

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number PA2026248

Assess No: A8174

PID No: 7685604

Applicant Name:	Tascad Pty Ltd			
Postal Address:				
Contact Phone:	Home		Work	
Email Address:				

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☐
2. A completed application form including a detailed description of the proposal ☐
3. A complete plan set: ☐
 - a) Floor plans ☐
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☐
 - c) Site Plan showing: ☐
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other: ☐

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name:

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title)

Location / Address:

Title Reference:

Zone(s):

Existing Development/Use:

Existing Developed Area:

DEVELOPMENT APPLICATION DETAILS

Proposed Use:

Residential: ☐

Visitor Accommodation: ☐

Commercial: ☐

Other: ☐

Description of Use:

Development Type:

Building work: ☐

Demolition: ☐

Subdivision: ☐

Other: ☐

Description of development:

New or Additional Area:

Area

Estimated construction cost of the proposed development:

Building Materials:

Wall Type:

Colour:

Roof Type:

Colour:

Application Number: «Application Number»

SUBDIVISION	☐ N/A
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Subdivision creating additional lots ☐

Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE	☐ N/A
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Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	

Existing Car Parking:	
Proposed Car Parking:	

Number of Employees: <i>(Existing)</i>	
Number of Employees: <i>(Proposed)</i>	

Type of Machinery installed:	
Details of trade waste and method of disposal:	

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

(if not the owner)

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**Chief
Executive
Officer**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

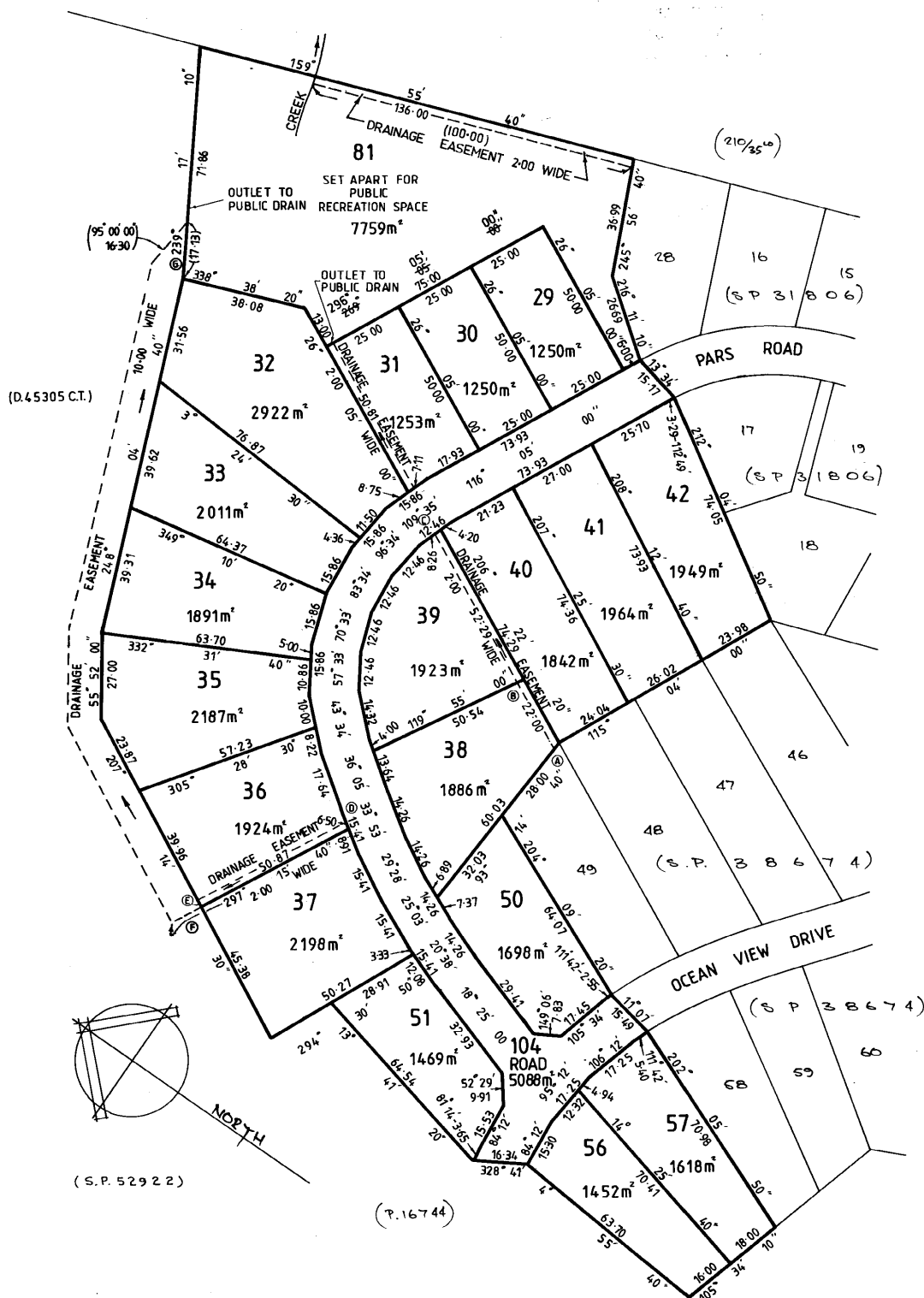
As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

Owner: LEONARD HENRY BLYTH & JUIN SHIRLEY BLYTH	PLAN OF SURVEY by Surveyor: PAUL ANTHONY PHELPS of of land situated in the CAMPBELL SMITH, PHELPS, PEDLEY, PTY. LTD. of 60 ELPHIN ROAD LAUNCESTON of land situated in the LAND DISTRICT OF DEVON PARISH OF STOCKPORT SCALE 1:1,000 MEASUREMENTS IN METRES	Registered Number: SP44435 Approved: 16 AUG 1990 Effective from: <i>11/10/90</i> Recorder of Titles
Title Reference: CT Vol 4544 Fol 31		
Grantee: PART OF LOT 31551 1996-0-34 GRANTED TO GEOFFREY RICHARD GARDNER.		





SCHEDULE OF EASEMENTS

PLAN NO.

SP 44435

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

Lot 81 is subject to a Right of Drainage (appurtenant to Lots 14, 15, 16, 28 and 101 on Sealed Plan No. 31806) over the Drainage Easement 2.00 wide shown passing through Lot 81.

Lots 38 & 39 are SUBJECT to a right of drainage over the drainage easement marked A B C passing through such Lots in favour of the Warden Councillors and Electors of the Municipality of Beaconsfield. Lot 36 is SUBJECT TO a right of drainage over the drainage easement marked D E passing through such Lot in favour of the Warden Councillors and Electors of the Municipality of Beaconsfield.

~~The balance is SUBJECT TO a right of drainage over the drainage easement marked F G passing through the balance in favour of the Warden Councillors and Electors of the Municipality of Beaconsfield.~~

INTERPRETATION

~~"The Balance" means the land remaining in the Folio of the Register Volume 4544 Folio 31 at the date of acceptance of the plan excluding thereout the Lots on the plan.~~

FENCING COVENANT

The owner of each Lot on the plan covenants with the Vendor (Leonard Henry Blyth & Juin Shirley Blyth) that the Vendor shall not be requested to fence.

SIGNED BY the said LEONARD HENRY BLYTH
and JUIN SHIRLEY BLYTH the registered
proprietors of the land comprised in
Folio of the Register Volume 4544
Folio 31 in the presence of:-

Leonard Henry Blyth
Juin Shirley Blyth

3254

This is the schedule of easements attached to the plan of Leonard Henry Blyth and
(Insert Subdivider's Full Name)

Juin Shirley Blyth affecting land in

C.T. Vol. 4544 Fol. 31
(Insert Title Reference)

Sealed by Municipality of Beaconsfield on 24th April, 1990

Solicitor's Reference Council Clerk/Town Clerk

OS:K 3134

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PROPOSED CARPORT WITH DECK OVER 24 OCEAN VIEW DRIVE, GREENS BEACH



ABN 27 639 550 879

DRAWING TITLE

COVER PAGE

ADDRESS

24 OCEAN VIEW DRIVE

OWNER / CLIENT

M & R BARRY

NOTES

REV.	AMENDMENT	DATE
1	CONCEPT	25/07/26
2	PRELIMINARY	18/08/26

DRAWN BY

W.M

LICENCE NO.

741767438

SCALE

NTS

DRAWING NO.

OCNV241

SITE INFORMATION

TITLE REFERENCE	7685604
PID	44435/50
ZONE	LOW DENSITY RES.
LAND SIZE	1705.91m2
EXISTING DWELLING	165.00m2
PROP. CARPORT	30.75m2
OTHER HAZARDS	BUSHFIRE

NOTES:

- IF IN DOUBT ASK - DESIGNER, ENGINEER, BUILDING SURVEYOR.
- DIAL BEFORE YOU DIG
- ENGINEERING , ENERGY ASSESSMENT & ANY OTHER RELEVANT REPORT/PLANS PREPARED BY CONSULTANT TO SUPERSEDE PLANS BY TASCAD PYT LTD

- CLAUSES/NOTES/IMAGES TAKEN FROM
© COMMONWEALTH OF AUSTRALIA AND THE STATES AND TERRITORIES 2022,PUBLISHED BY THE AUSTRALIAN BUILDING CODES BOARD.



ABN 27 639 550 879

DRAWING TITLE

SITE PLAN

ADDRESS

24 OCEAN VIEW DRIVE

OWNER / CLIENT

M & R BARRY

NOTES

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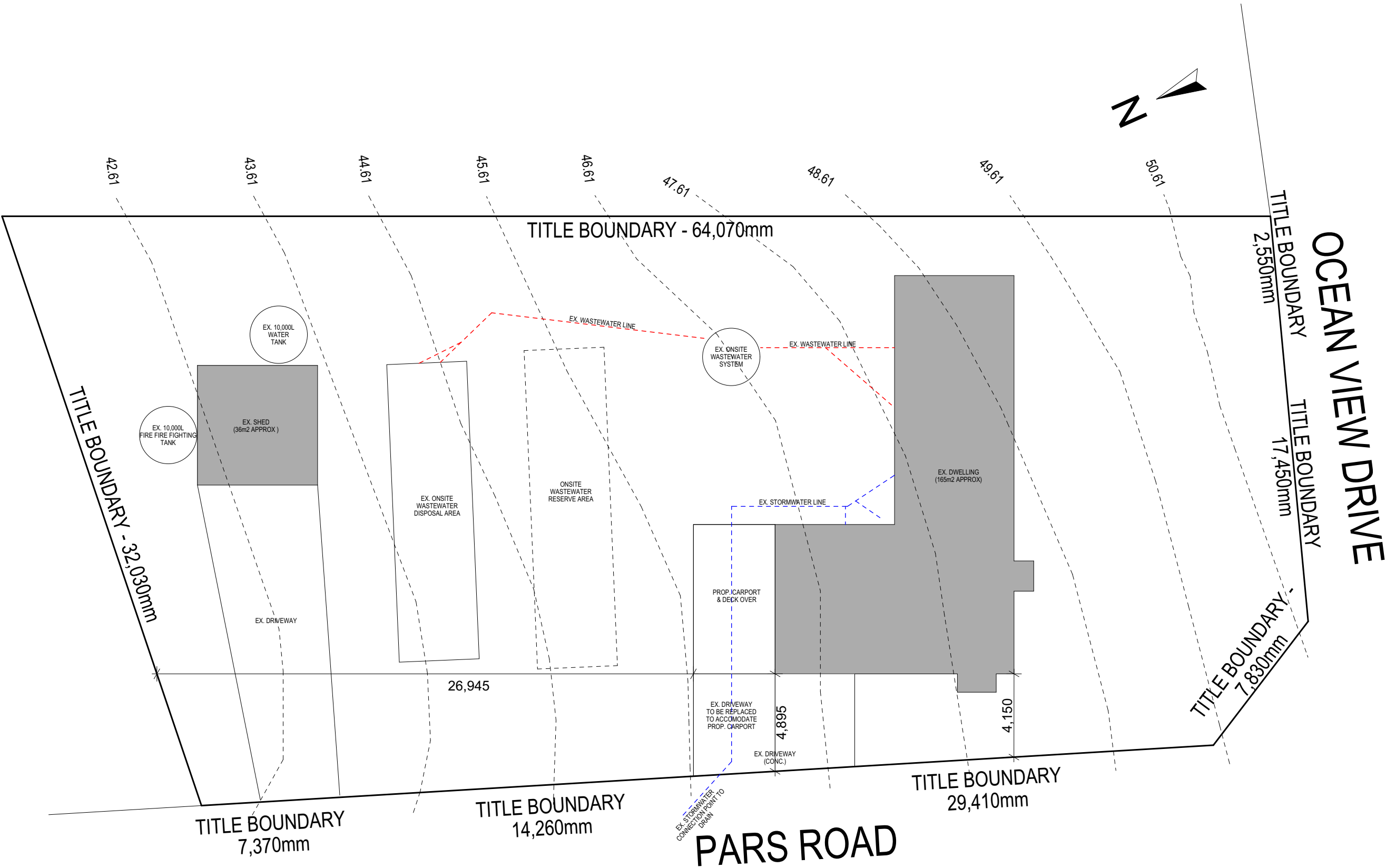
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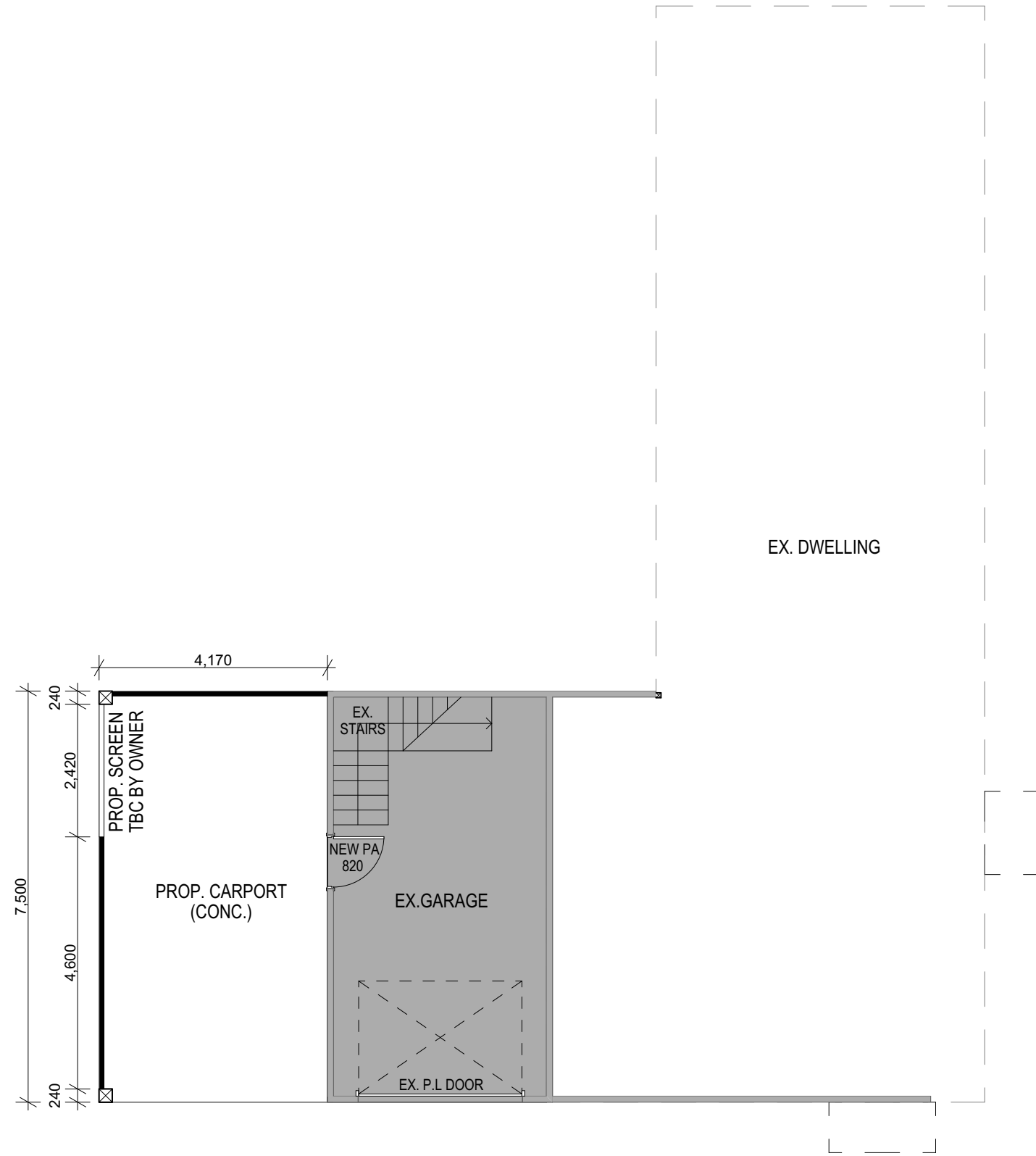
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FOUNDATIONS
FOOTINGS, FOUNDATIONS & OR SLAB TO BE STRICTLY TO
STRUCTURAL ENGINEERS PLANS

BOUNDARY
BOUNDARY TO BE CONFIRMED ON SITE AT OWNERS EXPENSE IF IN
DOUBT CHECK



- KEY
- EXISTING DWELLING (UNMODIFIED) [Solid grey box]
 - EXISTING WALLS [Thin grey line]
 - PROPOSED WALLS [Thick black line]
 - TO BE REMOVED/ADJUSTED [Red double line]



ABN 27 639 550 879

DRAWING TITLE

PROP. CARPORT F. PLAN

ADDRESS

24 OCEAN VIEW DRIVE

OWNER / CLIENT

M & R BARRY

NOTES

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W.M

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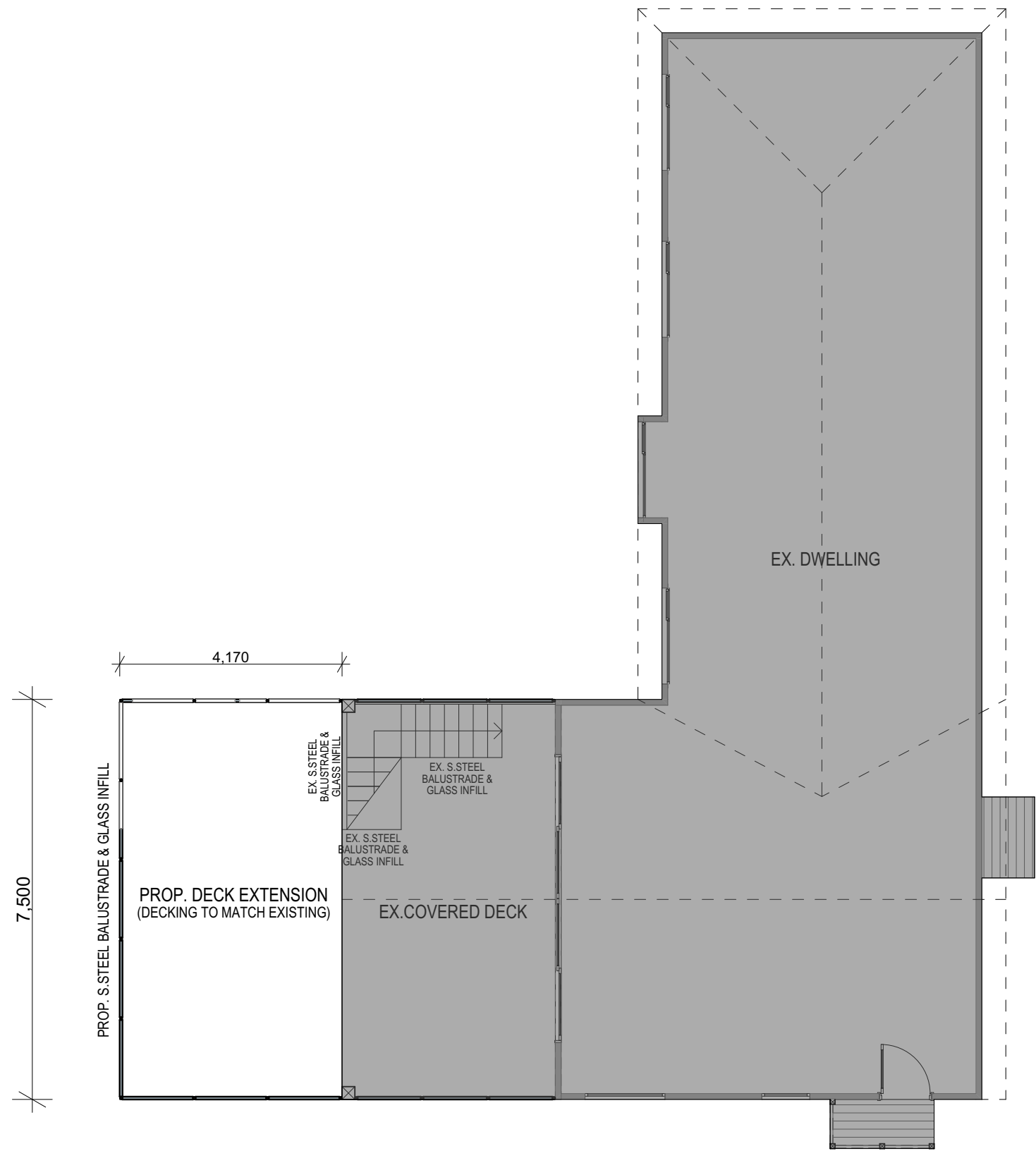
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SCALE

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DRAWING NO.

OCNV24 3



- KEY
- EXISTING DWELLING (UNMODIFIED)
 - EXISTING WALLS
 - PROPOSED WALLS
 - TO BE REMOVED/ADJUSTED

		
ABN 27 639 550 879		
DRAWING TITLE		
, PROP. DECK F.PLAN		
ADDRESS		
24 OCEAN VIEW DRIVE		
OWNER / CLIENT		
M & R BARRY		
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W.M		
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741767438		
SCALE		
1:100		
DRAWING NO.		
OCNV24	4	



ABN 27 639 550 879

DRAWING TITLE

ELEVATIONS,

ADDRESS

24 OCEAN VIEW
DRIVE

OWNER / CLIENT

M & R BARRY

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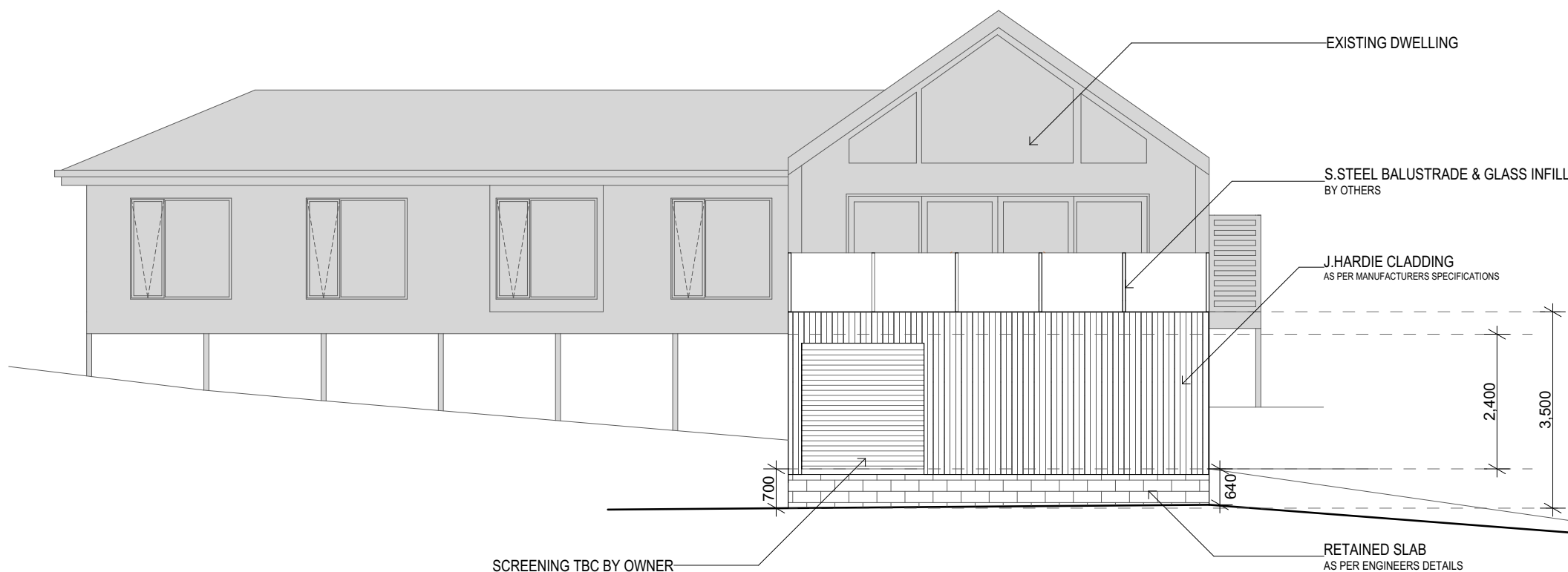
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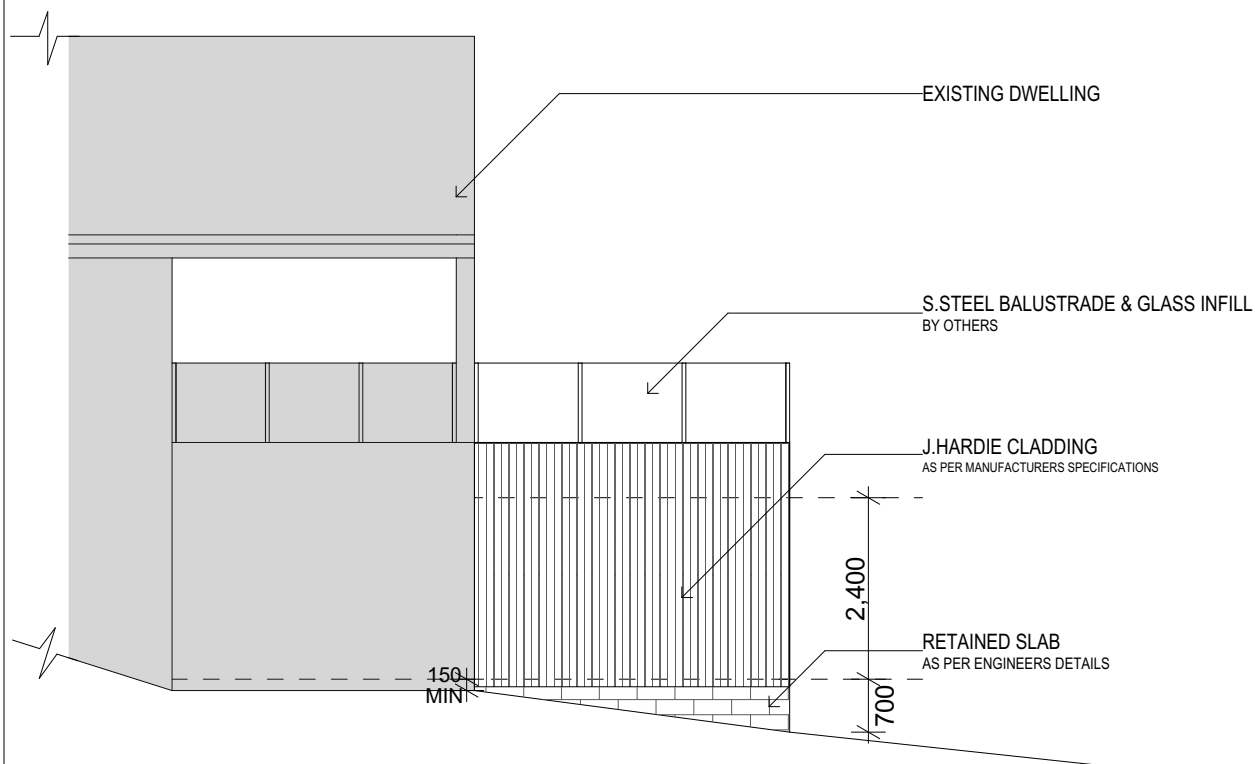
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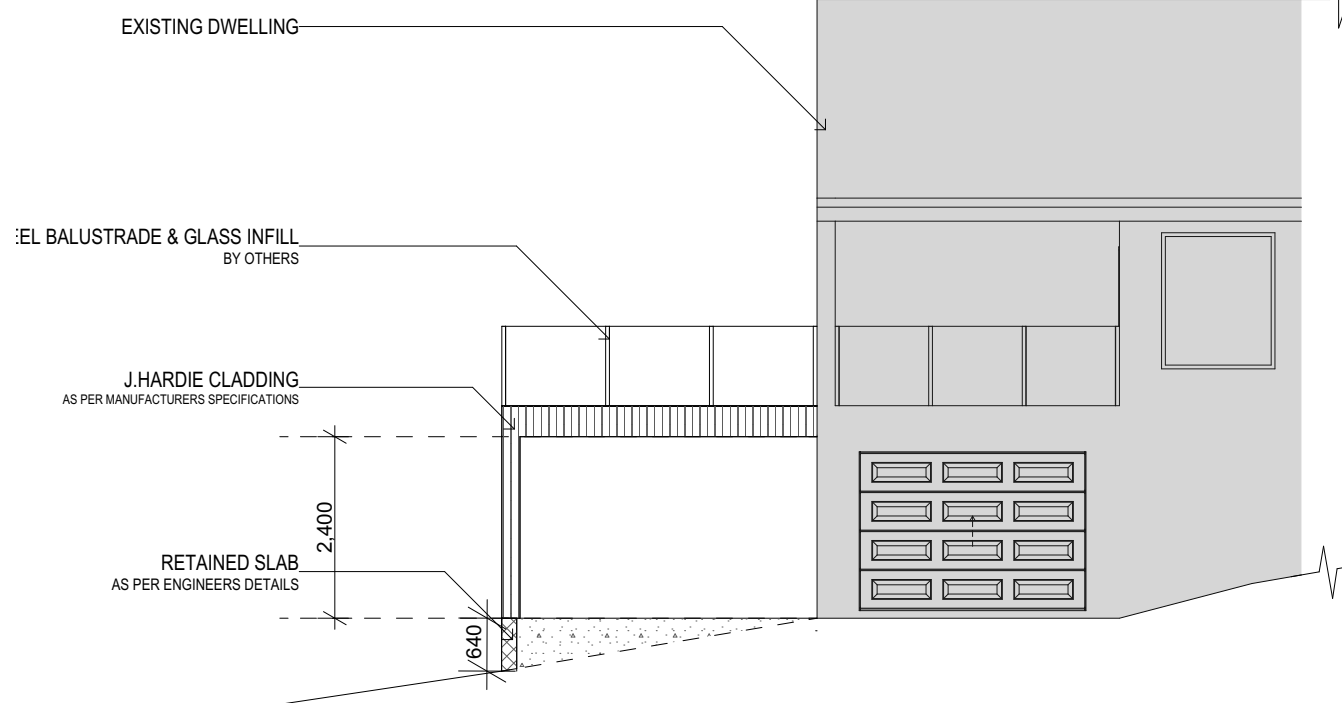
OCNV24 5



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION