

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE
ONLY

Application Number PA2026280

Assess No: A13920

PID No: 9636281

Applicant Name:	Measured Design					
Applicant Contact Name						
Postal Address:						
Contact Phone:	Home		Work		Mobile	
Email Address:						

Planning Application Lodgement Checklist

The following documents have been submitted to support the consideration of this application:

1. A current copy of the property title text, folio plan and schedule of easements ☐
2. A completed application form including a detailed description of the proposal ☐
3. A complete plan set: ☐
 - a) Floor plans ☐
 - b) Elevations (from all orientations/sides and showing natural ground level and finished surface level) ☐
 - c) Site Plan showing: ☐
 - Orientation
 - All title boundaries
 - Location of buildings and structure (both existing and proposed)
 - Setbacks from all boundaries
 - Native vegetation to be removed
 - Onsite services, connections and drainage details (including sewer, water and stormwater)
 - Cut and/or Fill
 - Car parking and access details (including construction material of all trafficable areas)
 - Fence details
 - Contours
4. Other: ☐

*If submitting plans in over the counter please ensure they are A3.
All plans must be to scale.*

WEST TAMAR COUNCIL



Application Number: «Application Number»

APPLICANT DETAILS

Applicant Name: Measured Design by Stephen Wallen

Note: Full name(s) of person(s) or company making the application and postal address for correspondence.

LAND DETAILS

Owner/Authority Name:
(as per certificate of title) **Stuart Bradley Denman & Marilyn Ann Denman**

Location / Address: Lot 16, 13 Green Heart Glade, Greens Beach

Title Reference: 188913 / 16

Zone(s): Low Density Residential

Existing Development/Use: Residential

Existing Developed Area:

Are any of the components in this Application seeking retrospective approval?
E.g. Use and/or development that has commenced without a Planning Permit.

YES ☐

NO ☒

(If yes please specify the relevant components):

DEVELOPMENT APPLICATION DETAILS

Proposed Use:

Residential: ☒ Visitor Accommodation: ☐ Commercial: ☐ Other: ☐

Description of Use: Residential Dwelling

Development Type:

Building work: ☒ Demolition: ☐ Subdivision: ☐ Other: ☐

Description of development: Proposed New Dwelling

New or Additional Area: 302m2

Estimated construction cost of the proposed development: \$850,000 (approx.)

Building Materials:

Wall Type: Brick Veneer / Lightweight Cladding

Colour:

Roof Type: Colorbond

Colour:

Application Number: «Application_Number»

APPLICANT DECLARATION

Owner: As the owner of the land, I declare that the information contained in this application is a true and accurate representation of the proposal and I consent to this application being submitted and for Council Officers to conduct inspections as required for the proposal,

Owner_Name		
Name (print)	Signed	Date

Applicant: As the applicant, I declare that I have notified the owner of my intention to make this application and that the information contained in this application is a true and accurate representation of the proposal,

(if not the owner)

Stephen Wallen		08.09.26
Name (print)	Signed	Date

Please Note: If the application involves Crown Land you will need to provide a letter of consent and this form signed by the Minister, or a delegated officer of the Crown with a copy of the delegation.

Crown Consent (if required)			
	Name (print)	Signed	Date

Chief Executive Officer (if required)			
	Name (print)	Signed	Date

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Right of Way Owner:

--

As the applicant, I declare that I have notified the owner of the land encumbered by the Right Of Way, of my intent to lodge this application that will affect their land.

Name (print)	Signed	Date

OWNER J & W SHERRIFF PTY LTD FOLIO REFERENCE C.T. 140572/1 GRANTEE PART OF LOT 26615, 158^{AC} 3^R 9^G GRANTED TO JAMES THOMAS SQUIRES		PLAN OF SURVEY BY SURVEYOR R. M. PECK LOCATION LAND DISTRICT OF DEVON PARISH OF STOCKPORT SCALE 1:2000 LENGTHS IN METRES		REGISTERED NUMBER SP188913 APPROVED EFFECTIVE FROM 25 AUG 2025 <i>Den</i> Recorder of Titles			
MAPSHEET MUNICIPAL CODE No		LAST UPI No		LAST PLAN No. P 140572		ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	



NORTH

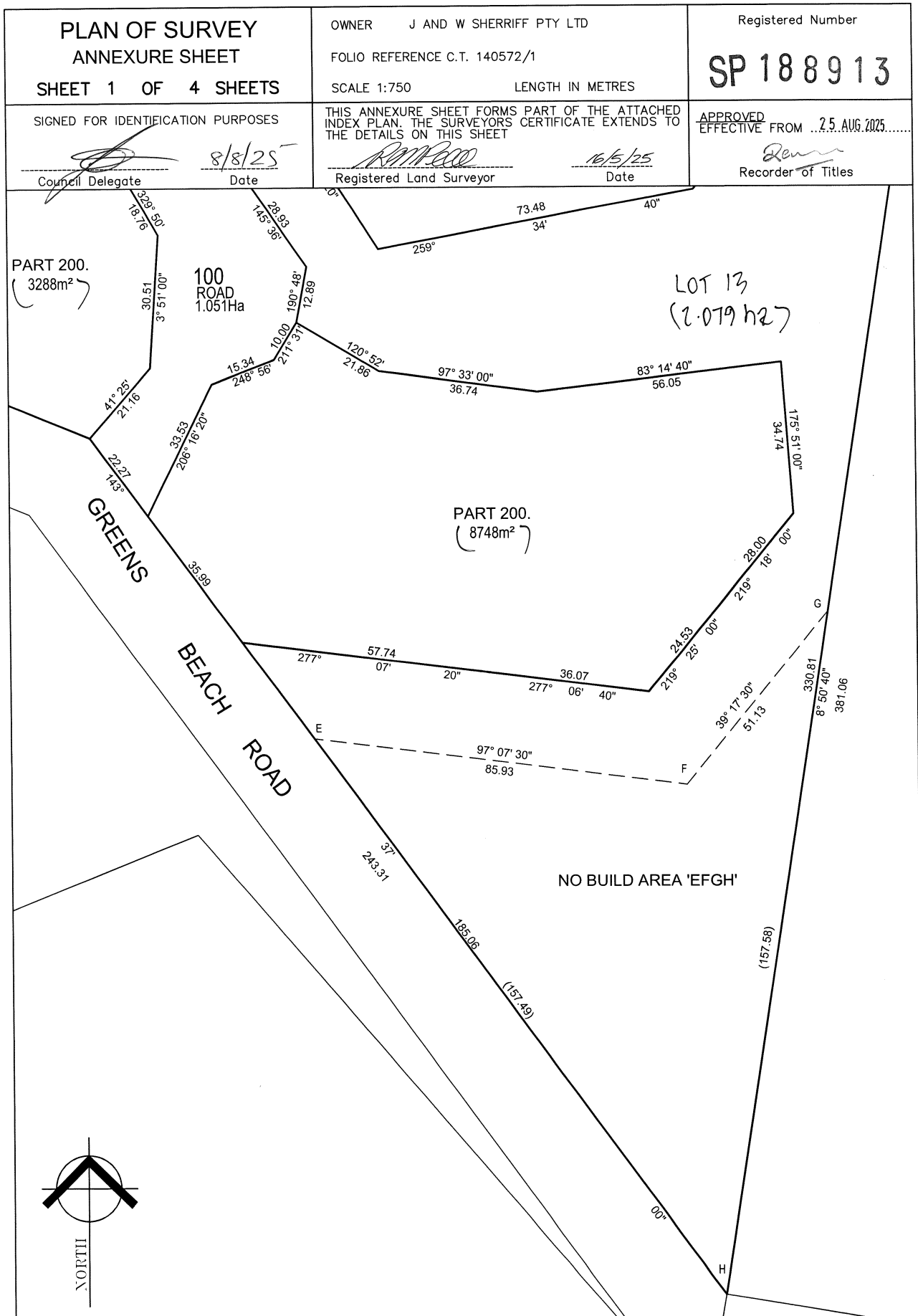
LOT 103 IS COMPILED FROM
P1050 (P55327)
CT140572/1 AND THIS SURVEY

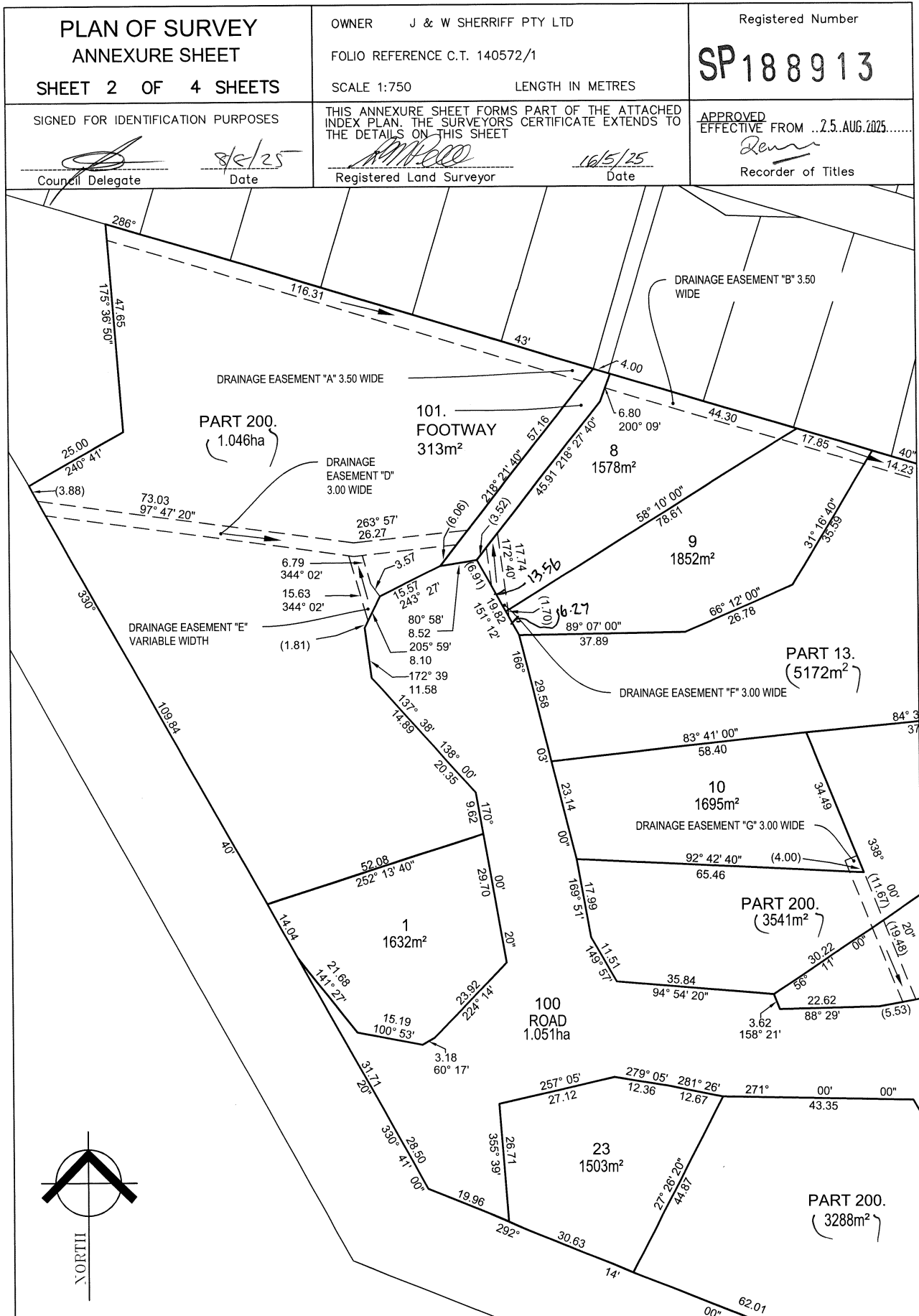
R.M. Peck
REGISTERED LAND SURVEYOR

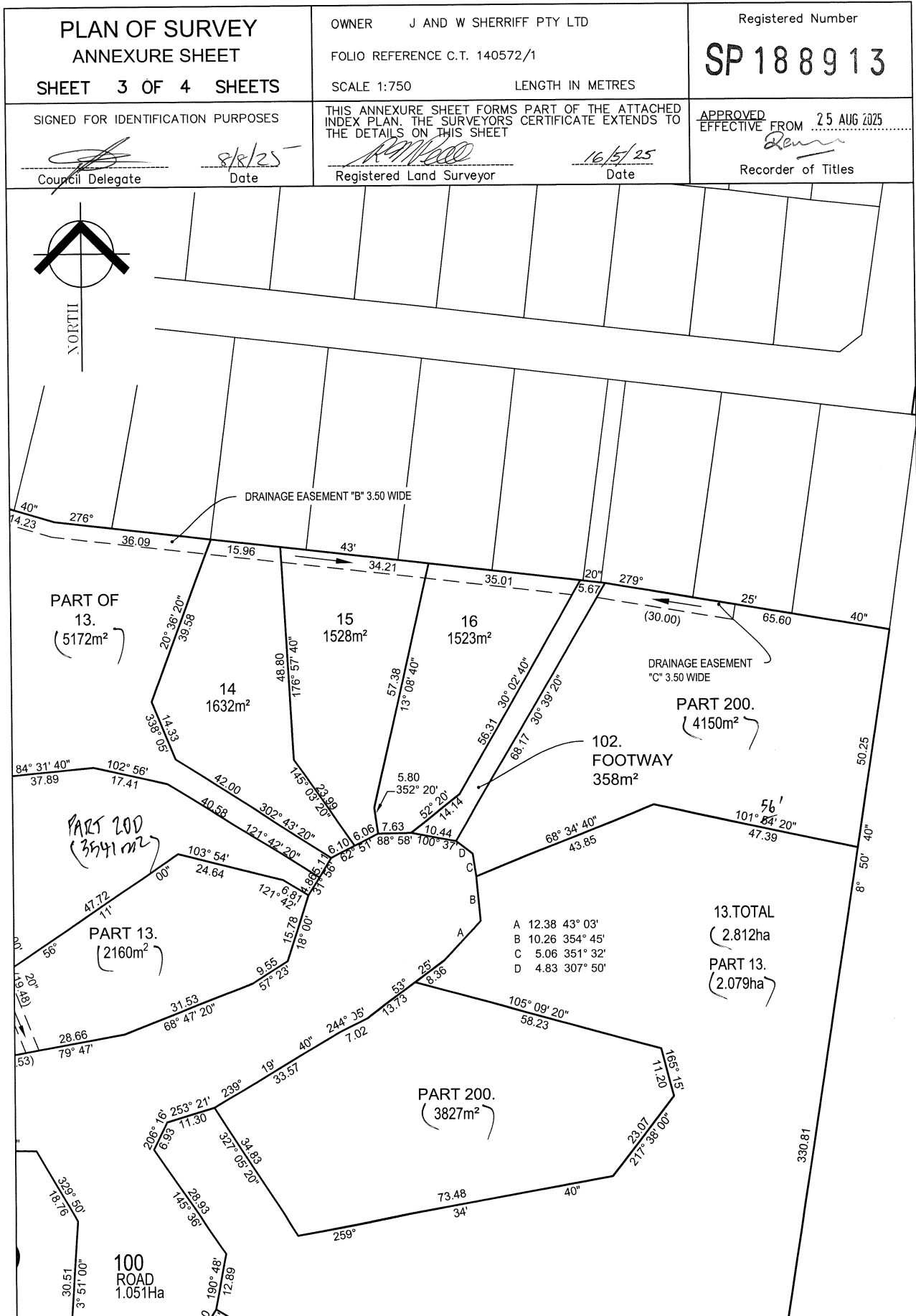
16/5/25
DATE

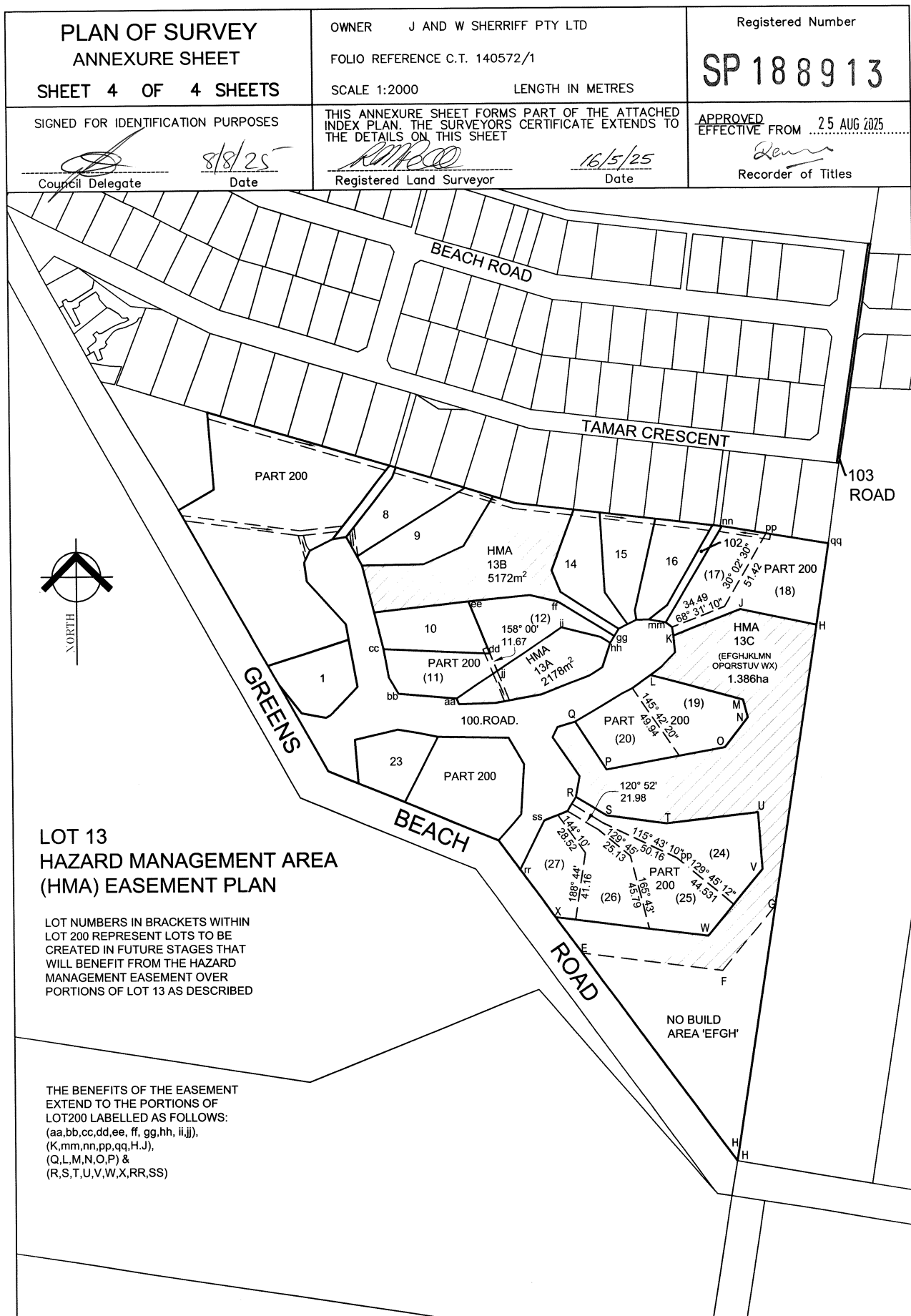
[Signature]
COUNCIL DELEGATE

8/8/25
DATE









DRAWING LIST		
NUMBER	NAME	REVISION
A3-000	Cover Page	07
A3-001	Perspectives	07
A3-003	Land Survey Plan	07
A3-004	Site Plan	07
A3-004a	Part Site Plan	07
A3-008	Ground Floor plan	07
A3-009	First Floor Plan	07
A3-010	Door and Window Schedules	07
A3-011	Elevations	07
A3-012	Elevations	07
A3-013	Roof Plan	07
A3-014	Electrical & Reflected Ceiling Plan - Ground Floor	07
A3-014a	Electrical & Reflected Ceiling Plan - First Floor	07



Proposed New Residence. Lot 16, 13 Green Heart Glade, Greens Beach.

Area Schedule		
Name	Area	Sq
Ground floor area	96 m²	10.32
Garage area	41 m²	4.44
Porch area	4 m²	0.45
First floor area	119 m²	12.82
Alfresco area	20 m²	2.20
Open deck area	20 m²	2.20
Total area	302 m²	32.42

Note:
Floor areas to external face of building and garage space only.
Outdoor spaces, Porch, Alfresco & Deck areas are calculated separately.



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SITE INFORMATION			
title reference	188913/16	site area	1523m2
council	West Tamar	zone	Low Density Res.
soil classification	S	wind classification	N3
climate zone	7	alpine area	N/A
bal level	BAL 12.5	corrosive environment	Tbc.
other hazards	Tbc.		

project name	Proposed New Residence
project address	Lot 16, 13 Green Heart Glade, Greens Beach
client	S. B & M. A Denman

project stage	Planning Approval
project number	2026.006
issue date	08 September 2026
designer	Stephen Wallen
accreditation	290407766
contact	hello@measureddesign.com.au

revision	07
drawing number	A3-000



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Rev.	Description	Date
01	Conceptual Design	22/04/26
02	Conceptual Design	19/05/26
03	Design Development	26/05/26
04	Design Development	02/06/26
05	Design Development	10/06/26
06	Design Development	12/06/26
07	Planning Approval	08/09/26

project name	Proposed New Residence
project address	Lot 16, 13 Green Heart Glade, Greens Beach
client	S. B & M. A Denman

drawing title	Perspectives	stage	Planning Approval
project number	2026.006	revision	07
issue date	08 September 2026	scale	
designer	Stephen Wallen	drawing number	A3-001
accreditation	290407766		
contact	hello@measureddesign.com.au		

SURVEY INFORMATION:

1.
- DATE OF SURVEY - 22/04/2026
2.
- HORIZONTAL DATUM - PLANE BASED ON MGA (GDA2020) @ SPM 10239
3.
- VERTICAL DATUM - AHD83 @ SPM 10239
4.
- CONTOUR INTERVAL - 0.20m, INDEX INTERVAL 1.00m

DISCLAIMER:

1.
- THIS NOTE SHOULD BE READ IN CONJUNCTION WITH ANY USE OR PRESENTATION OF THIS DATA AS IT FORMS AN INTEGRAL PART TO UNDERSTANDING PURPOSE OF THE SURVEY.
2.
- PURPOSE OF SURVEY:** ARCHITECTURAL DETAIL
THE DATA SHOWN SHOULD ONLY BE USED FOR THE PURPOSE THAT IT WAS ORIGINALLY INTENDED. 6ty° ACCEPTS NO RESPONSIBILITY FOR ANY MISUSE OF THIS DATA.
3.
- THIS DATA CONTAINS A COMBINATION OF EXISTING RECORDS, AND FIELD SURVEY DATA.
4.
- SERVICES SHOWN ON THE PLAN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY & BYDA INFORMATION. NO GUARANTEE CAN BE GIVEN THAT ALL RELEVANT SERVICES ARE SHOWN.
6ty° ACCEPTS NO RESPONSIBILITY FOR ANY LOSS OR DAMAGE DUE TO THE LOCATION OF UNDERGROUND SERVICES WHETHER SHOWN BY THIS SURVEY OR NOT.
5.
- TITLE BOUNDARIES**
5.· BOUNDARIES HAVE BEEN COMPILED ONLY AND AS SUCH THEIR NATURE IS INDICATIVE.
5.· ALL BOUNDARIES ARE SUBJECT TO SURVEY.
5.· WHERE NOT COMPILED, TITLE BOUNDARIES HAVE BEEN SHOWN INDICATIVELY FOR CONTEXT FROM LISTMAP DATA
5.· WHERE WORKS ARE PROPOSED CLOSE TO OR ALONG A BOUNDARY, FURTHER SURVEY ADVICE SHOULD BE SOUGHT.
6.
- BACKGROUND IMAGERY ONLY SUPPLEMENTS FIELD DATA AND SHOULD NOT BE USED AS A FORM OF TRUTH.

Existing Survey Plan

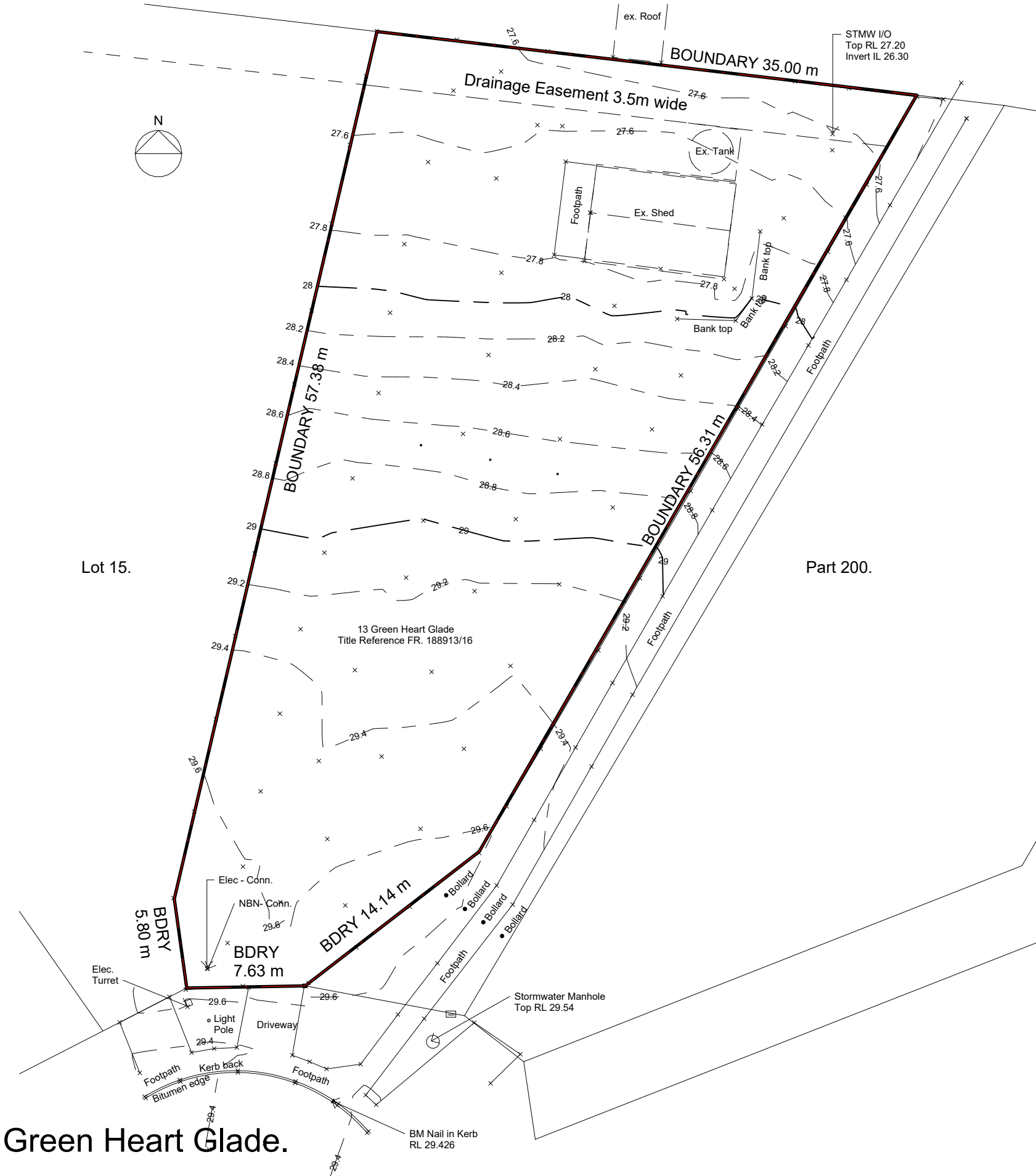
SCALE: 1 : 300



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Green Heart Glade.

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05	Design Development	10/06/26
06	Design Development	12/06/26
07	Planning Approval	08/09/26

project name
Proposed New Residence

project address
Lot 16, 13 Green Heart Glade, Greens Beach

client
S. B & M. A Denman

drawing title
Land Survey Plan

project number
2026.006

issue date
08 September 2026

designer
Stephen Wallen

accreditation
290407766

contact
hello@measureddesign.com.au

stage
07

revision
1 : 300

drawing number
A3-003

Planning Approval
07

N

- Important Notes:**
- These plans and drawings have been prepared by Measured Design and all dimensions are in millimeters, frame to frame only unless noted otherwise. If the construction design vary from the drawing set and other associated documents, builder (or owner builder) and contractors are to contact and notify the designer.
 - Dimension do not allow for wall linings unless noted otherwise.
 - Do not scale of drawings and written dimension to take preference
 - Check and verify on-site all dimensions and levels prior to commencement of any work.
 - When carrying out Building works to be in accordance to the NCC 2022 and housing provisions 2022, AS codes and local Council authority.
 - It is the builder's (or owner builder) or contractors responsiblty to have Planning Permit, stamped Building/Plumbing approval drawings and permits prior to commencement of works and kept on-site.
 - When carrying out Building works, it is the builder's (or owner builder) or contractors responsibility to comply with all planning conditions.
 - Floor areas to be confirm prior to commencement of work.
 - Windows and Glazing to comply with A.S.1288 & A.S.2047
 - Builder and Plumber to make adequate fall to site connection points in accordance with A.S.3500 for stormwater and sewer before construction commences.
 - Plumbing works to be strictly in accordance with A.S.3500, NCC 2022 & approved by council plumbing inspector.
 - Setout of buildings works to be carried out by a registered land surveyor and to be checked prior to construction.
 - These Plans and drawing are to be read in conjunction with the engineer's structural drawings
 - Note: If in a bushfire prone area, construction to be compliant with the nominated bushfire attack level (BAL) under A.S.3959 and must refer to the bushfire assessment report.

Proposed New Residence
refer to Part Site Plan dwg. A3-004a
for more details.

Site Plan

SCALE: 1 : 400

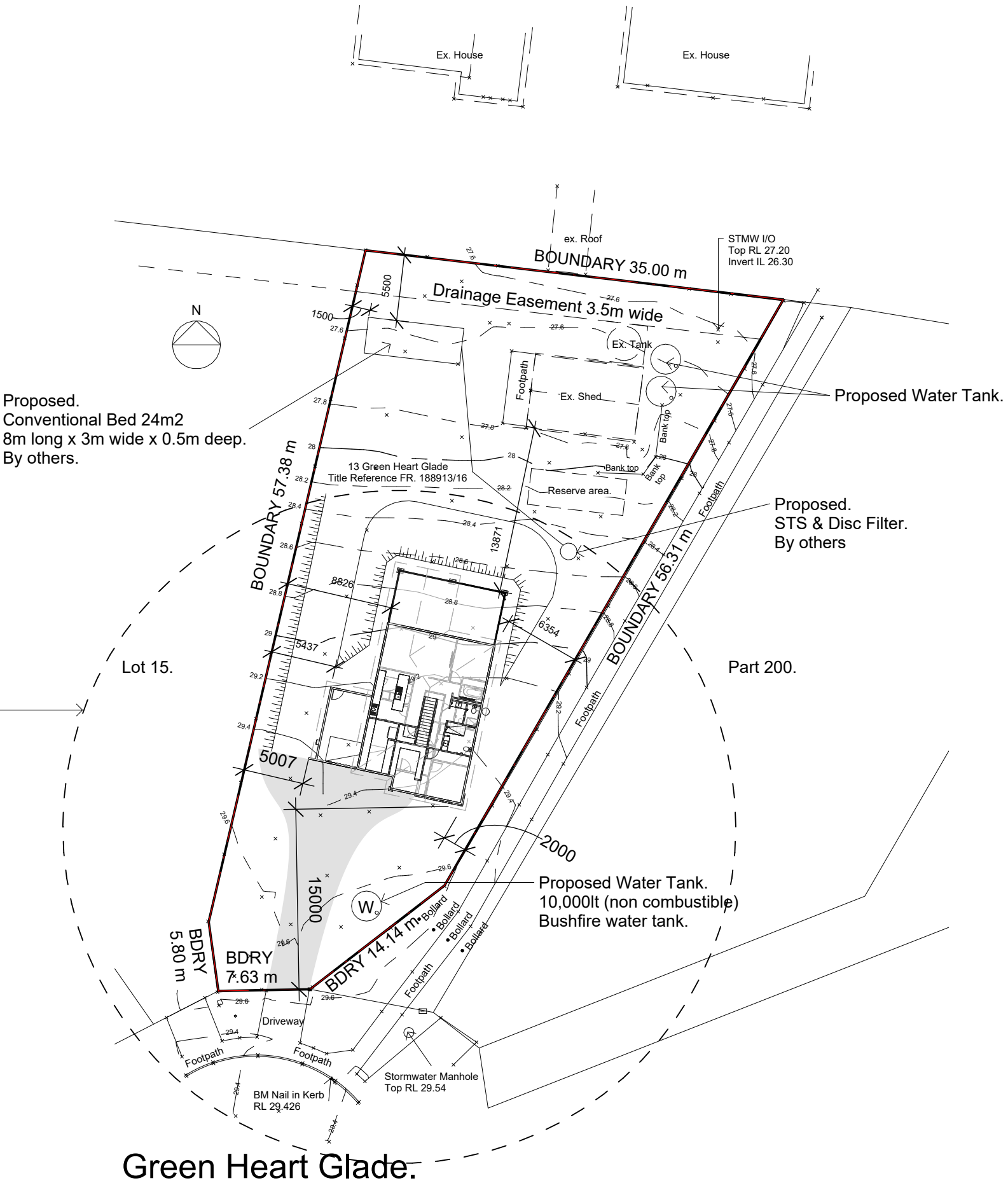
Note:
Dimensions from Proposed Building to Boundary
offsets are to the external cladding - U.N.O.



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MEASURED DESIGN.	Rev.	Description	Date	project name	drawing title			stage			Planning Approval	
	01	Conceptual Design	22/04/26	Proposed New Residence	Site Plan	project number	2026.006	08 September 2026	revision	07	scale	1 : 400
	02	Conceptual Design	19/05/26									
	03	Design Development	26/05/26	Lot 16, 13 Green Heart Glade, Greens Beach		issue date		Steph	designer	Stephen Wallen	accreditation	290407766
	04	Design Development	02/06/26									
	05	Design Development	10/06/26	S. B & M. A Denman		contact	hello@measureddesign.com.au					A3-004
	06	Design Development	12/06/26									
	07	Planning Approval	08/09/26									

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Notes:

The details shown / recorded,
-May only be correct at the date of survey.
-Is not a complete representation of all surface
and underground detail.
-Should only be used for the purposes intended.
the locations of underground services are
approximate only as indicated by surface features.
prior to any construction refer to relevant authorities
for detailed location of all services.

Note:
Dimensions from Proposed Building to Boundary
offsets are to the external cladding - U.N.O.

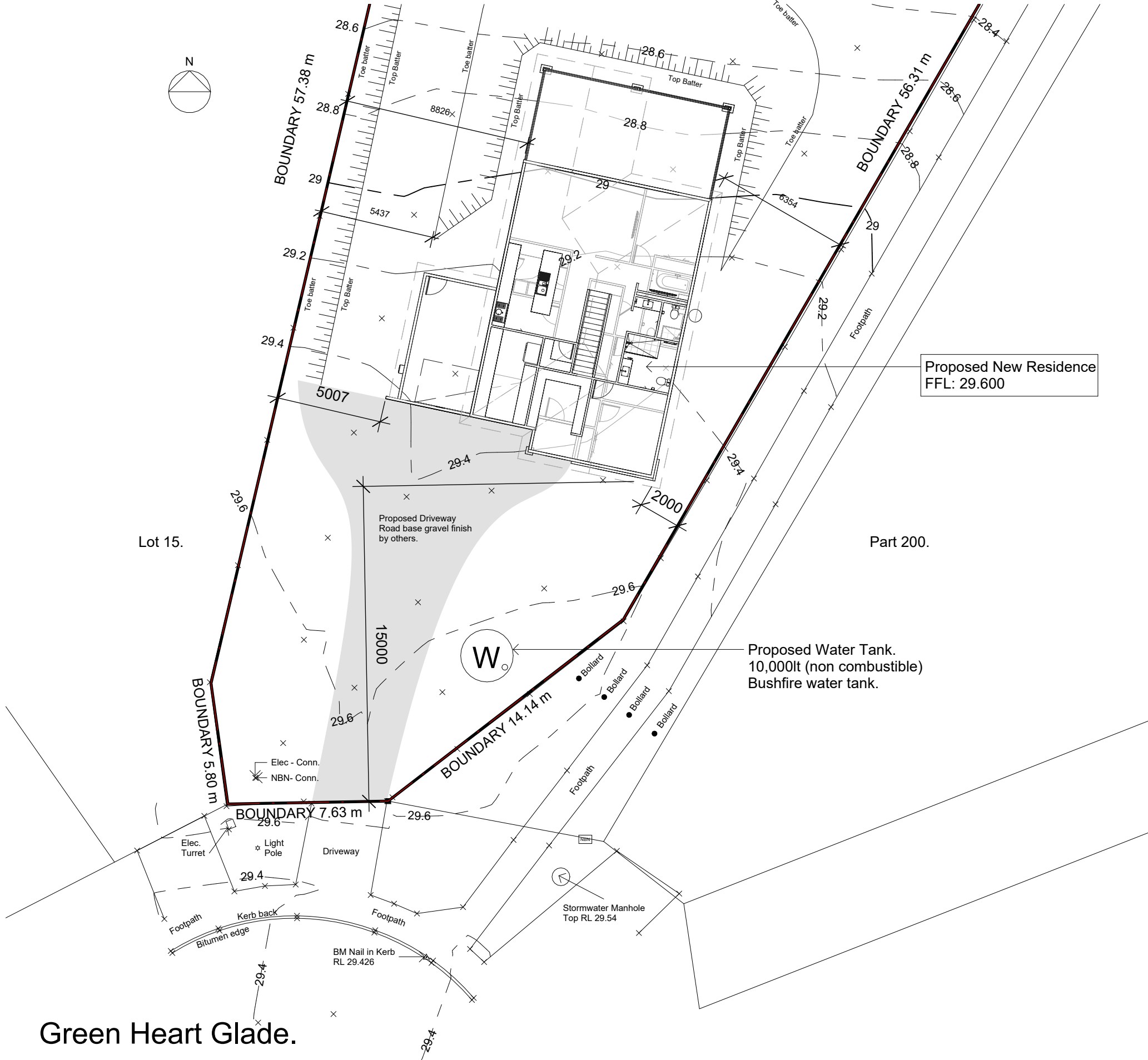
Part Site Plan

SCALE: 1 : 200



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Green Heart Glade.



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06	Design Development	12/06/26
07	Planning Approval	08/09/26

project name
Proposed New Residence

project address
Lot 16, 13 Green Heart Glade, Greens Beach

client
S. B & M. A Denman

drawing title
Part Site Plan

project number
2026.006

issue date
08 September 2026

designer
Stephen Wallen

accreditation
290407766

contact
hello@measureddesign.com.au

stage
07

revision
1 : 200

scale
A3-004a

Planning Approval

drawn by
A3-004a

LEGEND

- 

240v Smoke alarm
- 

Exhaust Fan, to Vent outside air
- 

Sound Insulation
- Fw

o

Floor Waste
- csd

Cavity Sliding Door
- Sd

Sliding Door
- HWC

Hot Water Cylinder
- Gs

Glass Screen
- Gt

Grated Trench
- Rh

Range hood - to Vent outside air
- Bh

Bulkhead
- Sq

Square stop
- Hr

Hand rail
- Twr

Towel rail
- Rtw

Retaining wall
- Sk

Skylight - refer to Window Schedule p.??
or Velux Skylight, c/w plaster lined shaft

- Smoke Alarms
- Smoke alarms must be located on all floors and comply with the ABCB Housing Provisions Part 9.5.1, 9.5.2 and 9.5.4.

To be hard wired to mains power & interconnected where more than one alarm is required to be installed.

- Exhaust systems
- Exhaust Fan installed must have min. flow rate of;
- 25L/s for Bathroom or Sanitary compartment

40L/s for Kitchen or Laundry
- To comply with the ABCB Housing Provsion Part 10.8.2

Ground Floor Plan

SCALE: 1 : 100

Area Schedule		
Name	Area	Sq
Ground floor area	96 m²	10.32
Garage area	41 m²	4.44
Porch area	4 m²	0.45
First floor area	119 m²	12.82
Alfresco area	20 m²	2.20
Open deck area	20 m²	2.20
Total area	302 m²	32.42

Note:
Floor areas to external face of building and garage space only.
Outdoor spaces, Porch, Alfresco & Deck areas are calculated separately.

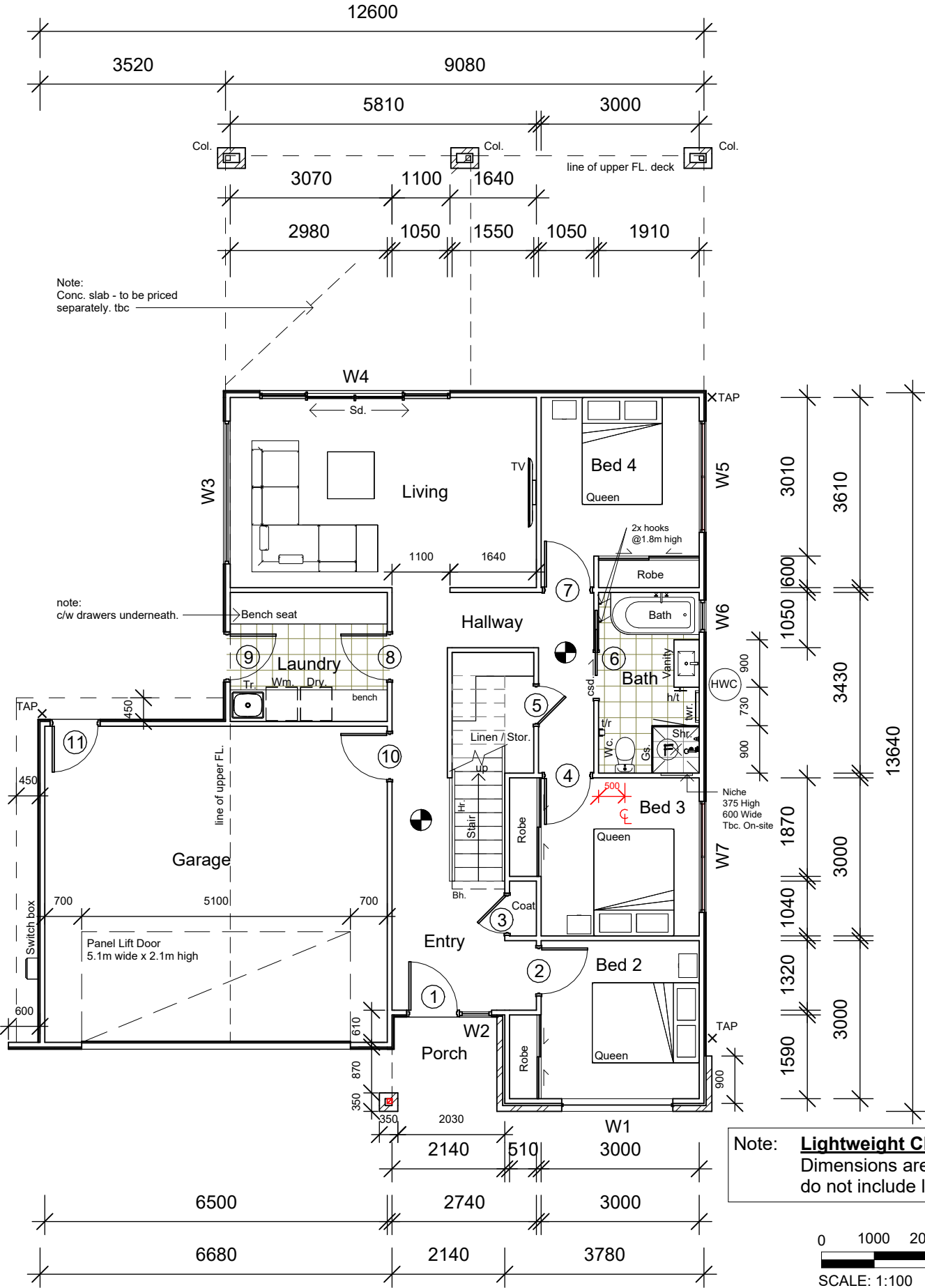


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- Stairway
- To comply with ABCB Housing Provisions Part 11.2
- 178riser

260 going

Non slip as per Part 11.2.4



Note: **Lightweight Cladding**
Dimensions are to frame only &
do not include lightweight cladding.



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05	Design Development	10/06/26
06	Design Development	12/06/26
07	Planning Approval	08/09/26

project name

Proposed New Residence

project address

Lot 16, 13 Green Heart Glade, Greens Beach

client

S. B & M. A Denman

drawing title	Ground Floor plan		
project number	2026.006	stage	Planning Approval
issue date	08 September 2026	revision	07
designer	Stephen Wallen	scale	1 : 100
accreditation	290407766	drawing number	A3-008
contact	hello@measureddesign.com.au		

LEGEND

- 240v Smoke alarm

Exhaust Fan, to Vent outside air

Sound Insulation

Fw

Floor Waste

csd.

Cavity Sliding Door

Sd.

Sliding Door

HWC

Hot Water Cylinder

Gs.

Glass Screen

Gt.

Grated Trench

Rh.

Range hood - to Vent outside air

Bh.

Bulkhead

Sq.

Square stop

Hr.

Hand rail

Twr.

Towel rail

Rtw.

Retaining wall

Sk.

Skylight - refer to Window Schedule p.??
or Velux Skylight, c/w plaster lined shaft

- Smoke Alarms

- Smoke alarms must be located on all floors and comply with the ABCB Housing Provisions Part 9.5.1, 9.5.2 and 9.5.4.
 - To be hard wired to mains power & interconnected where more than one alarm is required to be installed.

- Exhaust systems

Exhaust Fan installed must have min. flow rate of;

- 25L/s for Bathroom or Sanitary compartment
 - 40L/s for Kitchen or Laundry

To comply with the ABCB Housing Provson Part 10.8.2

First Floor Plan

SCALE: 1 : 100

Area Schedule		
Name	Area	Sq
Ground floor area	96 m²	10.32
Garage area	41 m²	4.44
Porch area	4 m²	0.45
First floor area	119 m²	12.82
Alfresco area	20 m²	2.20
Open deck area	20 m²	2.20
Total area	302 m²	32.42

Note:
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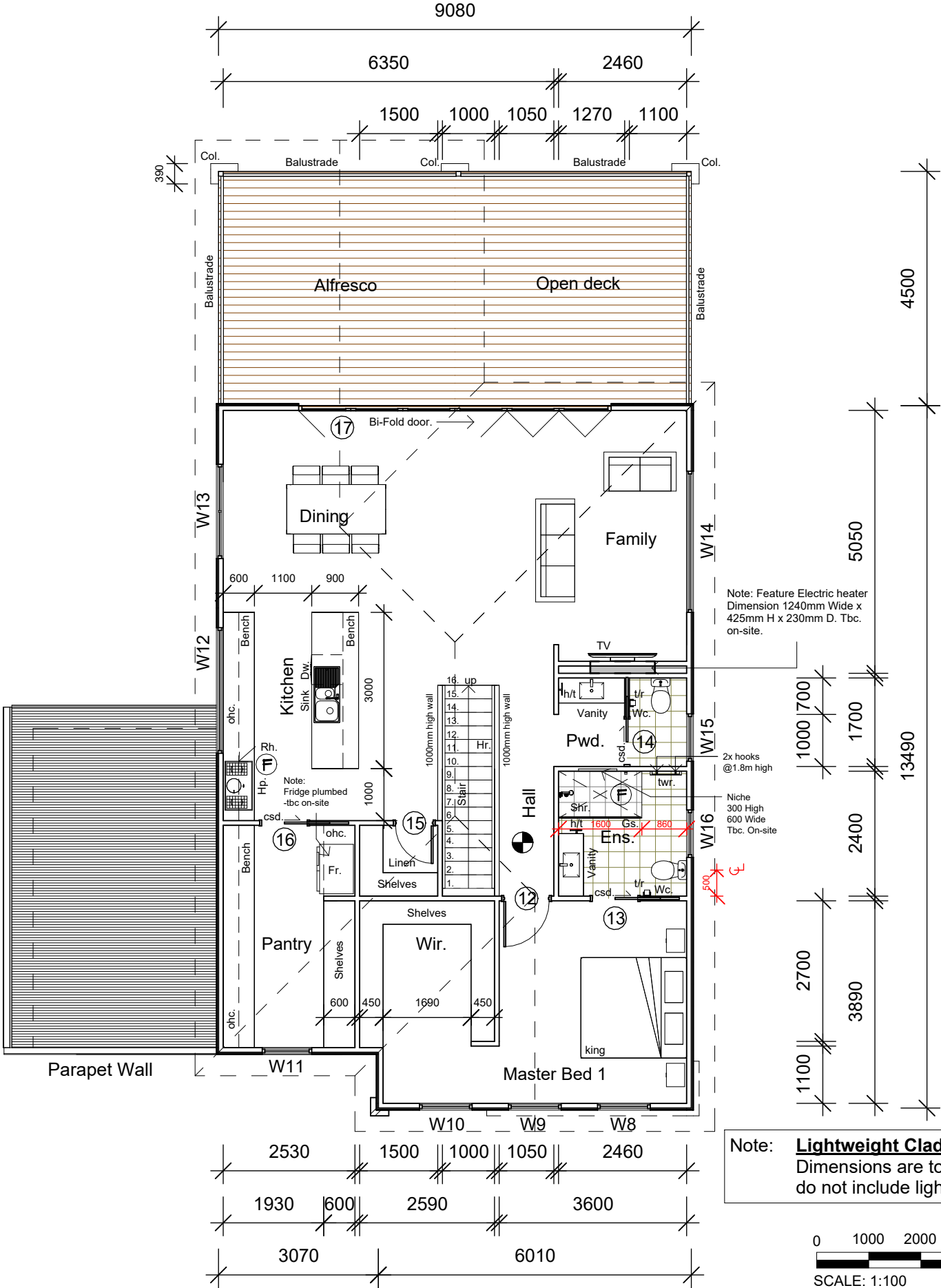
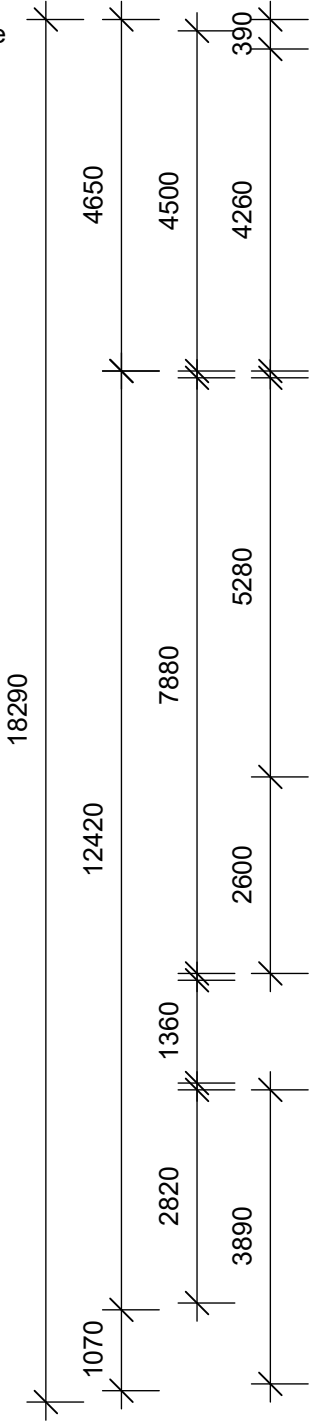


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- Stairway

To comply with ABCB Housing Provisions Part 11.2

- 180 riser
 - 260 going
 - Non slip as per Part 11.2.4



Note: Lightweight Cladding
Dimensions are to frame only & do not include lightweight cladding.



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05	Design Development	10/06/26
06	Design Development	12/06/26
07	Planning Approval	08/09/26

project name

Proposed New Residence

project address

Lot 16, 13 Green Heart Glade, Greens Beach

client

S. B & M. A Denman

drawing title

First Floor Plan

project number

2026.006

stage

Planning Approval

issue date

08 September 2026

revision

07

designer

Stephen Wallen

scale

1 : 100

accreditation

290407766

drawing number

A3-009

contact

hello@measureddesign.com.au

Window Notes
All window measurements to be check and confirm on-site prior to ordering. Windows are aluminium double glaze complete with fly screens. To BAL-12.5 compliant.

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	2110	Awning Window	Opaque
W2	2100	610	Fixed Window	
W3	1000	2710	Fixed Window	
W4	2100	3610	Double Sliding Door	
W5	1800	2110	Awning Window	Opaque
W6	1000	610	Awning Window	
W7	1800	2110	Awning Window	
W8	1800	1010	Awning Window	
W9	1800	1010	Awning Window	
W10	1800	1010	Awning Window	
W11	2100	950	Fixed Window	
W12	450	2410	FIXED WINDOW	
W13	1200	1810	Awning Window	
W14	900	2710	Fixed Window	
W15	1800	910	Awning Window	Opaque
W16	1800	910	Awning Window	Opaque

Door Notes
All door measurements to be check and confirm on-site prior to ordering.

All Robe doors to be as per Builders or contractors inclusion list.

Entry Door as per Builders or contractors inclusion list. To BAL-12.5 compliant

Garage door to have remote control panel lift door as per noted on the plan.

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	External - Entry Glazed Door	
2	870	Internal - Single Swing Door	
3	720	Internal - Single Swing Door	
4	870	Internal - Single Swing Door	
5	720	Internal - Single Swing Door	
6	870	Internal - Cavity Slider	
7	870	Internal - Single Swing Door	
8	870	Internal - Single Swing Door	
9	870	External - Glazed Door	
10	870	Internal - Single Swing Door	
11	870	External - Glazed Door	
12	870	Internal - Single Swing Door	
13	870	Internal - Cavity Slider	
14	870	Internal - Cavity Slider	
15	720	Internal - Single Swing Door	
16	870	Internal - Cavity Slider	
17		External - BIFOLD Door	2.1m High x 6.0m Wide



Hotondo Homes

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MEASURED DESIGN.	Rev.	Description	Date	project name	drawing title	
	01	Conceptual Design	22/04/26	Proposed New Residence	Door and Window Schedules	
	02	Conceptual Design	19/05/26		project number	2026.006
	03	Design Development	26/05/26	project address	issue date	08 September 2026
	04	Design Development	02/06/26	Lot 16, 13 Green Heart Glade, Greens Beach	designer	Stephen Wallen
	05	Design Development	10/06/26		accreditation	290407766
	06	Design Development	12/06/26	client	contact	hello@measureddesign.com.au
	07	Planning Approval	08/09/26	S. B & M. A Denman	stage	Planning Approval
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					scale	
					drawing number	A3-010

Roof Cladding
Colorbond Custom Orb
To client specification.
Installed as per manufactures spec.

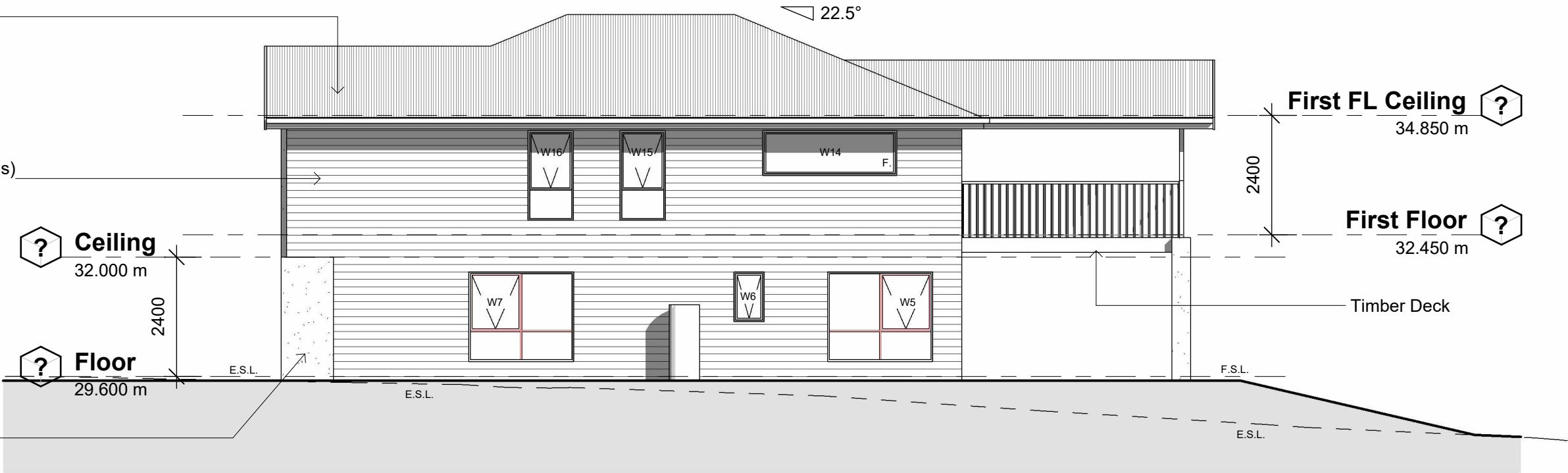
Wall Cladding
Scyon Linea Weatherboards (On Battens)
Install and coat to manufacturers
specifications. To BAL-12.5 compliant

Brickwork - Texture Coated
All masonry work to comply with
NCC 2022 H1D5.
Refer to Engineers specifications
for Articulation joint position and
details.

Roof Framing
Roof Trusses - to manufactures spec
@ 900 crs max
Bracing by others

Fascia and Gutter
Colorbond metal Fascia &
Guttering. Install as per
manufactures specifications.

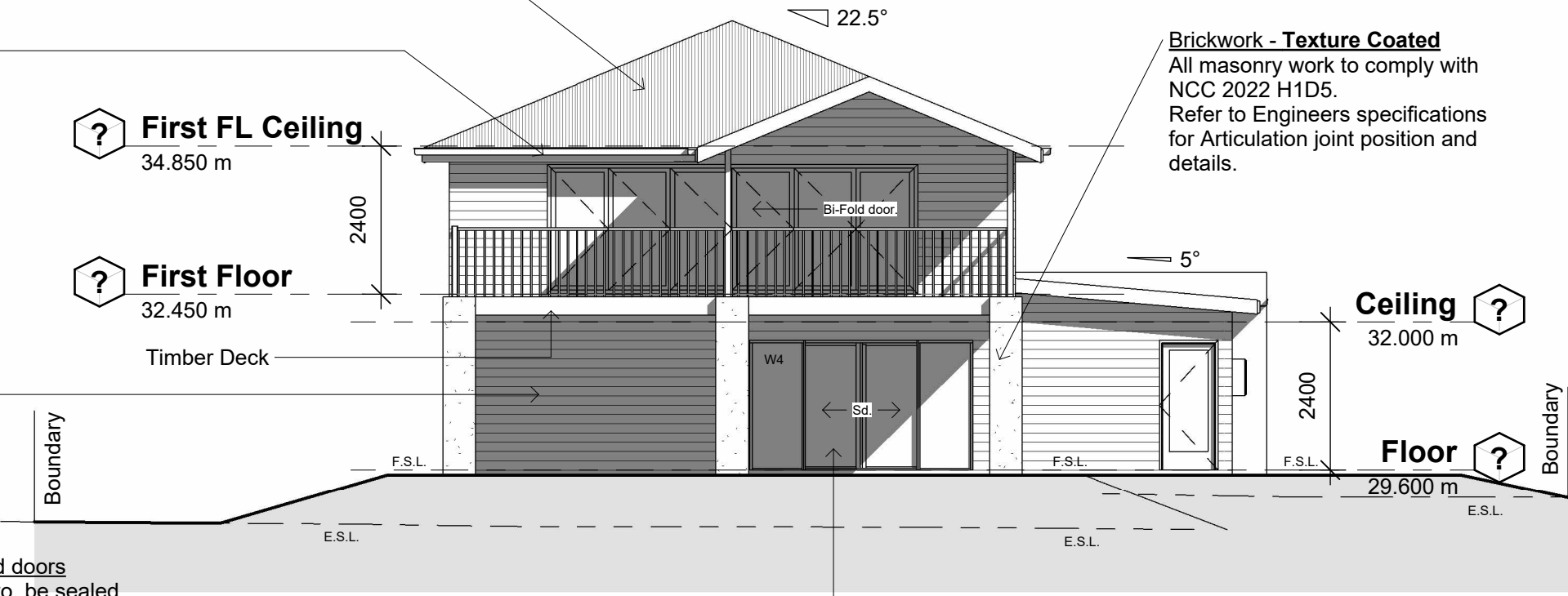
Wall Cladding
Scyon Linea Weatherboards (On Battens)
Install and coat to manufacturers
specifications. To BAL-12.5 compliant



Eastern Elevation

SCALE: 1 : 100

Brickwork - Texture Coated
All masonry work to comply with
NCC 2022 H1D5.
Refer to Engineers specifications
for Articulation joint position and
details.



Northern Elevation

SCALE: 1 : 100

External windows and doors
Windows and Doors to be sealed
in accordance with ABCB housing
provisions part 13.4.4



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Rev.	Description	Date
01	Conceptual Design	22/04/26
02	Conceptual Design	19/05/26
03	Design Development	26/05/26
04	Design Development	02/06/26
05	Design Development	10/06/26
06	Design Development	12/06/26
07	Planning Approval	08/09/26

project name
Proposed New Residence

project address
Lot 16, 13 Green Heart Glade, Greens Beach

client
S. B & M. A Denman

drawing title Elevations	project number 2026.006	stage 07	Planning Approval
issue date 08 September 2026	designer Stephen Wallen	revision 1 : 100	
accreditation 290407766	contact hello@measureddesign.com.au	drawing number A3-011	

Roof Framing
Roof Trusses - to manufactures spec
@ 900 crs max
Bracing by others

Wall Cladding
Scyon Linea Weatherboards (On Battens)
Install and coat to manufacturers
specifications. To BAL-12.5 compliant

Roof Cladding
Colorbond Custom Orb
To client specification.
Installed as per manufactures spec.

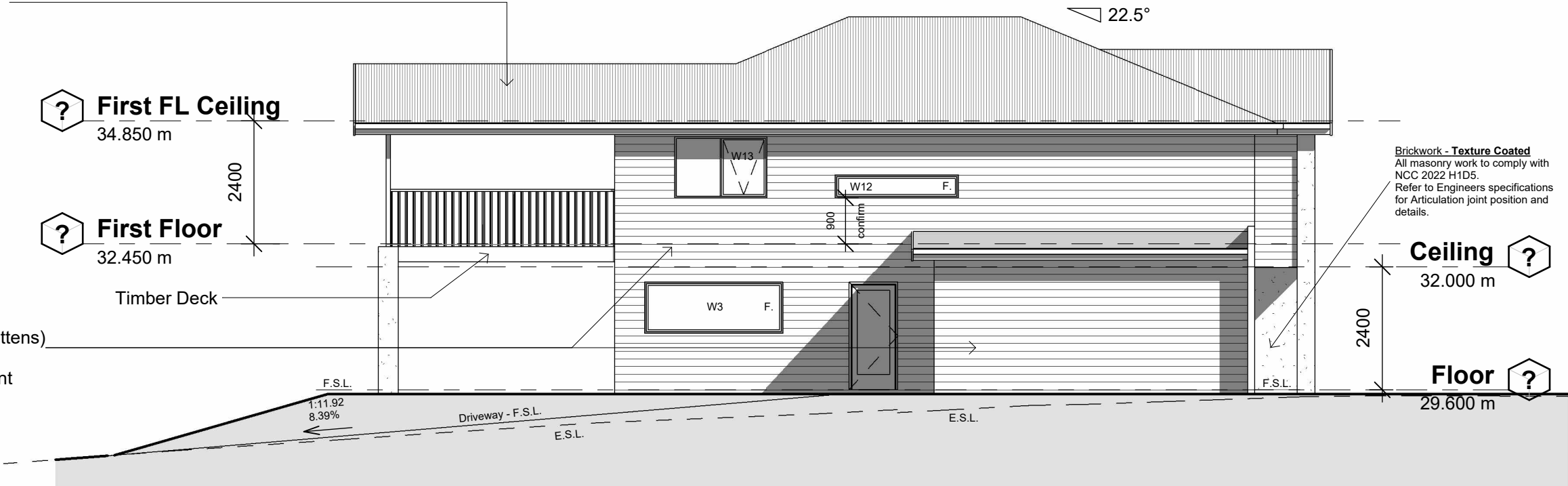
Fascia and Gutter
Colorbond metal Fascia &
Guttering. Install as per
manufactures specifications.

Garage Door
Panel Lift Door 2100H x 5100W
Garage Door Range to client spec.
Installed as per manufactures spec.



**Hotondo
Homes**

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Western Elevation

SCALE: 1 : 100



Southern Elevation

SCALE: 1 : 100

External windows and doors
Windows and Doors to be sealed
in accordance with ABCB housing
provisions part 13.4.4

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	01	Conceptual Design	22/04/26	Proposed New Residence	Elevations			
	02	Conceptual Design	19/05/26		project number	2026.006	stage	Planning Approval
	03	Design Development	26/05/26	project address	issue date	08 September 2026	revision	07
	04	Design Development	02/06/26	Lot 16, 13 Green Heart Glade, Greens Beach	designer	Stephen Wallen	scale	1 : 100
	05	Design Development	10/06/26		accreditation	290407766	drawing number	
	06	Design Development	12/06/26	client	contact	hello@measureddesign.com.au		A3-012
	07	Planning Approval	08/09/26	S. B & M. A Denman				

Roof Notes:

Installation of Gutters

Eaves gutters must be installed with a fall of not less than 1:500. Supported by brackets, fixed at stop ends, corners and not more than 1.2m centres. To be fitted with overflow measures to be in accordance with ABCB Housing Provisions Part 7.4.4

Valley Gutters must

- be installed on a roof with a pitch more than 12.5° degrees
- have dimensions in accordance with 7.4.4c
- have a side angle of not less than 12.5 degrees.

Downpipes - Indicated on this plan are nominal only. Number of Down Pipes (Dp.) and exact location req. are to be in accordance with ABCB Housing Provisions Part 7.4.5

- Not serve more than 12m of gutter length;
- be located as close as possible to valley gutters.

Overflow measures for Gutters

- Slotted Gutter;
- a min. slot opening area of 1200 mm2 per metre of gutter.
 - the lower edge of the slots installed a min. of 25mm below the top of fascia
- Controlled back gap Gutter;
- a permanent min. 10mm spacer installed between gutter backand fascia
 - one spacer per bracket with not more than 50mm wide
 - back of gutter installed a min. 10mm below top of fascia
- To be in accordance with ABCB Housing Provisions Part 7.4.6

Important Note: To avoid moisture build up and condensation, provide roof space ventilation;

- Eave Vents
- Roof Ventilator (Wind Driven or Powered)

Please refer to: CONDENSATION IN BUILDINGS (CBOS)
- Tasmanian Designers' Guide. Version 2

Roof Cladding

Colorbond Custom Orb
To client specification.
Installed as per manufactures spec.

Roof Framing

Roof Trusses - to manufactures spec
@ 900 crs max
Bracing by others

Note: Additional Roof Load
No solar hot water has been allowed for.
No solar p.v. system has been allowed for.

Roof Plan

SCALE: 1 : 100



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project name

Proposed New Residence

project address

Lot 16, 13 Green Heart Glade, Greens Beach

client

S. B & M. A Denman

drawing title

Roof Plan

project number

2026.006

issue date

08 September 2026

designer

Stephen Wallen

accreditation

290407766

contact

hello@measureddesign.com.au

stage

Planning Approval

revision

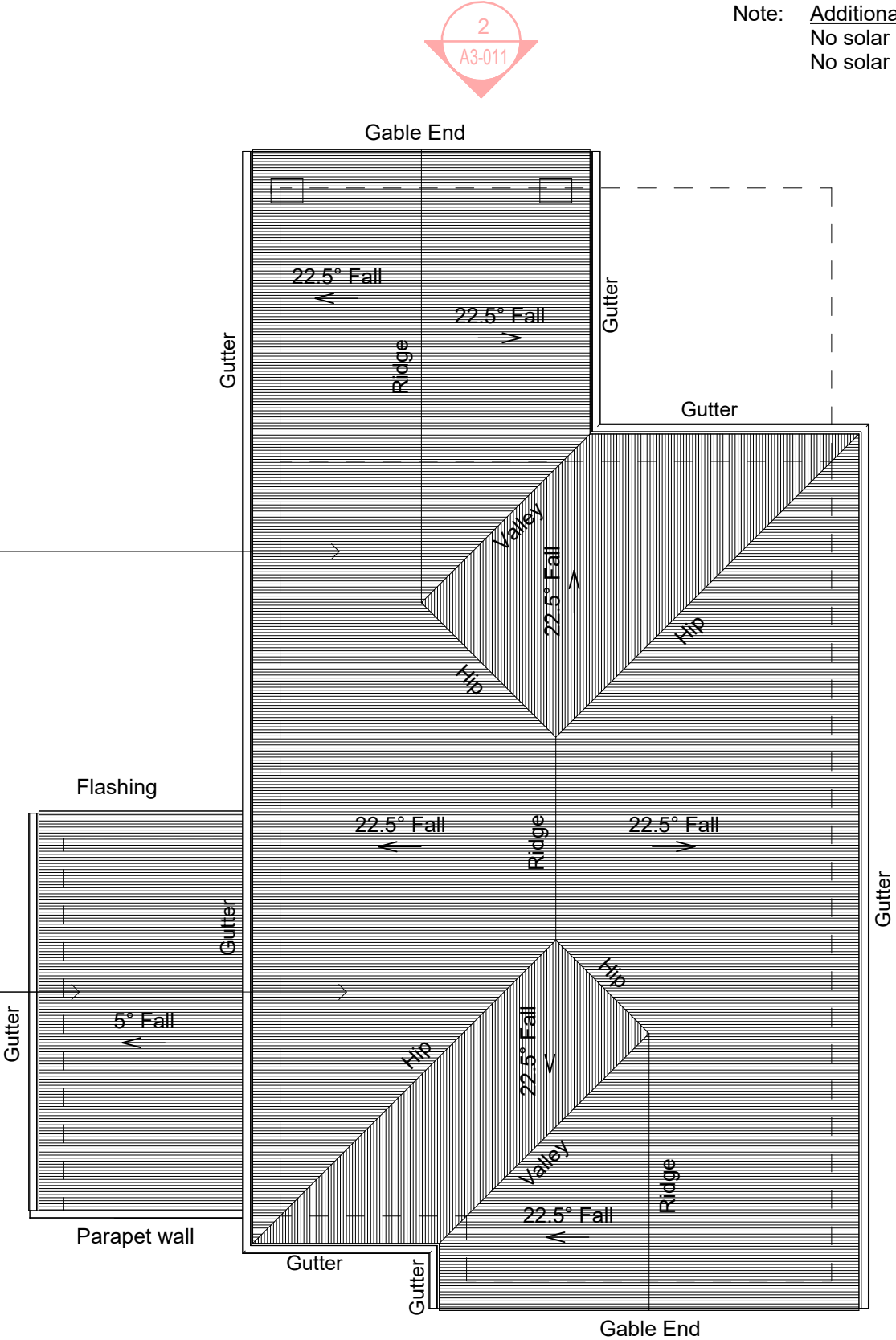
07

scale

1 : 100

drawing number

A3-013



ELECTRICAL INDEX

- 

Ceiling Light
- 

Three Light Tastic, c/w damper & exhaust to outside.
- 

Down Light - Sealed (LED)
- 

Wall Light
- 

Twin tube (LED) light
- 

illuminate - size (tbc)
- 

Ceiling light - weatherproof
- 

Two Light Tastic, c/w damper & exhaust to outside.
- 

Hanging Pendant
- 

Wall Light - on sensor
- 

Ceiling Fan
- 

Rh. Range hood, Vent to outside air & provide power

Note: Install as per manufactures specification.

- 

General Purpose Outlet (double)
- 

Weatherproof Outlet
- 

Switch - Two way
- 

Switch - Dimmer
- 

Exhaust Fan, Vent to outside air & provide power
- 

240v Smoke Alarm
- 

t.v. Point
- 

Bh. indicate - Bulkhead
- 

LWp. Low Point
- 

O/h. Roof overhang / eaves
- 

Hotplate safety cut-off
- 

Switch - one way
- 

Heat Pump - ceiling outlet
- 

Heat Pump - return air
- 

Switch box
- 

Network point
- 

XXcl. indicate - Ceiling Height
- 

Hlp. High Point
- 

← indicate - Slope

Artificial Lighting
Residences to be in compliance with
ABCB Housing Provisions part 13.7.6

- artificial lighting must not exceed:
- 5w/m2 for class 1 building
 - 4w/m2 for verandahs & balconies
 - 3w/m2 for class 10a associated with class 1 building

Refer to lighting calculator for further details.

Electrical & Reflected Ceiling Plan - Ground Floor

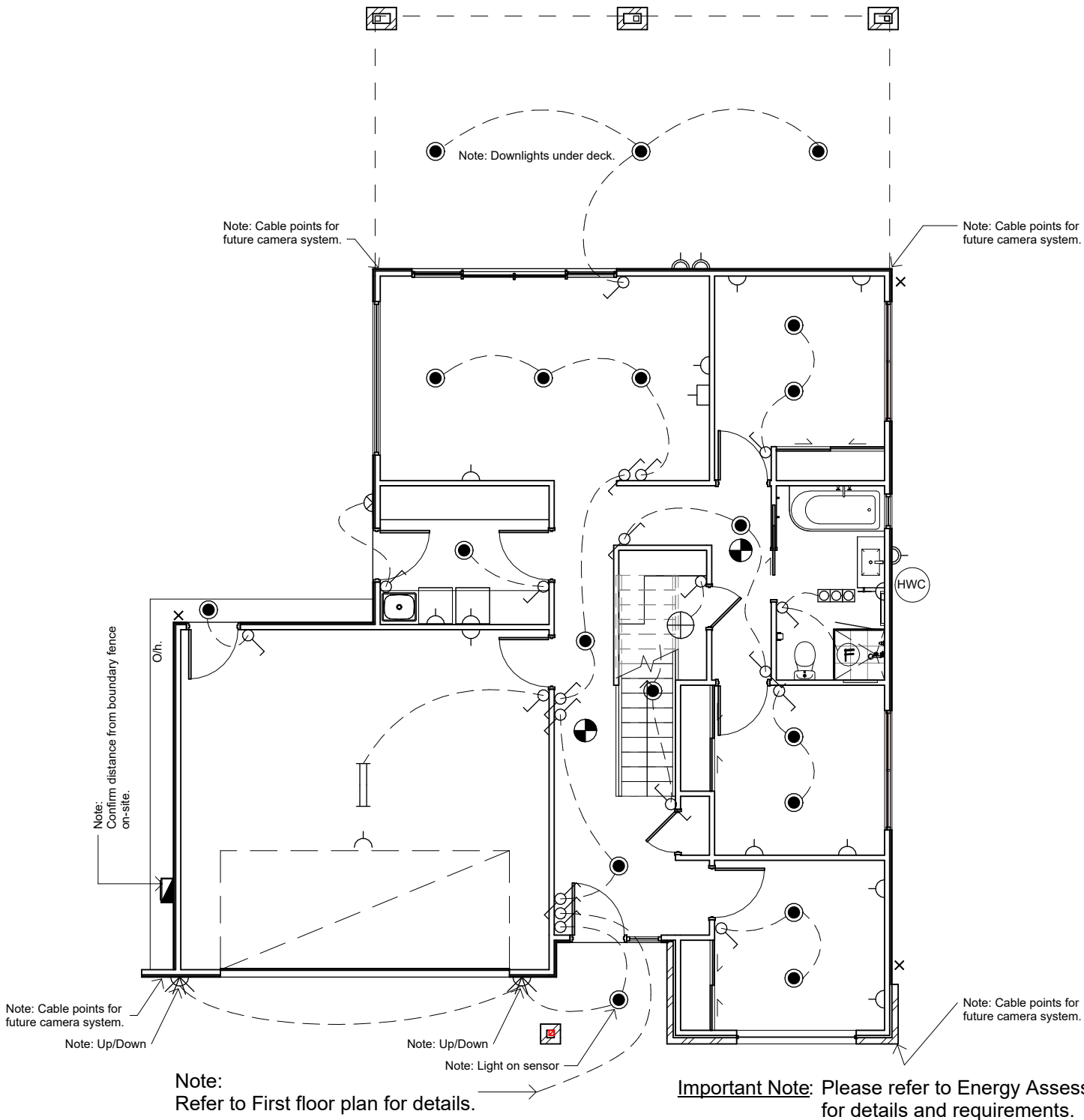
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Important Note: Please refer to Energy Assessment Report for details and requirements.

Refer to **Energy Report for Lighting calculations**

Refer to Floor Finishes Plan for coverings.

Refer to Electrical Plan and Reflected Ceiling Plan for penetrations.

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project name	Proposed New Residence
project address	Lot 16, 13 Green Heart Glade, Greens Beach
client	S. B & M. A Denman

drawing title	Electrical & Reflected Ceiling Plan - Ground Floor		
project number	2026.006	stage	Planning Approval
issue date	08 September 2026	revision	07
designer	Stephen Wallen	scale	1 : 100
accreditation	290407766	drawing number	A3-014
contact	hello@measureddesign.com.au		

ELECTRICAL INDEX

- Ceiling Light
- Three Light Tastic, c/w damper & exhaust to outside.
- Down Light - Sealed (LED)
- Wall Light
- Twin tube (LED) light
- illuminate - size (tbc)
- Ceiling light - weatherproof
- Two Light Tastic, c/w damper & exhaust to outside.
- Hanging Pendant
- Wall Light - on sensor
- Ceiling Fan
- Rh. Range hood, Vent to outside air & provide power

Note: Install as per manufactures specification.

- General Purpose Outlet (double)
- Weatherproof Outlet
- Switch - Two way
- Switch - Dimmer
- Exhaust Fan, Vent to outside air & provide power
- 240v Smoke Alarm
- t.v. Point
- Bh. indicate - Bulkhead
- LWp. Low Point
- O/h. Roof overhang / eaves
- Hotplate safety cut-off
- Switch - one way
- Heat Pump - ceiling outlet
- Heat Pump - return air
- Switch box
- Network point
- XXcl. indicate - Ceiling Height
- Hlp. High Point
- ← indicate - Slope

Artificial Lighting
Residences to be in compliance with
ABCB Housing Provisions part 13.7.6

- artificial lighting must not exceed:
- 5w/m2 for class 1 building
 - 4w/m2 for verandahs & balconies
 - 3w/m2 for class 10a associated with class 1 building

Refer to lighting calculator for further details.

Electrical & Reflected Ceiling Plan - First Floor

SCALE: 1 : 100



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Note:
Strip light to kitchen back wall.
confirm on-site

Note:
Power point under bench
Tbc. on-site

Note:
Power point to go in
Cupboard - check Joinery
Tbc. on-site

Note:
1500mm High.
Tbc. on-site

Note:
1500mm High.
Tbc. on-site

Note: Feature Electric heater
Dimension 1240mm Wide x
425mm H x 230mm D. Tbc.
on-site.

Note:
Floor heating to Ensuite.
Tbc. on-site

Note:
LED mirror.
Tbc. on-site

Note:
Feature wall Sconce lights + switch.
Tbc. on-site

Note:
1500mm High.
Tbc. on-site

Note:
Feature wall Sconce lights + switch.
Tbc. on-site

Important Note: Please refer to Energy Assessment Report
for details and requirements.

Refer to **Energy Report for Lighting calculations**

Refer to Floor Finishes Plan for coverings.

Refer to Electrical Plan and Reflected Ceiling
Plan for penetrations.

Note:
Refer to Ground floor plan for details.

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05	Design Development	10/06/26
06	Design Development	12/06/26
07	Planning Approval	08/09/26

project name
Proposed New Residence

project address
Lot 16, 13 Green Heart Glade, Greens Beach

client
S. B & M. A Denman

drawing title Electrical & Reflected Ceiling Plan - First Floor			
project number	2026.006	stage	Planning Approval
issue date	08 September 2026	revision	07
designer	Stephen Wallen	scale	1 : 100
accreditation	290407766	drawing number	A3-014a
contact	hello@measureddesign.com.au		