

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number PA2026259
Assess No: A6014
PID No: 6074940

Applicant Name:	Engineering Plus					
Applicant Contact Name						
Postal Address:						
Contact Phone:	Home		Work		Mobile	
Email Address:						

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☐
2. A completed application form including a detailed description of the proposal ☐
3. A complete plan set: ☐
 - a) Floor plans ☐
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☐
 - c) Site Plan showing: ☐
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other: ☐

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

Application Number: «Application_Number»

APPLICANT DETAILS

Applicant Name:	Engineering Plus
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Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name: (as per certificate of title)	B. & M. STEELES
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Location / Address:	16 Rosevears Dr, Lanena TAS 7275
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Title Reference:	9927/3
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Zone(s):	10.0 – Low Density Residential Zone
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Existing Development/Use:	Residential
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Existing Developed Area:	250m ²
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Are any of the components in this Application seeking retrospective approval? E.g. Use and/or development that has commenced without a Planning Permit.	NO
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DEVELOPMENT APPLICATION DETAILS

Proposed Use:	Residential: ☒	Visitor Accommodation: ☐	Commercial: ☐	Other:
	Description of Use: Proposed Shed			

Development Type:	Building work: ☒	Demolition: ☐	Subdivision: ☐	Other: ☐
	Description of development: Storage shed			

New or Additional Area:	72m ²
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Estimated construction cost of the proposed development:	\$60,000
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Building Materials:	Wall Type: Colorbond	Colour:
	Roof Type: Colorbond	Colour:

Application Number: «Application_Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Name (print)

Signed

Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,
(if not the owner)

Name (print)

Signed

Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

**Crown
Consent**
(if required)

Name (print)

Signed

Date

**Chief
Executive
Officer**
(if required)

Name (print)

Signed

Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

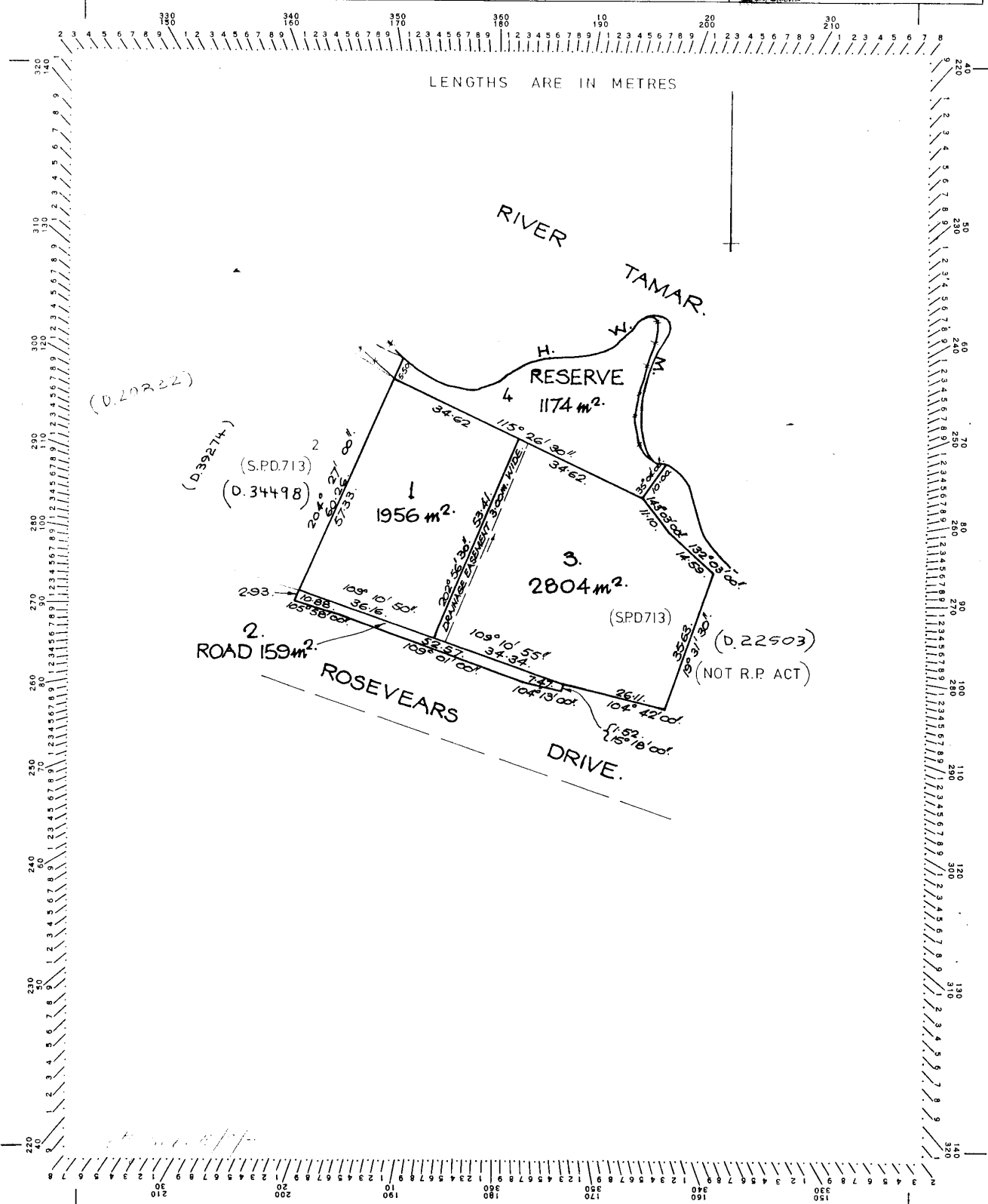
As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)

Signed

Date

Owner: <i>WILFRED. GORDON. ROBINSON.</i>	PLAN OF SURVEY by Surveyor <i>Gracie J. WALKER</i> of land situated in the	Registered Number: S.P9927
Title Reference: <i>CONV. 25/432.</i>	<i>LAND DISTRICT OF DEVON</i> <i>PARISH OF ST MICHAELS</i> TOWN OF EXETER	Effective from: <i>- 7 OCT. 1977</i>
Grantee: <i>PART OF 320 ACRES</i> <i>GRANTED TO GEO. RADFORD.</i> 716 A. IR. OP. GTD. TO DANIEL CUMMINS	SCALE 1:1000.	<i>W. Robinson</i> Recorder of titles





SCHEDULE OF EASEMENTS

Plan No.

S.P9927

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

No easements or profits a prendre are created to benefit or burden any Lots shown on the plan

EASEMENTS

MM LOT 1 is TOGETHER with a right of drainage over the ^{drainage easement} ~~strip of land~~ shown 3 metres wide/ passing through Lot 3 on the plan
MM LOT 2 is TOGETHER with a right of drainage over the ^{drainage easement} ~~strip of land~~ shown 3 metres wide/ passing through Lot 3 on the plan
MM LOT 3 is SUBJECT to a right of drainage over the ^{drainage easement} ~~strip of land~~ shown on the plan as appurtenant to Lots 1 & 2

MM FENCING COVENANT.

The owner of each Lot shown on the plan covenants with the Vendor (Wilfred Gordon Robinson) that the Vendor shall not be required to fence.

SIGNED by the said WILFRED GORDON ROBINSON)
 the registered proprietor of the land)
 comprised in Indenture of Conveyance)
 registered No. 25/432 in the presence of:)

Wilfred G Robinson

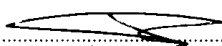
G. Wankovitch
Law Clerk
Laurie

9927

Certified correct for the purposes of the Real Property Act 1862, as amended.

CLARKE & GEE

per:-


~~Subdivider~~/Solicitor for the SubdividerThis is the schedule of easements attached to the plan of.....WILFRED GORDON ROBINSON.....
(Insert Subdivider's Full Name)

..... affecting land in

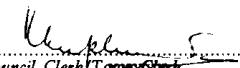
Lots 1, 2 & 3

Conveyance No. 25/432

(Insert Title Reference)

Sealed byMunicipality of Beaconsfield..... on 11th August, 19 77

88100


Council Clerk/Town Clerk

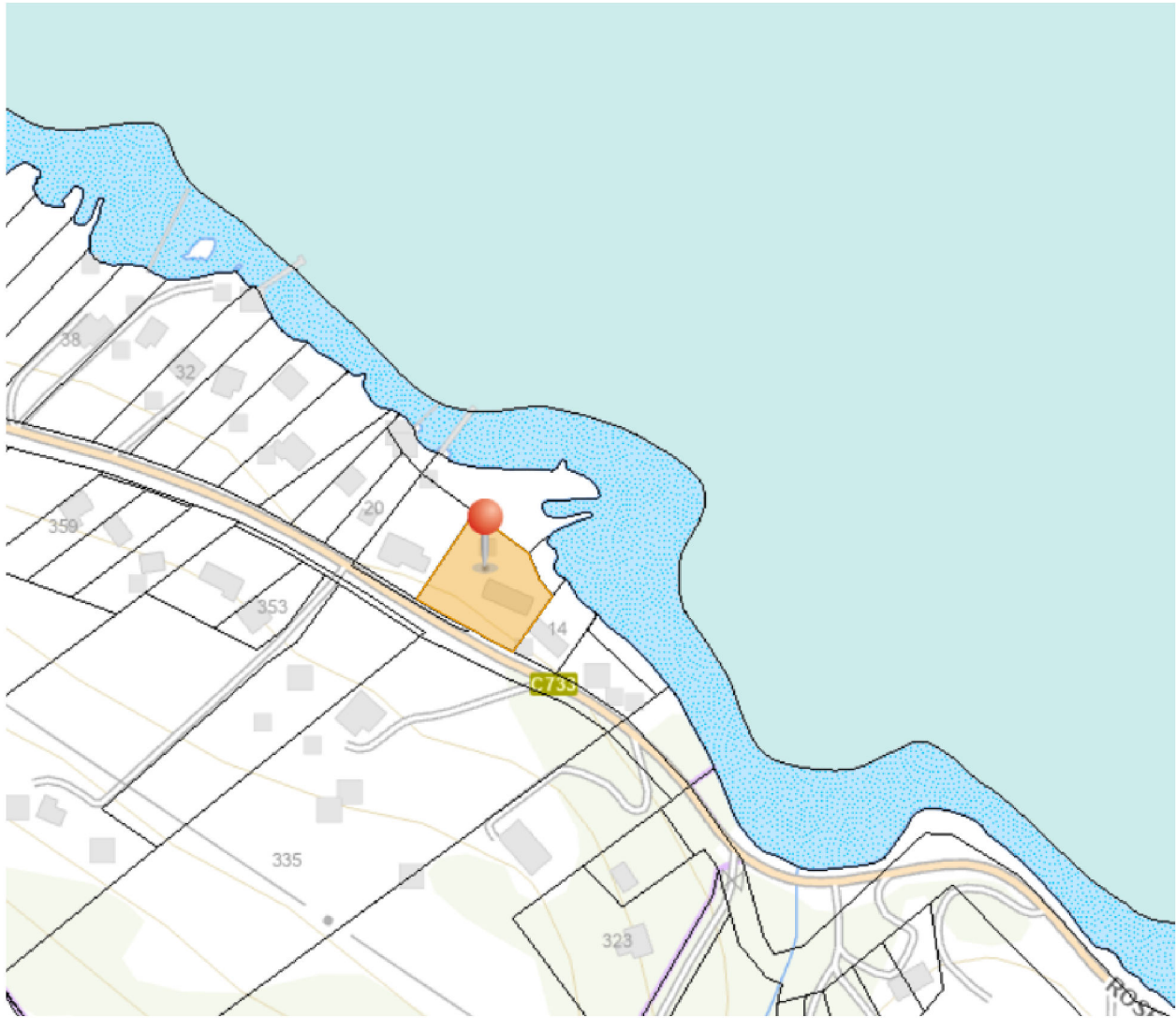
ISSUED FOR DEVELOPMENT APPROVAL

PROPOSED SHED



DRAWING SCHEDULE

A000	COVER PAGE
A101	SITE PLAN



PROJECT NO: EP2026 - 217

B. & M. STEELES

**16 ROSEVEARS DR
LANENA TAS 7275**

WEST TAMAR COUNCIL

BUILDING DESIGNER:	GRANT JAMES PFEIFFER
ACCREDITATION No:	CC2211T
ZONE:	10.0 LOW DENSITY RESIDENTIAL ZONE
BUILDING CLASS:	CLASS 10
LAND TITLE REFERENCE NUMBER:	9927/3
DESIGN WIND SPEED:	ASSUME "N2"
SOIL CLASSIFICATION:	ASSUME "H1"
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	N/A
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	HIGH
FLOODING:	NO
LANDSLIP:	LOW
GROUND LEVELS:	REFER PLAN
ORG LEVEL:	75mm ABOVE GROUND LEVEL

REVISION SCHEDULE			
REVISION NO	DESCRIPTION	DATE	ISSUED BY
SK1	Revision 1	25.08.26	C.R
A	Revision 2	27.08.26	C.R
B	Revision 3	10.09.26	C.R



Sheds & More

LAUNCESTON

QUOTE NUMBER
101824
25/08/2026
Quote Valid for 30 Days

Dear Bradley Steeles,

Thank you for your enquiry. We are pleased to present our quote for your new Fair Dinkum Build.

Australia's most trusted name in sheds and more.

We believe some of life's best moments start in our sheds, garages, carports, patios, barns and storage units. We're talking moments like completing that amazing car restoration, hosting a wonderful surprise party, dusting off the Christmas tree at the start of summer – or hearing all Dad's classic jokes in while you prep the boat for a perfect day out on the water.

Nothing beats a Fair Dinkum. Our sheds are designed for one of the world's most unforgiving climates and we've been supplying Fair Dinkum Aussie quality builds for over 30 years.

Skyline Roofing & Sheetmetal have been supporting the local community in Northern Tasmania for nearly 40 years in the roof, cladding and shed industry. You can rely on our experience and expertise to ensure you get the shed you need!!

CUSTOMER DETAILS			
Customer Name: Bradley Steeles		Mobile:	
Site Address: 16 Rosevears Drive Lanena 7275		Email: bs260457@gmail.com	
BUILDING SUMMARY		DESIGN FACTORS	
Span	9m	Importance Level	2
Length	8m	Wind Region	Reg A
Bay Width	4m x 2 bay(s) at 4.5m each	Terrain Category	TCat 1
Eave Height	3.2m	Topography	1
Roof Pitch	Gable 11Deg	Shielding Factor	1
Left Lean-to		Internal Pressure	-0.93, 0.65
Right Lean-to		Site wind speed in m/s	38.9

Should you need to discuss any part of your quote, please do not hesitate to reach out to our expert team.

Kalem Richardson
SHED SALES MANAGER

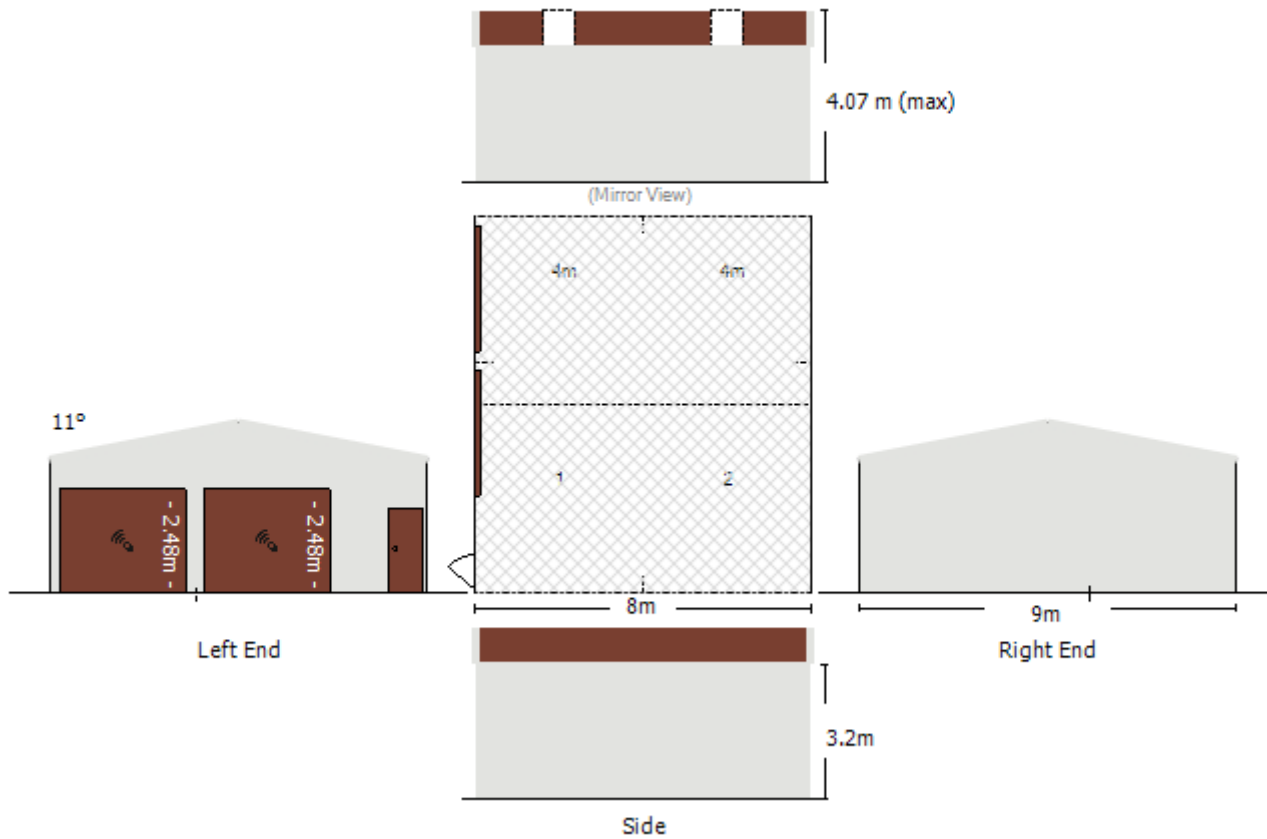
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99 to 103 Forster Street, INVERMAY TAS 7248

P: 03 6334 5535 E: sales@launcestonsheds.com.au

Launceston Sheds Pty Ltd (ABN: 21 679 529 170), trading as Fair Dinkum Builds Launceston.

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LAUNCESTON**YOUR DESIGN**

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LAUNCESTON

YOUR SITE SPECIFIC WIND SPEED ASSESSMENT

For your peace of mind, we are ShedSafe accredited and utilise the Australian Steel Institute's site check software to ensure your shed design is engineered specifically for your site and local conditions. By using this very accurate and sophisticated program, we can determine your site-specific wind speed to provide you the best solution for your project.

The calculated site wind speed using AS1170.2 is **38.9 m/s** for the above property address.

SITE LOCATION

Property Address	16 Rosevears Drive Lanena 7275
Building Details	9m x 8m x 3.2m - 11Deg Gable
Wind criteria	Reg A : TCat 1 : Shielding 1 : Topo 1 : Non-Alpine



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BUILDING DETAILS		CUSTOMER INITIAL	INTERNAL CHECK
Wall Sheeting	Monoclad TCT 0.47, CB COLORBOND® SURFMIST		
Roof Sheeting	Corrugated TCT 0.47, CB COLORBOND® MANOR_RED		
Roller Doors	2 x 2.50h X 3.05 CB *Series A # COLORBOND® MANOR_RED		
Roller Door Motors	1 x RoDoor Motor in Bay 2 of LEFT wall : SilntDrv Essen 655MYQ 16.5m2 Max 1 x RoDoor Motor in Bay 1 of LEFT wall : SilntDrv Essen 655MYQ 16.5m2 Max		
PA Door	1 x Personal Access Door in RIGHT of Bay 2 of LEFT wall. COLORBOND® MANOR_RED		
Gutter	Quad 115 Plain Gutter CB COLORBOND® SURFMIST		
Downpipes	No downpipes or gutter pops are supplied with your building		
Barge Flashings	COLORBOND® SURFMIST		
Corner Flashings	COLORBOND® SURFMIST		
Door Flashings	COLORBOND® SURFMIST		

OPTIONAL EXTRAS			
Skylights	2 x Skylights of Polycarb Corrugated Clear 4.8m		
Divider Walls			
Glass sliding door			
Windows			
Insulation	Med grade antiglare foil 60mtr x 1.35m for ROOFMAIN for area 77.01498m2 Roofing wire 1.8m x 50m (300 x 150 x 2.0) for ROOFMAIN for area 77.01498m2		
Whirlybirds			
Mezzanine			
Mezzanine Stairs			
Commercial Slide Door			

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MATERIAL SPECIFICATION

Columns	2C15019	Purlins	Z10010
Rafters	2C15015	Side Girts	Z10010
Knee/Apex Brace	C10015	End Girts	Z10010
Left Lean-to Column		Right Lean-to Column	
Left Lean-to Rafter		Right Lean-to Rafter	

FOOTING
SLAB

Min 100mm Slab thickened locally under each column by BLOCK footing

Concrete Block locally under each column 500mm x 500mm x 300mm length x width x depth

The above foundation details are only suitable for soil classification A.S. or M and S.B.V. 100 kPa min. For other soil types refer to a registered structural engineer.

Refer to sheet No '4' in plans for details other than shown on specification sheet and footing diagram sheet



**MADE WITH
GENUINE
COLORBOND®
STEEL**

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LAUNCESTON

PRICE FOR SUPPLYING YOUR BUILDING

	YOUR KIT ONLY PRICE
TOTAL PRICE	\$18,979.00
	Incl. GST & Delivery

SLAB & FOOTINGS PRICE

Fair Dinkum Builds Launceston can provide you with the concrete slab for your new building. We utilise a combination of our own crews and a select range of subcontractors to undertake the excavation and concreting works for your build.

This price is based on the following assumptions and is subject to a final site visit prior to final confirmation of the price.

- Excavation of a flat site only which involves stripping away 100mm to 150mm of topsoil only
- Placement and compaction of 100mm to 150mm of base material
- Localised thickening under each column only (Not to the entire slab perimeter)
- 100mm thick concrete slab with SL82 mesh central
- Rebate to slab edge for vermin proofing
- 600mm Drop edge slab
- 1m x 8m concrete path additional to shed slab

	PRICE
TOTAL PRICE	\$17,494.00
	Incl. GST

The price above excludes the following:

- Continuous edge beam to perimeter of slab
- Bulk excavation works or placement of fill over the 100mm to 150mm allowance included above
- Any works to run electricity or plumbing including downpipes
- Block walls, custom engineering or custom slab designs
- Any work beyond 50km of Launceston CBD so no allowance for any travel or accommodation costs

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LAUNCESTON

BUILD PRICE

Fair Dinkum Builds Launceston can provide you with a complete construction service for your new building. We utilise a combination of our own crews and a select range of subcontractors to undertake this component of the work.

This price is based on the following assumptions and is subject to a final site visit prior to final confirmation of the price.

- Slab complete and level (Where undertaken by property owner or a contractor not working for Fair Dinkum Builds Launceston)
- Erection of the shed frame to the engineering plans
- Installation of roof and wall cladding
- Installation of flashings as supplied with the kit
- Installation of roller doors, PA doors, windows and sliding doors (Where applicable)
- Site clean-up upon completion of the works
- EWP Hire as required to complete the work

	PRICE
TOTAL PRICE	\$12,245.00
	Incl. GST

The price above excludes the following:

- Any custom flashings or other customised works not included as part of the kit
- Any work beyond 50km of Launceston CBD so no allowance for any travel or accommodation costs
- Vermin flashings unless supplied with kit (Where these have been supplied in the kit quote, installation has been allowed for)

Any works associated with power, plumbing or other types of fitout work

TOTAL CONTRACT PRICE

	PRICE
TOTAL PRICE	\$48,718.00
	Incl. GST

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LAUNCESTON

TERMS & CONDITIONS

ENGINEERING PLANS FOR YOUR BUILDING

Launceston Sheds Pty Ltd can supply your engineering plans for Council approval. Please note, these plans are not site-specific plans such as a Site Layout Plan or Drainage Plan. You will need to contact a Building Designer for this or talk to us and we can organise this component of the project for you. To obtain engineering plans a 15% deposit of your kit amount is to be paid, this will be deducted off the total cost of your quote.

PAYMENT FOR YOUR NEW STEEL BUILDING

The following payment terms are required with Launceston Sheds Pty Ltd:

15% of your kit amount for your Engineering Plans only;

60% deposit to proceed with ordering your shed kit;

\$500 deposit for Build + \$500 deposit for Slab & Footing costs at the time of ordering your kit with the balance to be paid one week in advance of the build & slab dates.

25% remaining balance of your shed kit due one week prior to delivery.

PAYMENT DETAILS

We offer the following payment methods to Clients, noting that there are fees associated with some payment methods.

Cash in person

Credit Card in person only (We do not offer over the phone payment for sheds). **PLEASE NOTE:** incurs a 2% surcharge

Direct credit into our bank is available, in this instance individual invoices will be raised by our accounts department and submitted to you for payment once quote has been accepted.

MISSING/DAMAGED COMPONENTS OR LATE DELIVERY

From time-to-time, there may be a component missing or damaged from your kit. While we endeavour to ensure 100% supply of materials on time and in good condition as agreed, where it occurs that a component is missing or damaged, Launceston Sheds Pty Ltd are not liable for associated costs. These may include but not be limited to unreasonable express/overnight freight costs, costs for labour for any personnel erecting the kit, delay costs, machinery/plant costs or the like. What we do guarantee you is that if a component is missing, we will ensure a timely replacement time frame by any means that we have available for sourcing a replacement item for the same cost as the original. The same is applicable where delivery may be delayed due to circumstances outside of our control.

DELIVERY OF YOUR KIT

Delivery of your kit is on a date as agreed between both parties. Should you request a specific location for your kit to be dropped off, we will endeavour to meet this requirement however this will be subject to the space requirements, accessibility, and the capability of the crane truck to reach the desired area. We will not be held responsible for any relocation costs.

SCREWS & GLAZED ITEMS

Due to past instances of screws and glazed items going missing from kits when delivered onsite, more so in remote areas, we keep your screws and glazed items in our store for you to collect from us when you are ready to commence construction of your kit. Where you wish to have these items delivered with your kit, you must notify us 7 days prior to delivery so we can organise this with our carrier. Failure to notify us will mean we have assumed for all intents and purpose that you intend on collecting these components from us. Should this not be the case, Launceston Sheds Pty Ltd will not be held liable for freight costs or any other costs listed under the section titled "MISSING/DAMAGED COMPONENTS OR LATE DELIVERY".

BUILDING APPROVAL

OBTAINING FINAL INSPECTION IS THE SOLE RESPONSIBILITY OF THE CUSTOMER

This will need to be arranged when the customer has the stormwater connected in accordance with council requirements. Time limitations will apply: ideally final inspection should be carried out within 2 months from completion. Any costs associated with approvals over those stated on this Agreement are to be paid for by the customer including any late or re-inspection fees.

THE CUSTOMER CAN NOT PROCEED WITH ANY WORKS WITHOUT PERMISSION

The customer must not carry out any works pertinent to this Agreement until all approvals have been received from the relevant approval authorities and any conditions of signed Agreement have been agreed to and met by the customer. The company will take no responsibility for any premature action by the customer.

ERECTION DOWNPIPES POPS ARE CONNECTED TO GUTTERING ONLY

Any and all stormwater drainage from that point is the sole responsibility of the customer.

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WARRANTIES THIRD PARTIES WARRANTIES

Where the term 'structure' is referred to herein it means, the steel structure only and does not include sheeting, trims, doors, windows, or rainwater goods. The warranties for these components are provided by the relevant manufactures and are varied and limited. WARNING: Severe coastal conditions will reduce the life of all components by corrosion and will be excluded from all warranties.

MAINTENANCE

The customer must keep all garden beds, soils or acidic material away from metal cladding and components of the building or corrosion may occur which will reduce the life of the products and void all manufacturer's warranties.

DEFECTS LIABILITY PERIOD

The Company agrees for a period of twelve months from the date of signed Agreement to rectify any faults or damage caused by materials or workmanship in the manufacture of the structure. The company will not be responsible for any faults or damage caused by negligence of the customer, his servants, or agents or by the customer performing any work or having performed any work on the structure.

GENERAL EXTENSION OF CONSTRUCTION TIME

If the progress of work is delayed as a result of any variations to the Agreement, any industrial action or civil commotion affecting the Agreement, unavailability of material necessary to the execution of the Agreement, any delays brought about in obtaining the relevant authorized approvals exceeding 14 days from the date of this Agreement, any delays brought about by the owner or any other cause beyond the reasonable control of the company, then the company may, within a reasonable time, claim an extension in the number of calendar days equal to the period of delay.

MARKETING

The customer hereby grants the company and any person authorized by the company permission to film or photograph the building and without restraint allow its use for any promotional purposes without any recall to the company whether legal or monetary.

TERMINATION

Should the customer or the company wish to terminate the Agreement after signing same, they must give written instructions providing 7 days' notice and they must state the grounds on which termination is sought. It is at the company's sole discretion to accept or reject the termination. Regardless, the customer will be obliged to pay all the costs expended to the date on the Agreement plus the profit margin that the company would have made on the Agreement, which could exceed the money paid on the Agreement to that date.

ADDITIONAL CHARGES FOR MOST COMMON ISSUES CUSTOM SLAB DESIGN

If required the foundation data must be obtained before entering this contract. Alternatively, all concrete floors will be designed to suit "class 10 buildings" and up to Class M soil and will assume founding into natural ground. If Skyline Sheds Tasmania is to obtain the foundation data, this must be requested in writing and all costs associated with the soil report and associated slab design be paid in addition to the standard slab design. A copy must be given to the customer upon payment of the costs incurred in obtaining the data. Similarly, if there is any fill on the site, deeper and or extra piers may be required at a cost to the owner.

HARD DIGGINGS

If when excavating the site the company discovers that if required the hire of machinery or extra labour such as Jack hammering, Rock breaking, etc. the customer will pay these extra costs in addition to the Agreement price.

HIDDEN OBSTRUCTIONS: If during construction, services are damaged requiring repair such as telecommunications, electrical, storm water, etc. the customer will pay the costs associated with the repair in addition to the Agreement price. It is the customer's responsibility to advise the company of the existence of any such obstructions and to arrange (and pay any associated costs) for the relocation of same as required.

SITE PREPARATIONS

If the site is to be levelled by the customer and site is not level within 50mm the costs associated with providing a level building platform including the supply and placement of fill and construction of concrete piers will be paid as extra variation to the Agreement price.

APPROVAL OR ASSET PROTECTION FEES

If approval or asset protection for the building can only be obtained with amendments or additional information, thus incurring additional costs as required by the local council or certifier, the customer will pay all the extra costs associated above the fees included in the original Agreement price.

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SITE CLEAN UP (OWNER'S RESPONSIBILITY)

If the customer requires the company to remove the packaging or left over materials and any soil/rubbish associated with the works, from the site, unless noted otherwise in the Agreement the customer will pay these costs including labour and dump fees in addition to the Agreement price.

CONFIRMATION OF ORDER

You are responsible for checking your order upon delivery, in accordance with the Bill of Materials (BOM) supplied by Launceston Sheds Pty Ltd, to ensure all components are supplied and are in an acceptable condition. This check must be completed within 14 days of delivery. At this time, it will be deemed that you have checked your order and you are satisfied with the quantity and condition of the building and all materials supplied.

AGREEING TO THESE TERMS & CONDITIONS

By signing this quote, you are agreeing to the Terms & Conditions set out herein and agree to purchase the building at the agreed price to the agreed measurements including options and accessories as per this quote and agreement. Therefore, no changes are possible after this time. By signing this quotation, you confirm that you have read and understand the terms and conditions of sale and supply set out herein and that you wish to place the order as specified. You acknowledge that no responsibility will be accepted by Launceston Sheds Pty Ltd for goods which are held longer than 2 weeks from the date of delivery.

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99 to 103 Forster Street, INVERMAY TAS 7248

P: 03 6334 5535 E: sales@launcestonsheds.com.au

Launceston Sheds Pty Ltd (ABN: 21 679 529 170), trading as Fair Dinkum Builds Launceston.

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Sheds & More

LAUNCESTON

CONFIRMATION OF ORDER

I hereby agree to place this order based on the details of the steel building and terms and conditions provided within this document.

CLIENT NAME:

CLIENT SIGNATURE:

**PLEASE INITIAL EACH PAGE & COLOURS
LISTED UNDER BUILDING SUMMARY**

DATE:

OUR COMMUNITY

For over a decade, we've proudly supported the Australian Men's Shed Association as the exclusive shed partner and provided direct funding and discounts to more than 150 local Men's Sheds throughout Australia.

From hosting bbqs to recycling scrap materials, we encourage our network of branches to work closely with their local Men's Shed to build relationships and discuss opportunities on a local level. We also offer support through signage, online promotion, templates and other materials.

mensshed.org



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