

PLANNING APPLICATION FORM

Section 57 & 58

**OFFICE USE
ONLY**

Application Number PA2026253

Assess No: A4687

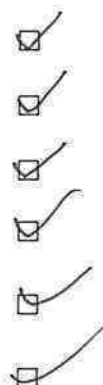
PID No: 9599890

Applicant Name:	K. and M. Styles		
Applicant Contact Name			
Postal Address:			
Contact Phone:	Home	Work	Mobile
Email Address:			

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements
2. A completed application form including a detailed description of the proposal
3. A complete plan set:
 - a) Floor plans
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level)
 - c) Site Plan showing:
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:



*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name:

Mark Richard Styles 122 Glengarry Road

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

Glengarry Tas 721

LAND DETAILS

Owner/Authority Name:
(as per certificate of title)

Location / Address:

122 Glengarry Road, Glengarry Tas
7215

Title Reference:

Zone(s):

Existing Development/Use:

Existing Developed Area:

Are any of the components in this Application seeking retrospective approval?
E.g. Use and/or development that has commenced without a Planning Permit.YES ☐NO ☒

(If yes please specify the relevant components):

DEVELOPMENT APPLICATION DETAILS

Proposed Use:

Residential: ☒Visitor Accommodation: ☐Commercial: ☐Other: ☐

Description of Use:

Bedroom additions.

Development Type:

Building work: ☒Demolition: ☐Subdivision: ☐Other: ☐

Description of development:

house extension.

New or Additional Area:

84 square

Estimated construction cost of the
proposed development:

\$100,000.00

Building Materials:

Wall Type: Colour bond

Colour: Blue

Roof Type: Colour bond

Colour: Dune

Application Number: «Application Number»

VISITOR ACCOMMODATION

☒ N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION

☒ N/A

Subdivision creating additional lots ☐

Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :		Number of Lots (proposed) :	
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

☒ N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	
Existing Car Parking:				
Proposed Car Parking:				
Number of Employees: (Existing)				
Number of Employees: (Proposed)				
Type of Machinery installed:				
Details of trade waste and method of disposal:				

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: *As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,*

Mark Styles
Name (print)


Signed

9/8/2026
Date

Applicant: *As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,*
(if not the owner)

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

Crown Consent
(if required)

Name (print)

Signed

Date

Chief Executive Officer
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

OWNER: GLENALLAN INVESTMENTS PTY LTD FOLIO REFERENCE: CT 100709/4, CT 174283/1 GRANTEE: WHOLE OF LOT 7418 GEORGE WESTWOOD -PUR. WHOLE OF LOT 13132 ARTHUR WILLIAM ROBERTSON-PUR.PART OF LOT 14401 GTD. TO ARTHUR WILLIAM ROBERTSON THE YOUNGER, PART OF LOT 9734 GTD. TO J ROBERTSON PART OF 37 ACRES GTD. TO JOSEPH ROBERTSON THE YOUNGERS, LOT 17883 11A1R13P GTD TO JOHN KILGARIFF STEWART		PLAN OF SURVEY BY SURVEYOR: J.W.DENT of PDA Surveys Surveying, Engineering & Planning 3/23 BRISBANE STREET, LAUNCESTON LOCATION: LAND DISTRICT OF DEVON PARISH OF MARLAND SCALE 1:7500 LENGTHS IN METRES		REGISTERED NUMBER SP177137 APPROVED EFFECTIVE FROM - 6 JUN 2019 Deputy Recorder of Titles
MAPSHEET MUNICIPAL CODE No.(4842) 129	LAST UPI No	LAST PLAN SP 174238 & SP100709	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

LOT 2 COMPILED FROM CT100709/4, CT174283/1 & THIS SURVEY

Registered Land Surveyor

7/5/19
Date

Council Delegate

10/5/19
Date

SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP 177 137
--	--

PAGE 1 OF 1 PAGES
2EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

BURDENING EASEMENTS - SEE PAGE 2

Nil

FENCING PROVISION

In relation to the lots on the Plan the Vendor (Glenallan Investments Pty Ltd) shall not be required to fence.

SIGNED FOR AND ON BEHALF OF

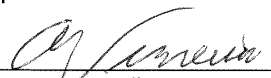
GLENALLAN PTY LTD as registered

Proprietor of the land described by Folio of the Register

Volume 1007809 Folio 4

pursuant to section 127 of the

Corporations Act 2001


Sole Director - Allan James Virieux
& Sole Secretary

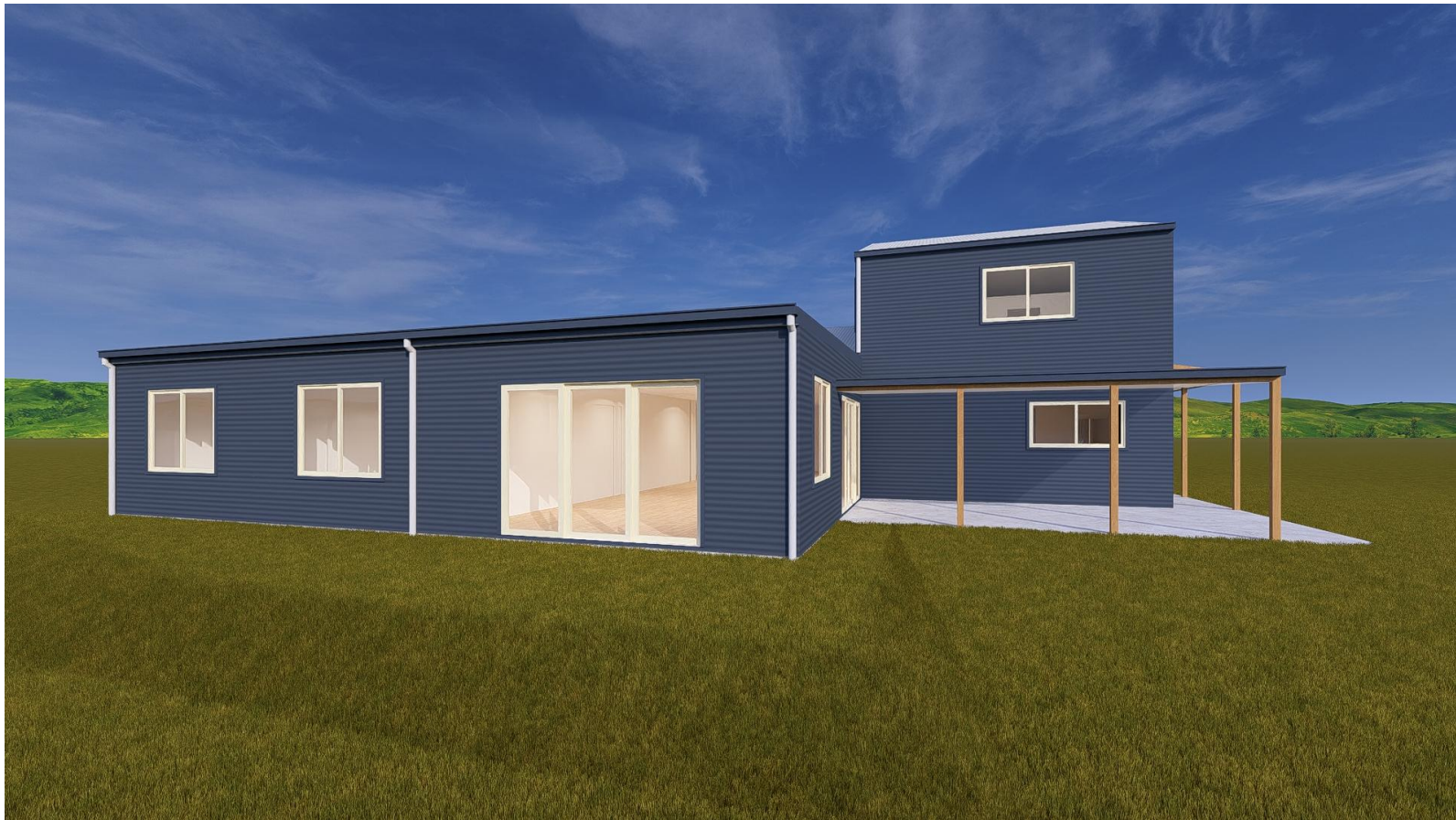
(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: GLENALLAN INVESTMENTS PTY LTD (ACN 618 174 011) FOLIO REF: 100709/4 SOLICITOR & REFERENCE: CORMISTON LEGAL - SEP 190568	PLAN SEALED BY: WEST TAMAR COUNCIL DATE: 10 May 2019 REF NO. PA2018182  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 2 PAGES	Registered Number SP177137
SUBDIVIDER: - GLENALLAN INVESTMENTS PTY LTD FOLIO REFERENCE: - 100709/4 & 174283/1	
EASEMENTS That part of Lot 2 on the Plan formerly comprised in Lot 3 on Sealed Plan 134693 is together with a right of carriageway over the land marked Right of Way (Private) ABCD on the Plan. That part of Lot 2 on the Plan formerly comprised in Lot 1 on Diagram 41909 is together with a right of carriageway over the land marked Right of Way (Private) 6.00 wide on the Plan. Lot 1 on the Plan is subject to a right of carriageway (appurtenant to Lot 2 on Sealed Plan 100709) over the land marked Right of Way (Private) 6.10 wide on the Plan.	
NOTE: - Every annexed sheet must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.	



PROPOSED EXTENSION
122 GLENGARRY ROAD,
GLENGARRY, 7275.



DRAWINGS

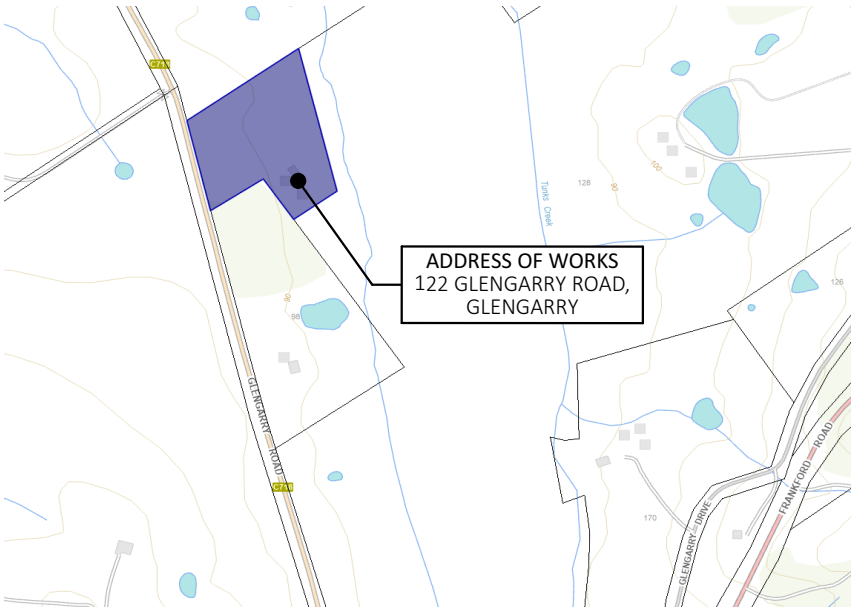
- A01 COVER PAGE
- A02 SITE PLAN - 1:1000
- A03 SITE PLAN - 1:200
- A04 G.F. DEMOLITION FLOOR PLAN
- A05 G.F. PROPOSED FLOOR PLAN
- A06 F.F. FLOOR PLAN
- A07 SET OUT PLAN
- A08 EXTERNAL SERVICES
- A09 ELECTRICAL PLAN
- A10 REFLECTED CEILING PLAN
- A11 ROOF PLAN
- A12 ELEVATIONS N/E-S/W
- A13 ELEVATIONS N/W-S/E
- A14 SECTION 14A
- A15 DETAILS
- A16 WINDOW & DOOR SCHEDULE
- A17 CONSTRUCTION NOTES 1
- A18 CONSTRUCTION NOTES 2
- A19 PERSPECTIVES

CLASSIFICATION OF BUILDING	COUNCIL	ZONE
CLASS 1A	WEST TAMAR	AGRICULTURE
AREAS (m²)	LAND TITLE REFERENCE	ENERGY STAR RATING
EXISTING DWELLING (G.F.) 135.80	177137/1	D.T.S.
EXISTING DWELLING (F.F.) 55.57	PROPERTY ID 9599890	CLIMATE ZONE 7
EXISTING ALFRESCO 23.76	LOT SIZE (M²) 23710	ALPINE AREA N/A
EXISTING VERANDAH 6.77	BAL RATING TBC	CORROSION ENV' LOW
PROPOSED EXTENSION 84.83	DESIGN WIND CLASS TBC	SITE HAZARDS BUSHFIRE PRONE
	SOIL CLASSIFICATION TBC	
PLANNING OVERLAY WATERWAY & COASTAL PROTECTION AREA, BUSHFIRE PRONE AREAS		

ATTACHMENTS

- TBC STRUCTURAL DRAWINGS
- TBC SOIL REPORT
- TBC BUSHFIRE REPORT
- TBC WASTEWATER REPORT

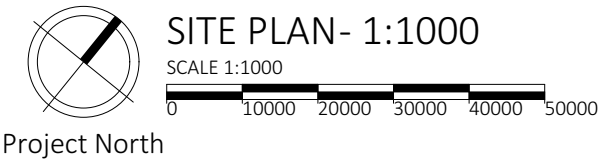
	ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: MARK & KATHERINE STYLES	DRAWING COVER PAGE	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT. SIGNATURE: DATE: SIGNATURE: DATE:	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV.	DATE	DESCRIPTION	DESIGNER	J.L.	JOB NUMBER	GLN122
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						R2	30/04/2026	FOR REVIEW	CHECKED	M.L.	PAGE SIZE	1 OF 19
						R3	23/06/2026	FOR REVIEW				A3



LOCALITY PLAN
NOT TO SCALE

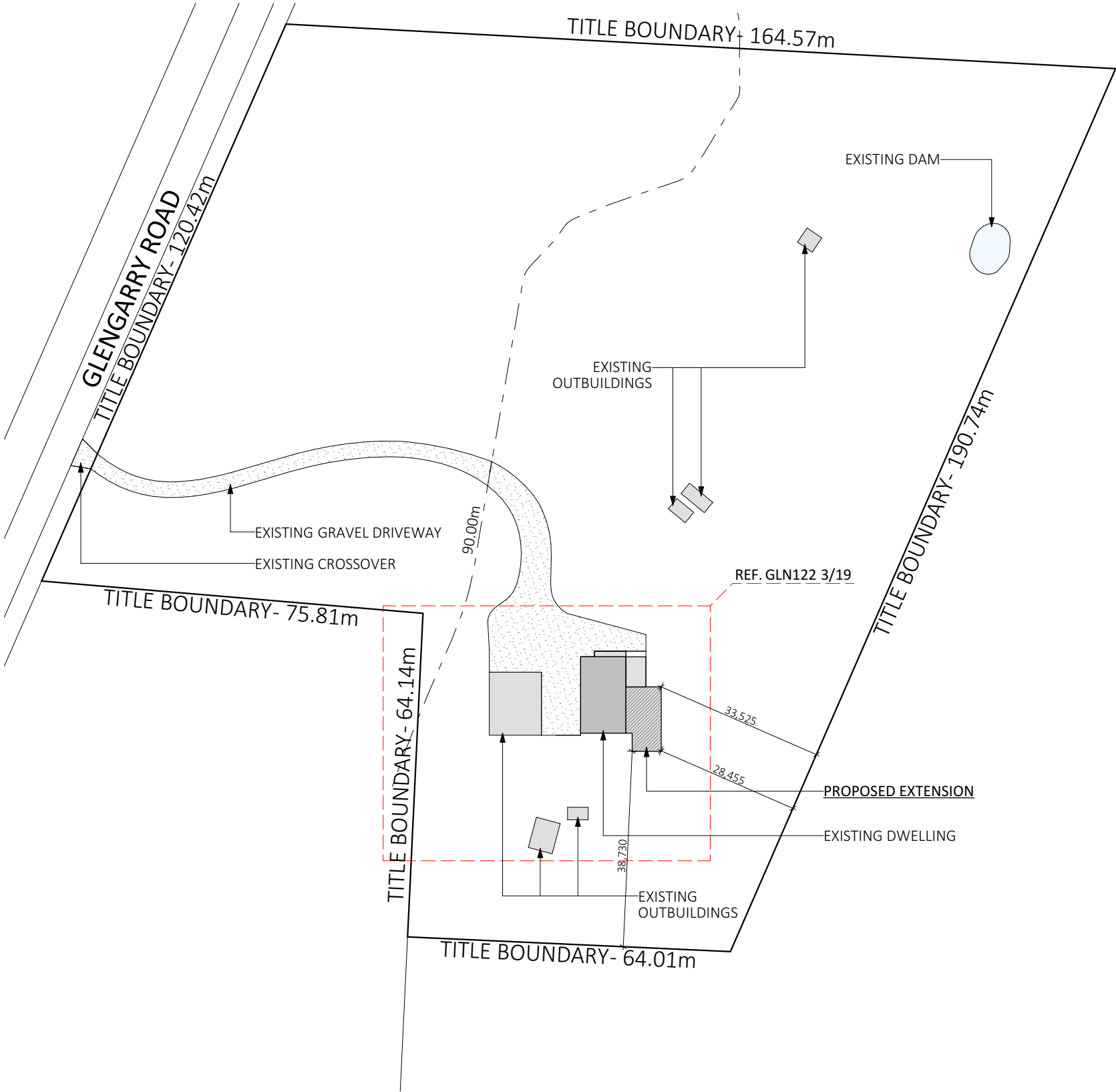
AREA	m ²
EXISTING DWELLING (G.F.)	135.80
EXISTING DWELLING (F.F.)	55.57
EXISTING ALFRESCO	23.76
EXISTING VERANDAH	6.77
PROPOSED EXTENSION	84.83

NOTE: REFER BUSHFIRE REPORT IF
DRIVEWAY UPGRADE IS REQUIRED.
BAL TANK LOCATION TBC



SITE PLAN- 1:1000

SCALE 1:1000



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DRAWING
SITE PLAN - 1:1000

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SIGNATURE:

DATE:
DATE:

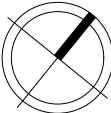
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R2	30/04/2026	FOR REVIEW				
R3	23/06/2026	FOR REVIEW	CHECKED	M.L.	PAGE SIZE	A3

AREA	m ²
EXISTING DWELLING (G.F.)	135.80
EXISTING DWELLING (F.F.)	55.57
EXISTING ALFRESCO	23.76
EXISTING VERANDAH	6.77
PROPOSED EXTENSION	84.83

NOTE: LESS THAN 500mm FALL ACROSS
SITE WHERE EXTENSION IS PROPOSED.



SITE PLAN- 1:200

SCALE 1:200

0

2000

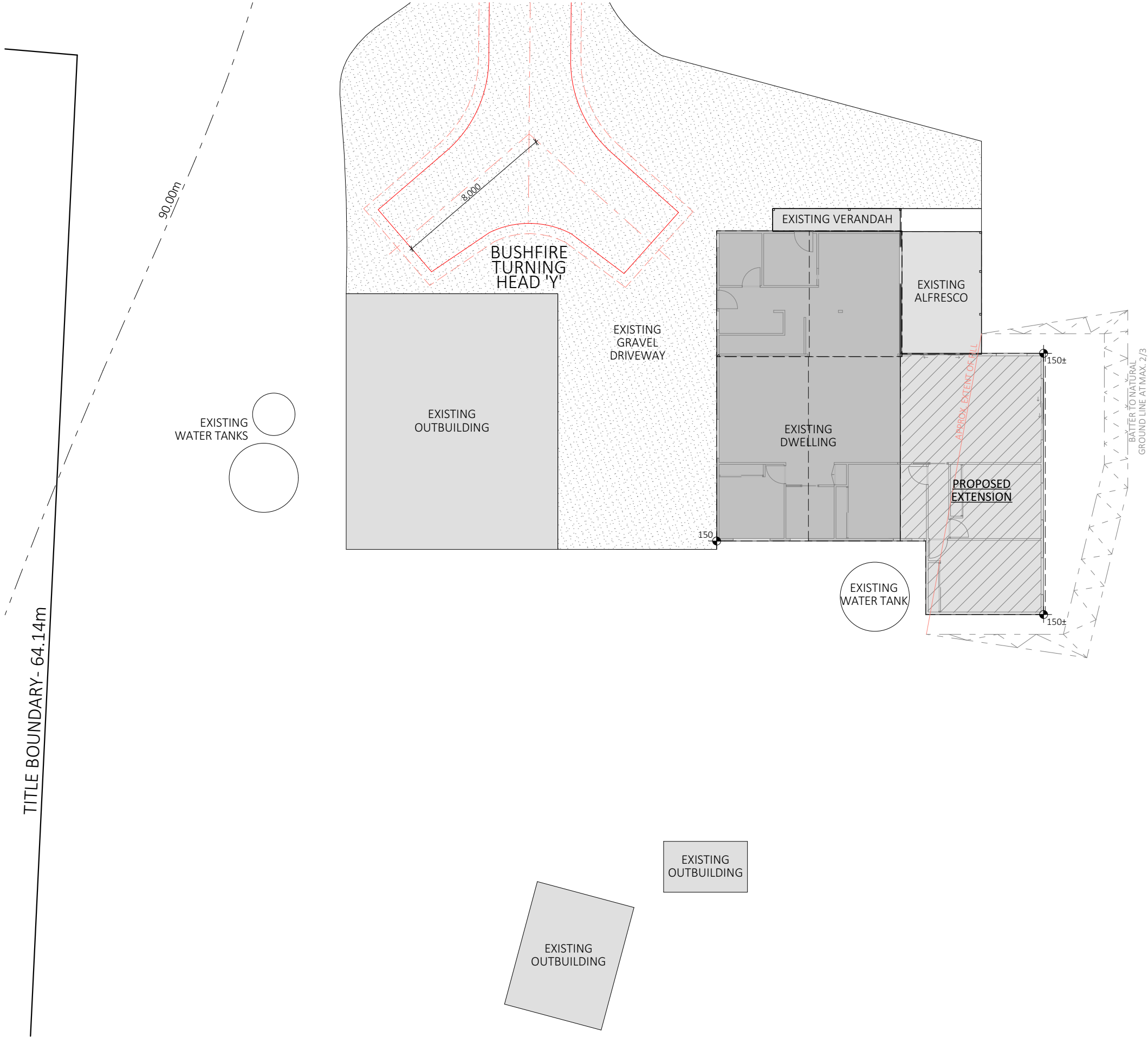
4000

6000

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DRAWING
SITE PLAN - 1:200

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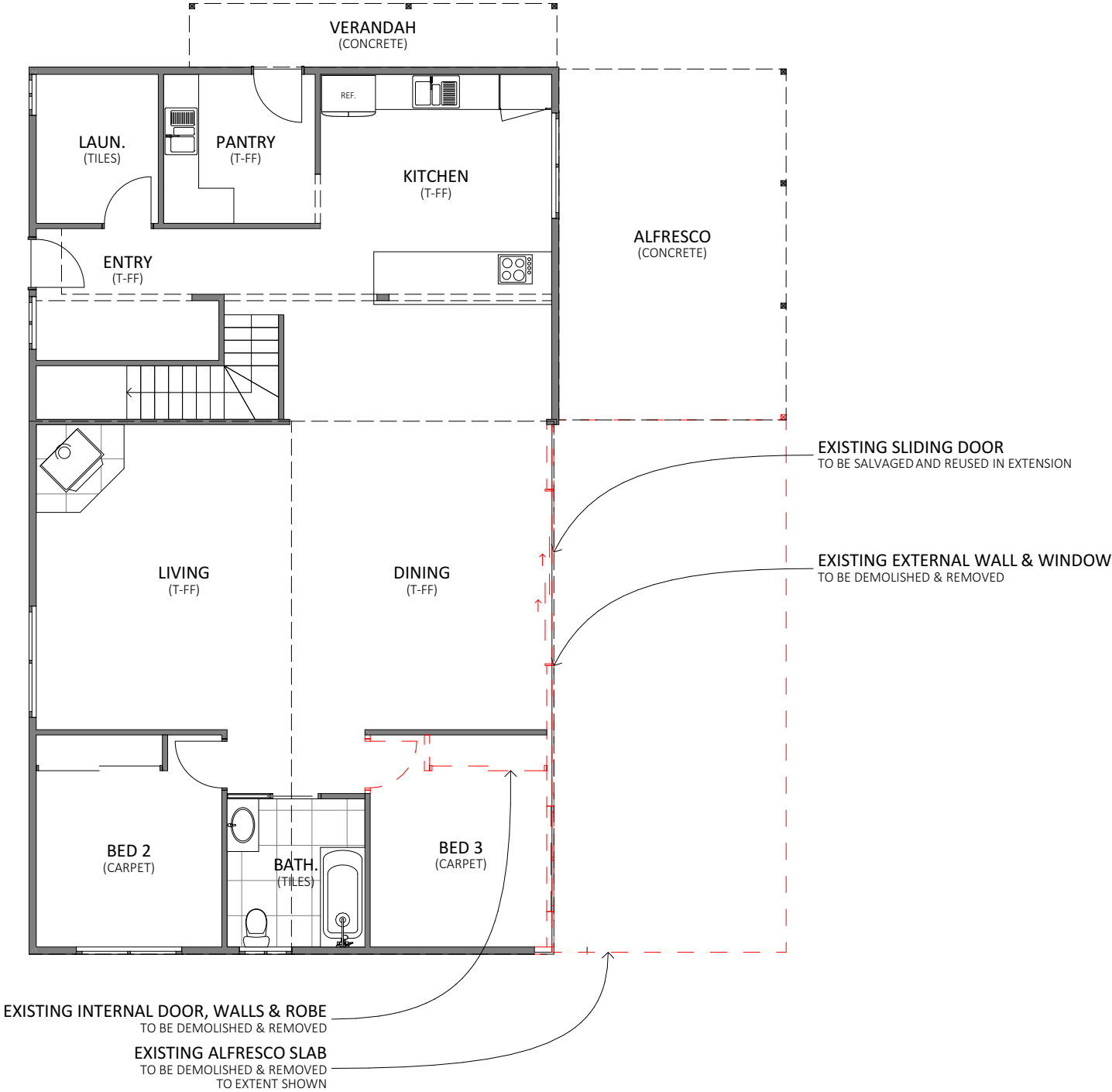
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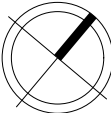
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R3	23/06/2026	FOR REVIEW	CHECKED	M.L.	PAGE SIZE	A3

KEY:	
	EXISTING/UNMODIFIED
	WALL TO BE REMOVED





G.F. DEMOLITION FLOOR PLAN

SCALE 1:100

0

1000

2000

3000

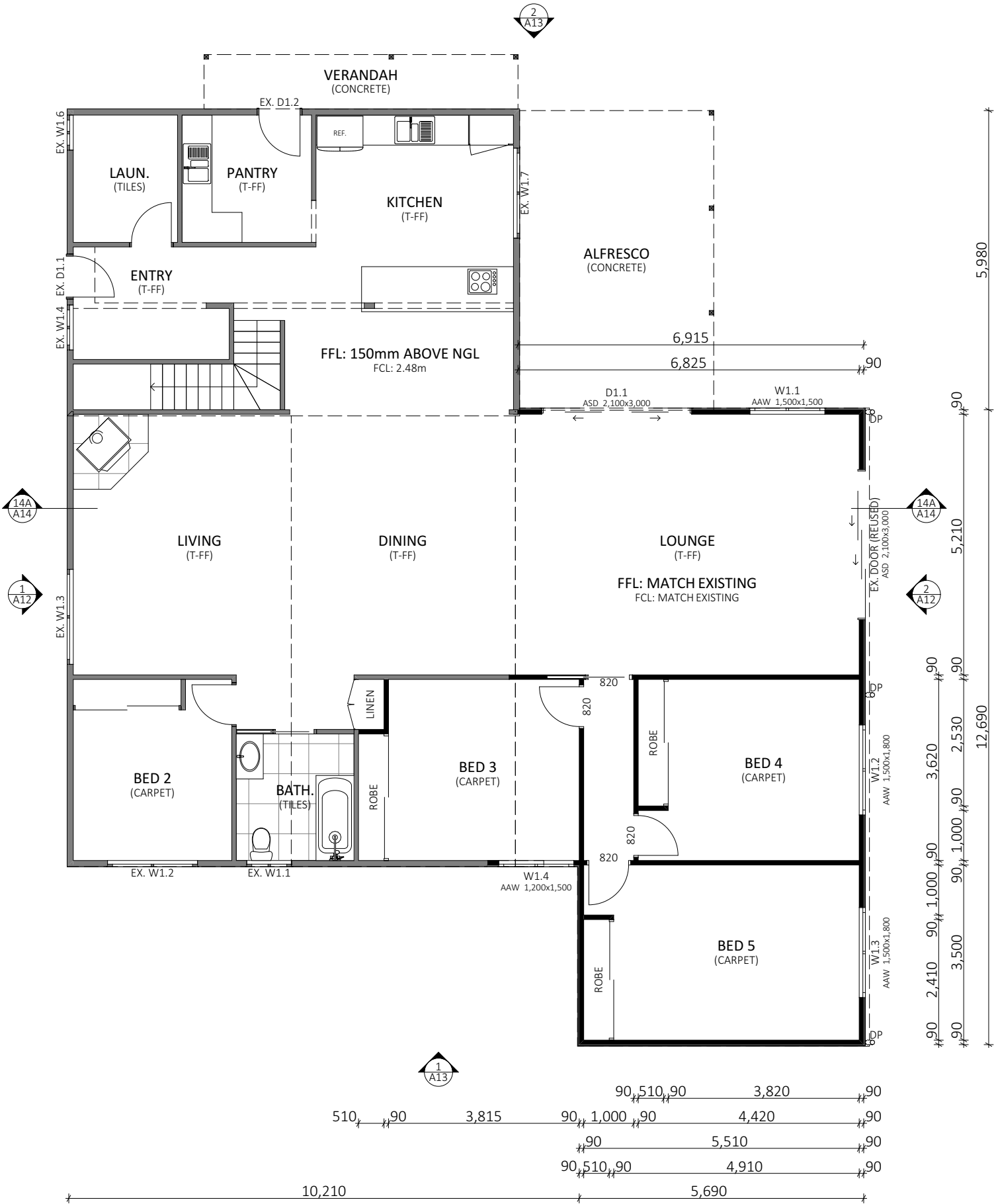
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								R3	23/06/2026	FOR REVIEW				

KEY:	
	EXISTING/UNMODIFIED
	NEW WALL



G.F. PROPOSED FLOOR PLAN

SCALE 1:100

0

1000

2000

3000

4000

5000

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DRAWING
G.F. PROPOSED
FLOOR PLAN

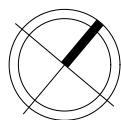
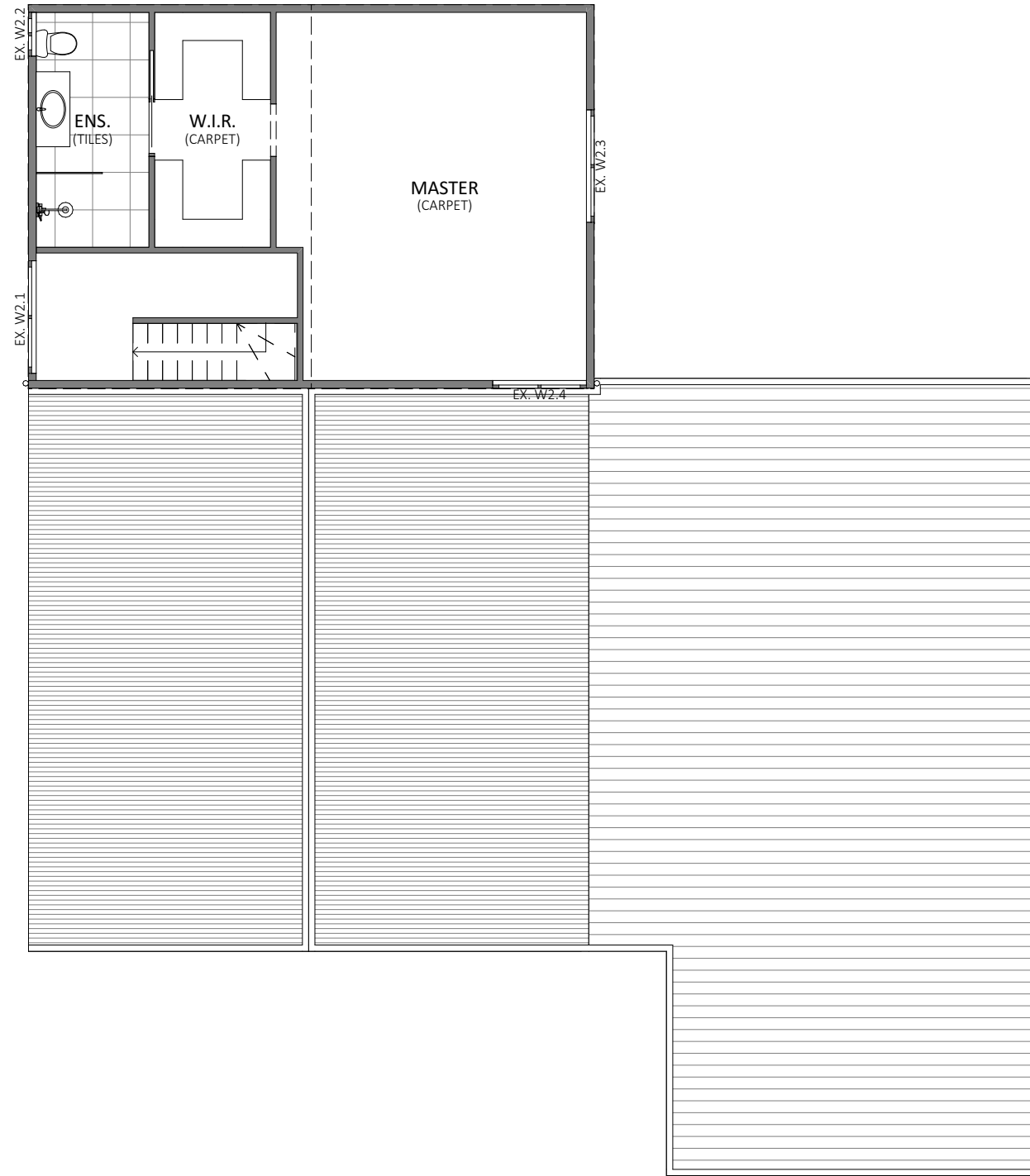
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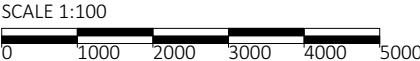
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R2	30/04/2026	FOR REVIEW		J.L.		5 OF 19
R3	23/06/2026	FOR REVIEW	CHECKED	M.L.	PAGE SIZE	A3



FIRST FLOOR PLAN



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F.F. FLOOR PLAN

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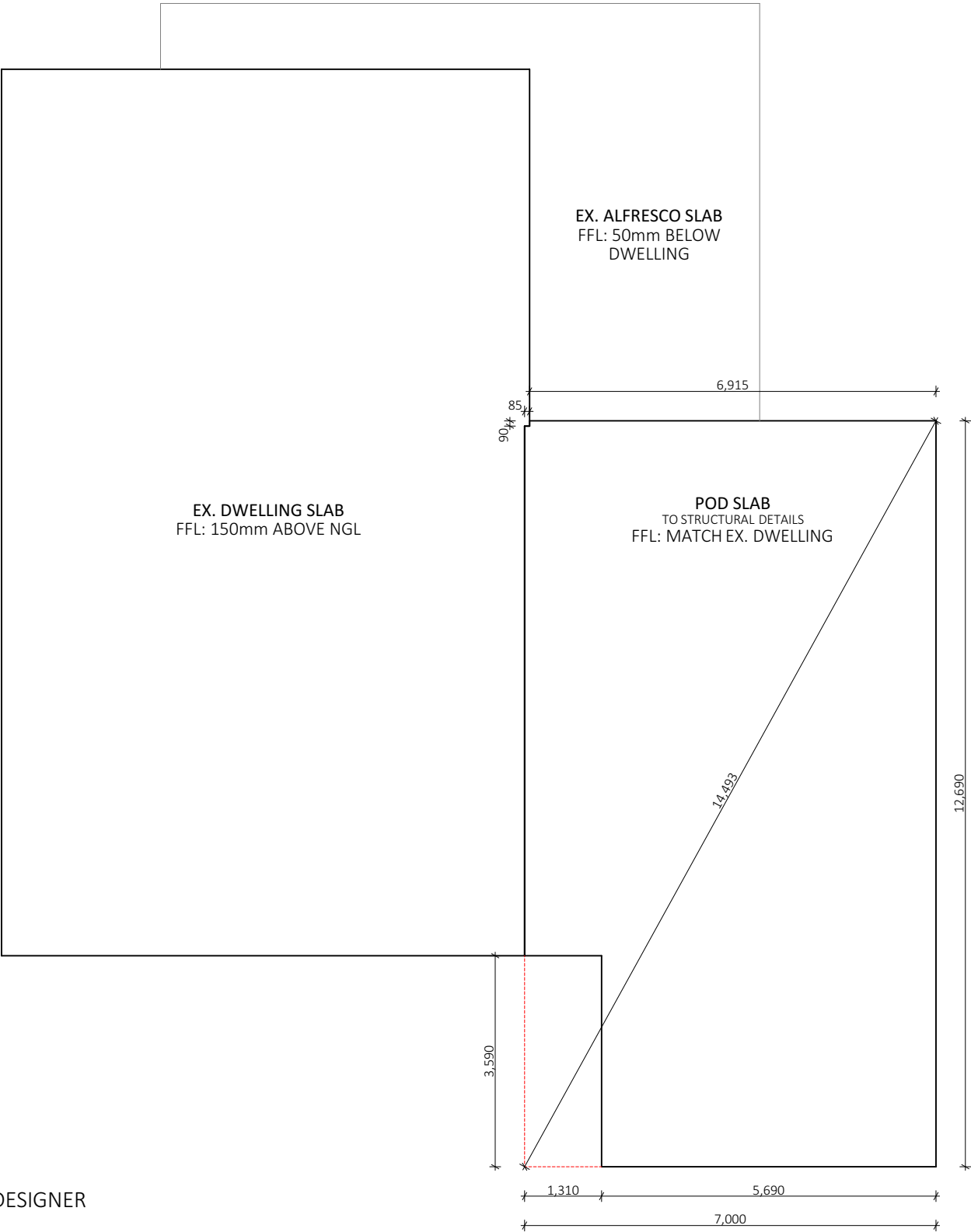
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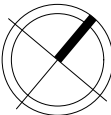
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			DRAWN	J.L.	DRAWING	A06
			CHECKED	M.L.	PAGE SIZE	A3
						6 OF 19



NOTES:
- CONFIRM LOAD BEARING WALL LOCATIONS WITH ENGINEER AND TRUSS DESIGNER



Project North

SETOUT PLAN

SCALE 1:100



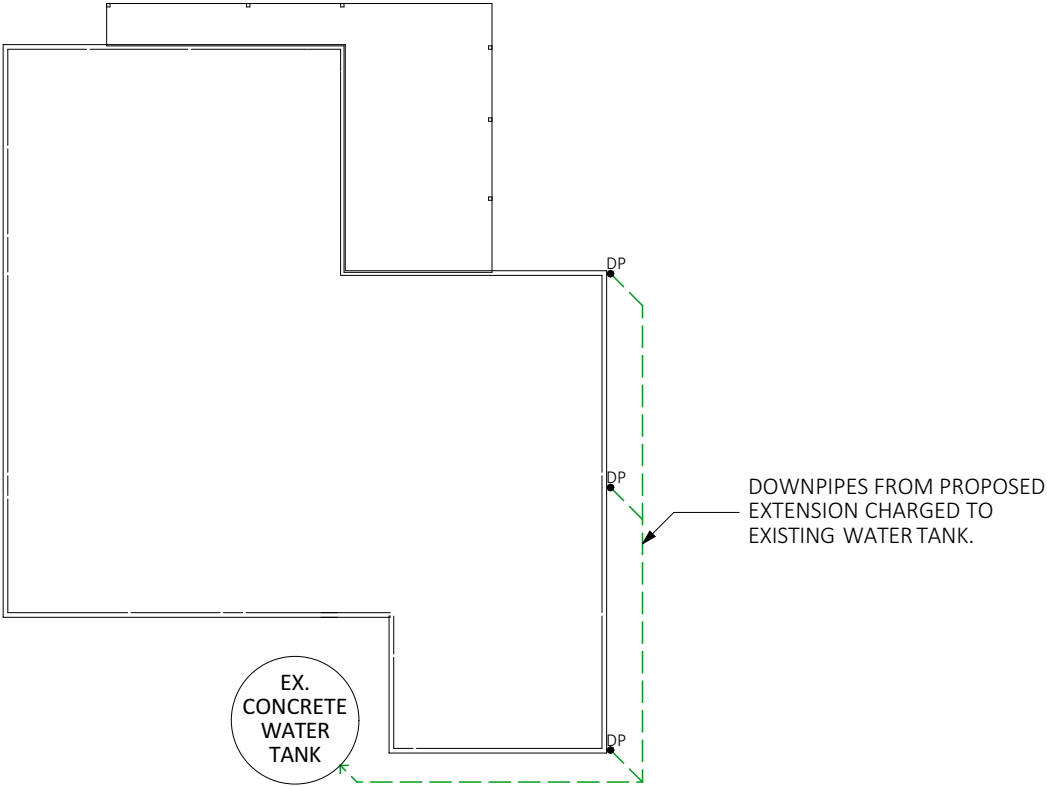
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									R2	30/04/2026	FOR REVIEW	CHECKED	M.L.	PAGE SIZE	7 OF 19 A3
									R3	23/06/2026	FOR REVIEW				

LEGEND	
DP	DOWNPIPE (90Ø)
---	STORMWATER LINE (100mm PVC)

THIS PAGE IS TO BE PRINTED
AND READ IN COLOUR.

INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR
STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

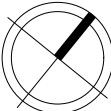
PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION
TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING
EXCAVATION.



BAL TANK LOCATION TBC

NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND
IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL
AUTHORITIES. ALL WORK IS TO COMPLY WITH AS-3500
AND LOCAL PLUMBING CODE AND SHOULD BE CARRIED
OUT BY A LICENSED PLUMBER.

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER
SUPPLY CODE OF AUSTRALIA MELBOURNE RETAIL WATER
AGENCIES INTERGRATED CODE (WSA 03-2011-3.1
VERSION 3.1 MRWA VERSION 2.0) AND THE SEWERAGE
CODE OF AUSTRALIA MELBOURNE RETAIL WATER
AGENCIES INTERGRATED CODE (WSA 02-2014-3.1 MRWA
VERSION 2.0) AND TASWATER'S SUPPLEMENTS TO THESE
CODES.



EXTERNAL SERVICES
SCALE 1:200


Project North



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CLIENT/S:
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**DRAWING
EXTERNAL
SERVICES**

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SIGNATURE:
SIGNATURE:

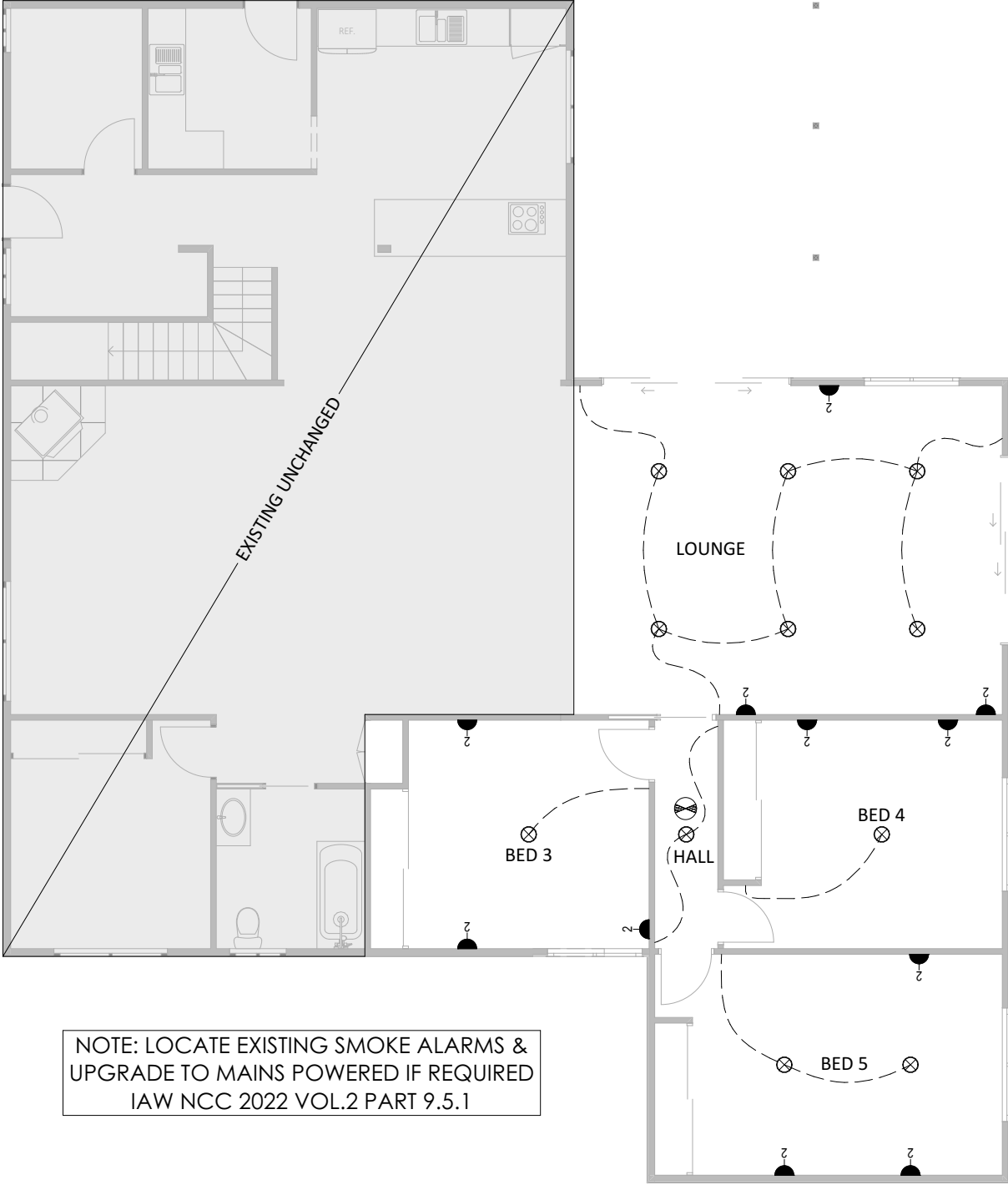
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R2	30/04/2026	FOR REVIEW				8 OF 19
R3	23/06/2026	FOR REVIEW	CHECKED	M.L.	PAGE SIZE	A3

ELECTRICAL SYMBOLS		
LEGEND	TYPE	QUANTITY
	DOUBLE GPO 300 OFF FLOOR	11
	DOWNLIGHT (LED)	11
	SMOKE DETECTOR	1



NCC 2022 SCHEDULE 9 - TAS PART 13.6 (WHOLE-OF-HOME ENERGY USAGES AS PER NCC 2019 VOL 2 PART 3.12.5.5 ARTIFICIAL LIGHTING)		
MAX ILLUMINATION POWER DENSITY ROOM ALLOWANCES		
ROOM	AREA (m2)	MAX IPD (W)
BED 3	13.81	69.05
BED 4	14.48	72.39
BED 5	17.79	88.94
HALL	3.62	18.10
LOUNGE	35.39	176.93

NOTE: LOCATE EXISTING SMOKE ALARMS & UPGRADE TO MAINS POWERED IF REQUIRED IAW NCC 2022 VOL.2 PART 9.5.1

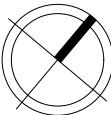
ELECTRICAL LAYOUT TO BE CONFIRMED ON SITE BY CLIENT WITH ELECTRICIAN

GENERAL:

- ALL GAPS AND CRACKS SEALED
- DOWN LIGHTS- LED (SEALED)

NOTES:

-SMOKE ALARMS MUST COMPLY WITH AS3786, BE POWERED FROM THE MAINS AND INTERCONNECTED IAW NCC VOL.2 ABCB HOUSING PROVISIONS PART 9.5.1



Project North

ELECTRICAL PLAN

SCALE 1:100



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	SITE ADDRESS: 122 GLENGARRY ROAD, GLENGARRY, 7275.							R1	22/04/2026	FOR REVIEW	DRAWN	J.L.	DRAWING	A09 9 OF 19				
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								R3	23/06/2026	FOR REVIEW								

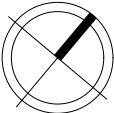
KEY:
PB: 10mm PLASTERBOARD
R2.5 INSULATION TO EXTERNAL WALLS

NOTE: (OVERHANGS)
OVERHANG MEASUREMENTS SHOWN ARE FROM
OUTSIDE OF FRAME- NOT CLADDING LINE

NOTE: (AIR GAPS)
- REFER DETAILS FOR AIR GAPS.
- REFER 2022 NCC VOL.2 PART 10.8.3 FOR VENTILATION REQUIREMENTS
- REFER AS3959 FOR BUSHFIRE MESH REQUIREMENTS

NOTE: VENTILATION (NCC VOL 2 PART 10.8.3):
50mm CONTINUOUS STRIP EAVE VENT WITH BAL RATED MESH,
PROVIDING 25,000mm/m² VENTILATION

GENERAL
- MIN R5.0 INSULATION TO CEILING CAVITY
- MIN R2.5 INSULATION TO EXTERNAL WALLS
- MIN R2.5 INSULATION TO INTERNAL WALLS CONNECTING THE ROOF SPACE
- R2.5 INSULATION ALLOWED TO CEILING PERIMETER DUE TO HEIGHT RESTRICTIONS WHERE APPLICABLE
- R2.5 INSULATION TO ALL SKYLIGHT SHAFTS (IF APPLICABLE)
- ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH AS 3999.



REFLECTED CEILING PLAN

SCALE 1:100

0

1000

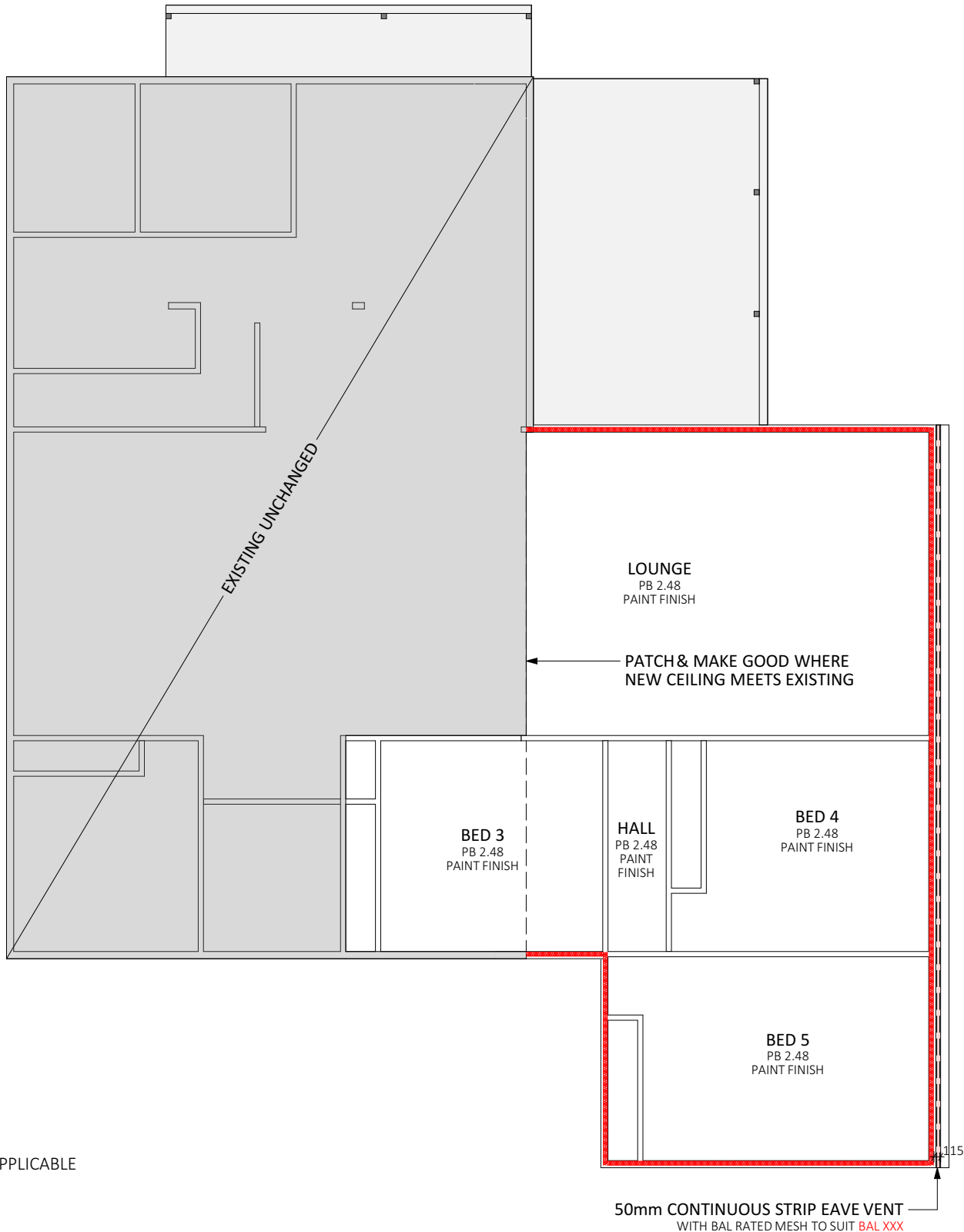
2000

3000

4000

5000

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									R3	23/06/2026	FOR REVIEW				A3

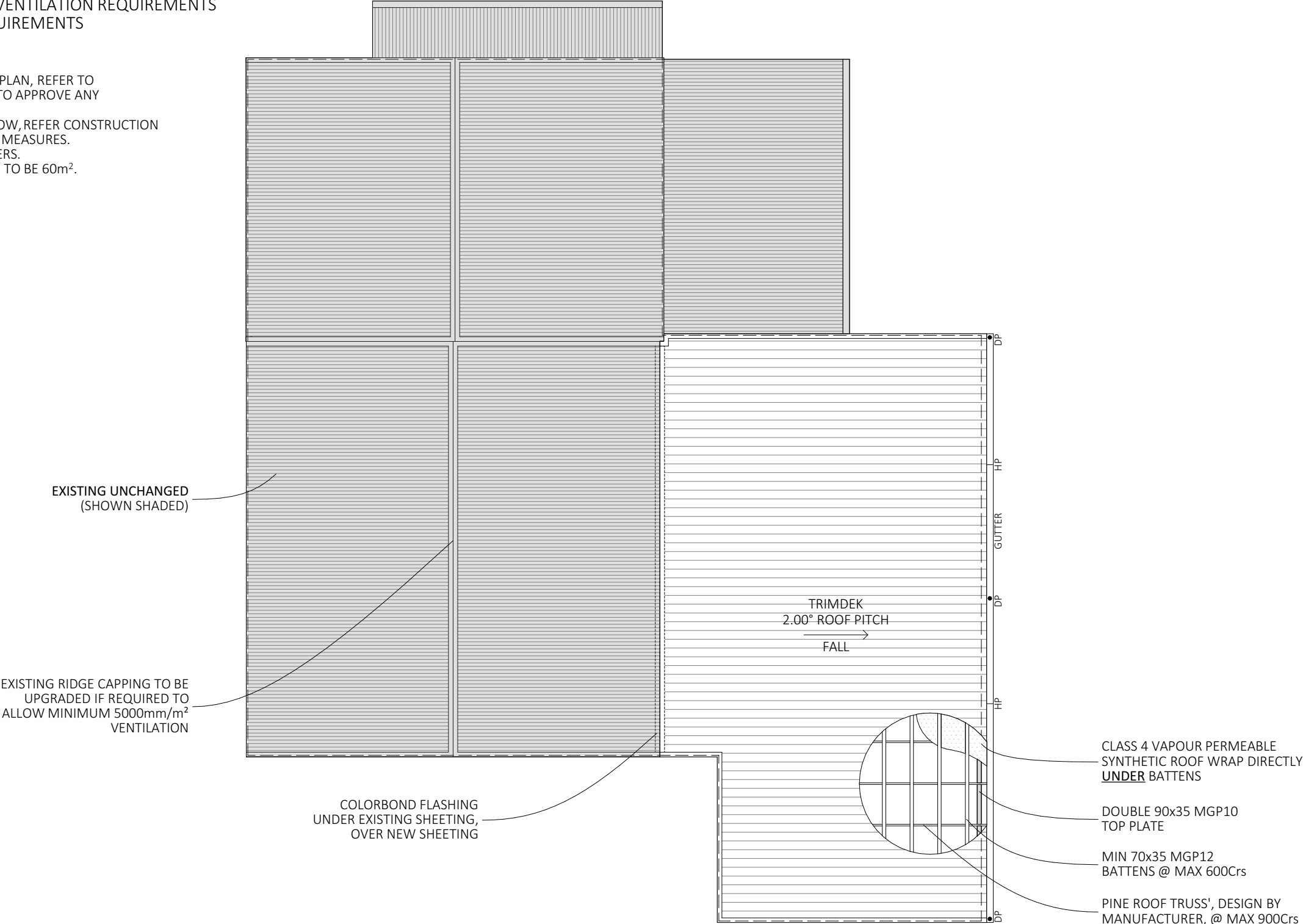
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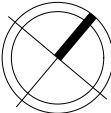
DP: 90mm ROUND DOWNPIPE
HP: HIGHPOINT IN GUTTER

- REFER DETAILS FOR AIR GAPS.
- REFER 2022 NCC VOL.2 PART 10.8.3 FOR VENTILATION REQUIREMENTS
- REFER AS3959 FOR BUSHFIRE MESH REQUIREMENTS

GUTTERS AND DOWNPIPES

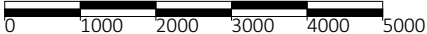
- GUTTERS AND DOWNPIPE LOCATIONS AS SHOW ON PLAN, REFER TO CONSTRUCTION NOTES FOR SIZING. DESIGN TO LIVE TO APPROVE ANY ALTERNATIVE ROOF DRAINAGE DESIGNS.
- GUTTERS TO BE FITTED WITH CONTINUOUS OVERFLOW, REFER CONSTRUCTION NOTES AND DIAGRAMS FOR ACCEPTABLE OVERFLOW MEASURES.
- REFER TO CONSTRUCTION NOTES FOR VALLEY GUTTERS.
- MAXIMUM ROOF CATCHMENT AREA PER DOWNPIPE TO BE 60m².
- MAXIMUM RIDGE TO GUTTER LENGTH OF 12m.





ROOF PLAN

SCALE 1:100

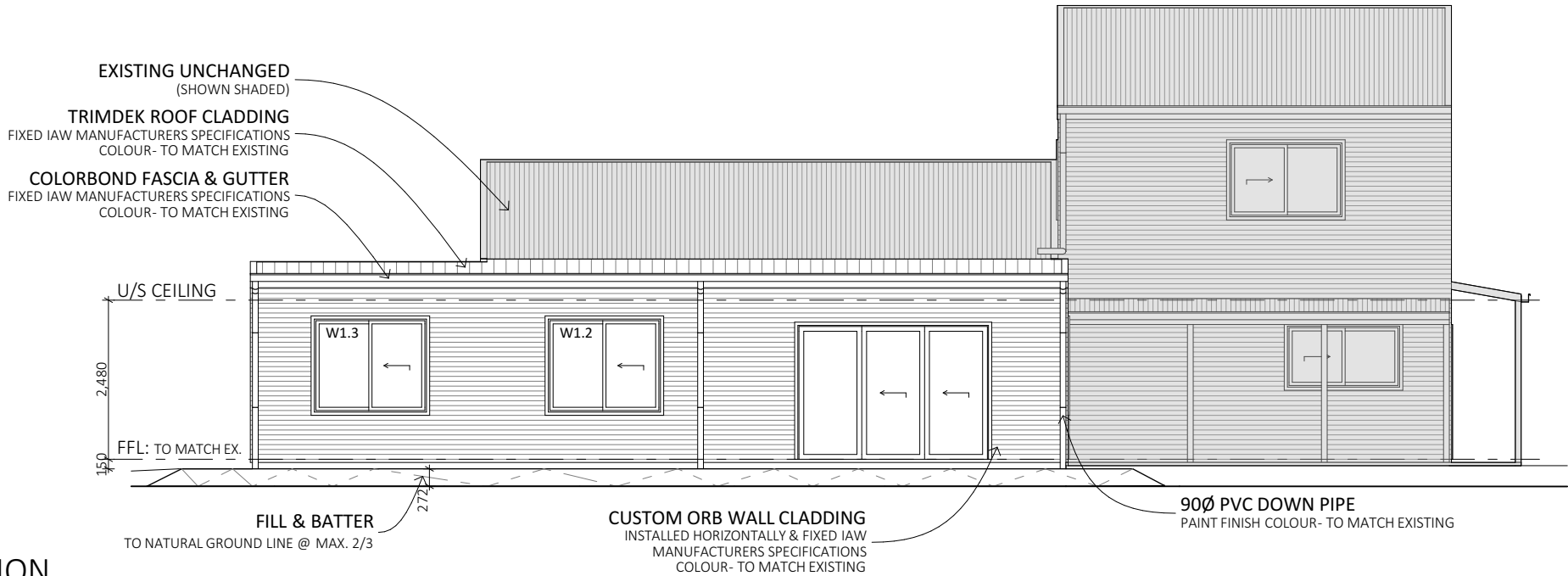
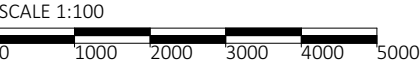


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									R3	23/06/2026	FOR REVIEW				A3

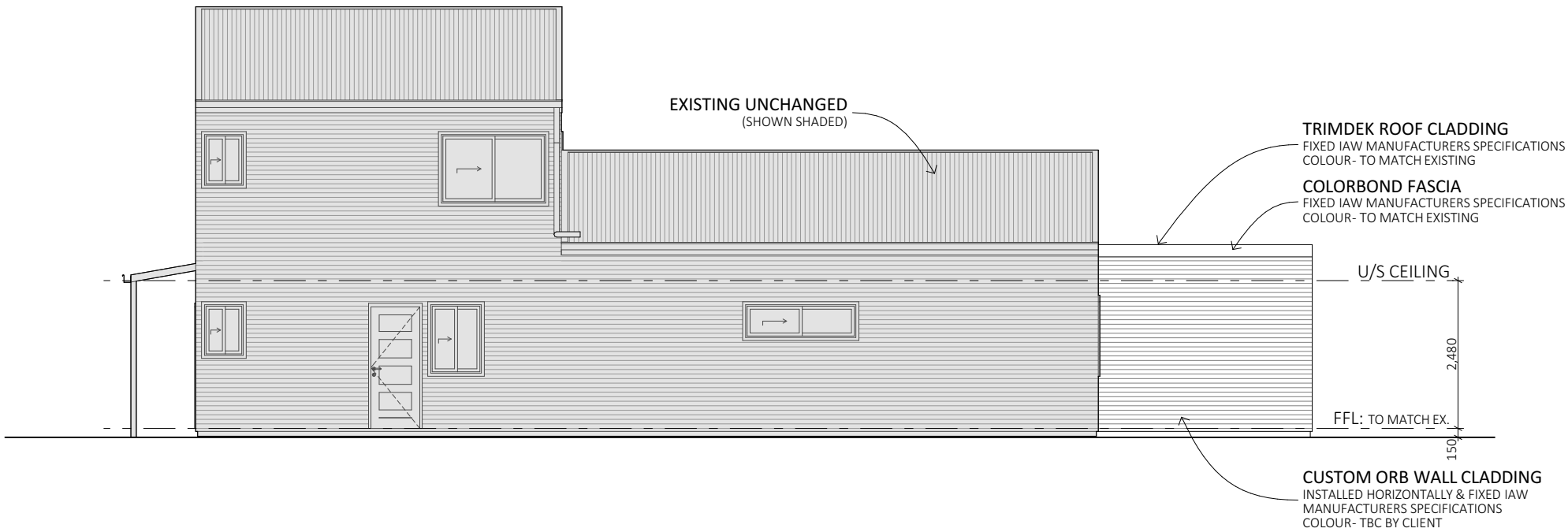
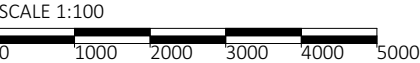
2
A05

NORTH-EASTERN ELEVATION



1
A05

SOUTH-WESTERN ELEVATION



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DRAWING
ELEVATIONS N/E-
S/W

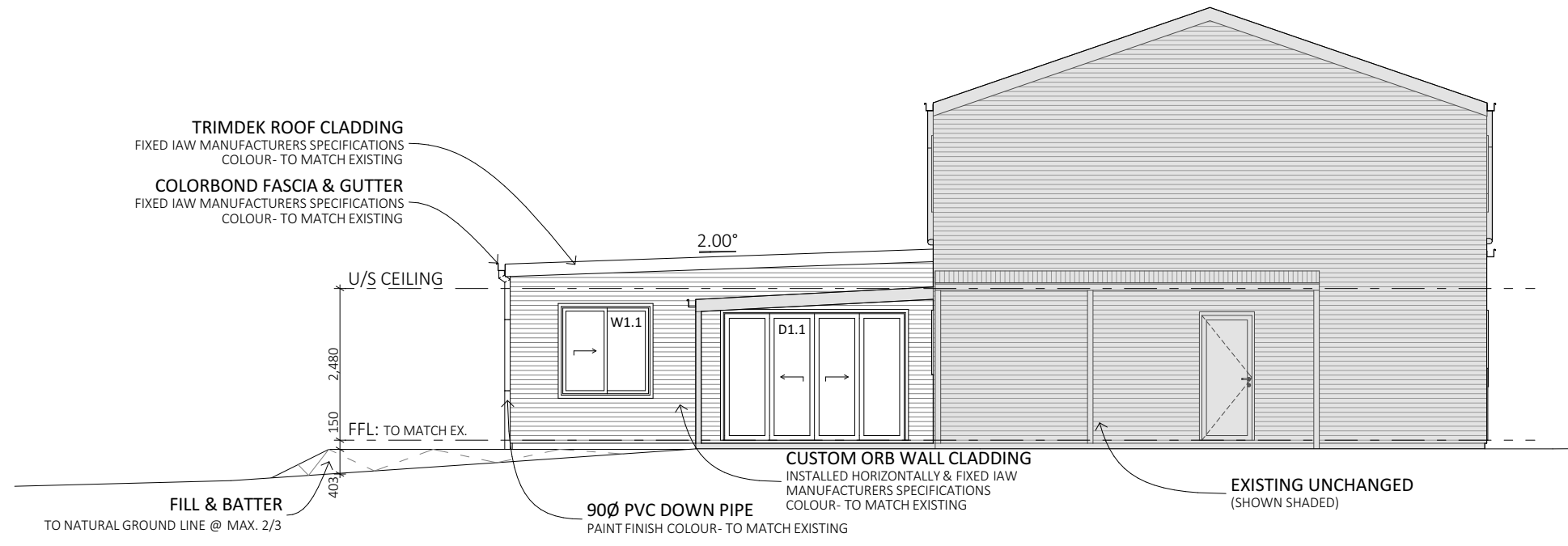
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SIGNATURE:

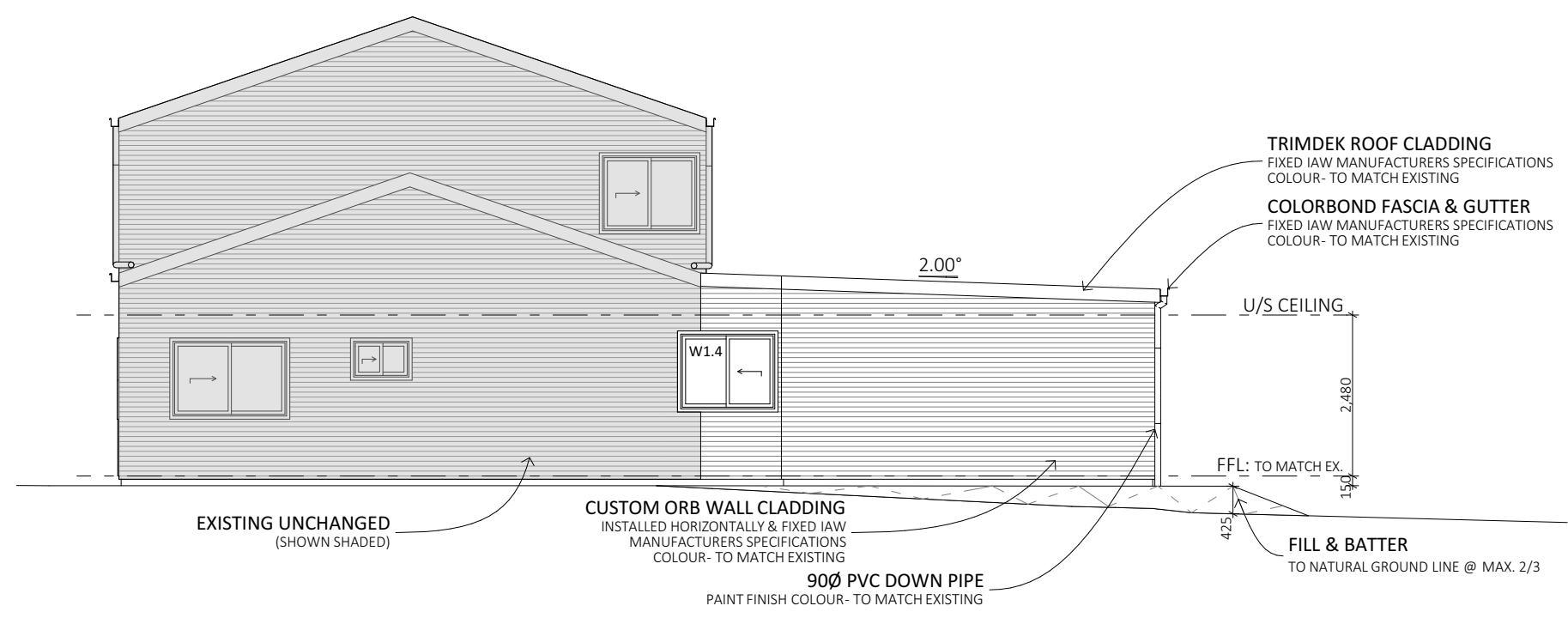
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DATE:

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R2	30/04/2026	FOR REVIEW		J.L.	DRAWING	12 OF 19
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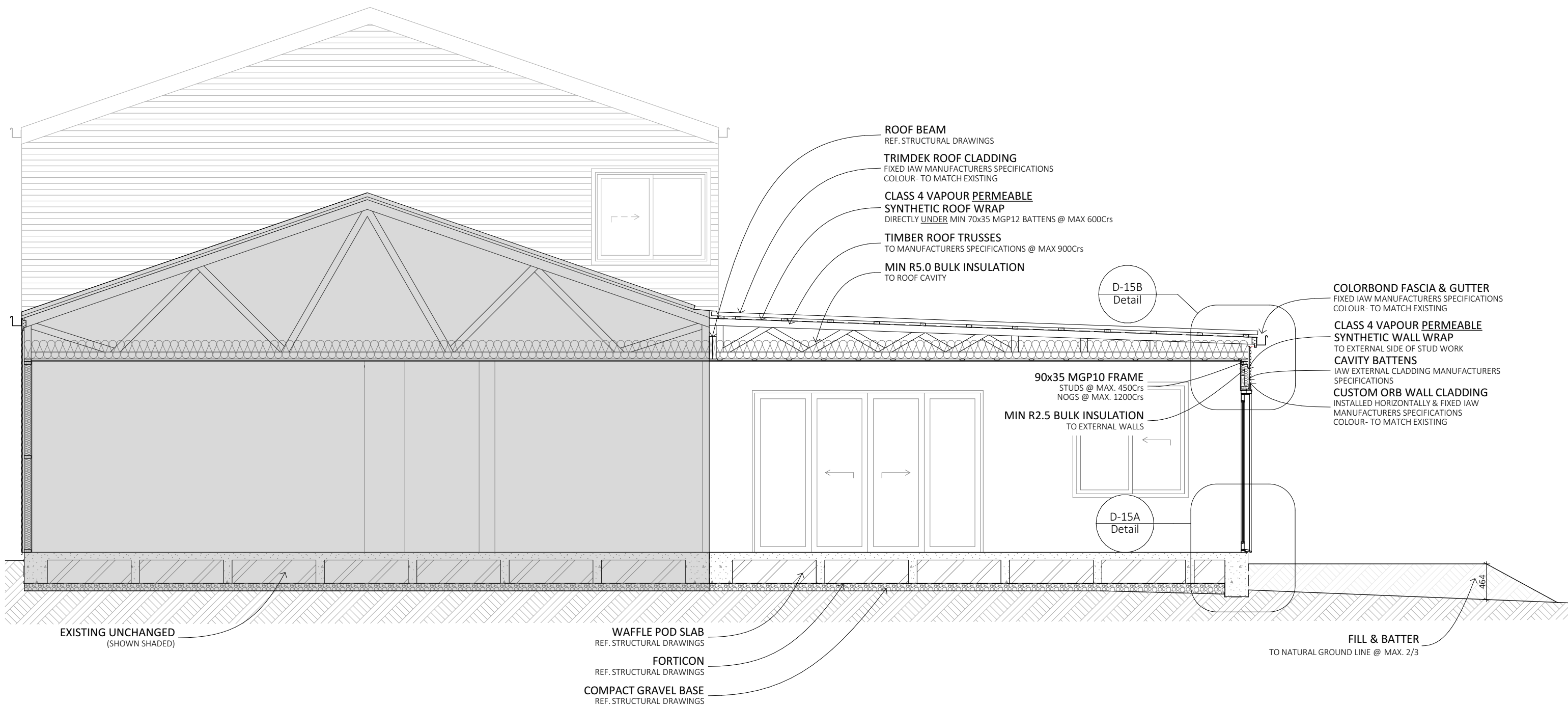


2
A05
NORTH-WESTERN ELEVATION
SCALE 1:100
0 1000 2000 3000 4000 5000



1
A05
SOUTH-EASTERN ELEVATION
SCALE 1:100
0 1000 2000 3000 4000 5000

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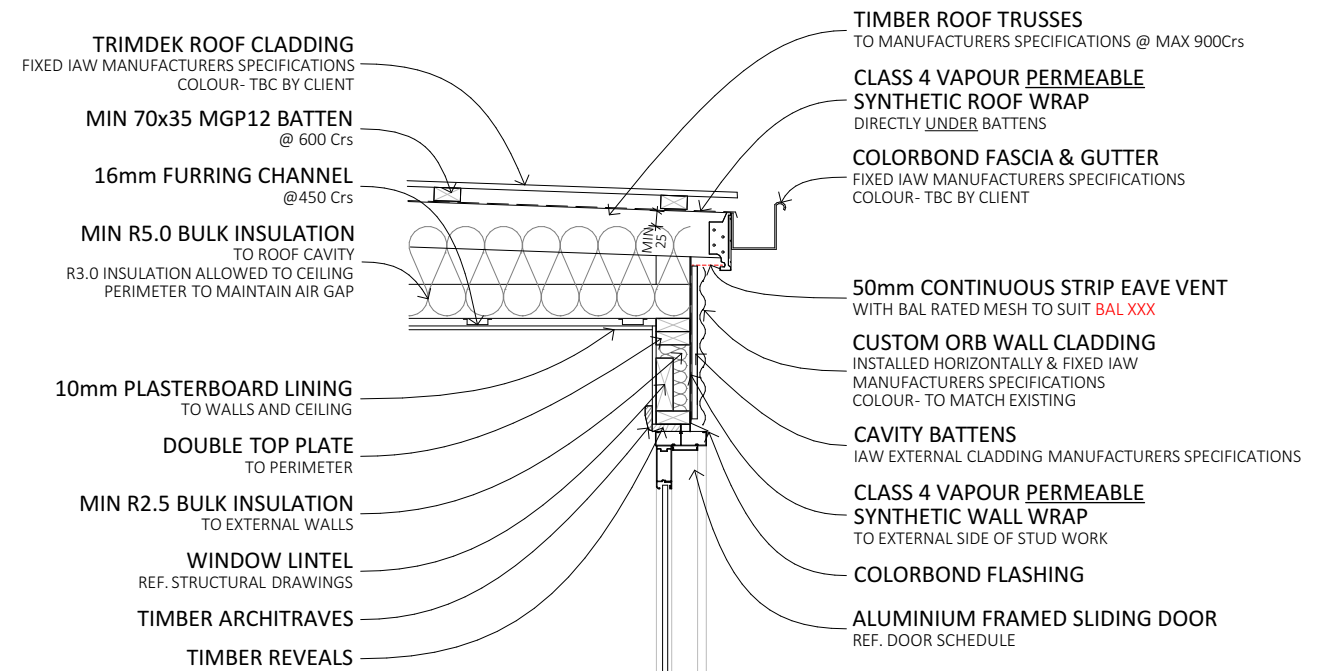
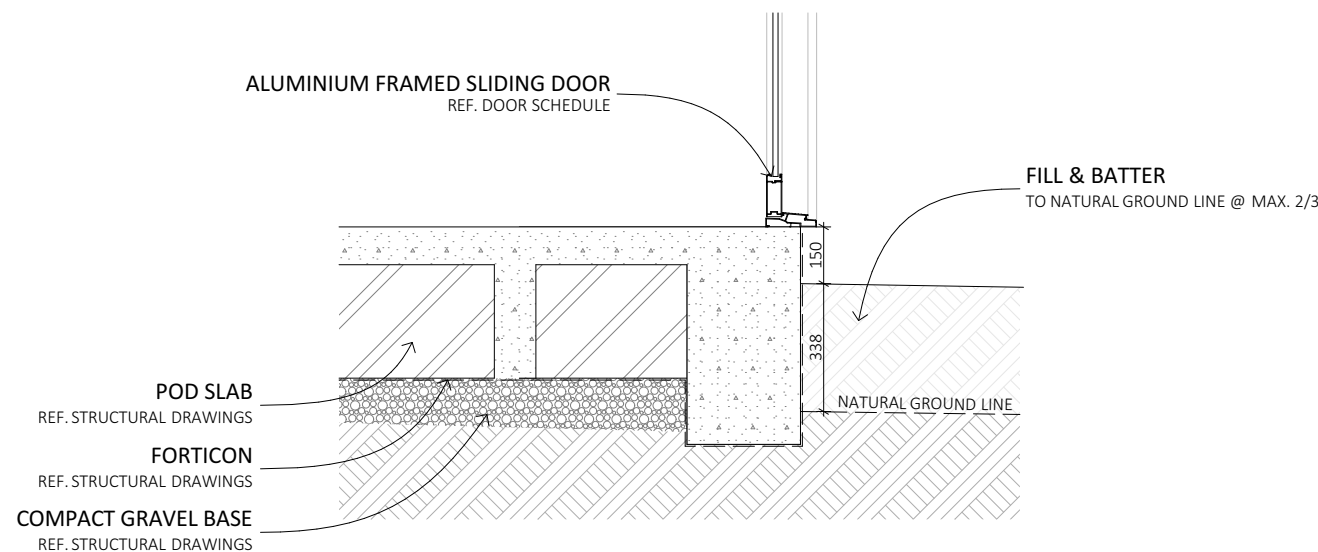


14A
A05

SECTION 14A

SCALE 1:50

0 500 1000 1500 2000 2500



D-15A
A14

DETAIL 15A

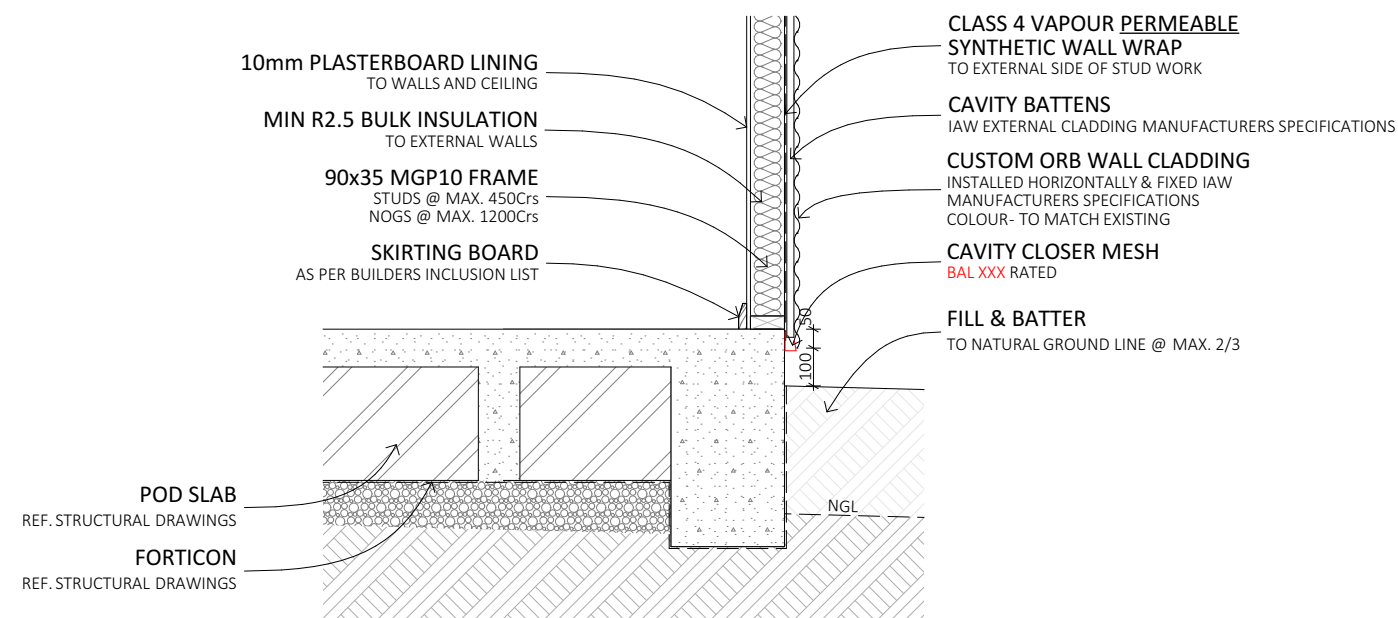
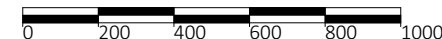
SCALE 1:20



D-15B
A14

DETAIL 15B

SCALE 1:20



D-15C
N/A

TYPICAL SLAB/WALL JUNCTION

SCALE 1:20



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DETAILS**

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R2	30/04/2026	FOR REVIEW				
R3	23/06/2026	FOR REVIEW	CHECKED	M.L.	PAGE SIZE	A3

WINDOW SCHEDULE

NUMBER	HEIGHT	WIDTH	TYPE	AREA	OPENING	GLASS	MATERIAL	ZONE	NOTES
EX. W1.1	600	900	SLIDING	0.54	50%	DBL OBS	ALUMINIUM	BATH	EXISTING
EX. W1.2	1,200	1,800	SLIDING	2.16	50%	DBL CLEAR	ALUMINIUM	BED 2	EXISTING
EX. W1.3	600	1,900	SLIDING	1.14	50%	DBL CLEAR	ALUMINIUM	LIVING	EXISTING
EX. W1.4	1,200	900	SLIDING	1.08	50%	DBL CLEAR	ALUMINIUM	ENTRY	EXISTING
EX. W1.6	900	700	SLIDING	0.63	50%	DBL CLEAR	ALUMINIUM	LAUNDRY	EXISTING
EX. W1.7	1,000	1,800	SLIDING	1.80	50%	DBL CLEAR	ALUMINIUM	KITCHEN	EXISTING
EX. W2.1	1,200	1,800	SLIDING	2.16	50%	DBL CLEAR	ALUMINIUM	HALL	EXISTING
EX. W2.2	900	700	SLIDING	0.63	50%	DBL OBS	ALUMINIUM	ENSUITE	EXISTING
EX. W2.3	1,200	1,800	SLIDING	2.16	50%	DBL CLEAR	ALUMINIUM	MASTER	EXISTING
EX. W2.4	1,200	1,500	SLIDING	1.80	50%	DBL CLEAR	ALUMINIUM	MASTER	EXISTING
W1.1	1,500	1,500	SLIDING	2.25	50%	DBL CLEAR	ALUMINIUM	LOUNGE	NEW
W1.2	1,500	1,800	SLIDING	2.70	50%	DBL CLEAR	ALUMINIUM	BED 4	NEW
W1.3	1,500	1,800	SLIDING	2.70	50%	DBL CLEAR	ALUMINIUM	BED 5	NEW
W1.4	1,200	1,500	SLIDING	1.80	50%	DBL CLEAR	ALUMINIUM	BED 3	NEW
				23.55 m²					

DOOR SCHEDULE

NUMBER	HEIGHT	WIDTH	TYPE	AREA	OPENING	GLASS	MATERIAL	ZONE	NOTES
EX. D1.1	2,040	820	HINGED	1.67	100%	DBL CLEAR	TIMBER	ENTRY	EXISTING
EX. D1.2	2,040	820	HINGED	1.67	100%	DBL CLEAR	TIMBER	PANTRY	EXISTING
D1.1	2,100	3,000	SLIDING	6.30	50%	DBL CLEAR	ALUMINIUM	LOUNGE	NEW
EX. DOOR (REUSED)	2,100	3,000	SLIDING	6.30	66%	DBL CLEAR	ALUMINIUM	LOUNGE	EXISTING (REUSED)
				15.94 m²					

WINDOWS

WINDOWS TO BE POWDER COATED ALUMINIUM.
ALL FLASHINGS AND FIXINGS TO MANUFACTURERS SPECIFICATIONS AND AS 2047.
DIMENSIONS SHOWN IN SCHEDULE FOR THESE WINDOWS ARE NOMINAL ONLY.
REFER TO MANUFACTURERS SCHEDULE TO CONFIRM SIZES.

ALL WINDOW FRAMING TO BE IAW AS 2047 (WINDOWS IN BUILDING - SELECTION AND INSTALLATION)

MIN 110MM WIDE DPC OR EQUIVALENT FLASHING TO BE INSTALLED TO EXTERNAL PERIMETER OF WINDOW AND TAPED TO OUTSIDE OF EXTERNAL MEMBRANE.

ALL GLAZING TO BE IN COMPLIANCE WITH NCC 2022 VOL 2 PART 8.3, AS 1288 AND BAL CONSTRUCTION REQUIREMENTS: **BAL TBC**

DOORS

DOORS TO BE POWDER COATED ALUMINIUM.
ALL FLASHINGS AND FIXINGS TO MANUFACTURERS SPECIFICATIONS AND AS 2047.
DIMENSIONS SHOWN IN SCHEDULE FOR THESE DOORS ARE NOMINAL ONLY.
REFER TO MANUFACTURERS SCHEDULE TO CONFIRM SIZES.

ALL DOOR FRAMING TO BE IN COMPLIANCE WITH AS 2047 (WINDOWS IN BUILDING - SELECTION AND INSTALLATION)

ALL GLAZING TO BE IN COMPLIANCE WITH NCC 2022 VOL 2 PART 8.3, AS 1288 AND BAL CONSTRUCTION REQUIREMENTS: **BAL TBC**

1. Enter building name and description below - identifying the particular part(s) covered by this assessment.

PROPOSED EXTENSION - 122 GLENGARRY ROAD, GLENGARRY

Climate Zone

7

Constants

C_U5.486

C_{SHGC}0.189

Storey

Ground

Floor Construction

Direct Contact

Area

85m²

Wall Insulation Option Chosen for 3.12.1.4

No wall insulation concession used

Air Movement

Standard

Area of storey

85m²

Area of glazing

22.1m²

(26% of area of storey)

Number of rows for table below

6 (as currently displayed)

Glazing Elements, Orientation Sector, Size and Performance Characteristics							Shading		Calculation Data			Calculated Outcomes					
Glazing element		Orientation		Size		Performance		P&H or Device		Exposure		Size		Conductance - PASSED		Solar heat gain - PASSED	
Description (optional)	Facing Sector	Height (m)	Width (m)	Area (m²)	Total System U-Value (AFRC)	Total System SHGC (AFRC)	P (m)	H (m)	P/H	Es	Area used (m²)	U x area / Winter Access	Element Share of % of Allowance Used	SHGC x Es x Area	Element Share of % of Allowance Used		
ID																	
1	D1.1	NW	2.10	3.00		3.60				1.18	6.30	1.34	29% of 85%	3.9	29% of 82%		
2	W1.1	NW	1.50	1.50		3.60				1.18	2.25	0.48	10% of 85%	1.4	10% of 82%		
3	W1.2	NE	1.50	1.80		3.60				1.17	2.70	0.57	12% of 85%	1.6	12% of 82%		
4	W1.3	NE	1.50	1.80		3.60				1.17	2.70	0.57	12% of 85%	1.6	12% of 82%		
5	W1.4	SW	1.20	1.50		3.60				0.91	1.80	0.38	8% of 85%	0.9	6% of 82%		
6	EX. DOOR (REUSED)	NE	2.10	3.00		3.60				1.17	6.30	1.34	29% of 85%	3.8	29% of 82%		



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CLIENT/S:
MARK & KATHERINE STYLES

SITE ADDRESS:
122 GLENGARRY ROAD,
GLENGARRY, 7275.

DRAWING
WINDOW &
DOOR SCHEDULE

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R3	23/06/2026	FOR REVIEW	CHECKED	M.L.	PAGE SIZE	A3

GENERAL:
DO NOT SCALE DRAWINGS
ALL DIMENSIONS IN MILLIMETRES, UNLESS OTHERWISE SPECIFIED.
CHECK ALL DIMENSIONS AND VERIFY LEVELS, PRIOR TO SETOUT OR COMMENCEMENT OF ANY BUILDING WORK.
ANY NOTED DISCREPANCIES ON ANY OF THESE DRAWINGS OR DOCUMENTS REFERRING TO THIS PROJECT SHOULD BE MADE AWARE TO THE DESIGNER BEFORE ANY FURTHER WORK CONTINUES.
ALL CONSTRUCTION TO COMPLY WITH THE NCC 2022 VOL 2 AND AUSTRALIAN STANDARDS. STRUCTURAL DRAWNGS TAKE PRECEDENT OVER DRAWING NOTES.

CHECK THE CONSTRUCTION PLANS ARE THE MOST RECENT AMENDMENT.
IF IN DOUBT CONFIRM WITH THE RELEVANT CONSULTANT.

SITE PREPARATION:
ALL EARTHWORKS TO BE COMPLETED IAW 2022 NCC VOL 2. PART 3.2

- 3.2.1 UN-RETAINED BULK EARTHWORKS - SITE CUT AND FILL
- POINT.

(1)

(a)

(b)

(c)
- A SITE CUT USING AN UN-RETAINED EMBANKMENT MUST BE-
WITHIN THE ALLOTMENT; AND
NOT WITHIN THE ZONE OF INFLUENCE OF ANY EXISTING STRUCTURE ON THE PROPERTY, OR THE ALLOTMENT BOUNDARY AS DEFINED IN TABLE 3.2.1 AND FIGURE 3.2.1A; AND
NOT DEEPER THAN 2m FROM THE NATURAL GROUND LEVEL AT ANY
- AT

(2)

(a)

(b)

(c)

(d)

(e)

(f)
- FILL, USING AN UN-RETAINED EMBANKMENT MUST-
BE PLACED WITHIN THE ALLOTMENT; AND
BE PLACED AT A GRADIENT WHICH COMPLIES WITH TABLE 3.2.1 AND FIGURE 3.2.1B; AND
BE PLACED AND MECHANICALLY COMPACTED IN LAYERS NOT MORE THAN 150mm; AND
BE NOT MORE THAN 2m IN HEIGHT FROM THE NATURAL GROUND LEVEL ANY POINT; AND
WHERE USED TO SUPPORT FOOTINGS OR SLABS, BE PLACED AND COMPACTED IN ACCORDANCE WITH PART 4.2; AND
HAVE SURFACE WATER DIVERTED AWAY FROM ANY EXISTING STRUCTURE ON THE PROPERTY OR ADJOINING ALLOTMENT IN ACCORDANCE WITH 3.3.3.

SITE DRAINAGE TO BE COMPLETED IAW 2022 NCC VOL 2. PART 3.3 AND AS/NZS 3500
SURFACE WATER MUST BE DIRECTED AWAY FROM A CLASS 1 BUILDING AS FOLLOWS:

- (a)

(i)

(a)

(b)

(ii)
- SLAB-ON-GROUND - FINISHED GROUND LEVEL ADJACENT TO A BUILDING: THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING AND GRADED TO GIVE A SLOPE OF NOT LESS THAN (SEE FIGURE 3.3.3A) -
25mm OVER THE FIRST 1m FROM THE BUILDING-
IN LOW RAINFALL INTENSITY AREAS FOR SURFACES THAT ARE REASONABLY IMPERMEABLE (SUCH AS CONCRETE OR CLAY PAVING); OR
FOR ANY REASONABLY IMPERMEABLE SURFACE THAT FORMS PART OF AN ACCESS PATH OR RAMP PROVIDED FOR THE PURPOSES OF CLAUSES 1.1(2) OR (4)(C) OF THE ABCB STANDARD FOR LIVABLE HOUSING DESIGN; OR
50mm OVER THE FIRST 1m FROM THE BUILDING IN ANY OTHER CASE.
- (b)

(i)

(ii)

(iii)
- SLAB-ON-GROUND - FINISHED SLAB HEIGHTS: THE HEIGHT OF THE SLAB-ON-GROUND ABOVE EXTERNAL FINISHED SURFACES MUST BE NOT LESS THAN (SEE FIGURE 3.3.3A) -
100mm ABOVE THE FINISHED GROUND LEVEL IN LOW RAINFALL INTENSITY AREAS OR SANDY, WELL-DRAINED AREAS; OR
50mm ABOVE IMPERMEABLE (PAVED OR CONCRETE) AREAS THAT SLOPE AWAY FROM THE BUILDING IN ACCORDANCE WITH (a); OR
150mm IN ANY OTHER CASE.
- (c)
- THE GROUND BENEATH SUSPENDED FLOORS MUST BE GRADED SO THAT THE AREA BENEATH THE BUILDING IS ABOVE THE ADJACENT EXTERNAL FINISHED GROUND LEVEL AND SURFACE WATER IS PREVENTED FROM PONDING UNDER THE BUILDING (SEE FIGURE 3.3.3B).

STORM WATER DRAINAGE TO BE IAW 2022 NCC VOL 2 PART 3.3.5, AS/NZS 3500 AND TO THE SATISFACTION OF APPROPRIATE AUTHORITY.
COVER TO STORMWATER DRAINS: THE COVER TO 90mm CLASS 6 UPVC STORMWATER DRAINS INSTALLED UNDERGROUND MUST BE NOT LESS THAN 100mm UNDER SOIL; OR 50mm UNDER PAVED OR CONCRETE AREAS. AREAS SUBJECT TO LIGHT VEHICLE TRAFFIC MUST BE NO LESS THAN 75mm FOR REINFORCED CONCRETE; OR 100mm FOR PAVED.

Table 3.2.1: Un-retained embankment slope ratios		
Soil class (see 4.2.2 for material description)	Site cut (excavation) (maximum embankment slope ratio, angle of site cut H:L ^{Note 1})	Compacted fill (maximum embankment slope ratio, angle of batter H:L ^{Note 1})
Stable rock (Class A)	8:1	3:3
Sand (Class A)	1:2	1:2
Firm clay (Class M-E)	1:1	1:2
Soft clay (Class M-E)	2:3	Not suitable
Table Not es		
(1) See Figures 3.2.1a and 3.2.1b for some examples of un-retained embankment slopes.		
(2) Retaining walls must be installed in accordance with H1D3(2) where—		
(a) the embankment slope is steeper than described in this Table; or		
(b) the soil type is not described in this Table.		

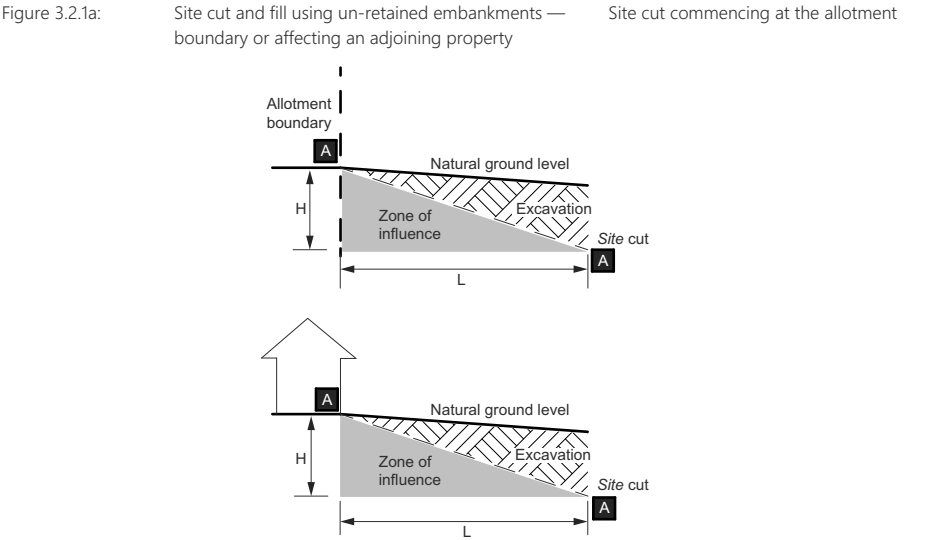


Figure Notes

(1) The angle for line A-A is defined as the maximum embankment slope ratio H:L in [Table 3.2.1](#) and is taken from the bottom of the footing and identifies the area suitable for excavation.

(2) Consideration must be given for drainage of [surface water](#), particularly where fill affects an adjoining property.

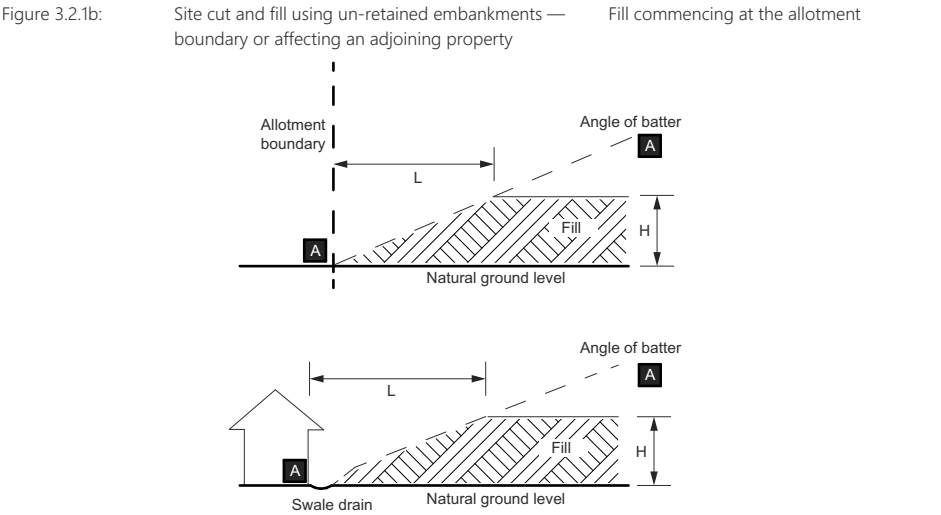


Figure Notes

(1) The angle for line A-A is defined as the maximum embankment slope ratio H:L in [Table 3.2.1](#) and is taken from the bottom of the footing and identifies the area suitable for fill.

(2) Consideration must be given for drainage of [surface water](#), particularly where fill affects an adjoining property.

FOOTINGS AND SLABS:
FOOTINGS AND SLABS TO BE IAW 2022 NCC VOL 2. PART 4.1, 4.2 AND AS 2870, AS 3600 & AS 1289 IN CONJUNCTION WITH STRUCTURAL DRAWINGS.

CONFIRM SITE CLASSIFICATION AND FOUNDING LAYER BY REFERRING TO GEOTECHNICAL REPORT TBC AND STRUCTURAL DRAWINGS TBC

FRAMING:
ALL TIMBER FRAMING TO COMPLY WITH AS 1684.2-2021, ANY STRUCTURAL DRAWINGS/ SPECIFICATIONS, MATERIAL SUPPLIER'S SPECIFICATIONS AND LOCAL COUNCIL REQUIREMENTS.
WALL BRACING AND TIE-DOWN OF TIMBER CONSTRUCTION TO COMPLY WITH AS 1684.2-2021 AND STRUCTURAL DRAWINGS & DETAILS.

SUBFLOOR VENTILATION TO BE IAW WITH NCC 2022 VOL 2 PART 6.2
TABLES 6.2.1a SUBFLOOR OPENINGS, 6.2.1b GROUND CLEARANCE.
WHERE THE GROUND OR SUBFLOOR SPACE IS EXCESSIVELY DAMP OR SUBJECT TO FREQUENT FLOODING ADDITIONAL REQUIREMENTS ARE REQUIRED TO STRUCTURAL DESIGN REFER 6.2.1 PART 5
ALL STRUCTURAL STEEL MEMBERS TO BE IAW WITH NCC 2022 VOL 2 PART 6.3, AS 4100 AND STRUCTURAL DRAWINGS.
ALL EXPOSED STEEL CORROSION PROTECTION TO COMPLY WITH NCC 2022 VOL 2 PART 6.3.9 AND FIGURES 6.3.9a, 6.3.9b AND 6.3.9c BELOW.

Table 6.3.9a: Minimum protective coatings for structural steel members				
Environment	Location	Minimum protective coating		
		Option 1 (hot dip galvanising)	Option 2 (duplex system). See Table 6.3.9c	Option 3 (paint). See Table 6.3.9b
Low (mild steel corrosion rate 1.3 to 25 µm/year	Typically remote inland areas or more than 1 km from sheltered bays	HDG75	—	ACL2, ACC2, IZS1, PUR2A

Table Notes

Hot dip galvanising and duplex systems must be in accordance with AS 2312.2. Paint systems must be in accordance with AS 2312.1.

Table 6.3.9b: Paint coating system specification								
AS 2312.1 system	Surface preparation	1st coat		2nd coat		3rd coat		Total DFT
		Type of paint	DFT	Type of paint	DFT	Type of paint	DFT	
ACC2	Sa 2.5	Epoxy primer	75	Acrylic (2 pack)	50	—	—	125
ACL2	Sa 2.5	Zinc rich primer	75	Acrylic latex	40	Acrylic latex	40	155
IZS1	Sa 2.5	Inorganic zinc silicate	75	—	—	—	—	75
PUR2A	Sa 2.5	Zinc rich primer	75	High build polyurethane	75	—	—	150

Table Notes

DFT refers to dry film thickness, measured in µm.

ROOF AND WALL CLADDING:
SHEET ROOFING, CORROSION PROTECTION AND FLASHINGS / CAPPINGS TO BE STRICTLY IAW MANUFACTURERS SPECIFICATIONS / DETAILS AND IAW NCC 2022 VOL 2 PART 7.2.1-7.2.8 AND AS 1562.1
ROOF TILES AND SHINGLES IAW NCC 2022 VOL 2 PART 7.3.1-7.3.6

TIMBER AND COMPOSITE WALL CLADDING TO BE STRICTLY IAW MANUFACTURERS SPECIFICATIONS AND IAW NCC 2022 VOL 2 PART 7.5 1 - 7.5.8
CLASS 4 VAPOUR PERMEABLE SARKING TO BE PROVIDED FOR ROOF & WALLS AS PER DETAILS AND IAW AS 4200.1

	ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: MARK & KATHERINE STYLES	DRAWING CONSTRUCTION NOTES 1	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.	SIGNATURE: SIGNATURE:	DATE: DATE:	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV.	DATE	DESCRIPTION	DESIGNER	J.L.	JOB NUMBER	GLN122
								R1	22/04/2026	FOR REVIEW	DRAWN	J.L.	DRAWING	A17
								R2	30/04/2026	FOR REVIEW				17 OF 19
								R3	23/06/2026	FOR REVIEW	CHECKED	M.L.	PAGE SIZE	A3

FRAMING:
ALL TIMBER FRAMING TO COMPLY WITH AS 1684.2-2021, ANY STRUCTURAL DRAWINGS/ SPECIFICATIONS, MATERIAL SUPPLIER’S SPECIFICATIONS AND LOCAL COUNCIL REQUIREMENTS.
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Table 6.3.9a: Minimum protective coatings for structural steel members

Environment	Location	Minimum protective coating		
		Option 1 (hot dip galvanising)	Option 2 (duplex system). See Table 6.3.9c	Option 3 (paint). See Table 6.3.9b
Low (mild steel corrosion rate 1.3 to 25 µm/year	Typically remote inland areas or more than 1 km from sheltered bays	HDG75	–	ACL2, ACC2, IZS1, PUR2A

Table Notes
Hot dip galvanising and duplex systems must be in accordance with AS 2312.2. Paint systems must be in accordance with AS 2312.1.

Table 6.3.9b: Paint coating system specification

AS 2312.1 system	Surface preparation	1st coat		2nd coat		3rd coat		Total DFT
		Type of paint	DFT	Type of paint	DFT	Type of paint	DFT	
ACC2	Sa 2.5	Epoxy primer	75	Acrylic (2 pack)	50	–	–	125
ACL2	Sa 2.5	Zinc rich primer	75	Acrylic latex	40	Acrylic latex	40	155
IZS1	Sa 2.5	Inorganic zinc silicate	75	–	–	–	–	75
PUR2A	Sa 2.5	Zinc rich primer	75	High build polyurethane	75	–	–	150

Table Notes
DFT refers to dry film thickness, measured in µm.

ROOF AND WALL CLADDING:
SHEET ROOFING, CORROSION PROTECTION AND FLASHINGS / CAPPINGS TO BE STRICTLY IAW MANUFACTURERS SPECIFICATIONS / DETAILS AND IAW NCC 2022 VOL 2 PART 7.2.1-7.2.8 AND AS 1562.1
ROOF TILES AND SHINGLES IAW NCC 2022 VOL 2 PART 7.3.1-7.3.6

TIMBER AND COMPOSITE WALL CLADDING TO BE STRICTLY IAW MANUFACTURERS SPECIFICATIONS AND IAW NCC 2022 VOL 2 PART 7.5 1 - 7.5.8
CLASS 4 VAPOUR PERMEABLE SARKING TO BE PROVIDED FOR ROOF & WALLS AS PER DETAILS AND IAW AS 4200.1

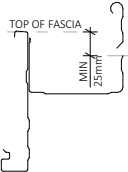
Table 7.2.2a: Acceptable corrosion protection for metal sheet roofing

Environment	Location	Minimum metal coating in accordance with AS 1397: Metallic coated steel	Minimum metal coating in accordance with AS 1397: Metallic and organic coated steel
Low (mild steel corrosion rate 1.3 to 25 µm/y)	Typically remote inland areas or more than 1 km from sheltered bays.	Z450 galvanised or AZ150 aluminium/zinc or AM125 aluminium/zinc/magnesium	Z275 galvanised or AZ150 aluminium/zinc or AM100 aluminium/zinc/magnesium

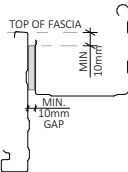
Table Notes
(1) Low — remote inland includes dry rural areas remote from the coast or sources of pollution. Many areas of Australia beyond at least 50 km from the sea are in this categoryincluding most cities and towns such as Canberra, Ballarat, Toowoomba, Alice Springs and some suburbs of cities on sheltered bays such as Melbourne, Hobart, Brisbane and Adelaide that are more than 1 km from the sea. However each of these have many exceptions which are in more corrosive categories.

GUTTERS AND DOWNPIPES
-GUTTERS, DOWNPIPES AND FLASHING MATERIALS MUST BE IAW PART 7.4.2
-EAVES GUTTER SIZING MUST BE A MEDIUM RECTANGULAR GUTTER WITH MINIMUM CROSS SECTIONAL AREA OF 6500mm² OR A 115mm 'D' GUTTER WITH MINIMUM CROSS SECTIONAL AREA OF 5200mm² SUITABLE FOR A 5 MIN DURATION FOR A 5%AEP INTENSITY IAW PART 7.4.3.
-INSTALLED WITH A FALL OF NOT LESS THAN 1:500 AND SUPPORTED BY BRACKETS AT ENDS, CORNERS AND NOT MORE THAN 1.2m CRS IAW 2022 NCC Vol.2 PARTS 7.4.4.
-GUTTERING TO BE LAPPED 75mm IN DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.
-IF REQUIRED, EAVES GUTTER OVERFLOW MUST BE SUITABLE FOR A 5 MIN DURATION FOR A 1%AEP INTENSITY IAW PART 7.4.3. REFER DIAGRAMS BELOW FOR ACCETABLE OVERFLOW MEASURES.
-DOWNPIPES TO BE 90mm DIAM. AND FIXED WITH WALL BRACKETS. DOWNPIPES MUST NOT SERVE MORE THAN 12m OF GUTTER LENGTH FOR EACH DOWNPIPE, BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS.
-VALLEY GUTTERS TO BE INSTALLED ON A ROOF WITH A PITCH MORE THAN 12.5°, A MINIMUM FREEBOARD OF 15mm AND A SIDE ANGLE OF NOT LESS THAN 12.5°. DIMENSIONS TO BE IN ACCORDANCE WITH DIAGRAM BELOW, SUITABLE FOR A 5 MIN DURATION FOR A 1%AEP INTENSITY.
-ALL PROPRIATORY GUTTERS, DOWNPIPES AND FLASHINGS TO BE STRICTLY IAW MANUFACTURERS SPECIFICATIONS AND IAW NCC 2022 VOL 2 PART 7.4.1-7.4.7, AS/NZS 3500.
-BOX GUTTERS TO BE IAW DIAGRAMS ON ROOF PLAN AND IAW AS/NZS3500.3 & AS2179.1.

ACCEPTABLE CONTINUOUS OVERFLOW MEASURE



SLOTTED GUTTER
FRONT FACE SLOT WITH A MINIMUM OPENING AREA OF 1200mm² PER METER OF GUTTER AND THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25mm BELOW THE TOP OF THE FASCIA



CONTROLLED BACK GAP
PERMANANT 10mm SPACER INSTALLED BETWEEN THE GUTTER BACK AND THE FASCIA, ONE SPACER PER BRACKET WITH THE SPACER NOT MORE THAN 50mm WIDE. THE BACK OF THE GUTTER MUST BE INSTALLED A MINIMUM 10mm BELOW THE TOP OF THE FASCIA.

EXTERNAL DOORS & WINDOWS:
WINDOWS AND EXTERNAL GLAZED DOORS TO BE STRICTLY IAW MANUFACTURERS SPECIFICATIONS / DETAILS AND IAW NCC 2022 VOL 2 PART 8.2.1- 8.2.2 AND 8.3
GLAZING TO BE STRICTLY IAW MANUFACTURERS SPECIFICATIONS / DETAILS AND IAW NCC 2022 VOL 2 PART 8.3 AND AS 1288
THICKNESS AND TYPE OF GLAZING INSTALLED THAT HAVE HIGH POTENTIAL FOR HUMAN IMPACT TO IAW WITH NCC 2022 VOL 2 PART 8.4 (GLAZING HUMAN IMPACT)

REFER TO WINDOW SCHEDULE FOR SIZES & TYPES.
ALL EXTERNAL DOORS TO BE FIITED WITH WEATHER SEALS.
EXTERNAL DOOR LEAF TYPE / COLOUR - TBC BY CLIENT
INTERNAL DOOR LEAF TYPE / COLOUR - TBC BY CLIENT
DOOR HANDLES, CLOSERS, LOCKS - TBC BY CLIENT
PROTECTION OF OPERABLE WINDOWS IN BEDROOMS TO BE IAW NCC 2022 VOL 2 PART 11.3.7 AND ROOMS OTHER THAN BEDROOMS TO BE IAW NCC 2022 VOL 2 PART 11.3.8.
DOORS AND WINDOWS TO POOL AREAS TO BE IAW AS 1926

REFER TO BUSHFIRE REPORT TBC AND BAL TBC CONSTRUCTION NOTES FOR SPECIFIC GLAZING REQUIREMENTS IN ADDITION TO THE ABOVE.

PROTECTION OF OPENABLE WINDOWS IN BEDROOMS TO BE IAW NCC 2022 VOL 2 PART 11.3.7 AND ROOMS OTHER THAN BEDROOMS TO BE IAW NCC 2022 VOL 2 PART 11.3.8.

FIRE SAFETY:
GENERALLY IAW NCC 2022 VOL 2 PART 9.4
SARKING TO HAVE A FLAMMABILITY INDEX LESS THAN 5
SMOKE ALARMS AND EVACUATION LIGHTING IAW WITH NCC 2022 VOL 2 PART 9.5.
REFER TO ELECTRICAL PLAN FOR LOCATION ON CEILING MUST BE A MINIMUM 300mm AWAY FROM CORNER JUNCTION OF THE WALL AND CEILING. TO BE BETWEEN 500mm AND 1500mm AWAYFROM A RAKED CEILING APEX.

CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE ZONES:
DWELLING IS TO BE CONSTRUCTED IAW WITH THE FOLLOWING:
BUSHFIRE REPORT TBC AND BUSHFIRE HAZARD MANAGEMENT PLAN
BUSHFIRE ATTACKLEVEL (BAL RATING) = TBC
AS 3959 BAL TBC CONSTRUCTION NOTES
FIRE DANGER INDEX (FDI) = 50(1090K)

FIT OUT SCHEDULE:
WALL & CEILING LININGS, REFER REFLECTED CEILING PLAN, SECTIONS & DETAILS
WALL / CEILING JUNCTION TYPE - TBC BY CLEINT
ARCHITRAVE TYPE / FINISH - TBC BY CLIENT
WINDOW REVEALS TYPE / FINISH - TBC BY CLIENT
HARD FLOOR COVERINGS - TBC BY CLEINT
FLOOR COVERINGS IN WET AREAS TO COMPLY WITH NCC 2022 VOL 2 PART 10.2
ALL INTERNAL DOORS TO BE REDICOTE HARD BOARD, HONEYCOMB CORE
REFER AT THE WIDTH NOTED ON FLOOR PLAN.
ALL ROBES DOOR TYPE / FINISH - TBC BY CLIENT
ENTRY DOOR TYPE / FINISH - TBC BY CLIENT
EXTERNAL DOORS TO BE TEMPERED HARDBOARD WITH SOLID CORE
REFER AT THE WIDTH NOTED ON FLOOR PLAN OR SCHEDULE.
GARAGE INTERNAL DOOR TO BE SOLID CORE
GARAGE TO HAVE REMOTE CONTROL PANEL LIFT OR ROLLER DOOR, WIDTH AS PER SCHEDULE.

ELECTRICAL:
ALL WIRING, LIGHTING, ELECTRICAL OUTLETS, FIXTURES MUST BE INSTALLED BY A LICENSED PRACTITIONER AND IAW WITH AS 3000:2018.
ALL LIGHTING AND ELECTRICAL FITTINGS FIXTURES AS PRESCRIBED BY THE OWNER AT THE TIME OF INSTALLATION.
REFER ELECTRICAL PLAN - TBC ONSITE BEFORE ROUGH IS COMMENCED.

ENERGY EFFICIENCY
CLIMATE ZONE 7 - APPLICABLE TO TASMANIA (EXCLUDING ALPINE AREAS)
BUILDING FABRIC GENERALLY IAW WITH NCC 2022 PART 13.2.2, AS 4859.1, AS 3999.
WHERE INSULATION IS REQUIRED MUST ABUT OR OVERLAP ADJOINING INSULATION OTHER THAN SUPPORTING STRUCTURAL MEMBERS TO FORM A CONTINUOUS BARRIER TO ROOF/ CEILING, WALLS AND FLOORS THAT DOES NOT AFFECT THE SAFE EFFECTIVE OPERATION OF A DOMESTIC SERVICE OR FITTING.
INSULATION MUST MAINTAIN ITS POSITION AND THICKNESS, OTHER THAN WHERE IT CROSSES ROOF BATTENS, WATER PIPES, ELECTRICAL CABELING OR THE LIKE.

BUILDING SEALING GENERALLY IAW WITH NCC 2022 VOL 2 PART 13.4. THE 6 STAR PROVISION ALLOWS UP TO 1% OF THE CEILING INSULATION AREA TO BE LOST TO PENETRATIONS SUCH AS CEILING FANS AND RECESSED DOWN LIGHTS. IF THIS IS EXCEEDED, THE REMAINDER OF THE INSULATION MUST BE INCREASED BY 25% AND UPWARDS DEPENDING ON ACTUAL PERCENTAGE OF PENETRATIONS.
ROOF LIGHTS TO HABITABLE ROOMS TO BE FITTED WITH OPERABLE OR PERMANENT SEAL TO MINIMISE AIR LEAKAGE.
EXTERNAL WINDOWS AND DOORS TO HABITABLE ROOMS/CONDITIONED SPACES TO BE FITTED WITH AIR SEAL TO RESTRICT AIR INFILTRATION.
BUILDING ENVELOPE TO BE CONSTRUCTED TO MINIMISE AIR LEAKAGE, CONSTRUCTION JOINTS AND JUNCTIONS OF ADJOINING, SKIRTING, ARCHITRAVES AND CORNICES.

GENERAL ENERGY EFFICIENCY:
ALL EXHAUST FANS TO BE SELF-CLOSING. MAX 250MM DIA.
ALL WINDOW FRAMES TO BE WEATHER STRIPPED.
ALL GAPS AND CRACKS SEALED.
PLEASE NOTE R VALUES NOTED REPRESENT ADDED INSULATION AND NOT TOTAL R VALUE.
R3.0 (R2.5 UNDER NCC 2019) INSULATION ALLOWED TO CEILING PERIMETER DUE TO HEIGHT RESTRICTIONS (WHERE APPLICABLE)
ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH AS.3999

	ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: MARK & KATHERINE STYLES	DRAWING CONSTRUCTION NOTES 2	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV.	DATE	DESCRIPTION	DESIGNER	J.L.	JOB NUMBER	GLN122			
	SITE ADDRESS: 122 GLENGARRY ROAD, GLENGARRY, 7275.	SIGNATURE: DATE: SIGNATURE: DATE: 				R1	22/04/2026	FOR REVIEW	DRAWN	J.L.	DRAWING	A18 18 OF 19			
						R2	30/04/2026	FOR REVIEW							
						R3	23/06/2026	FOR REVIEW	CHECKED	M.L.	PAGE SIZE	A3			



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CLIENT/S:
MARK & KATHERINE STYLES

SITE ADDRESS:
122 GLENGARRY ROAD,
GLENGARRY, 7275.

**DRAWING
PERSPECTIVES**

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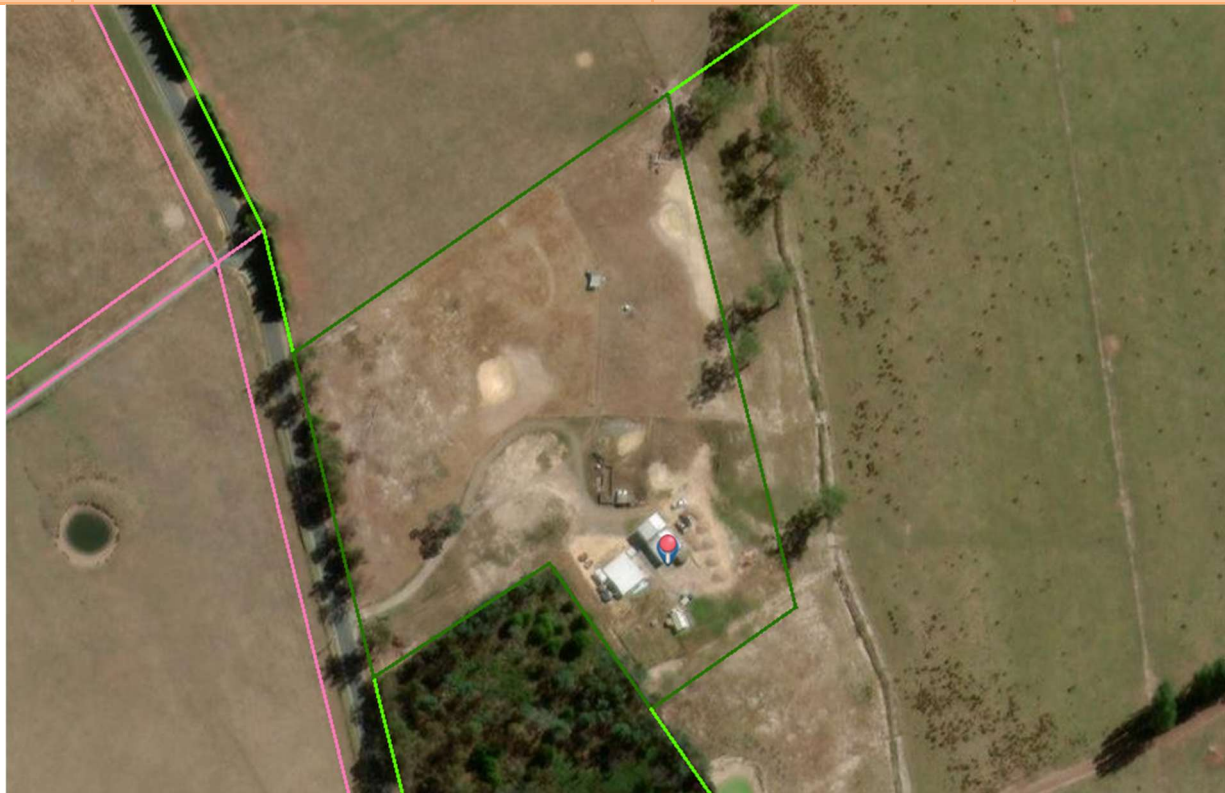
-  BUSHFIRE SITE ASSESSMENTS
-  BUSHFIRE REPORTS
-  HAZARD MANAGEMENT PLANS

PH: 0429 199 934
www.reddogbushfire.com.au

VZ Designs Pty Ltd ABN 50 110 377 421 e: info@reddogbushfire.com.au PO Box 7647, Launceston

BUSHFIRE ASSESSMENT

Client	Mark and Kate Styles	Volume/Folio Number	177137/1
Site	122 Glengarry Road Glengarry, Tas, 7275	PID	9599890
Report By	Jason Van Zetten	Accreditation	BFP113
Date	20 May 2026	Job Reference	8370



Proposal

The proposal is for a dwelling extension to be located on the eastern side of a existing dwelling at 122 Glengarry Road.

Directors Determination

From the description of the proposed works it is believed that it fits into the highlighted requirements set out below in Table 4 of the Directors Determination.

The subdivision was created prior to 2019 and therefore if there was a Subdivision BAL Report it would now be out of date.

Table 4 – requirements for Hazard Management Area – Directors Determination – Bushfire Hazard Areas version 1.2

(Note, this table does not depict the BAL level for this site, however, does provide clarification of the definition set out in the building act in relation to application of when the lot was created.)

	Element	Requirement
A	New buildings on lots provided with a BAL at the time of subdivision.	A new building must: (a) be provided with a HMA no smaller than the required separation distances required for BAL-19, except where a higher BAL was approved as part of the subdivision bushfire hazard management plan; and (b) have a HMA established in accordance with a certified bushfire hazard management plan.
B	New buildings on lots not provided with a BAL at the time of subdivision.	A new building must: (a) be provided with a HMA no smaller than the required separation distances required for BAL-29; and (b) have a HMA established in accordance with a certified bushfire hazard management plan.
C	Alterations or additions to buildings.	An alteration or addition to a building must: (a) be located on the lot so as to be provided with a HMA which: (i) has the separation distances required for the BAL assessed for the construction of the existing building; or (ii) in the case of a building without an existing BAL assessment, is no smaller than the separation distances required for BAL-29; and (b) have a HMA established in accordance with a certified bushfire hazard management plan.
D	New buildings and additions and alterations to buildings classified as an accommodation building Class 1b, Class 2, or Class 3, other than communal residence for persons with a disability, a respite centre or a residential aged care facility or similar.	A new building or an alteration or addition must: (a) be located on the lot so as to be provided with HMAs no smaller than the separation distances required for BAL-12.5; and (b) have a HMA established in accordance with a certified bushfire hazard management plan.
E	New buildings and additions and alterations to existing buildings classified as vulnerable use as defined in the relevant planning scheme.	A new building or an addition or alteration including change of use must: (a) be located on the lot so as to be provided with HMAs no smaller than the separation distances required for BAL-12.5; and (b) have a HMA established in accordance with a certified bushfire hazard management plan.
F	New buildings or additions and alterations to buildings associated with the use, handling, generation or storage of a hazardous chemical or explosive.	A new building or an alteration or addition, including change of use, for a building associated with the use, handling, generation or storage of a hazardous chemical must: (a) be located on the lot so as to be provided with a HMA no smaller than the required separation distances for the BAL determined in the certified bushfire hazard management plan; and (b) have a HMA established in accordance with a certified bushfire hazard management plan
G	Additional requirements for Certain Class 9 Buildings and associated Class 10a Buildings and decks.	Refer to NCC Vol. 1 – Part G5 (incorporating TAS G5P1 and TAS G5P2) and Specification 43

Site Description

Property Information: 122 GLENGARRY RD GLENGARRY TAS 7275

Property Type: Primary

Property Identification Number (PID): 9599890

Certificate of Title Reference (Volume/Folio): 177137/1

Total Area: 23710 sqm

Locality: Glengarry

Municipality: West Tamar

Planning Scheme: Tasmanian Planning Scheme

Planning Zones: Agriculture

Planning Code Overlay: Waterway and coastal protection area, Bushfire-prone areas

The irregular shaped lot of approximately 2.3 hectares is located on the eastern side of Glengarry Road around 1.3kms north of its junction with Frankford Road. The lot is surrounded by farming/rural lots mostly grazing and is flanked by an area of forest to the north west on a neighbouring lifestyle lot.

At the time of inspection, the site was in a well-managed state.

To the north of the existing dwelling/proposed extension is garden and grass extending around 130m to the lot boundary. Beyond the lot boundary grassland paddocks extend as the predominant feature between Glengarry Road and Tunks Creek for around 500m where areas of forest become more prominent.

To the east of the new works is grassland extending around 28m to the lot boundary. Beyond the lot boundary is grassland paddocks extending for at least 1km where areas of forest surrounding grassland paddocks become the major feature.

To the south of the works is grassland on the site itself extending around 40m to the boundary. Grassland extends as the predominant feature through the valley through to Glengarry Junction around 1.3kms, note to the south west is a large stand of forest on the neighboring lot.

To the west of the new works, is the existing dwelling and shed and managed garden extending to the lot boundary, approximately 32m. Beyond the lot boundary is a stand of forest on a neighbouring lot extending through to Glengarry Road around 120m from the works. Beyond Glengarry Road grassland paddocks extend across the undulating hillside for around 1.2kms to a large area of forest.

Water Supply

There is no reticulated water to the area and therefore firefighting water supply will be needed, meeting the following requirements;

- The installation of a water tank either metal or concrete with a minimum capacity of 10,000 litres static water supply (per use).
- The tank is to be fitted with pipework and fittings as per the Directors Determination.
- Signage on the tank and on the access gate to the property will be required as per the Tas Fire Specifications attached.
- The tank is required to be installed at least 6 metres and not greater than 90 metres from the works and with access to the tank within 3 metres of an area suitable for fire truck access.

Full static water supply requirements should be read in the Directors Determination – Bushfire Hazard Areas and if an alternative solution is required this may trigger the need for a performance solution to be approved by Tas Fire and CBOS.

It is recommended that the tank be located to the west of the building on the north side of the existing shed.

Access

Access is via an existing gravel driveway with a large turning area in the vicinity of the dwelling. It is likely the access in its current state will meet the following minimum requirements.

The following design and construction requirements apply to property access greater than 30m in length or for access for a fire appliance to a firefighting water point as per Building Act 2016 Directors Determination Bushfire Hazard Areas:

- (a) All-weather construction;
- (b) Load capacity of at least 20 tonnes, including for bridges and culverts;
- (c) Minimum carriageway width of 4 metres;
- (d) Minimum vertical clearance of 4 metres;
- (e) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
- (f) Cross falls of less than 3° (1:20 or 5%);
- (g) Dips less than 7° (1:8 or 12.5%) entry and exit angle;
- (h) Curves with a minimum inner radius of 10 metres;
- (i) Maximum gradient of 15° (1:3.5 or 28%) for sealed roads, and 10° (1:5.5 or 18%) for unsealed roads; and
- (j) Terminate with a turning area for fire appliances provided by one of the following: (i) A turning circle with a minimum outer radius of 10 metres; (ii) A property access encircling the building; or (iii) A hammerhead “T” or “Y” turning head 4 metres wide and 8 metres long.

Opportunities & Constraints

1. Classifiable grassland exists beyond the site to the north, east and south as described in AS3959-2018 Table 2.3, generally being pasture in an unmanaged state.
2. A stand of forest exists to the west of the site on a neighbouring lot. Whilst this forest has areas of scrub, forest is deemed the predominant feature.
3. The Hazard Management Areas has been drawn from the extent of the old part of the dwelling and the new extent of works. Whilst this is larger than the minimum requirement it is mostly within the existing part of the managed gardens.
4. The site is easy to manage with modern gardening equipment.



Conclusion

As the proposed works are within 100m of 1 hectare or greater of classifiable vegetation and the site is within a bushfire prone mapped area, a BAL assessment is required for the purpose of these works.

After consideration of the proposed extension works it is deemed a BAL 12.5 classification can be adopted for the new works.

The opportunity exists on the site to hazard manage a distance of 16m to the north and south and 19 to the east where grassland is the predominant feature. With forest across an upslope to the west a hazard management area of 32m can be implemented. On this basis a BAL 12.5 classification is adopted.

The likelihood an existing Subdivision Report for BAL exists is high, however it was not available at the time of writing this report. As the final result for the proposed extension is BAL 12.5 it does still meet the requirements set out in the Directors Determination deemed to satisfy requirements. Based on the title issue of the lot being greater than 6 years ago this Report would not be able to be used.

Therefore the site is classified as BAL 12.5 AS3959/2018, Table 2.3 Classification of Vegetation and Table 2.6 Determination of BAL FDI50, upon implementation of the bushfire hazard management plan.

BAL 12.5 to AS3959-2018

It is the responsibility of the accredited architect/designer to provide specific construction details to AS3959/2018 and fire fighting water supply and property access requirements on the plans, as per this report for approval in line with the requirements set out in CBOS schedule 1. Water supply and property access details can be copied from this report and hazard management plan without fear of copyright.

Emergency Management Strategy

N/A – The structure is a class 1A.

Bushfire Emergency Plan

N/A – The structure is a Class 1A.



Bushfire Hazard Management Plan

The attached Bushfire Hazard Management Plan must be implemented prior to occupation of the new works.

Failure to meet the requirements of this report may invalidate your insurance policy in the event of a bushfire.

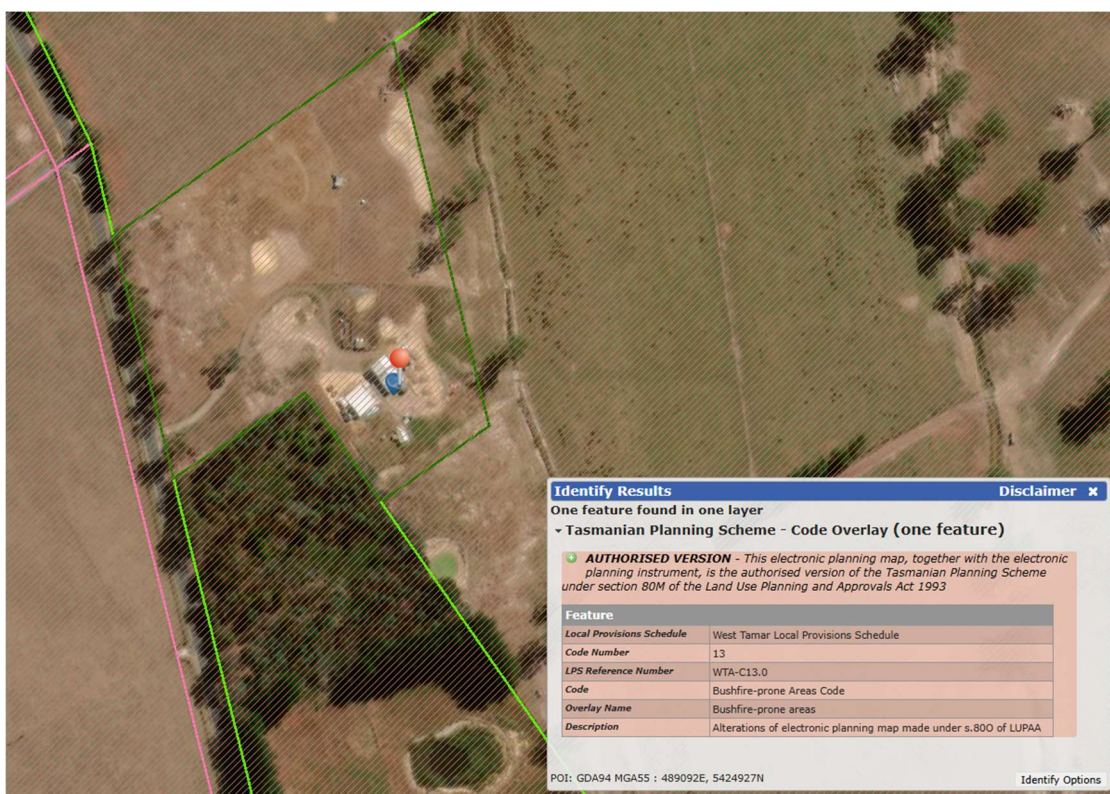
The highlighted area is required to be maintained as per the plan and in line with AS3959/2018.

Limitations

This report only deals with potential bushfire risk and all other statutory assessments are outside this report. All information provided was as at the time of inspection of the site, and this report is not to be used for further or future development of the site other than what has been provided by the plans attached. This report and/or management plan does not guarantee that the building will survive a bushfire.

Bushfire Mapping

This site is considered bushfire prone as per LISTmap.



Bushfire Site Assessment

Vegetation classification AS3959	North	East	South	West
Group A	Forest	Forest	Forest	Forest
Group B	Woodland	Woodland	Woodland	Woodland
Group C	Shrub-land	Shrub-land	Shrub-land	Shrub-land
Group D	Scrub	Scrub	Scrub	Scrub
Group E	Mallee-Mulga	Mallee-Mulga	Mallee-Mulga	Mallee-Mulga
Group F	Rainforest	Rainforest	Rainforest	Rainforest
Group G	Grassland	Grassland	Grassland	Grassland
Predominant Feature	Grassland	Grassland	Grassland	Forest
Excluded				
Effective slope (degrees)	Up/0°	Up/0°	Up/0°	Up/0°
	>0-5°	>0-5°	>0-5°	>0-5°
	>5-10°	>5-10°	>5-10°	>5-10°
	>10-15°	>10-15°	>10-15°	>10-15°
	>15-20°	>15-20°	>15-20°	>15-20°
Distance to classified vegetation	Nominal 20 metres	Nominal 20 metres	Nominal 20 metres	Nominal 20 metres
Distance Required for Onsite Bushfire Hazard Management	16 metres	19 metres	16 metres	32 metres
Likely direction of bushfire attack	North	East	South	West
Prevailing winds	North	East	South	West
BAL Value (FDI 50)	BAL – 12.5	BAL – 12.5	BAL – 12.5	BAL – 12.5

The values have been achieved from the location proposed, within the constraints of the site. If the location or nature of the proposal is to be altered for any reason this report will need to be amended to suit.



Photos

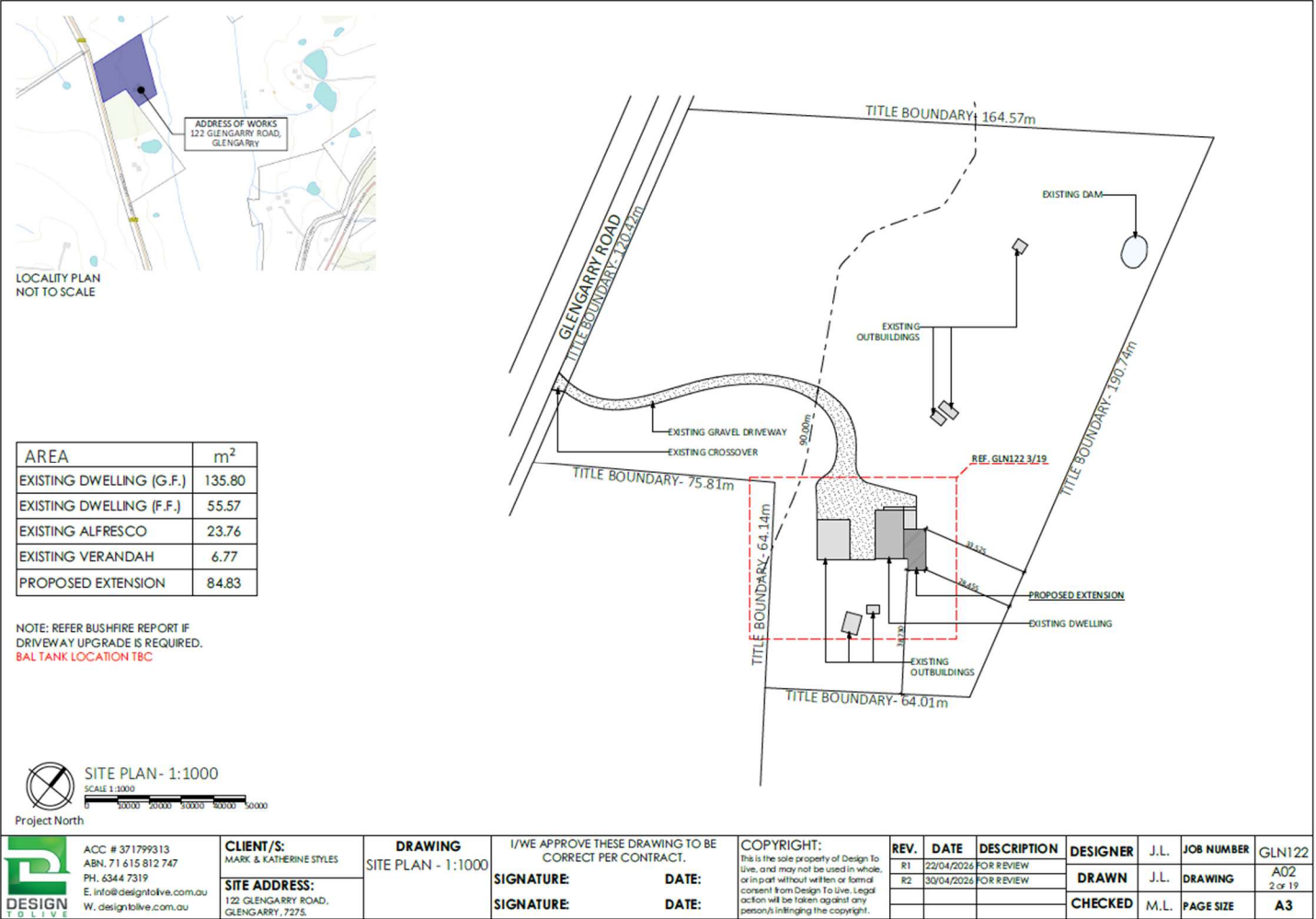




Appendix 1: General Overview of Bushfire Attack Level Classifications

BAL – LOW	The risk is considered to be VERY LOW. There is insufficient risk to warrant any specific construction requirements but there is still some risk.
BAL – 12.5	The risk is considered to be LOW. There is a risk of ember attack. The construction elements are expected to be exposed to a heat flux not greater than 12.5 kW/m².
BAL – 19	The risk is considered to be MODERATE. There is a risk of ember attack and burning debris ignited by windborne embers and a likelihood of exposure to radiant heat. The construction elements are expected to be exposed to a heat flux not greater than 19 kW/m².
BAL – 29	The risk is considered to be HIGH. There is an increased risk of ember attack and burning debris ignited by windborne embers and a likelihood of exposure to an increased level of radiant heat. The construction elements are expected to be exposed to a heat flux not greater than 29 kW/m².
BAL – 40	The risk is considered to be VERY HIGH. There is a much increased risk of ember attack and burning debris ignited by windborne embers, a likelihood of exposure to a high level of radiant heat and some likelihood of direct exposure to flames from the fire front. The construction elements are expected to be exposed to a heat flux not greater than 40 kW/m².
BAL – FZ	The risk is considered to be EXTREME. There is an extremely high risk of ember attack and burning debris ignited by windborne embers, and a likelihood of exposure to an extreme level of radiant heat and direct exposure to flames from the fire front. The construction elements are expected to be exposed to a heat flux greater than 40 kW/m².

Appendix 2 – plan as provided by client



ACC # 371799313
ABN. 71 615 812 747
PH. 6344 7319
E. info@designtolive.com.au
W. designtolive.com.au

CLIENT/S:
MARK & KATHERINE STYLES
SITE ADDRESS:
122 GLENGARRY ROAD,
GLENGARRY, 7275.

DRAWING
SITE PLAN - 1:1000

I/WE APPROVE THESE DRAWING TO BE
CORRECT PER CONTRACT.

SIGNATURE:
SIGNATURE:

DATE:
DATE:

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REV.	DATE	DESCRIPTION
R1	22/04/2026	FOR REVIEW
R2	30/04/2026	FOR REVIEW

DESIGNER	J.L.	JOB NUMBER	GLN122
DRAWN	J.L.	DRAWING	A02 2 of 19
CHECKED	M.L.	PAGE SIZE	A3



bush fire water supply
min 10000 litre water tank / static water supply
constructed of steel (colorbond) or concrete
to be located greater than 6m from the dwelling
and within 3m of the driveway available for fire
fighting purposes at all times.
tank is to be fitted with a DIN or NEN standard
forged Storz 65mm coupling fitted with a suction
washer for connection to firefighting equipment
coupling is to be fitted with a blank cap and
securing chain minimum 220mm length

bush fire water supply - fittings pipework & accessories

Fittings and pipework assoc with fire fighting static water supply must;

- have a minimal internal diameter of 50mm
- be fitted with a valve with a diameter of 50mm
- be metal if above ground
- if buried have a minimum depth of 300mm
- provide a DIN or NEN standard forged Storz 65mm coupling fitted with a suction washer for connection to fire fighting equipment
- ensure coupling is accessible and available for connection at all times
- ensure the coupling is fitted with a blank cap and securing chain 220mm long
- securing chain minimum 220mm length
- where a remote offtake is installed, ensure the offtake is in a position that is
 - visible
 - accessible to allow connection by fire fighting equipment
 - at a working height of 450 - 600mm above ground level
 - and be protected from possible damage by vehicles

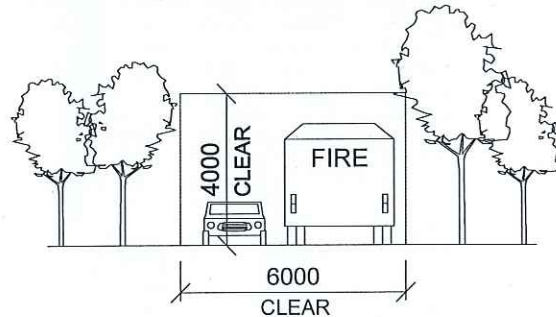
bush fire water supply signage

provide signage as per Tas Fire signage
requirements for size, details and colour
permanently fixed to the exterior of the water
tank in a location visible from the driveway
refer to 'Tasmanian Fire Service water supply
signage guidelines' document (Tas Fire web site)



ACCESS / DRIVEWAY to dwelling is constructed of suitable all
weather material suitable for fire truck access or exit from the
site in all weather from the site at the time of a fire

vegetation must be cleared and kept clear and maintained to a
height of 4m and a width of 6m clear access for fire fighting /
fire truck access and other emergency vehicles



- legend
- BUSHFIRE HAZARD MANAGEMENT AREA (HMA)
 - NEW WORKS (limitations of this BFHMP)

property access (bushfire prone site)

all weather road construction suitable for a load capacity
of at least 20 tonnes including bridges, culverts etc.
minimum carriage way width and height 4m, with
0.5m minimum horizontal clearance from the edge
of the carriageway. cross falls are to be less than 3deg (1:20)
dips are to be less than 7 deg (1:8) entry and exit angle and
curves are to have a minimum inner radius of 10m.
max gradient of 15 deg (1:3.5) for sealed roads and
max gradient of 10 degrees (1:5.5) for unsealed roads
hammer head 'T' or 'Y' turning head 4m wide and 8m long

bal 12.5

bushfire hazard management plan

SCALE: 1:1000 approx

A COPY OF THIS DOCUMENT MUST BE PROVIDED TO ALL CURRENT &
SUCCESSIVE OWNERS TO MAKE THEM AWARE OF THEIR OBLIGATIONS
OF CONTINUING MAINTENANCE AND BUSHFIRE ASSOCIATED RISK

THESE DRAWINGS
ARE PROTECTED BY
COPYRIGHT LAW AND
ARE NOT TO BE COPIED
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FOR ANY ADVERTISING
PURPOSES (INCLUDING
INTERNET ADVERTISING)
WITHOUT WRITTEN
PERMISSION OF
JASON VAN ZETLEN

amendment
1.
2.
3.
4.

bushfire hazard management plan
for: M & K Styles
lot:1 no.122
Glengarry Road
Glengarry

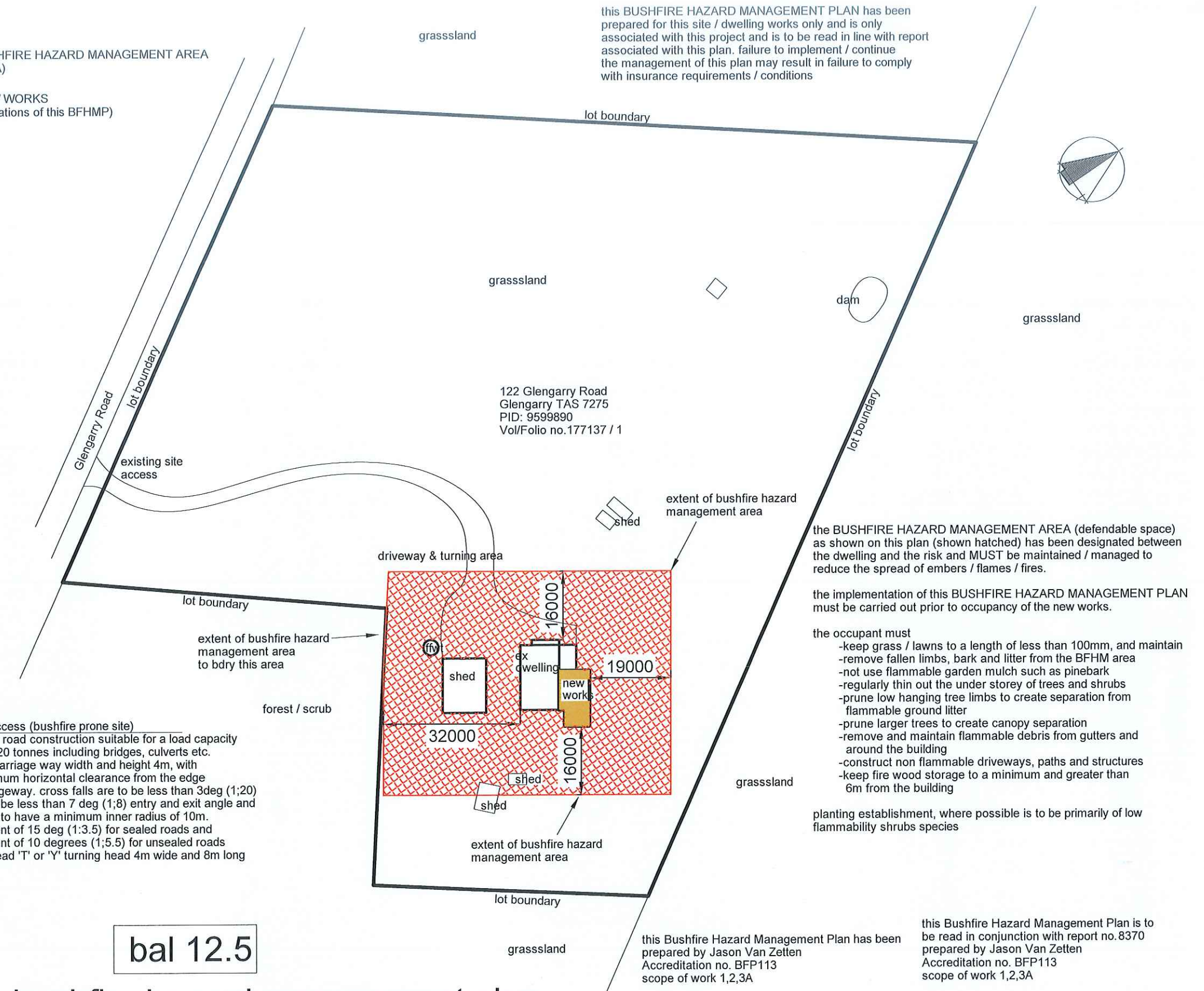
dwg no.	BFHMP - 8370	version -	01
sheet:	01	of	01
date:	May 2026	print date	
scale	1:1000 @ A3 approx		
bal	12.5		
		drawn: JVZ	



- BUSHFIRE SITE ASSESSMENTS
- BUSHFIRE REPORTS
- HAZARD MANAGEMENT PLANS
- SHORT TERM ACCOMMODATION

PH 0429 199 934
www.reddogbushfire.com.au

this BUSHFIRE HAZARD MANAGEMENT PLAN has been
prepared for this site / dwelling works only and is only
associated with this project and is to be read in line with report
associated with this plan. failure to implement / continue
the management of this plan may result in failure to comply
with insurance requirements / conditions



the BUSHFIRE HAZARD MANAGEMENT AREA (defendable space)
as shown on this plan (shown hatched) has been designated between
the dwelling and the risk and MUST be maintained / managed to
reduce the spread of embers / flames / fires.

the implementation of this BUSHFIRE HAZARD MANAGEMENT PLAN
must be carried out prior to occupancy of the new works.

the occupant must

- keep grass / lawns to a length of less than 100mm, and maintain
- remove fallen limbs, bark and litter from the BFHM area
- not use flammable garden mulch such as pinebark
- regularly thin out the under storey of trees and shrubs
- prune low hanging tree limbs to create separation from flammable ground litter
- prune larger trees to create canopy separation
- remove and maintain flammable debris from gutters and around the building
- construct non flammable driveways, paths and structures
- keep fire wood storage to a minimum and greater than 6m from the building

planting establishment, where possible is to be primarily of low
flammability shrubs species

this Bushfire Hazard Management Plan has been
prepared by Jason Van Zetten
Accreditation no. BFP113
scope of work 1,2,3A

this Bushfire Hazard Management Plan is to
be read in conjunction with report no.8370
prepared by Jason Van Zetten
Accreditation no. BFP113
scope of work 1,2,3A