

PLANNING APPLICATION FORM

Section 57 & 58

**OFFICE USE
ONLY**

Application Number PA2026256
Assess No: A13627
PID No: 9172692

Applicant Name:	Prime Design Launceston				
Applicant Contact Name					
Postal Address:					
Contact Phone:	Home	-	Work	(03) 6332 3790	Mobile
Email Address:					

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☒
2. A completed application form including a detailed description of the proposal ☒
3. A complete plan set: ☒
 - a) Floor plans ☒
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☒
 - c) Site Plan showing: ☒
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other:

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name:	Prime Design
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Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name: (as per certificate of title)	Jason Glen Know and Vickil Kathleen Beard
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Location / Address:	Lot 142 Montague Park Drive, Legana
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Title Reference:	300676/142
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Zone(s):	General Residential
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Existing Development/Use:	Vacant Lot
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Existing Developed Area:	N/A
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Are any of the components in this Application seeking retrospective approval? E.g. Use and/or development that has commenced without a Planning Permit.	YES ☐
	NO ☒

(If yes please specify the relevant components):

DEVELOPMENT APPLICATION DETAILS

Proposed Use:	Residential: ☒	Visitor Accommodation: ☐	Commercial: ☐	Other: ☐
	Description of Use: New Residence			

Development Type:	Building work: ☒	Demolition: ☐	Subdivision: ☐	Other: ☐
	Description of development: New RESIDENCE			

New or Additional Area:	237.32m2
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Estimated construction cost of the proposed development:	\$557,700.00 Estimate
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Building Materials:	Wall Type: Light Weight cladding & Brick	Colour: TBC
	Roof Type: Custom Orb	Colour: TBC

Application Number: «Application Number»

VISITOR ACCOMMODATION

☒ N/A

Gross Floor Area to be used per lot:		Number of Bedrooms to be used:	
Number of Carparking Spaces:		Maximum Number of Visitors at a time:	

SUBDIVISION

☒ N/A

Subdivision creating additional lots ☐

Boundary adjustment with no additional lots created ☐

Number of Lots (existing) :	0	Number of Lots (proposed) :	1
Description:			
If applying for a subdivision which creates a new road(s), please supply three proposed names for the road(s), in order of preference:			
1.			
2.			
3.			

COMMERCIAL, INDUSTRIAL OR OTHER NON-RESIDENTIAL DEVELOPMENT/USE

☒ N/A

Hours of Operation:	Monday / Friday:		To	
	Saturday:		To	
	Sunday:		To	
Existing Car Parking:				
Proposed Car Parking:				
Number of Employees: (Existing)				
Number of Employees: (Proposed)				
Type of Machinery installed:				
Details of trade waste and method of disposal:				

Application Number: «Application Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Owner name		
Name (print)	Signed	Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,
(if not the owner)

Prime Design		26.08.2026
Name (print)	Signed	Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)	Signed	Date

**Chief
Executive
Officer**
(if required)

Name (print)	Signed	Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

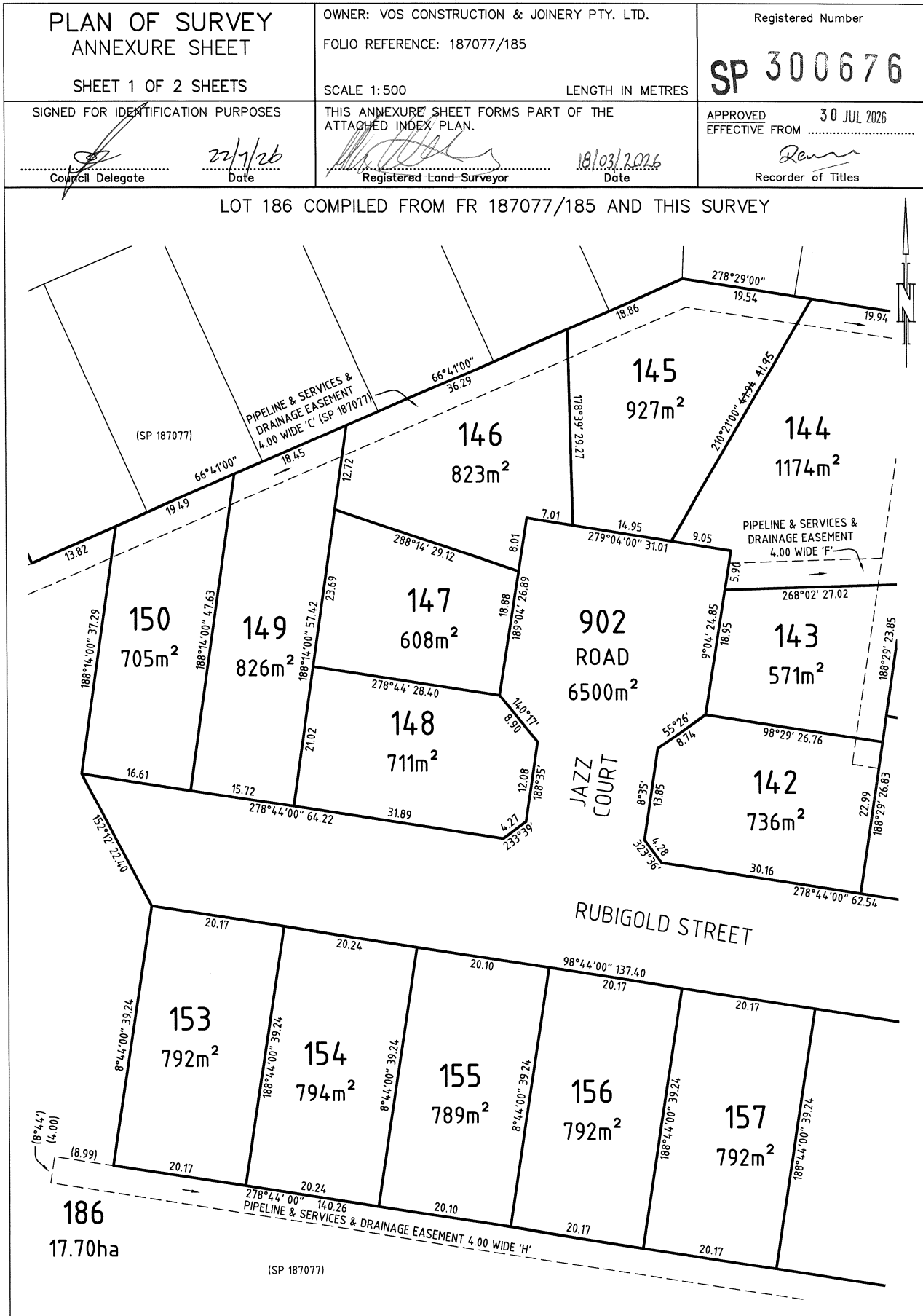
Right of Way Owner:

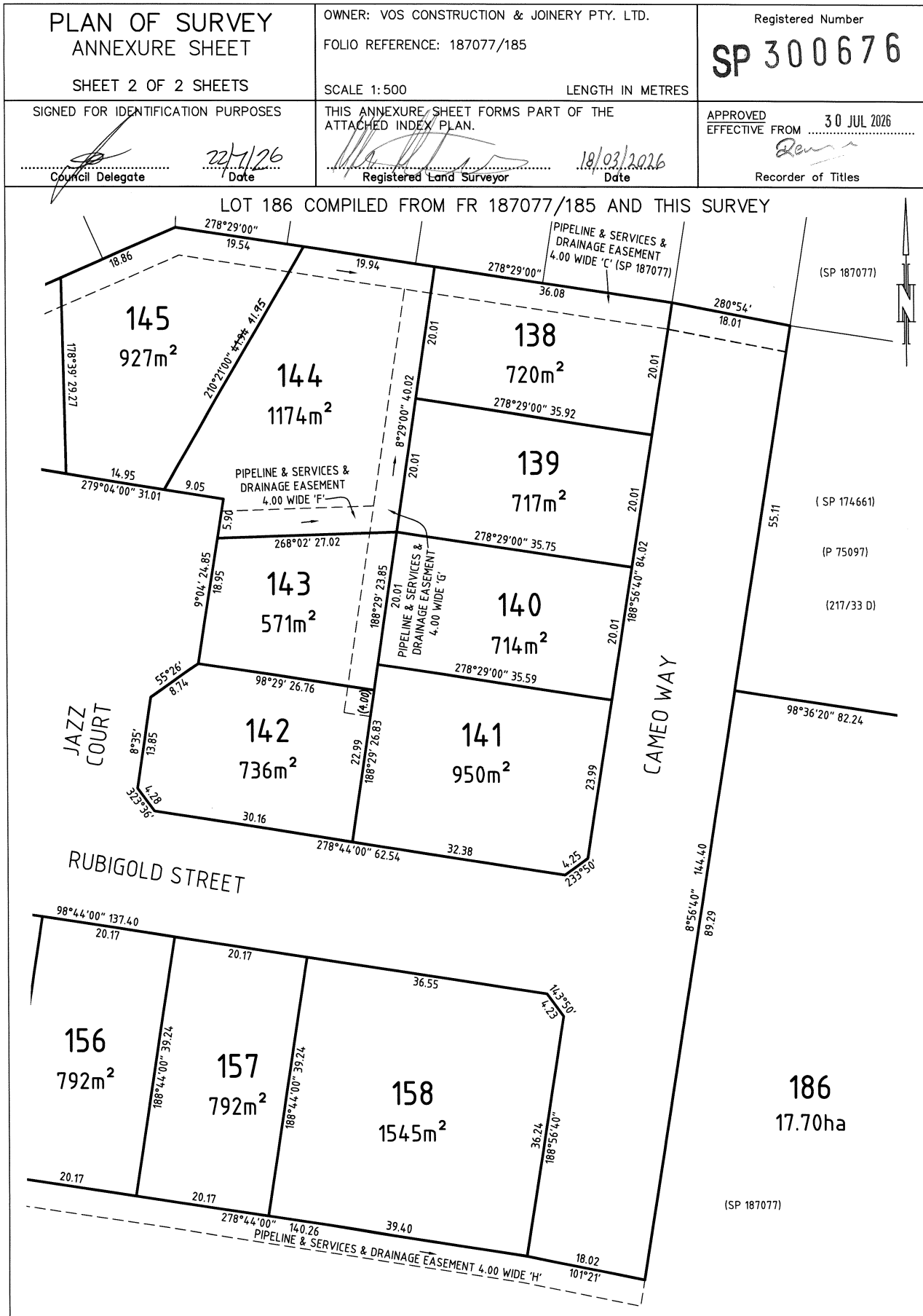
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As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)	Signed	Date

OWNER : VOS CONSTRUCTION & JOINERY PTY. LTD. FOLIO REFERENCE : F.R. 187077/185 GRANTEE : PART OF 2500 ACRES Gtd TO JOHN GRIFFITHS	PLAN OF SURVEY BY SURVEYOR: M.R. HEATLEY of OPDA SURVEYORS, ENGINEERS & PLANNERS 3/23 BRISBANE STREET, LAUNCESTON LOCATION: TOWN OF LEGANA SCALE 1:2500 LENGTHS IN METRES	REGISTERED NUMBER SP300676 APPROVED 30 JUL 2026 EFFECTIVE FROM <i>Ren</i> Recorder of Titles
PRIORITY FINAL PLAN SURVEYORS REF: 55171LK ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		
LOT 186 COMPILED FROM FR 187077/185 AND THIS SURVEY 1- DRAINAGE EASEMENT 3.00 WIDE & VARIABLE (SP 187077) 2- DRAINAGE EASEMENT 4.00 WIDE (SP 187077) C- PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'C' (SP 187077) E- PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'E' (SP 187077) F- PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'F' (SP 187077) G- PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'G' (SP 187077) H- PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'H' (SP 187077)		
<i>[Signature]</i> Registered Land Surveyor	18/03/2026 Date	<i>[Signature]</i> Council Delegate 22/7/26 Date





SCHEDULE OF EASEMENTS	Registered Number SP 300676
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 4 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 138, 144, 145, 146, 149, 150, ^{+902†} and 186 on the plan ("the Lot") are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'C' (SP 187077)" shown on the plan ("the Easement Land").

Lots 138, 144, 145, 146, 149, 150, ^{+902†} and 186 on the plan are subject to a Right of Drainage in favour of the West Tamar Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'C' (SP 187077)" shown passing through those lots on the plan.

Lots 142, 143 and 144 on the plan ("the Lot") are subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'G'" shown on the plan ("the Easement Land").

Lots 142, 143 and 144 on the plan are subject to a Right of Drainage in favour of the West Tamar Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'G'" shown passing through those lots on the plan.

Lot 144 on the plan ("the Lot") is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'F'" shown on the plan ("the Easement Land").

Lot 144 on the plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'F'" shown passing through lot 144 on the plan.

Lot 186 on the plan ("the Lot") is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'E' (SP 187077)" shown on the plan ("the Easement Land").

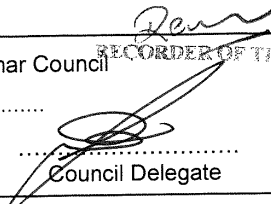
Lot 186 on the plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'E' (SP 187077)" shown passing through lot 186 on the plan.


Darren Roelf Vos


Adrian Donald Bott

Amendment made with
Consent from Penny
Sproal 30/7/2026

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Vos Construction & Joinery Pty Ltd FOLIO REF: Volume 187077 Folio 185 SOLICITOR & REFERENCE: Penny Sproal - PS:269981	PLAN SEALED BY: West Tamar Council DATE:  PA2021064 REF NO.
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES	Registered Number SP 300676
SUBDIVIDER: Vos Construction & Joinery Pty Ltd FOLIO REFERENCE: Volume 187077 Folio 185	

Lot 186 on the plan ("the Lot") is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'H'" shown on the plan ("the Easement Land").

Lot 186 on the plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE 'H'" shown passing through lot 186 on the plan.

Lot 186 on the plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE & VARIABLE (SP 187077)" shown passing through lot 186 on the plan.

Lot 186 on the plan is subject to a Right of Drainage in favour of the West Tamar Council over the land marked "DRAINAGE EASEMENT 4.00 WIDE (SP 187077)" shown passing through lot 186 on the plan.

That part of each lot on the plan formerly comprised in Lot 1 on Plan 174662 is together with a right of carriage way over all the Roadways shown on Plan No. 610 other than the Roadway marked thereon as "Track from West Tamar Road to Homestead".

INTERPRETATION

In this Schedule of Easements:

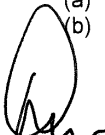
"Pipeline Easement" means:

The full and free right and liberty to draw water through pipes now or to be installed as hereinafter appears within that portion of each lot subject thereto marked pipeline easement on the plan and for that purpose to enter thereon and to lay in, under and upon the pipeline easement such pipe or pipes as shall from time to time be necessary for the purposes aforesaid and to draw water through such pipes and at all times to enter into and upon the pipeline easement for the purpose of maintaining any pumping system and inspecting, cleaning, maintaining, removing and renewing such pipes and to carry out all necessary work thereon causing as little damage as possible and making reasonable compensation for all damage done or caused thereby.

"Pipeline & Services Easement" means:

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorized by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment,
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorized to do or undertake,
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure,
- (4) run and pass sewerage, water and electricity through and along the Infrastructure,
- (5) do all works reasonably required in connection with such activities or as may be authorized or required by any law:
 - (a) without doing unnecessary damage to the Easement Land, and
 - (b) leaving the Easement Land in a clean and tidy condition.


 Darren Roelf Vos


 Adrian Donald Bott

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 4 PAGES	Registered Number SP 300676
SUBDIVIDER: Vos Construction & Joinery Pty Ltd FOLIO REFERENCE: Volume 187077 Folio 185	

- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorized by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land, and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

"Infrastructure" means infrastructure owned on for which TasWater is responsible and includes but is not limited to:

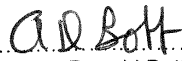
- (a) Sewer pipes and water pipes and associated valves,
- (b) Telemetry and monitoring devices,
- (c) Inspection and access pits,
- (d) Electricity assets and other conducting media (excluding telemetry and monitoring devices),
- (e) Markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure,
- (f) Anything reasonably require to support, protect or cover any other Infrastructure,
- (g) Any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewerage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity, and
- (h) Where the context permits, any part of the Infrastructure.

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

FENCING COVENANT

The Owner of each lot on the plan covenants with the Vendor (Vos Construction & Joinery Pty Ltd) that the Vendor shall not be required to fence.


.....
Darren Roelf Vos


.....
Adrian Donald Bott

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 4 PAGES	Registered Number SP 300676
SUBDIVIDER: Vos Construction & Joinery Pty Ltd FOLIO REFERENCE: Volume 187077 Folio 185	

EXECUTED by **VOS CONSTRUCTION & JOINERY PTY LTD** (ACN 009 558 258) being the registered proprietor of the land comprised in Folio of the Register Volume 187077 Folio 185 in accordance with Section 127 of the Corporations Act 2001:

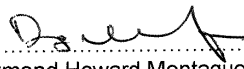


.....
Darren Roelf Vos - Director

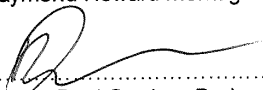


.....
Adrian Donald Bott - Secretary

LEGANA ORCHARDS PTY LTD (ACN 009 520 852) as mortgagee under Mortgage No. E308992 hereby consents to this Schedule of Easements:



.....
Raymond Howard Montague - Director



.....
Darren Paul Gardner Barber - Director

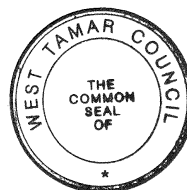
NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

COUNCIL APPROVAL

(Insert any qualification to the permit under section 83(5), section 109 or section 111 of the Local Government (Building & Miscellaneous Provisions) Act 1993)
The subdivision shown in this plan is approved

Registered Number

SP 300676



In witness whereof the common seal of

has been affixed, pursuant to a resolution of the Council of the said municipality

passed the 22nd day of July 2020, in the presence of usMember Robinson

Member

Council Delegate [Signature]Council Reference PA2021064

NOMINATIONS

For the purpose of Section 88 of the Local Government (Building & Miscellaneous Provisions) Act 1993
the owner has nominated

SPROAL & ASSOCIATES

..... Solicitor to act for the owner

PDA SURVEYORS (LAUNCESTON)

..... Surveyor to act for the owner

(REF: 55171LK)

OFFICE EXAMINATION:

Indexed

Computed 18.11.2026Examined 18.11.2026

PROPOSED NEW RESIDENCE

LOT 142 MONTAGUE PARK,

LEGANA

J.G.KNOX & V.K.BEARD

PD26240

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	FLOOR PLAN
03	DOOR AND WINDOW SCHEDULES
04	ELEVATIONS
05	ELEVATIONS
06	ELECTRICAL/REFLECTED CEILING PLAN
07	ROOF PLAN
08	PERSPECTIVES



FLOOR AREA	187.63 m2	(20.20 SQUARES)
GARAGE AREA	35.88 m2	(3.86 SQUARES)
ALFRESCO AREA	11.06 m2	(1.19 SQUARES)
PORCH AREA	2.75 m2	(0.30 SQUARES)
TOTAL AREA	237.32	25.55



These signatures approve all architectural documentation in conjunction with the specifications and contract:

Builder:

Date:

Client:

Date:

GENERAL PROJECT INFORMATION
TITLE REFERENCE: 142/300676
SITE AREA: 736m²
DESIGN WIND SPEED: N1
SOIL CLASSIFICATION: M
CLIMATE ZONE: 7
ALPINE AREA: N/A
CORROSIVE ENVIRONMENT: LOW/MEDIUM
BAL RATING: TBC
OTHER KNOWN HAZARDS: TBC

REV. DATE DESCRIPTION



L: 10 Goodman Court , Invermay, 7248
p(0) + 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009
p(h)+03 6228 4575
info@primedesigntas.com.au
Accredited Building Practitioner:

primedesigntas.com.au
Frank Geskus -No CC246A



AUGUST 2026
PLANNING

BATTER NOTE
BATTER AS PER
ABCB HOUSING PROVISIONS
PART 3.2.1.
REFER TO STANDARD
DETAILS TABLE

DRIVENWAY GRADIENT
MAXIMUM GRADIENT 1:4 (25%)
TO AS 2890

CAR PARKING GRADIENT
PARALLEL TO PARKING ANGLE 1:20 (5%)
CROSSFALL 1:16 (6.25%)

SETBACKS
REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER
DETAILS.

GARAGE IS LOCATED WITHIN 12m OF THE PRIMARY
FRONTAGE, OPENING WIDTH IS 4.8m

SITE COVERAGE
BUILDING FOOTPRINT 237.32 /SITE AREA 736 = 0.322
TOTAL SITE COVERAGE 32.2%

PRIVATE OPEN SPACE
24m² MINIMUM,
WITH A MINIMUM DIMENSION OF 4m
GRADIENT NO STEEPER THAN 1:10

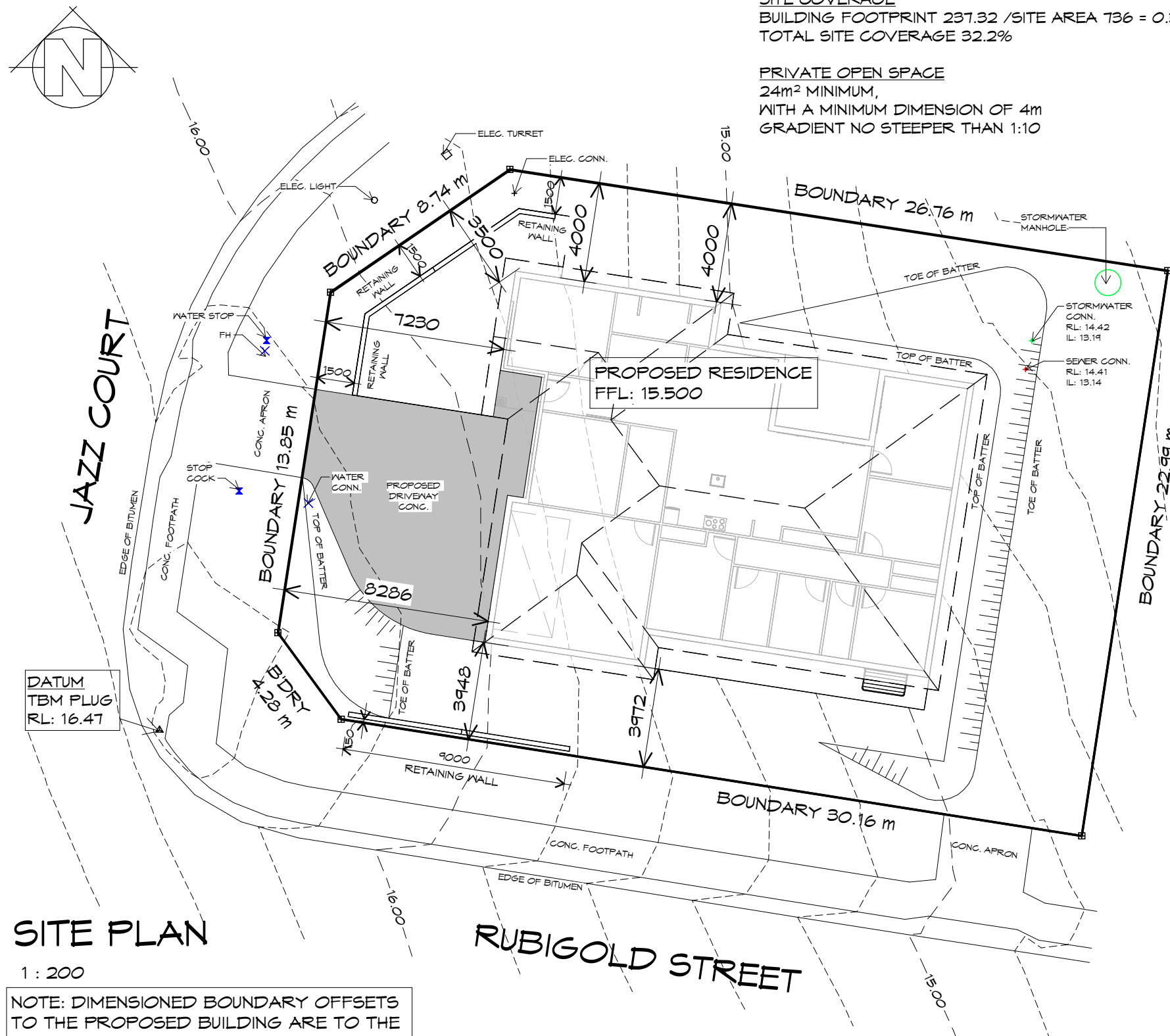
- GENERAL NOTES
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
 - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
 - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A.. CODES & LOCAL AUTHORITY BY-LAWS
 - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
 - CONFIRM ALL FLOOR AREAS
 - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
 - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
 - ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
 - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
 - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
 - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
 - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
 - CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
 - DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

SURVEY INFORMATION:

1. DATE OF SURVEY - 7/05/2026
2. HORIZONTAL DATUM - PLANE BASED ON MGA (GDA2020) @ RS nail in top kerb.
3. VERTICAL DATUM - AHD83 @ SPM 10246
4. CONTOUR INTERVAL - 0.20m, INDEX INTERVAL 1.00m

DISCLAIMER:

1. THIS NOTE SHOULD BE READ IN CONJUNCTION WITH ANY USE OR PRESENTATION OF THIS DATA AS IT FORMS AN INTEGRAL PART TO UNDERSTANDING PURPOSE OF THE SURVEY.
2. **PURPOSE OF SURVEY:** ARCHITECTURAL DETAIL
THE DATA SHOWN SHOULD ONLY BE USED FOR THE PURPOSE THAT IT WAS ORIGINALLY INTENDED. 6ty° ACCEPTS NO RESPONSIBILITY FOR ANY MISUSE OF THIS DATA.
3. THIS DATA CONTAINS A COMBINATION OF EXISTING RECORDS, AND FIELD SURVEY DATA.
4. SERVICES SHOWN ON THE PLAN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY & BYDA INFORMATION. NO GUARANTEE CAN BE GIVEN THAT ALL RELEVANT SERVICES ARE SHOWN. 6ty° ACCEPTS NO RESPONSIBILITY FOR ANY LOSS OR DAMAGE DUE TO THE LOCATION OF UNDERGROUND SERVICES WHETHER SHOWN BY THIS SURVEY OR NOT.
5. **TITLE BOUNDARIES**
5.1 BOUNDARIES HAVE BEEN COMPILED ONLY AND AS SUCH THEIR NATURE IS INDICATIVE.
5.2 ALL BOUNDARIES ARE SUBJECT TO SURVEY.
5.3 WHERE NOT COMPILED, TITLE BOUNDARIES HAVE BEEN SHOWN INDICATIVELY FOR CONTEXT FROM LISTMAP DATA
5.4 WHERE WORKS ARE PROPOSED CLOSE TO OR ALONG A BOUNDARY, FURTHER SURVEY ADVICE SHOULD BE SOUGHT.
6. BACKGROUND IMAGERY ONLY SUPPLEMENTS FIELD DATA AND SHOULD NOT BE USED AS A FORM OF TRUTH.



SITE PLAN

1 : 200

NOTE: DIMENSIONED BOUNDARY OFFSETS
TO THE PROPOSED BUILDING ARE TO THE
EXTERNAL CLADDING U.N.O.



Hotondo
Homes

Hotondo Homes Launceston
303 Invermay Road, Invermay 7248
Ph: 03 6778 9504

Client name:
J.G.KNOX & V.K.BEARD

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
LOT 142 MONTAGUE PARK,
LEGANA

Drawing:
SITE PLAN

Prime
Design

L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Date: 24.08.2026
Drafted by: R.K
Approved by: Approver

Project/Drawing no: PD26240 - 01
Scale: 1 : 200
Revision: 03

Accredited building practitioner: Frank Geskus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

FLOOR PLAN

1 : 100		
FLOOR AREA	187.63 m ²	(20.20 SQUARES)
GARAGE AREA	35.88 m ²	(3.86 SQUARES)
ALFRESCO AREA	11.06 m ²	(1.19 SQUARES)
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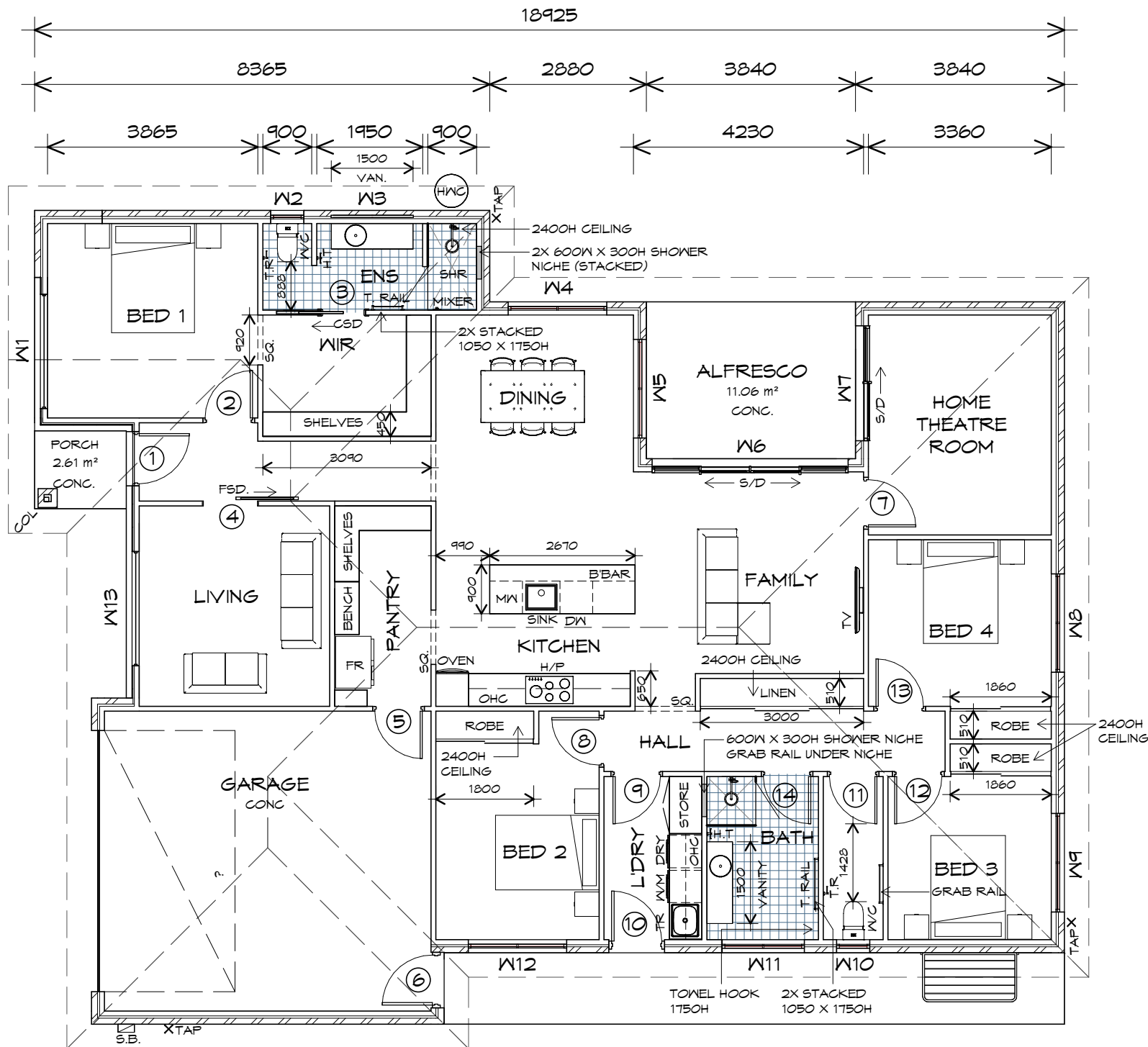
NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



**Hotondo
Homes**

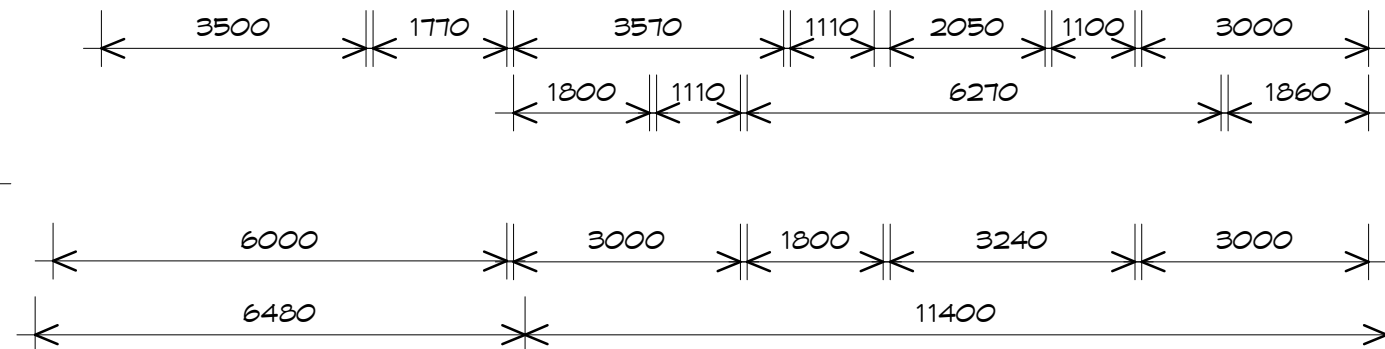
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Ph: 03 6778 9504

REV. DATE DESCRIPTION



LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- HWC HOT WATER CYLINDER
- S.Q. SQUARE SET OPENING
- N. 600X300 SHR NICHE
- T.RAIL TOWEL RAIL
- H.R. HAND TOWEL RAIL
- T.R. TOILET ROLL HOLDER



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Design**

L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Date: 24.08.2026 Drafted by: R.K. Approved by: Approver

Project/Drawing no: PD26240 - 02 Scale: 1 : 100 Revision: 03

Accredited building practitioner: Frank Geskus - No CC246A
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Client name:
J.G.KNOX & V.K.BEARD

Project:
PROPOSED NEW RESIDENCE
LOT 142 MONTAGUE PARK,
LEGANA

Drawing:
FLOOR PLAN

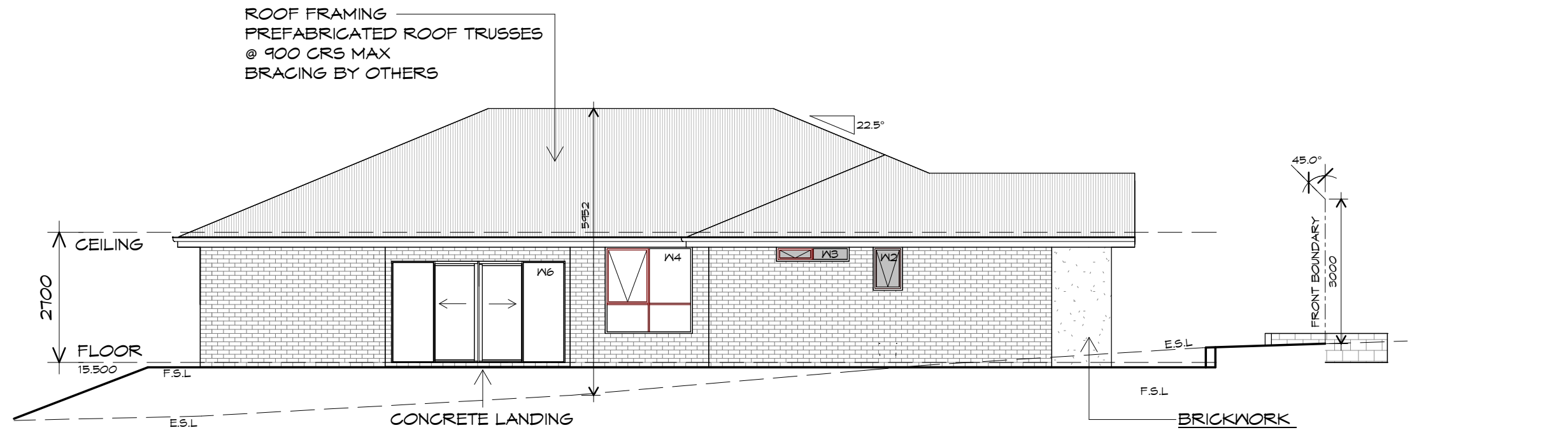
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL DOOR	CRIMSAFE DOOR
2	870	INTERNAL TIMBER DOOR	
3	820	CAVITY SLIDING DOOR	
4	1000	BARN FACE SLIDING DOOR	
5	870	INTERNAL TIMBER DOOR	
6	920	EXTERNAL HALF GLASS	1/2 OPAQUE
7	870	INTERNAL TIMBER DOOR	
8	870	INTERNAL TIMBER DOOR	
9	870	INTERNAL TIMBER DOOR	
10	920	EXTERNAL HALF GLASS	HALF OPAQUE & CRIMSAFE DOOR
11	870	INTERNAL TIMBER DOOR	
12	870	INTERNAL TIMBER DOOR	
13	870	INTERNAL TIMBER DOOR	
14	870	INTERNAL TIMBER DOOR	

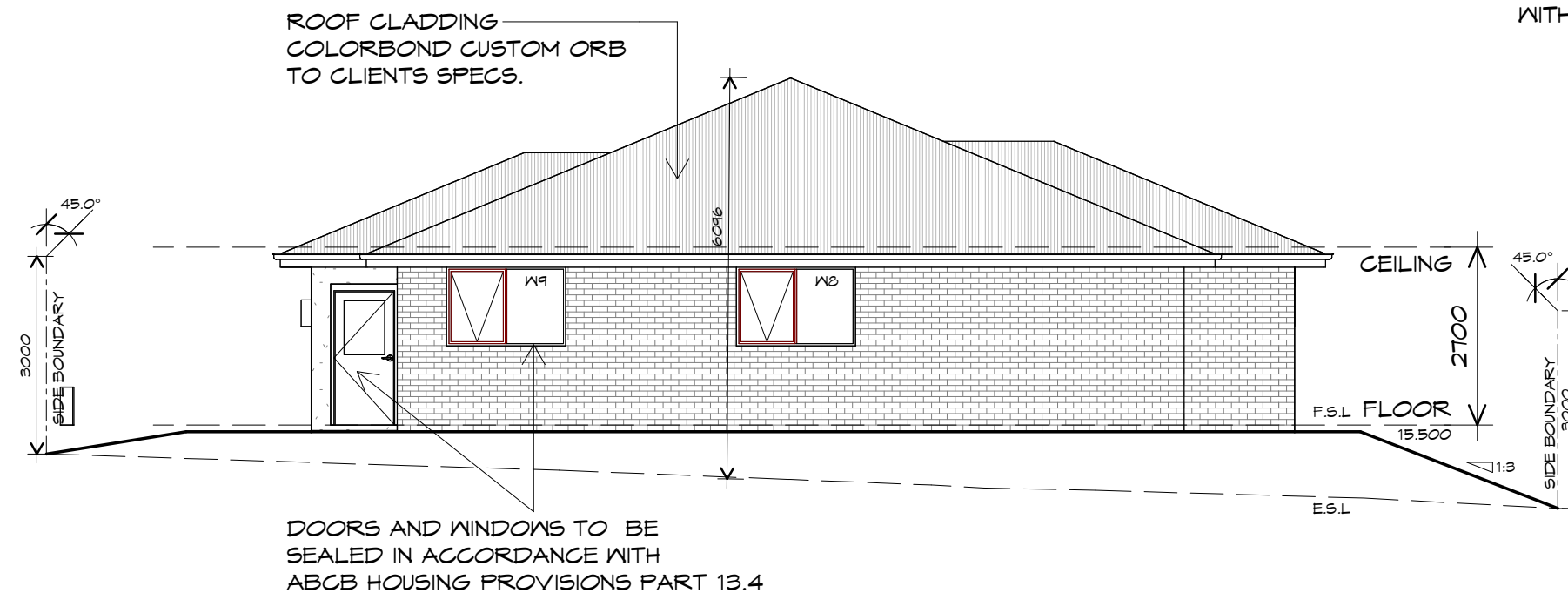
WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	2100	AWNING WINDOW	AS PER ELEVATION
W2	900	610	AWNING WINDOW	OPAQUE
W3	300	1510	AWNING WINDOW	OPAQUE
W4	1800	1810	AWNING WINDOW	
W5	1800	1810	AWNING WINDOW	
W6	2100	3600	DOUBLE SLIDING DOOR	
W7	2100	2110	SLIDING DOOR	
W8	1200	1810	AWNING WINDOW	
W9	1200	1810	AWNING WINDOW	
W10	900	610	AWNING WINDOW	OPAQUE
W11	1200	1510	AWNING WINDOW	OPAQUE
W12	1200	1810	AWNING WINDOW	
W13	1800	2100	AWNING WINDOW	AS PER ELEVATION

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING



NORTHERN ELEVATION

1 : 100



EASTERN ELEVATION

1 : 100



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303 Invermay Road, Invermay 7248
Ph: 03 6778 9504

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J.G.KNOX & V.K.BEARD

PLANNING
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Project:
PROPOSED NEW RESIDENCE
LOT 142 MONTAGUE PARK,
LEGANA

Drawing:
ELEVATIONS

**Prime
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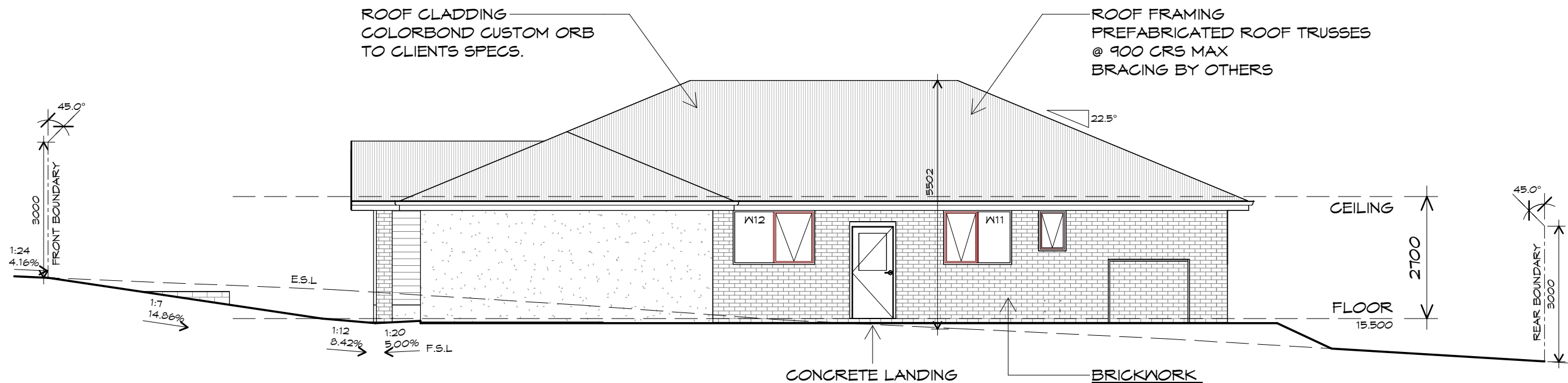
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info@primedesigntas.com.au primedesigntas.com.au

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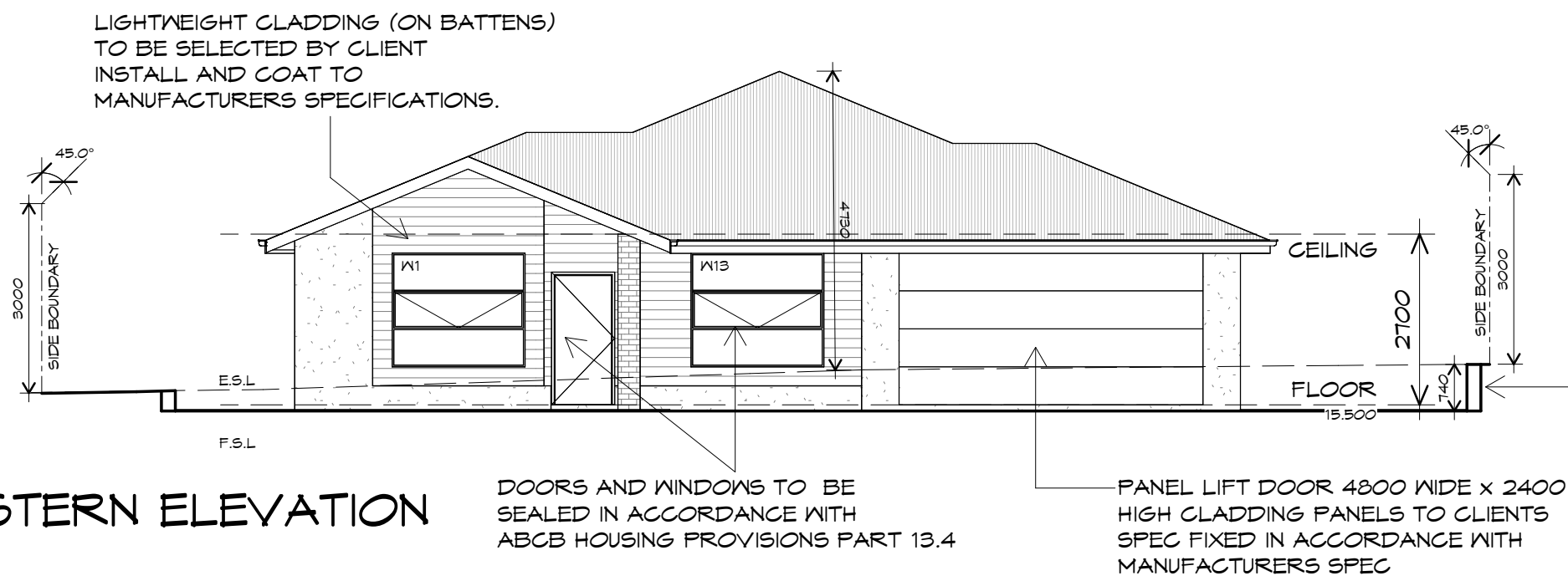
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SOUTHERN ELEVATION

1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
PIPED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCB HOUSING PROVISIONS PART 5



WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 13.4

PANEL LIFT DOOR 4800 WIDE x 2400
HIGH CLADDING PANELS TO CLIENTS
SPEC FIXED IN ACCORDANCE WITH
MANUFACTURERS SPEC

FREESTONE, ECO LANDSCAPE
RETAINING WALL
INSTALL PER MANUFACTURERS
SPEC.



**Hotondo
Homes**

Hotondo Homes Launceston
303 Invermay Road, Invermay 7248
Ph: 03 6778 9504

Client name:
J.G.KNOX & V.K.BEARD

Project:
PROPOSED NEW RESIDENCE
LOT 142 MONTAGUE PARK,
LEGANA

Drawing:
ELEVATIONS

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

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Design**

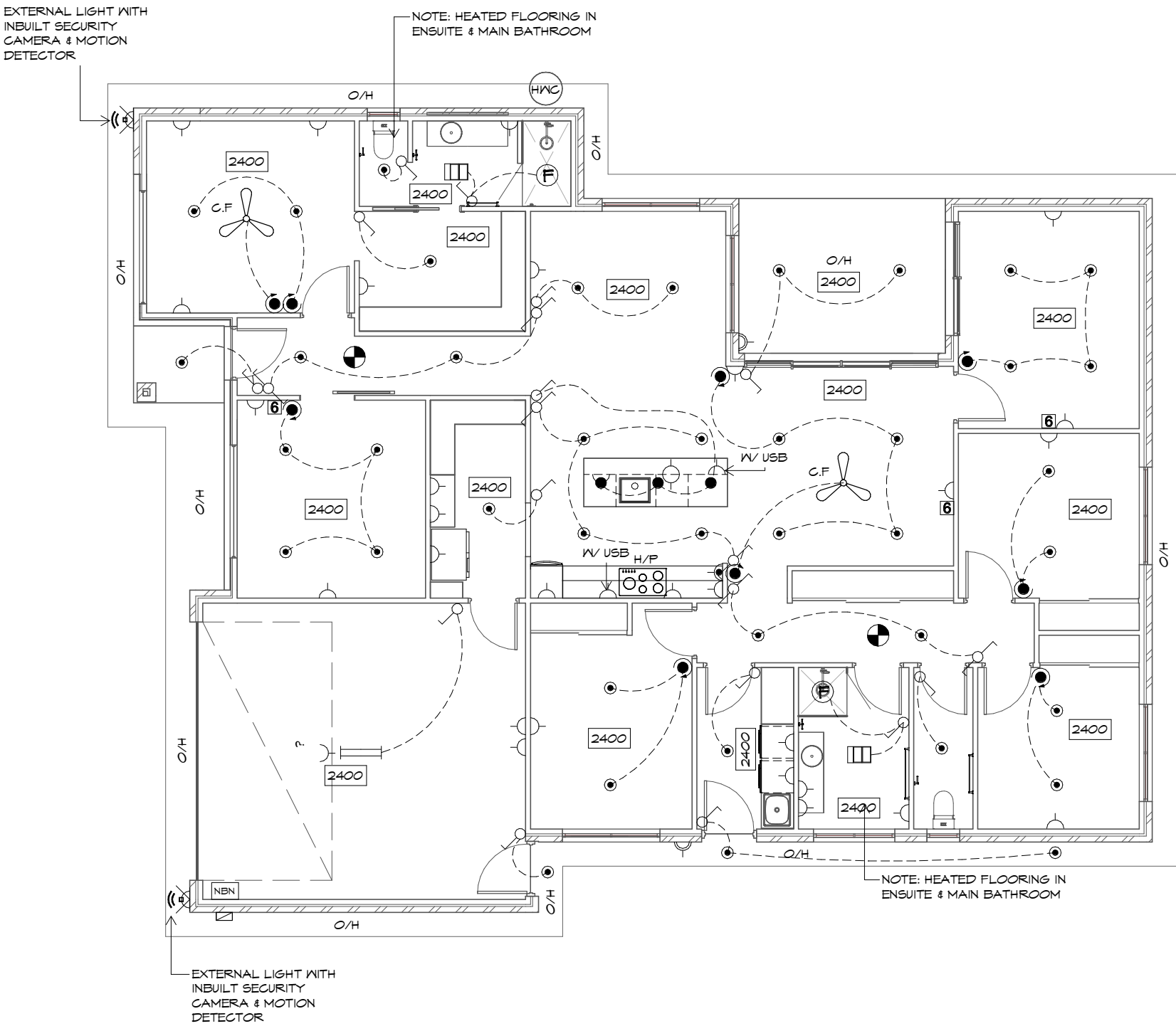
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info@primedesigntas.com.au primedesigntas.com.au

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ELECTRICAL INDEX

LIGHTING

- FOUR LIGHT, 3 IN 1 BATHROOM LIGHT C/W DAMPER, EXHAUST TO OUTSIDE*
- L.E.D. - SEALED DOWN LIGHT *
- CEILING FAN W/ INBUILT LIGHTING *
- TWIN TUBE FLUORESCENT LIGHT
- SECURITY LIGHT W/ INBUILT SECURITY CAMERAS *
- PENDANT LIGHT TO CLIENTS SPEC*
- *INSTALL AS PER MANUFACTURERS SPECIFICATION

OTHER

- 240V SMOKE ALARM
- SWITCH BOX
- EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
- RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER

SWITCH TYPE

- ONE-WAY SWITCH
- TWO-WAY SWITCH
- DIMMER SWITCH
- MOTION SENSOR

WALL OUTLETS

- GENERAL PURPOSE OUTLET (DOUBLE)
- WEATHER PROOF OUTLET
- HOTPLATE SAFETY CUT-OFF
- NBN CONNECTION
- CAT 6 DATA OUTLET

NOTE:
POWER POINT TO BE 300mm AWAY FROM EDGE OF WATER SOURCE

CEILING

- XXXX DENOTES CEILING HEIGHT
- O/H ROOF OVERHANG/EAVES

HEATING

- H.P. HEAT PUMP
- H.P. HEAT PUMP, OUTDOOR UNIT

ELECTRICAL/REFLECTED CEILING PLAN

1 : 100

NOTE: DUCTED HEATING LAYOUT TO BE CONFIRMED

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REV.	DATE	DESCRIPTION
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Client name:
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PLANNING
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Project:
PROPOSED NEW RESIDENCE
LOT 142 MONTAGUE PARK,
LEGANA
Drawing:
ELECTRICAL/REFLECTED CEILING PLAN

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H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
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ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER
BOX GUTTERS IN ACCORDANCE WITH
AS33500.3:2021

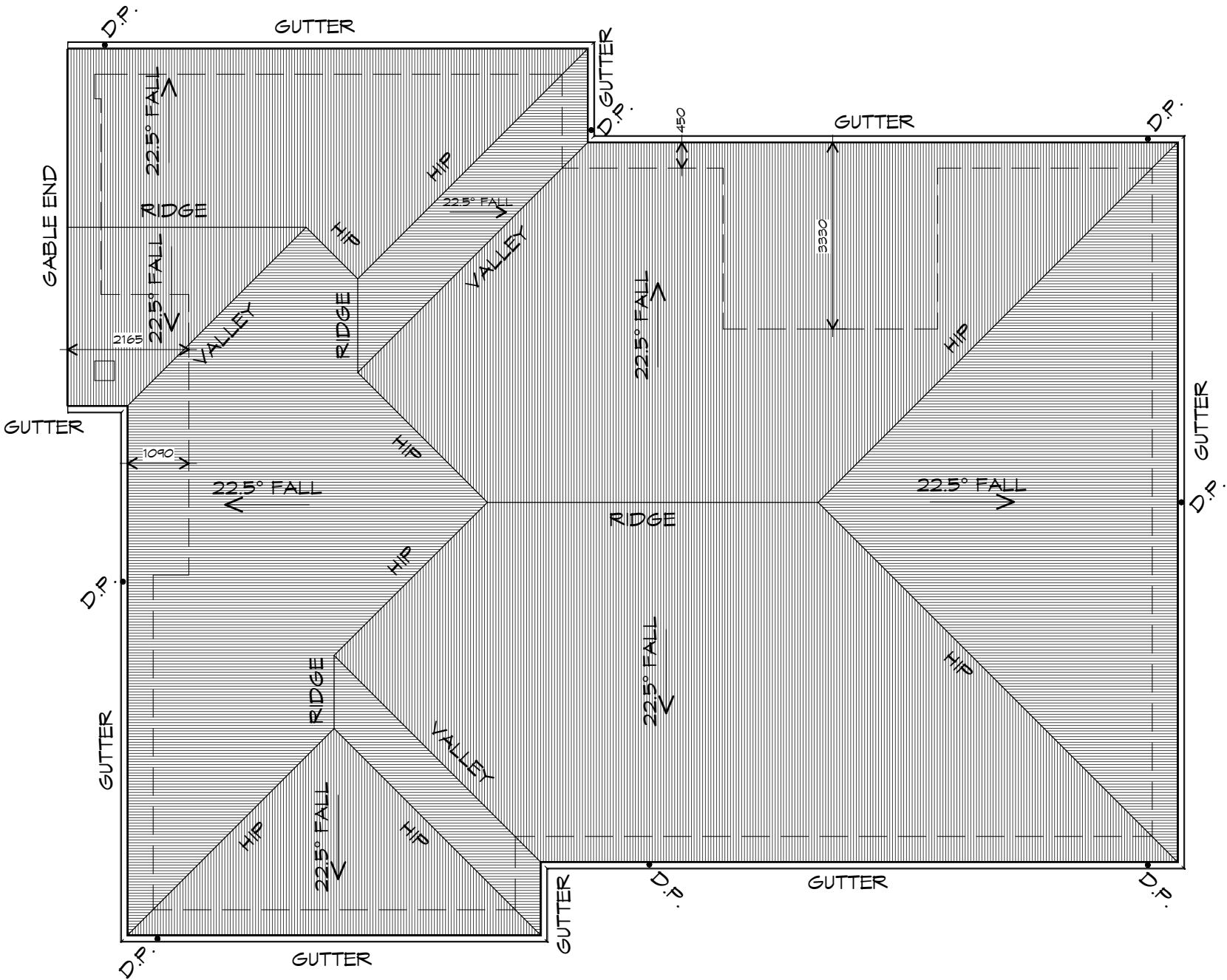
UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

OVERFLOW MEASURES
INSTALL FRONT FACE SLOTTED GUTTER OR
10mm CONTROLLED BACK GAP, STAND OFF
BRACKET WITH SPACER.
BACK OF GUTTER INSTALLED A MINIMUM OF
10mm BELOW THE TOP OF FASCIA
INSTALL IN ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 7.4.6



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



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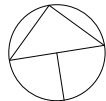
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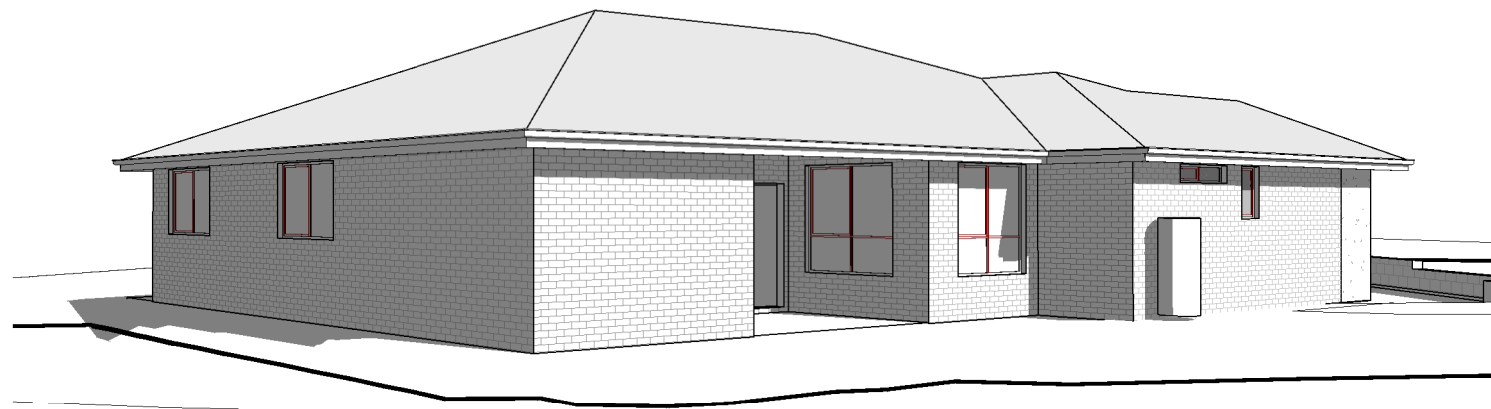
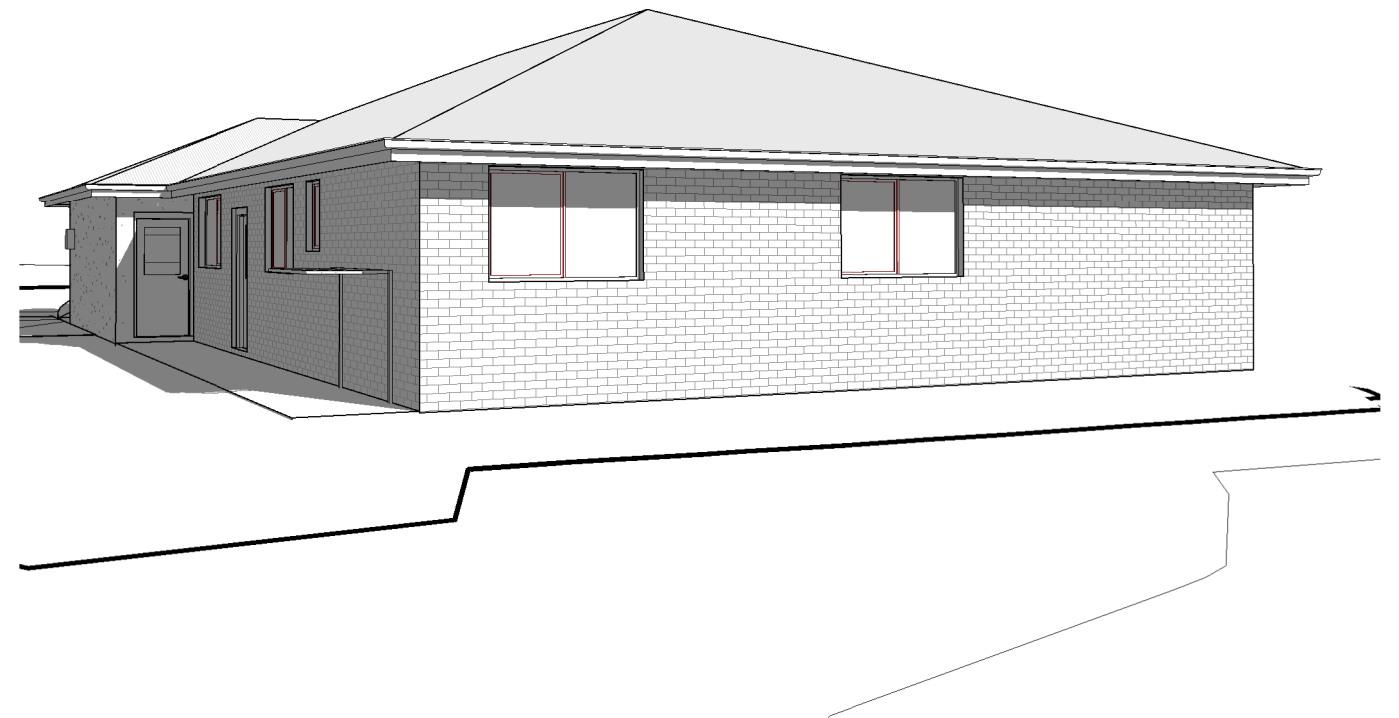
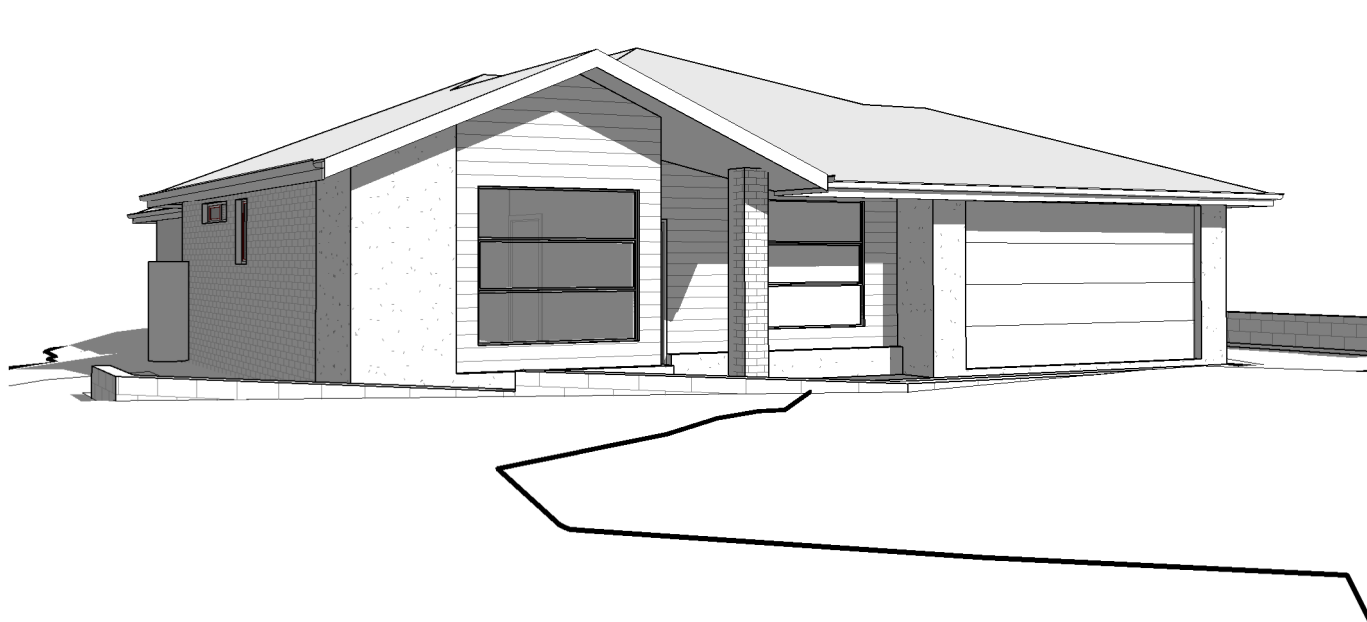
Client name:
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PLANNING
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Project:
PROPOSED NEW RESIDENCE
LOT 142 MONTAGUE PARK,
LEGANA

Drawing:
ROOF PLAN





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Hotondo Homes Launceston
303 Invermay Road, Invermay 7248
Ph: 03 6778 9504

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Project:
PROPOSED NEW RESIDENCE
LOT 142 MONTAGUE PARK,
LEGANA

Drawing:
PERSPECTIVES

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H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

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