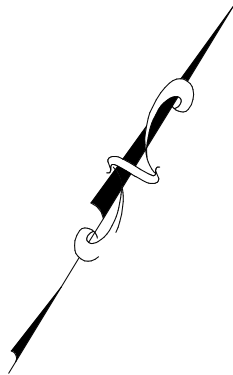
SUB FLOOR VENTILATION IN ACCORDANCE WITH NCC 2022

- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM2 PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230X75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR PRYDA 230X165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.

Accredited Building Designer		Date Drawn: Issued Date	Client: T. CHARTRES & L. CHEETHAM
Designer Name	: G. Pfeiffer	Drawn: Designer	AS CONSTRUCTED SHED
Accreditation No	: CC2211T	Checked: Checker	ELEVATIONS
Revision Number	: A	Approved: J. Pfeiffer	Address: 35-37 MARGARET
Revision Description	: Revision 2	Scale: As Shown @ A3	BEACONSFIELD. TAS.
Revision Date	: 18.08.26	DEVELOPMENT APPROVAL	
Revision Issued By	: C.R		
		EP2026-162	A301



ROOF CLADDING

'TRIMDEK' METAL SHEETING INSTALLED IN ACCORDANCE WITH, AS1562.1 AND MANUFACTURERS RECOMMENDATIONS.

COLORBOND 'CUSTOM ORB' METAL SHEETING INSTALLED IN ACCORDANCE WITH AS1562.1 AND MANUFACTURERS RECOMMENDATIONS.

REFER TO 'LYSAGHT' ROOFING & WALLING MANUAL FOR FULL DETAILS ON SHEET INSTALLATION, FIXINGS AND FLASHING.

- 'TRIMDEK' 2-5 DEGREES - MINIMUM 250MM.
- MINIMUM PITCH 2 DEGREES.
 - CORROSION PROTECTION IN ACCORDANCE WITH NCC STANDARDS.
 - END LAP OF SHEETS

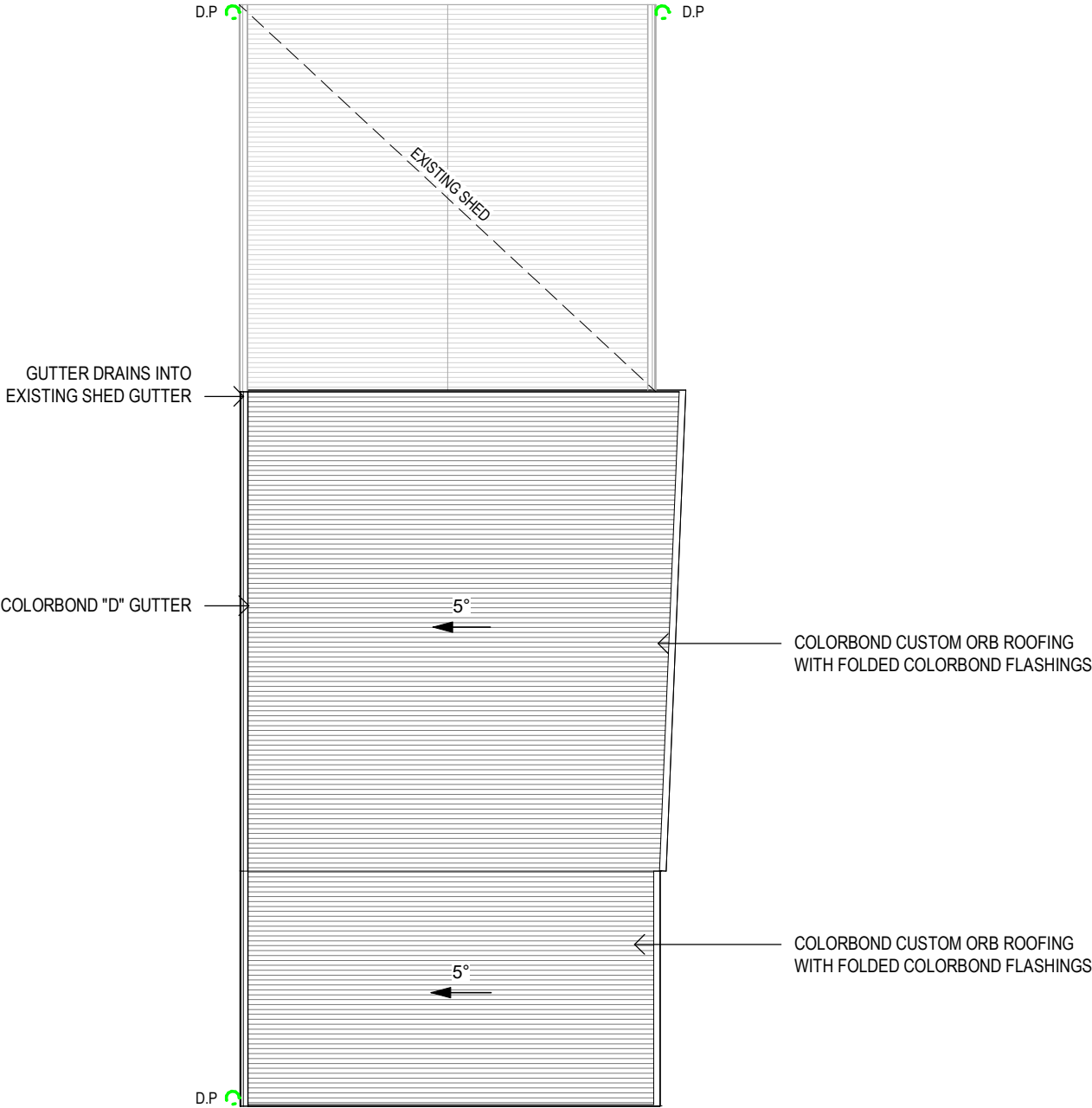
- 'CUSTOM ORB' 5-15 DEGREES - MINIMUM 200MM.
- MINIMUM PITCH 5 DEGREES.
 - CORROSION PROTECTION IN ACCORDANCE WITH NCC STANDARDS.
 - END LAP OF SHEETS

- ABOVE 15 DEGREES - MINIMUM 150 MM.
- RIDGE LINE VALLEY TO BE TURNED UP (STOP ENDED).
 - FASTENERS TO BE MADE OF COMPATIBLE MATERIAL WITH ROOFING MATERIAL.
 - CREST FIXINGS OF END SPANS @ EVERY SECOND RIB AND INTERNAL SPANS @ EVERY THIRD RIB.
 - WHERE POSSIBLE SHEETS TO BE LAID WITH SIDE LAPS FACING AWAY FROM PREVAILING WEATHER.
 - REFLECTIVE FOIL INSULATION TO BE FITTED TO UNDERSIDE OF SHEETS.

R4.0 INSULATION BATTS TO ROOF SPACE ABOVE CEILING LINING.

RECOMMENDED FIXINGS FOR SEVERE EXPOSURE CONDITIONS TO AS3566.

USE CLASS 4 MATERIALS FOR SEVERE EXPOSURE & STAINLESS STEEL FOR VERY SEVERE COASTAL ENVIRONMENTS.



ROOF PLAN
SCALE 1 : 100

DOWNPIPES - NCC PART 7.4

MAX. 12M GUTTER LENGTH PER DOWNPIPE
LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS
SELECTED IN ACCORDANCE WITH TABLES 7.4.3a TO 7.4.3c

OVERFLOW MEASURES
IN ACCORDANCE WITH 7.4.7 AND TABLE 7.4.4a & 7.4.4b AND FIG. 7.4.7a TO 7.4.7d

END STOP WEIR
100mm MIN CLEAR WIDTH. INSTALLED 25mm BELOW FASCIA TOP
NOT SUITABLE WHEN END-STOP ABUTS WALL

INVERTED NOZZLE
INSTALLED WITHIN 500mm OF GUTTER HIGH POINT
100x50mm MIN. NOZZLE SIZE - MIN. 25mm BELOW FASCIA TOP

FRONT FACE WEIR
200mm CLEAR WIDTH - 20mm CLEAR HEIGHT
INSTALLED MIN. 25mm BELOW FASCIA TOP

RAINHEAD
75mm DIA HOLE IN OUTWARD FACE - CENTERLINE 100mm BELOW FASCIA TOP

GUTTERS - NCC PART 7.4

FALL NOT LESS THAN 1:500
SUPPORT BRACKETS FIXED AT STOP ENDS, CORNERS AND MAX. 1.2m CENTRES
VALLEY GUTTERS TO BE DIMENSIONED IN ACCORDANCE WITH TABLE 7.4.4c
HAVE A ROOF PITCH AND SIDE ANGLE OF NOT LESS THAN 12.5deg
HAVE A MIN. FREEBOARD OF NOT LESS THAN 15mm

OVERFLOW MEASURES
IN ACCORDANCE WITH 7.4.6 AND TABLE 7.4.4a & 7.4.4b AND FIGURE 7.4.6a & 7.4.6b

FRONT FACE SLOTTED GUTTER
MIN SLOT OPENING 1200mm/ GUTTER m
LOWER EDGE OF SLOT INSTALLED 25mm BELOW FASCIA TOP

CONTROLLED BACK GAP
PERMANENT MIN. 10mm SPACER BETWEEN GUTTER & FASCIA
ONE PER BRACKET - MIN. 50mm WIDE
GUTTER INSTALLED MIN. 10mm BELOW FASCIA TOP

Accredited Building Designer

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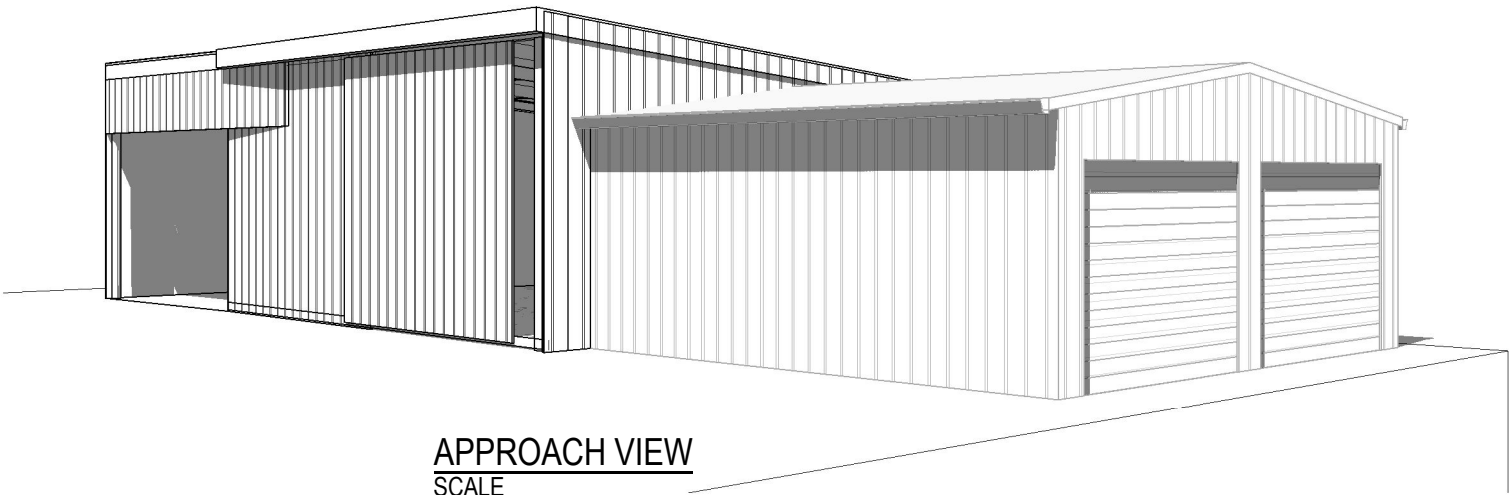
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Client: T. CHARTRES & L. CHEETHAM
Project: AS CONSTRUCTED SHED
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Address: 35-37 MARGARET
BEACONSFIELD. TAS.

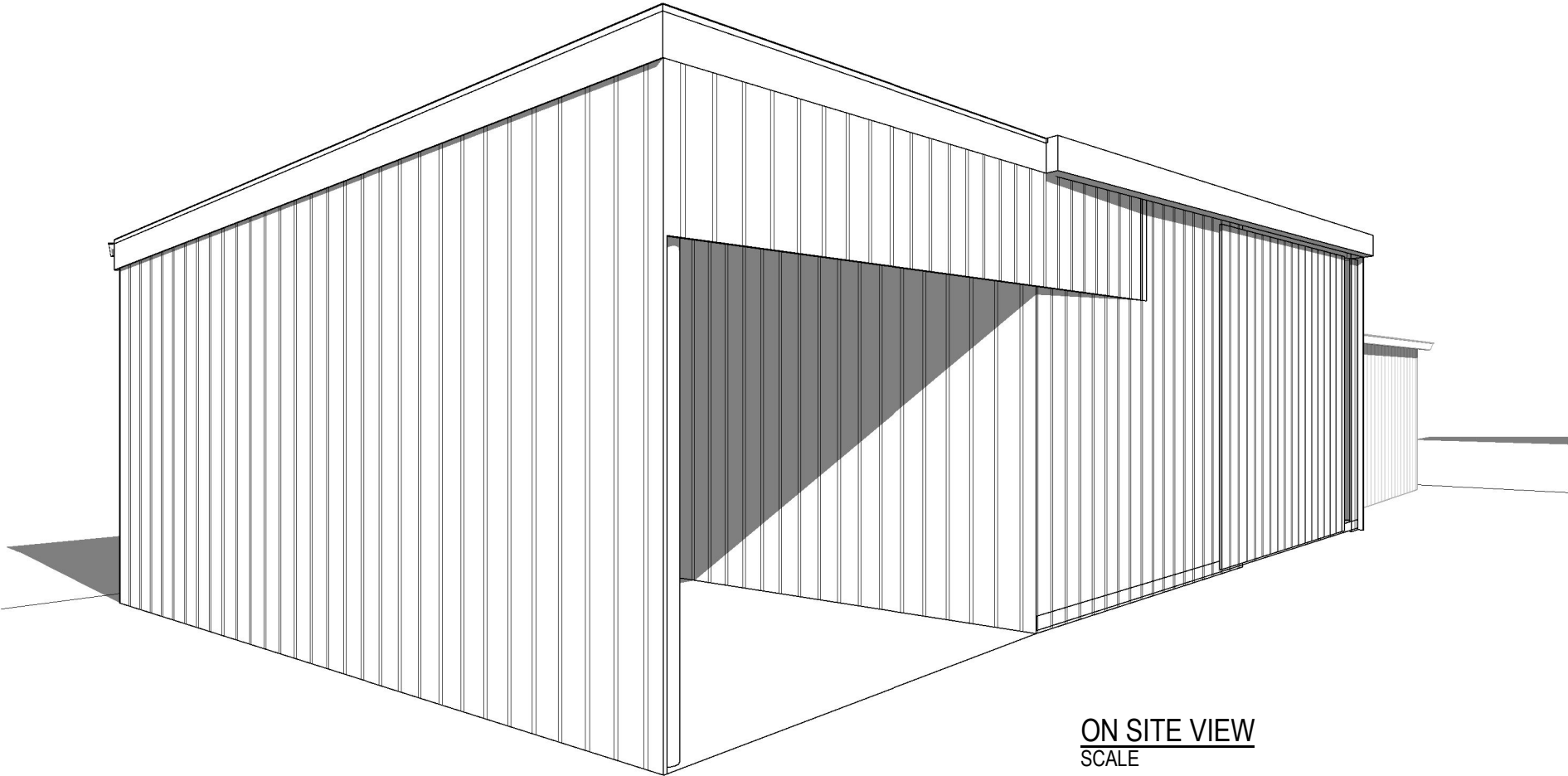
DEVELOPMENT APPROVAL

EP2026-162

A401



APPROACH VIEW
SCALE



ON SITE VIEW
SCALE

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